



Design Review Board Staff Report

TO: DESIGN REVIEW BOARD

FROM: MARIA S. CADAVID, AICP, CSBA, SENIOR PLANNER
(480) 503-6812, MARIA.SUNIGA-CADAVID@GILBERTAZ.GOV *MS*

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV *ajl*

MEETING DATE: JUNE 12, 2014

SUBJECT: DR14-11S, PARK LUCERO MASTER SIGN PLAN - 270 EAST GERMANN ROAD (NWC OF GERMANN ROAD AND MUSTANG DRIVE).

STRATEGIC INITIATIVE:	Community Livability
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The Master Sign Plan for Lucero Park will identify the Park Lucero project and promote economic development increasing the value of the industrial/office park.

REQUEST

DR14-11S, Park Lucero: Master Sign Plan for Phases I and II of the industrial/office park proposed at 270 East Germann Road, zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Move to approve the findings of fact and approve DR14-11S Park Lucero Master Sign Plan: for Phases I and II of the industrial/office facility proposed at 270 East Germann Road, zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay, subject to conditions.

APPLICANT/OWNER

Company: Trammell Crow Co I, LP
Name: John Larson
Address: 2231 E. Camelback Road
Suite 102
Phoenix, AZ 85016
Phone: 602-281-1492
Email:

Company: Park Lucero I, LP
Name: Donald J. Mahoney
Address: 2231 E. Camelback Rd.,
Suite 102
Phoenix, AZ 85016
Phone: 602-222-4000
Email: jmahoney@trammellcrow.com

BACKGROUND/DISCUSSION

History:

Date	Action
February 4, 2003	The Town Council adopted Ordinance No. 1455 in rezoning case Z02-28 and rezoned approximately 175.5 acres of real property from Maricopa County Rural-43 to Town of Gilbert General Commercial (C-2), Garden Industry (I-1) and Industrial Buffer (I-B) with a PAD overlay zoning district.
February 1, 2005	The Town Council adopted the Land Development Code (LDC) and the underlying zoning classifications of the Santan Crossroads Towne Center Planned Area Development (PAD) were amended to Regional Commercial (RC), Light Industrial (LI), General Commercial (GC) and Business Park (BP).
May 15, 2014	The Design Review Board was presented with the application (DR14-11) for the site plan, landscape, grading and drainage, elevations, lighting design, colors and materials at the study session.

Overview

The vacant subject site is zoned Light Industrial. It constitutes Site B (approximately 51 gross acres) of the development exhibit adopted with the Santan Crossroads Towne Center Planned Area Development (PAD) zoning overlay (Ord. No. 1455/Z02-28). The Master Sign Plan addresses the identification of this development while balancing the aesthetic interests of the Gilbert's industrial/office community.

Surrounding Land Uses:

	Land Use Designation	Zoning Classification	Existing Use
North	San Tan freeway (PF/I) then Business Park (BP)	Public Facility/Institutional (PF/I) then Business Park (BP)	Vacant
East	Mustang Drive then Light Industrial (LI)	Mustang Drive then Light Industrial (LI)	TOG partially occupied by Heliae Technology
South	Germann Road then Business Park (BP)	Germann Road then Business Park (BP)	Reserve at San Tan and Vacant
West	Regional Commercial (RC)	Regional Commercial (RC)	Crossroads Towne Center
Onsite	Light Industrial (LI)	Light Industrial (LI)	Vacant

Park Lucero Master Sign Plan	Required per LDC	Proposed
Current Zoning	Light Industrial (LI) with a PAD overlay	
	Master Sign Plan for a multiple building complex exceeding 40 net acres	49.1 net acres (overall site)
1. Accessory Entry Monuments	Signs for project identification are permitted on accessory entry monuments for multi-tenant projects exceeding 40 net acres subject to area and spacing requirements	2 accessory entry monuments signs containing logo and identity graphic for the complex of approximately: Logo 6.25 sq. ft. Identity Graphic 11.75 sq. ft.
2. Tenant Monument Signs	Minimum of 1 and one additional monument sign for each additional 300 feet of street frontage	3 Monument signs proposed spaced over 300' apart on the Mustang Drive frontage
3. Directional Signs	Not counted as a total sign area for a use subject to regulations on size, setback and location	4 Vehicular directional signs that meet size, setback and location regulations
4. Directory Signs	One sign permitted for each 5 tenants or uses subject to size, setback and location requirements.	4 signs proposed throughout the interior of the project in compliance with requirements

Park Lucero Master Sign Plan	Required per LDC	Proposed
5.Wall Signs	Wall signs are permitted on any exterior wall of the tenant or user suite at a rate of 1 square foot of sign area for each 1 lineal foot of the building elevation adjacent to the suite subject to design, dimensions and placement and scale.	Applicant’s Sign Program matrix notes a minimum on 1 wall sign per tenant within designated sign band establishing area, letter height and illumination style.

DISCUSSION

Freestanding Signs

It comprises identity signs proposed at the perimeter and throughout the project including: Accessory Entry Monuments, Monument Signs, Directory Signs and Directional Signs.

Signs on Accessory Entry Monuments: 2 of this type of signs are proposed along the Germann Road frontage. The entry monument is cast in place integral colored concrete, with aluminum cabinets that illustrate random pattern block base elements that complement their design. The graphics will be reverse pan channel aluminum consisting of a logo of approximately 6.25 sq. ft. and the name of the industrial park of approximately 11.75 sq. ft. The illumination will be halo type.

Tenant Monument Signs: 3 signs of this type are proposed along South Mustang Drive frontage. Tenant copy and graphic areas are proposed as individual, flat cut out aluminum letters allowing registered trademarks, logos and colors on individual tenant panels. The base of these signs will be colored concrete walls with random block base elements and the sign panel area is at 60 square feet as allowed by the sign code for this type of signs. The illumination will be ground up-lighting.

Directory Signs: 4 signs of this type are proposed throughout the interior of the project as required by the sign code to direct visitors, semi-trucks and delivery sized vehicles to locate their destination. Base of signs and sign area will be aluminum at a maximum height of 8’. Illumination will be accent ground-up lighting.

Directional Signs (vehicular): Also 4 signs of this type are proposed throughout the site. The materials will be reflective vinyl, surface applied, and black reflective for night visibility. Dimensions on the illustration of this signs appear to be in compliance with the sign code regulations. Illumination is ground up-lighting.

Wall Signs

The building wall signage matrix specifies on pages 8-15 the minimum number of signs permitted by the location, sign area, maximum letter height, illumination style and standards for the wall signs. The matrix also includes illustration on the aggregate sign area per façade for each one of the six buildings. Lastly, it also provides drawings of the typical sign area and location for individual uses.

STAFF RECOMMENDATION

Approval of the findings of fact and approval of **DR14-11S**, Park Lucero Master Sign Plan: for Phases I and II of the proposed industrial/office park proposed at 270 East Germann Road, zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay, subject to conditions:

1. Sign permits for any signs proposed for Lucero Park shall conform to the specifications and exhibits approved by the Design Review Board at the June 12, 2014 public meeting and shall comply with the sign code applicable regulations (LDC 4.409) regarding sign area, allowances, design, dimensions, placement and scale for the wall signs and number, area, size, height, setback and location for monument signs.
2. All signs shall apply for a sign permit with the Development Services Department prior to their installation.

Respectfully submitted,

A handwritten signature in cursive script that reads "Maria S. Cadavid". The signature is written in black ink and is positioned above the typed name and title.

Maria S. Cadavid, AICP, CSBA
Senior Planner

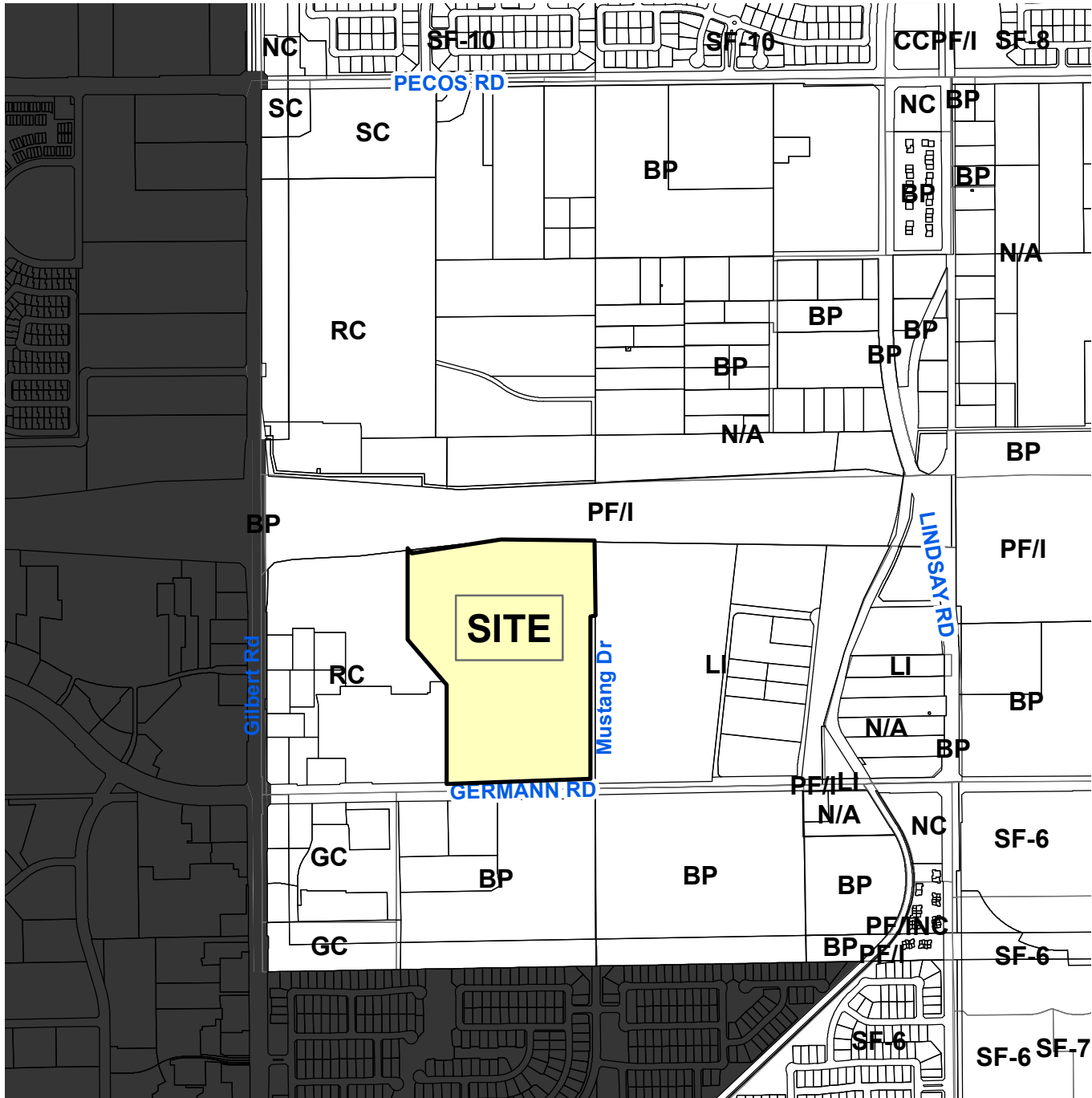
Attachments:

1. Vicinity Map
2. Park Lucero Master Sign Program (20 pp)

DR14-11

Vicinity Map

SITE LOCATION:



JURISDICTION

-  GILBERT
-  CHANDLER

0 460 920 1,840 Feet





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Design Review Board
Case # DR14-11-S
Date 6/12/14
Subject to Conditions of Approval

DR14-11
Attachment 2: Park Lucero Master Sign Program
June 12, 2014

PARK LUCERO

COMPREHENSIVE SIGNAGE PROGRAM

Town of Gilbert #DR14-12, Revised for DR Resubmittal 5/27/14

270 East Germann Road
NWC Germann Raod and South Mustang Drive
Gilbert, Arizona

DESIGNED/PREPARED FOR:

Park Lucero I, LP
2231 East Caemelback Road, Suite 102
Phoenix, AZ 85016
602-222-4000

DESIGNED BY:

JRC DESIGN
4634 N. 44th Street
Phoenix, AZ 85018
602.224.5100

Project Introduction

Along the perimeter of the project, identity signs have been developed for identification of the project and major tenant and building owners. The designs are contemporary in their form and materials to complement the architectural character of the project.

Signs on Accessory Entry Monuments (2)

Corner monumentation at Mustang Drive and Germann Road, and main median entrance on Germann Road.

Multi-Tenant Monument(s) - (1) per street frontage.

Lettering mounted on building monuments at the site entry drives.

Directionals

These signs will be interchangeable based on the quantity of tenants and the mix within each of the buildings and directional needs. Where a building might only have one tenant and directional needs, a smaller sign will be used. If a building has multiple tenants and multiple directional information requirements, the larger type sign will be implemented.

On-Site Directionals

Located internal to the site to direct to appropriate entry drive for trucks, visitors and employees.

On-Site Directory/Directionals

Located along the perimeter and within the development to provide directional information to various docks, tenants, exit directions etc.

FREESTANDING SIGNAGE MATRIX

SIGN TYPE	FUNCTION	MAX HT.	MAXIMUM SIGN AREA	MAX QTY	ILLUMINATION	MATERIALS
1 - Primary Project Identification Monument	Development identification	12'-0"	Project ID and logo - Sign Total - 40 s.f.	2	Halo and ground uplights	Metal letters and logo on masonry walls and bases.
2 - Multi-Tenant Monuments - (Note: Not allowed if project has single tenant user)	Tenant identification -minimum of two (2) and up to a maximum of (6) panels	8'-0"	60 s.f.	3	Internal and external ground uplights	Metal letters and logo, aluminum and steel structure with routed tenant panels, masonry bases.
3 - On-Site Directionals	Information for private, public, delivery entrances and exits.	3'-0"	12 s.f.	8	Internal and external ground uplights	Metal letters and logo, aluminum and steel structure with routed tenant panels, masonry bases.
4 - On-Site Directory/ Directionals	Directional information to buildings, facilities, etc.	8'-0"	40 s.f.	8	Internal and external ground uplights	Metal letters and logo on masonry walls and bases.

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Signage Site Plan

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This project will consist of a total of six industrial buildings and associated site work developed by Trammell Crow Company.

The project will be developed as two phases, each with three buildings. The first phase will front Germann Road and consist of predominant drive-in service doors. Phase two, on the north half of the property along The 202, will consist of dock-high service doors for general industrial and local distribution. The site will utilize landscape berming as well as Screen walls to minimise views of truck courts and parking.

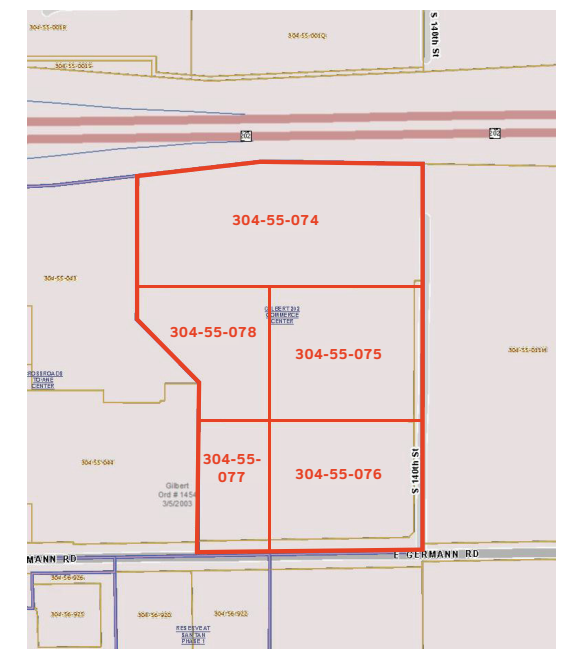
All of the buildings will be constructed of tilt-up concrete with other extural materials as accents.

SITE DATA		
PHASE I: (BUILDINGS D, E & F)		
ZONING	LI (LIGHT INDUSTRIAL)	BUILDING A: 150,000 S.F.
NET SITE AREA	813,692 S.F. (18.7 Ac.)	BUILDING B: 164,000 S.F.
TOTAL BUILDING AREA	210,000 S.F.	BUILDING C: 107,000 S.F.
LOT COVERAGE (GSF/NSA)	25.8%	BUILDING D: 88,000 S.F.
TYPE OF CONSTRUCTION	V-B	BUILDING E: 75,000 S.F.
ALLOWABLE HEIGHT	55' / 3 STORIES	BUILDING F: 47,000 S.F.
		TOTALS: 631,000 S.F.
PHASE II: (BUILDINGS A, B & C)		
ZONING	LI (LIGHT INDUSTRIAL)	
NET SITE AREA	1,325,758 S.F. (30.4 Ac.)	
TOTAL BUILDING AREA	421,000 S.F.	
LOT COVERAGE (GSF/NSA)	31.7%	
TYPE OF CONSTRUCTION	V-B	
ALLOWABLE HEIGHT	55' / 3 STORIES	

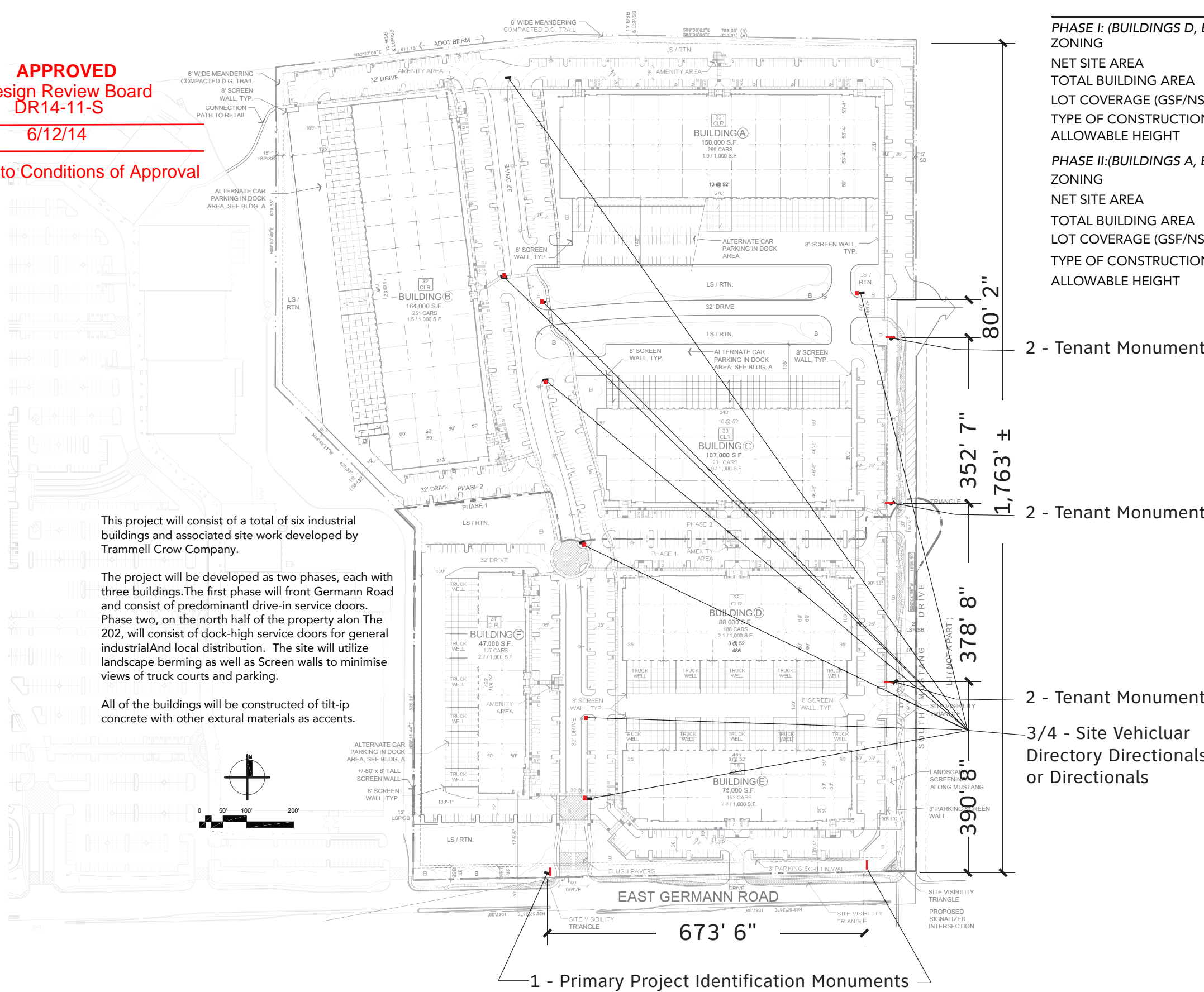
VICINITY MAP



PARCEL MAP



Map information obtained at <http://maps.mccessor.maricopa.gov/>



Project Color Board

CONCRETE BLOCK *By Western Block*



VARIED MASONRY WITH
SPLIT & SMOOTH,
8x8x16 & 4x8x16,
COLOR: WESTERN BROWN &
JAVELINA BROWN



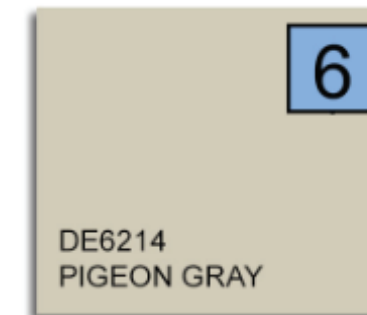
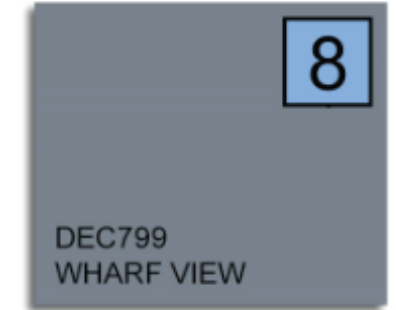
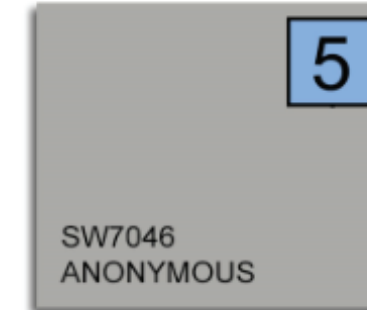
CORRUGATED
GALVANIZED
METAL

COLORED CONCRETE *By Davis*



CLEAR ANODIZED ALUMINUM
WINDOW FRAME
BLUE/GRAY REFLECTIVE GLASS

PAINT COLORS *By Dunn Edwards, Sherwin Williams*



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I - Signs on Accessory Entry Monuments

Two monuments located along Germann Road - One at the primary entry, in the center of the project, with the other located at the corner of Mustang Drive and Germann to identity and direct to the northern most buildings on the site.

Construction

Materials: Cast in place integrally colored concrete, fabricated aluminum cabinets with random pattern block base elements.

Letters/Logo: Reverse pan channel aluminum fabrication.

Wall Height: 12'-0" tower/graphic element overall

Sizes: Logo - 2'-6" x 2'-6" - 6.25 s.f.
Identity - 12" x 11'-8" - 11.75 s.f.

Setback Requirements

Minimum 3'-0" back of R.O.W.

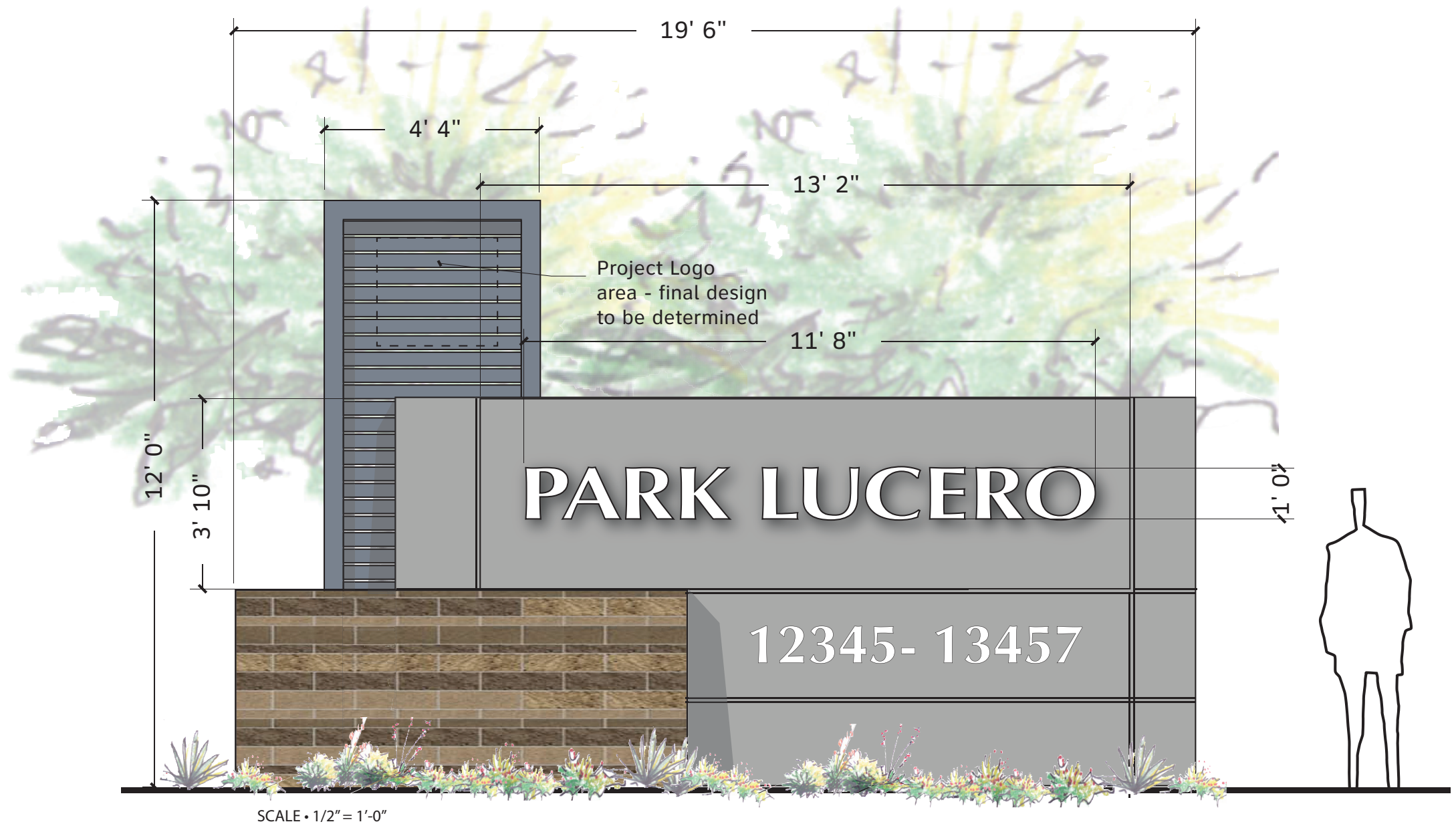
Colors

Base color: Western Block® Western Brown and javelina Brown varied finishes.

Pattern: Random pattern of blocks shall run in a running bond course, with four or more of the same color horizontally and utilizing at least one 4x8x16 course layered with the 8x8x16 course. See attached sample for style.

Project ID Panel: Color to Match - SW7046 Anonymous
Letters /Logos: White
Logo column: DEC 799 WharfView

Illumination Project identity to be halo illuminated. Walls and landscaping to have ground mounted up lights for accent.



Typical random pattern to be used on all signage using block base designs.

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2 - Tenant Monuments

Tenant monuments shall be located along South Mustang Drive. Designs shall accent the main entry monument form and materials utilizing the architectural materials, colors and design theme established there.

Each monument shall include the address for an individual building or group of addresses for multiple buildings. Numerals shall be contrasting in color and value to the background for visibility.

Tenant copy and graphic areas shall be of individual, flat cut out aluminum letters. A minimum of 4" letter height shall be used for all lettering if space/area permits without condensing or modifying identity standards. Registered trademarks, timesteps, logos and colors will be allowed on individual tenant panels.

Landscaping shall be included around/adjacent to monuments, but should be kept to a maximum height that is appropriate to the height of the sign and location of graphics.

Construction

- Tenant Area: Aluminum fabricated upper cabinets with flat cut out letters and logos, stud mounted to panels.
- Bases: Integrally colored concrete walls with random block base elements. (See page 4 for random block base details.)
- Address: Flat cut out dimensional numbers
- Tenant Panels: Height - 8'-0" max
Panel Area - 6'-0" x 10'-0" (60 s.f.)
Allowable Sign Area - 60 s.f.
Minimum of 2 - Maximum of 6 tenant names

Setback Requirements

Minimum 3'-0" back of R.O.W.

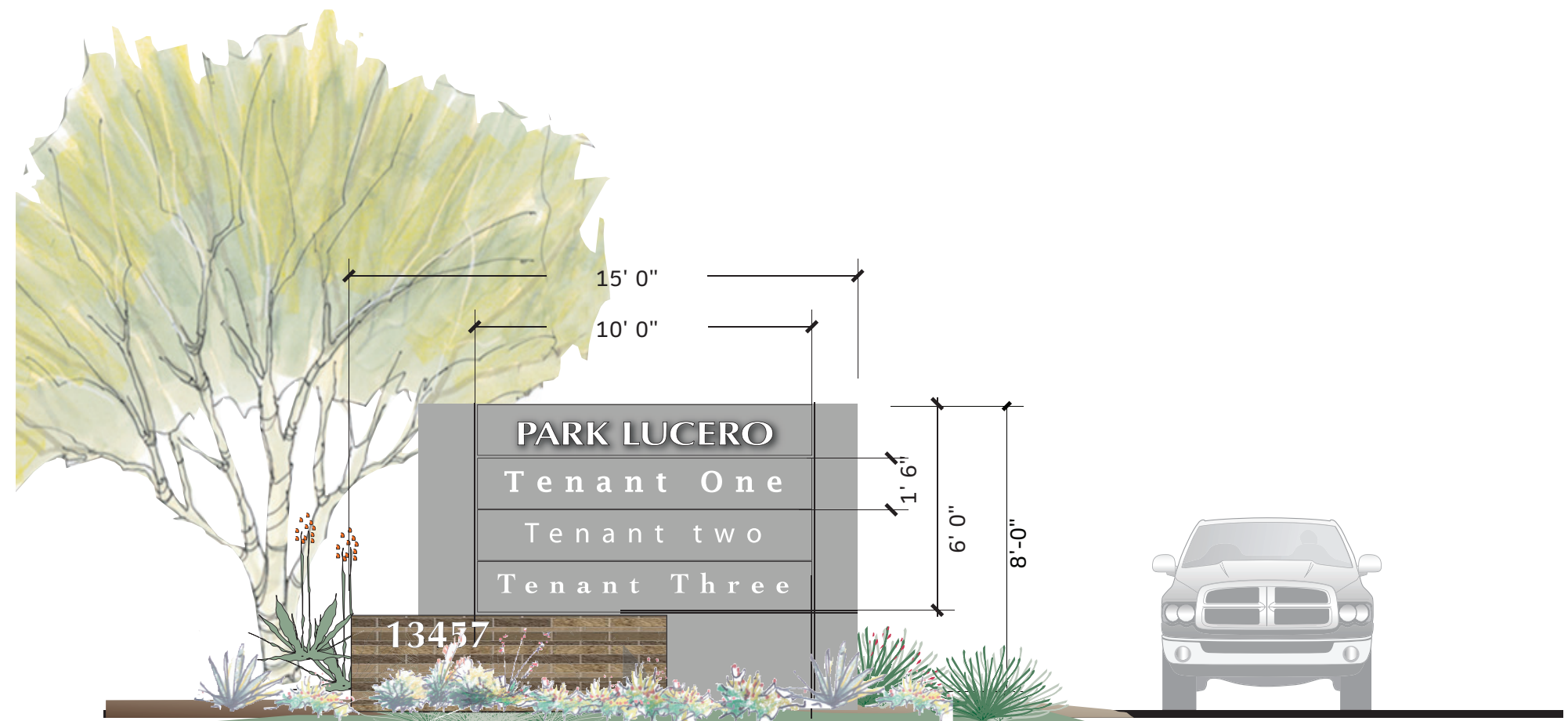
Colors

Base: Western Block@Western Brown and javelina Brown, varied finishes.

Tenant Panel: Color to Match - SW7046 Anonymous

Illumination Accent ground up-lighting

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SIGN TYPE 2 - MULTIPLE TENANT MONUMENT
SCALE: 1/4"=1'-0"

3 - Site Vehicular Directionals

Site Vehicular Directionals will be located throughout the interior of the site as required to provide safe traffic flow for semi-trucks, visitors and other delivery sized vehicles.

Designs shall accent the main entry monuments forms and materials utilizing the architectural materials, colors and design theme established there.

Copy and graphic areas shall be reflective vinyl, surface applied, black reflective to create night time visibility.

Landscaping shall be included around/adjacent to directional signage, but shall be kept to a maximum height that is appropriate to the height of the sign and location of graphics.

Construction

Cabinet Area: Aluminum fabricated upper cabinets
Bases: Aluminum

Copy Panel: Height - 4'-0" max
Panel Area - 2'-6" x 3'-2"
Sign Area - 8 s.f.
12 s.f. max allowed

Colors

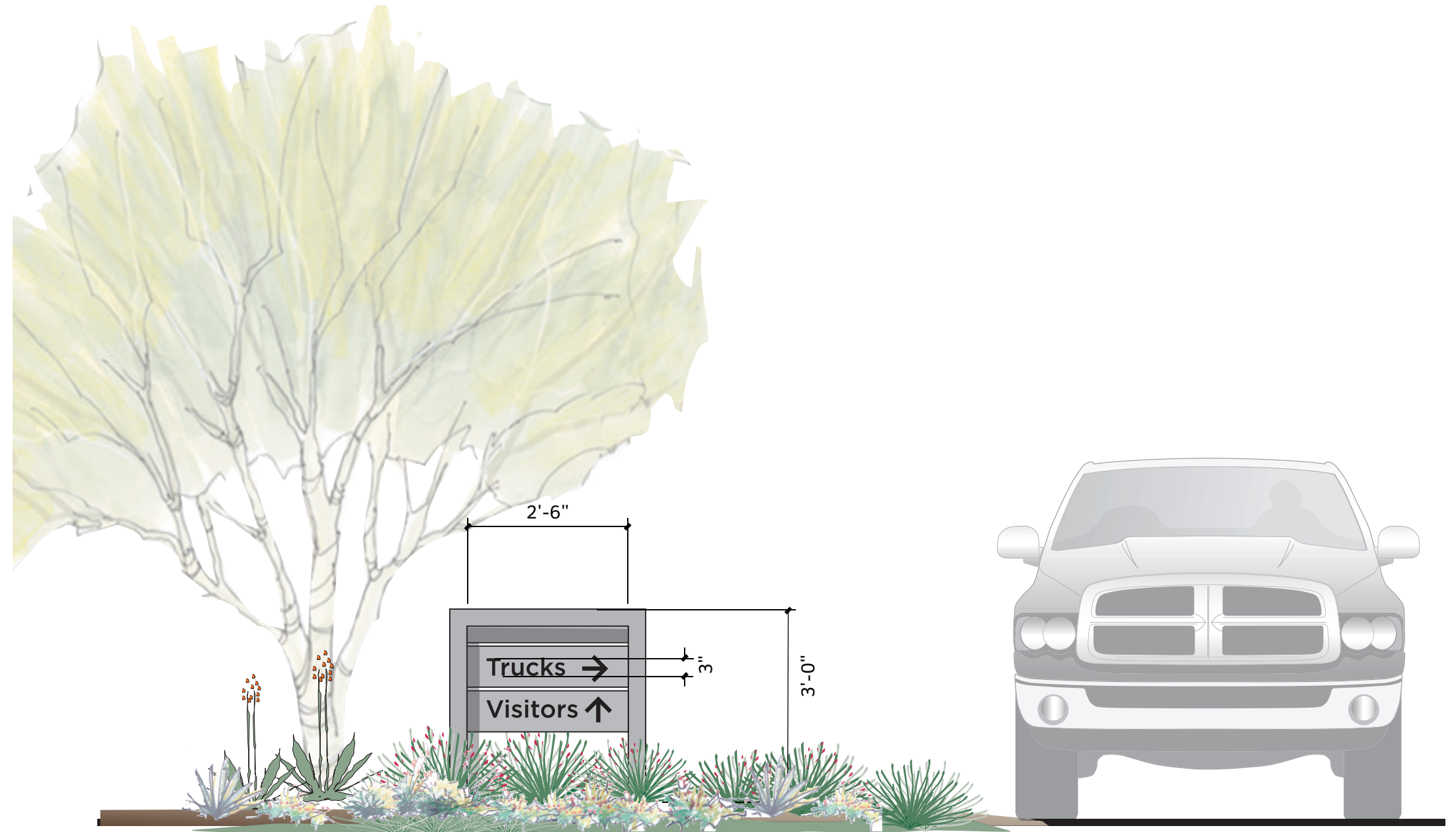
Panel: Color to Match - SW7046 Anonymous
Lettering: 3M black reflective vinyl

Illumination

Accent ground up-lighting
No internal illumination allowed.

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PARK LUCERO



SIGN TYPE 3 - VEHICULAR DIRECTIONALS
SCALE: 1/2"=1'-0"

4 - Site Vehicular Directory/Directionals

Site Vehicular Directory/Directionals will be located throughout the interior of the site as required to provide safe traffic flow for semi-trucks, visitors and other delivery sized vehicles.

Designs shall accent the main entry monuments forms and materials utilizing the architectural materials, colors and design theme established there.

Copy and graphic areas shall be reflective vinyl to create night time visibility.

Landscaping shall be included around/adjacent to directionals, but should be kept to a maximum height that is appropriate to the height of the sign and location of graphics.

Construction

Cabinet Area: Aluminum fabricated upper cabinets
Bases: Aluminum

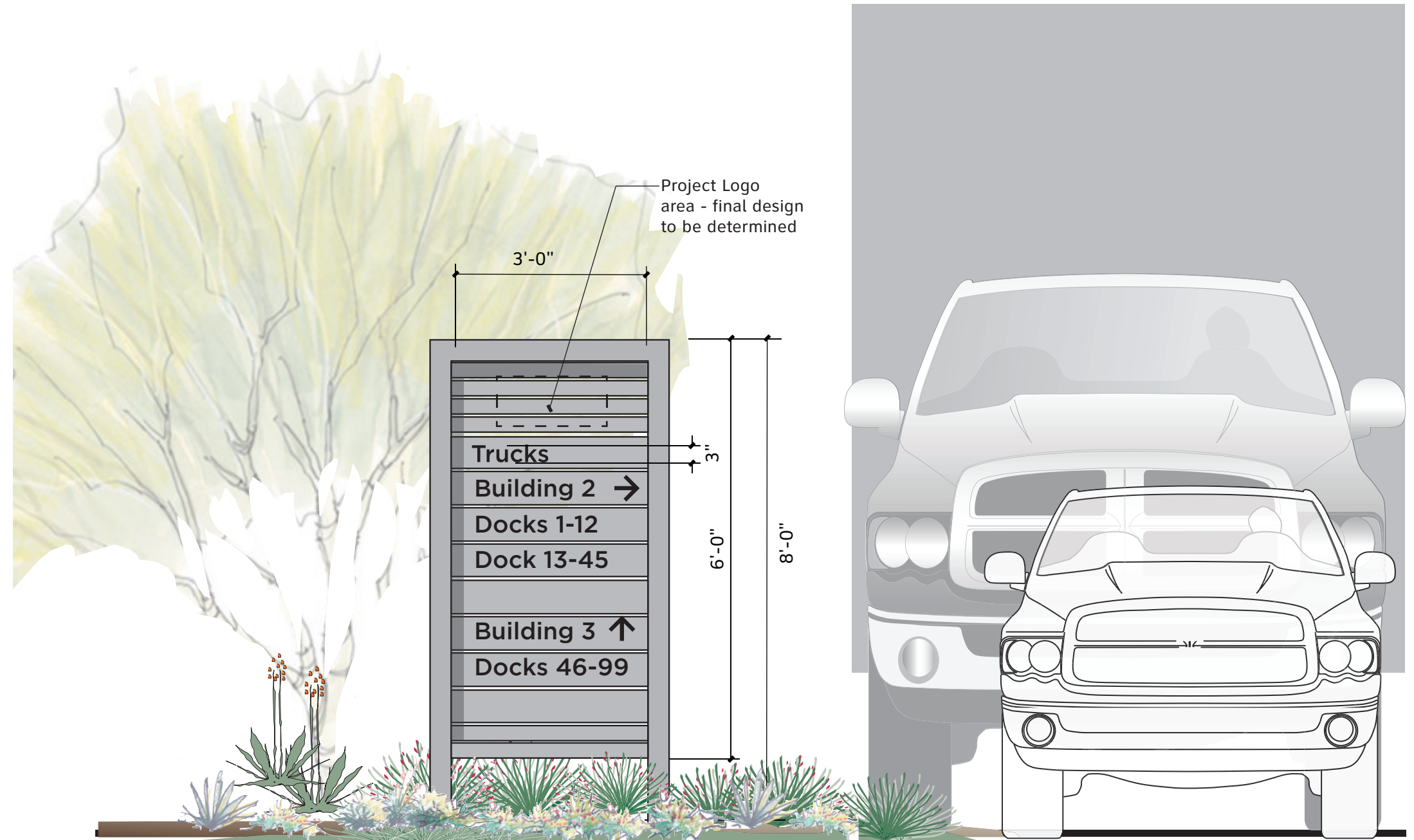
Copy Panel: Height - 8'-0" max
Panel Area - 6'-0" x 3'-0"
Sign Area - 18 s.f.
40 s.f. max allowed

Colors

Panel: Color to Match - SW7046 Anonymous
Lettering: 3M black reflective vinyl

Illumination

Accent ground up-lighting
No internal illumination allowed.



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SIGN TYPE 4 - VEHICULAR DIRECTORY / DIRECTIONALS
SCALE: 1/2"=1'-0"

5 - Tenant Building Signage

BUILDING WALL SIGNAGE MATRIX

Building Type	Maximum Quantity	Location	Sign Area	Maximum Letter Height	Illumination Style	Sign Type/Color
5 - Light Industrial (LI)	Minimum of one (1) per tenant. Tenants to be allowed signage on any elevation which their leased space is connected to, and provides visibility from either roadways or parking areas.	Within designated sign band areas. Locations shown on elevations are typical. Final locations to be per Owner and Tenant's needs. Thirty-eight feet, six inch (38'-6") maximum install height (to top of sign).	One (1) square foot per one (1) lineal foot of tenant frontage/ building elevation (single user). ¹ All tenants are allowed a minimum of thirty-two (32) square feet.	Sign proportions restricted to 80% vertical height and 80% horizontal width of architectural space installed upon	Internal, halo or a combination of both. Signs may also be non-illuminated.	See graphic standards – pages 12, 13 & 14.

¹ Sign proportions restricted to 80% vertical height and 80% horizontal width of architectural space installed upon.
² Signage areas shall be designated and allocated by the Owner/Landlord's agent and may be located in any of the designated signage areas.

Tenant Building Signage Criteria

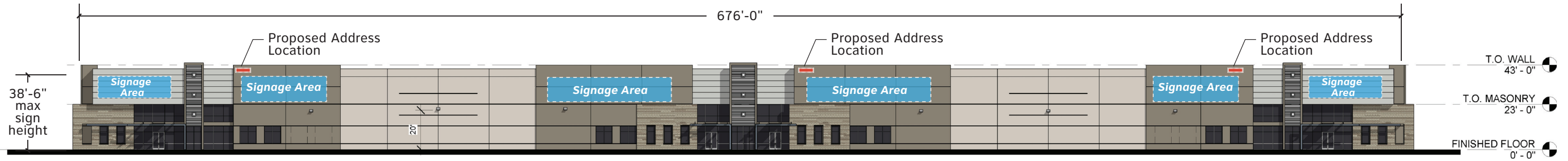
5 - Light Industrial

Typically designed as a multi-tenant, single story building with individual exterior suite entrances accessible from the parking areas. These buildings require each tenant to have their identification at or near their entrance, as well as other locations visible from roadways and parking areas.

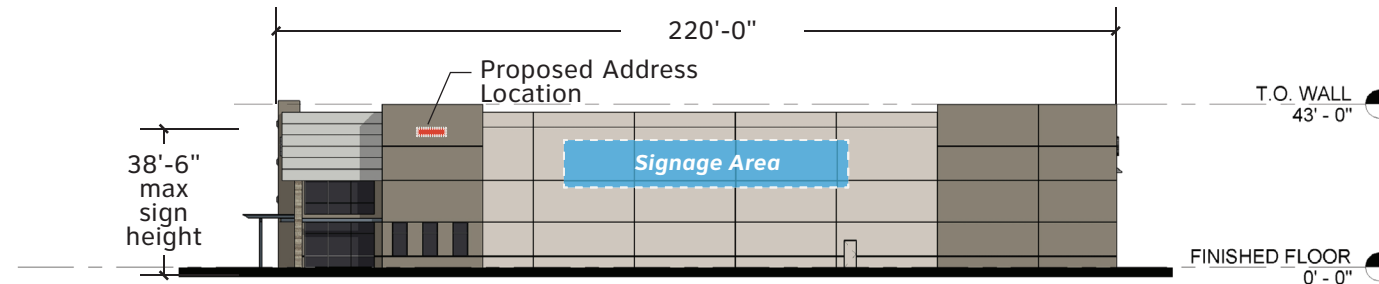
Note: Elevations A thru C on the following pages show possible/typical tenant identification and address locations. Locations for buildings D thru F shall be officially determined when plans/elevations are developed.

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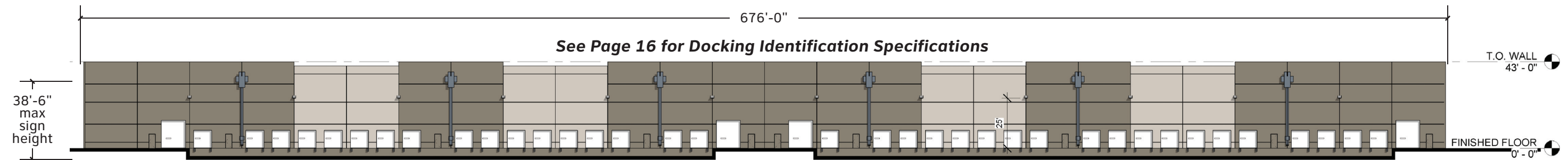
Tenant Building Signage - Building A (possible locations)



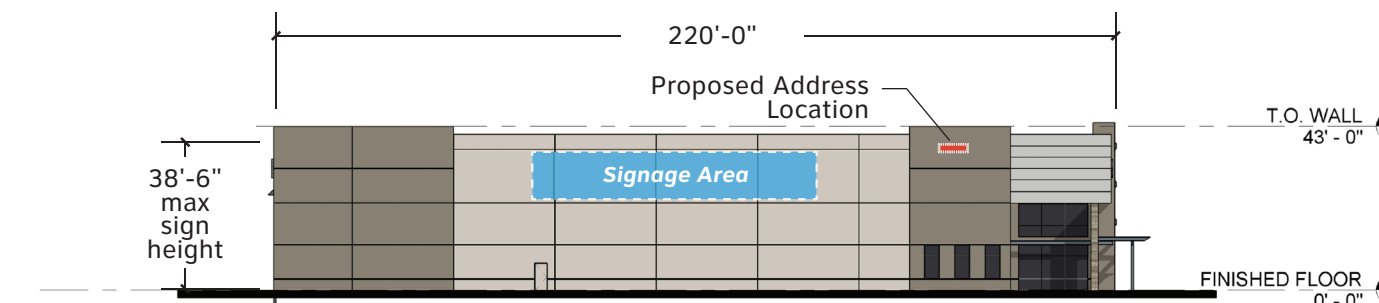
North Elevation - Maximum Aggregate Sign Area: 676 sq.ft.
Scale: 1"=50'



West Elevation - Maximum Aggregate Sign Area: 220 sq.ft.
Scale: 1"=50'



South Elevation - Maximum Aggregate Sign Area: 676 sq.ft.
Scale: 1"=50'



East Elevation - Maximum Aggregate Sign Area: 220 sq.ft.
Scale: 1"=50'

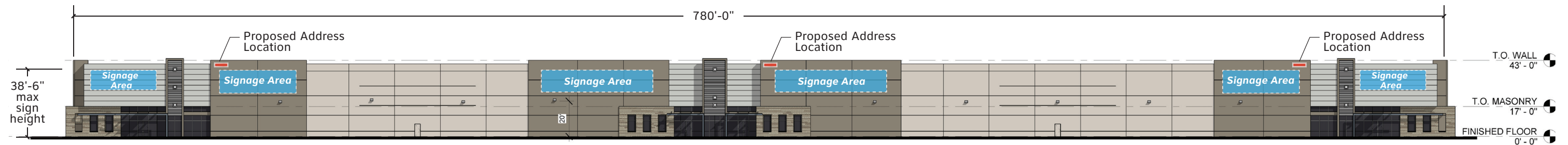
See Page 16 for Docking Identification Specifications

Sign fields shown are to illustrate proposed and/or typical locations, but final locations will be determined by Owner and Tenant.

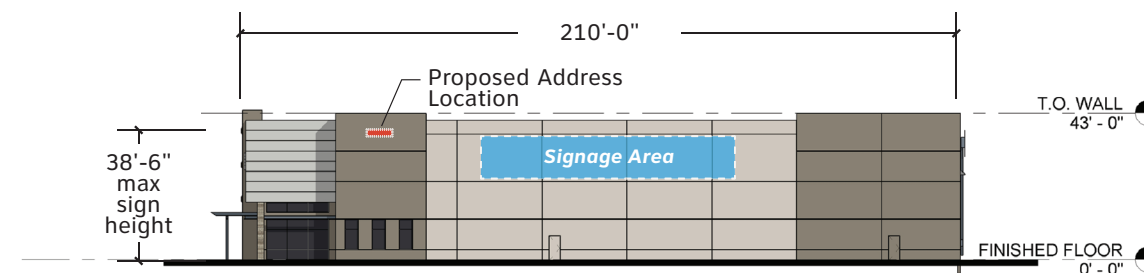
Final addressing placements to be determined by Fire Marshall or other qualified Town of Gilbert representative.

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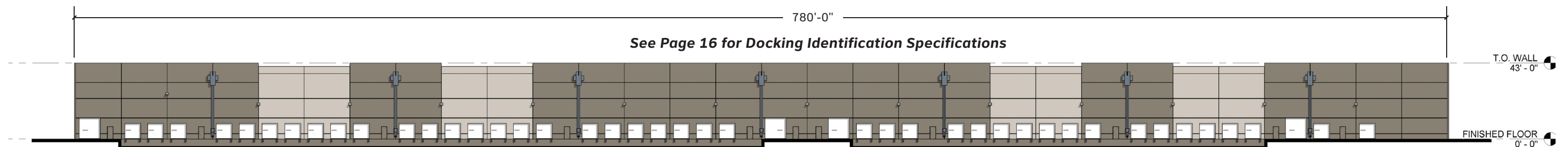
Tenant Building Signage - Building B (possible locations)



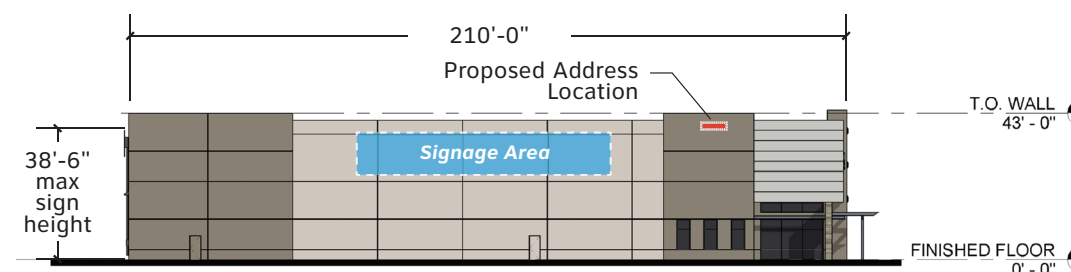
East Elevation - Maximum Aggregate Sign Area: 780 sq.ft.
Scale: 1"=50'



North Elevation - Maximum Aggregate Sign Area: 210 sq.ft.
Scale: 1"=50'



West Elevation - Maximum Aggregate Sign Area: 780 sq.ft.
Scale: 1"=50'



South Elevation - Maximum Aggregate Sign Area: 210 sq.ft.
Scale: 1"=50'

Sign fields shown are to illustrate proposed and/or typical locations, but final locations will be determined by Owner and Tenant.

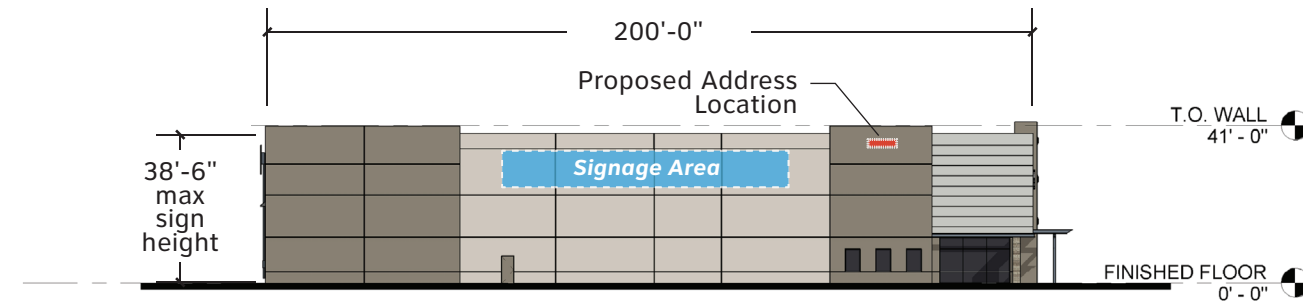
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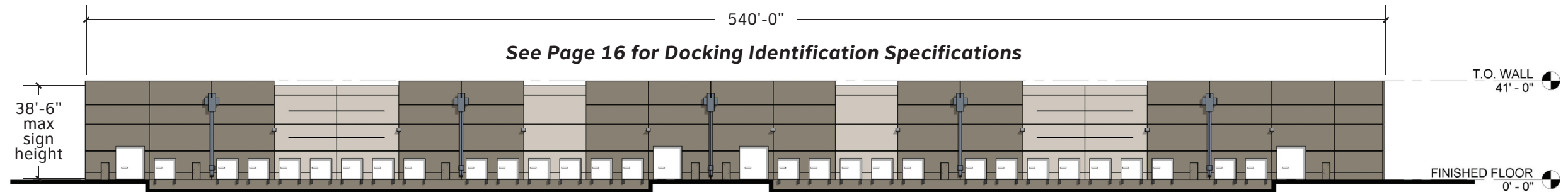
Tenant Building Signage - Building C (possible locations)



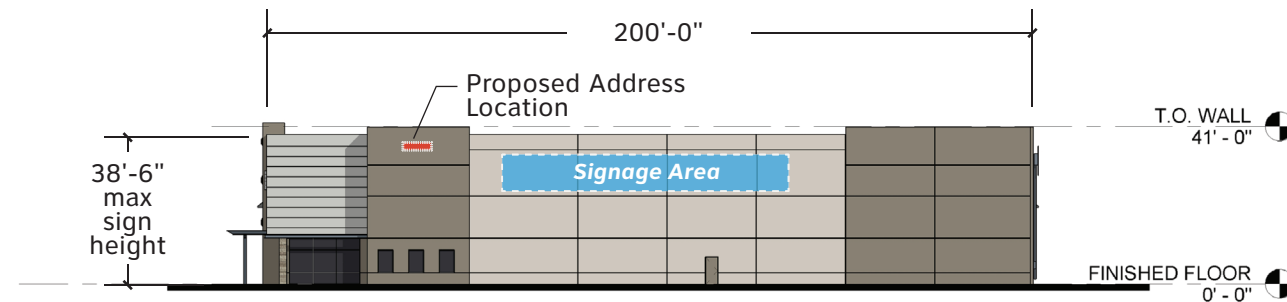
South Elevation - Maximum Aggregate Sign Area: 540 sq.ft.
Scale: 1"=50'



West Elevation - Maximum Aggregate Sign Area: 200 sq.ft.
Scale: 1"=50'



North Elevation - Maximum Aggregate Sign Area: 540 sq.ft.
Scale: 1"=50'



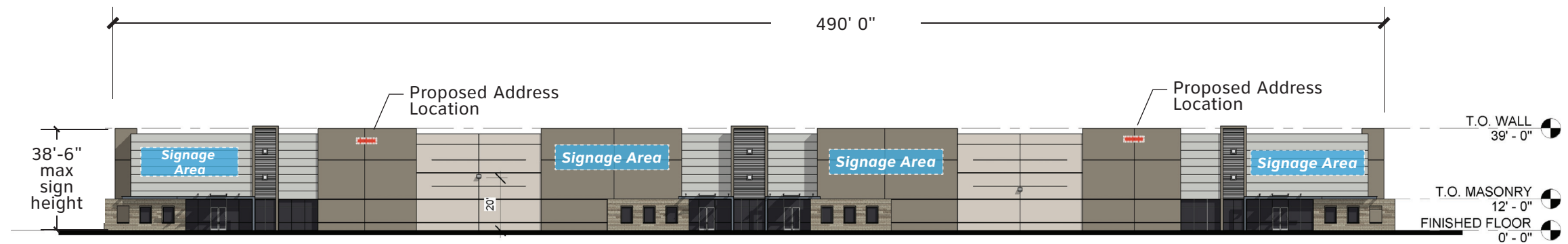
East Elevation - Maximum Aggregate Sign Area: 200 sq.ft.
Scale: 1"=50'

Sign fields shown are to illustrate proposed and/or typical locations, but final locations will be determined by Owner and Tenant.

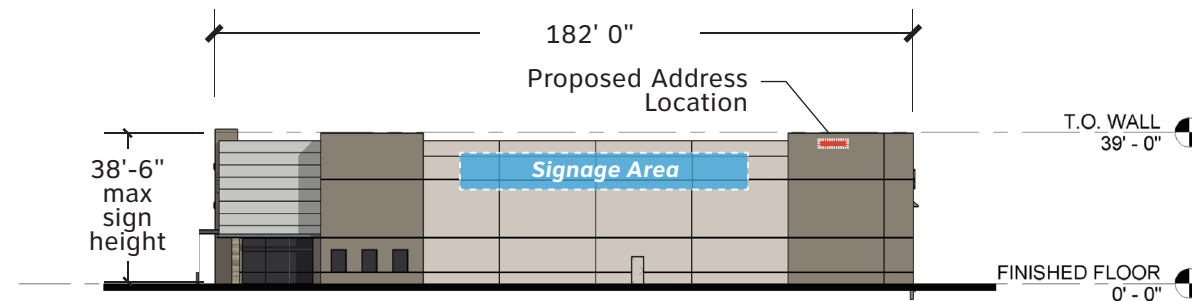
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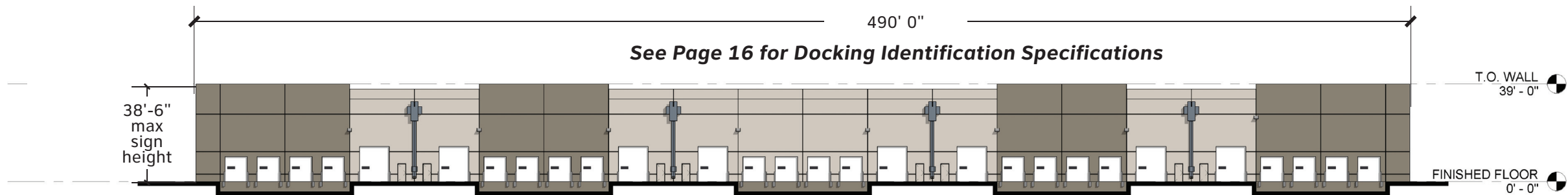
Tenant Building Signage - Building D (possible locations)



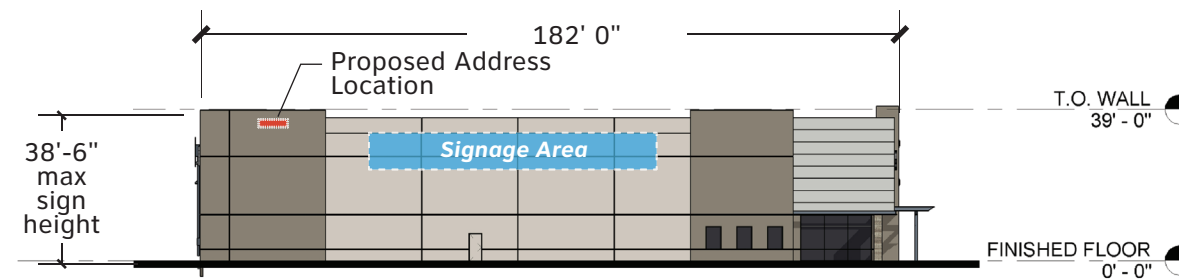
South Elevation - Maximum Aggregate Sign Area: 490 sq.ft.
Scale: 1"=50'



West Elevation - Maximum Aggregate Sign Area: 182 sq.ft.
Scale: 1"=50'



North Elevation - Maximum Aggregate Sign Area: 490 sq.ft.
Scale: 1"=50'



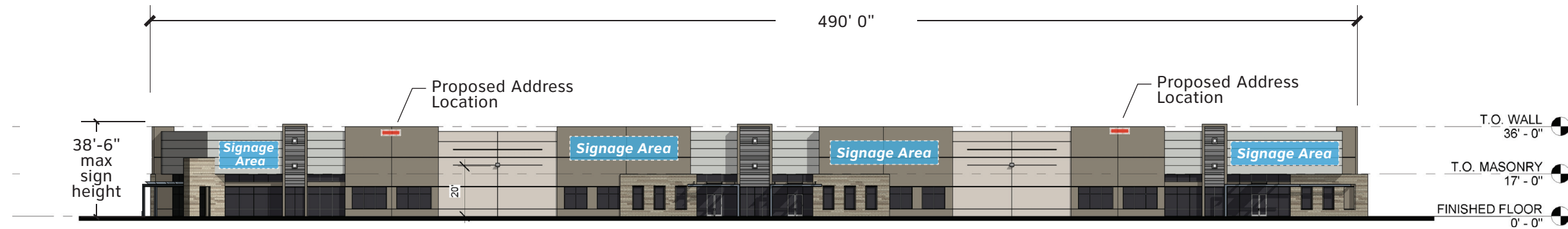
East Elevation - Maximum Aggregate Sign Area: 182 sq.ft.
Scale: 1"=50'

Sign fields shown are to illustrate proposed and/or typical locations, but final locations will be determined by Owner and Tenant.

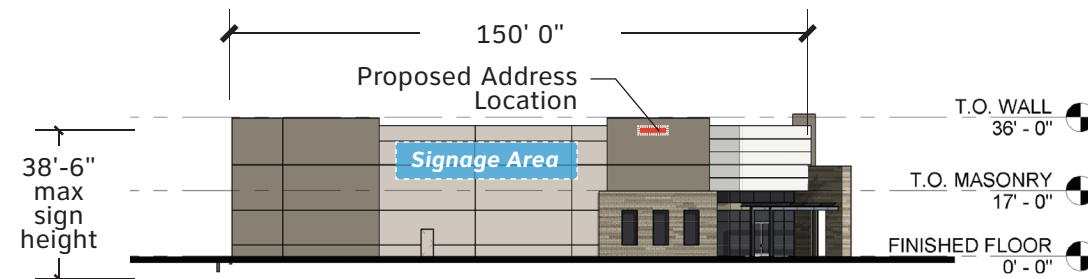
Final addressing placements to be determined by Fire Marshall or other qualified Town of Gilbert representative.

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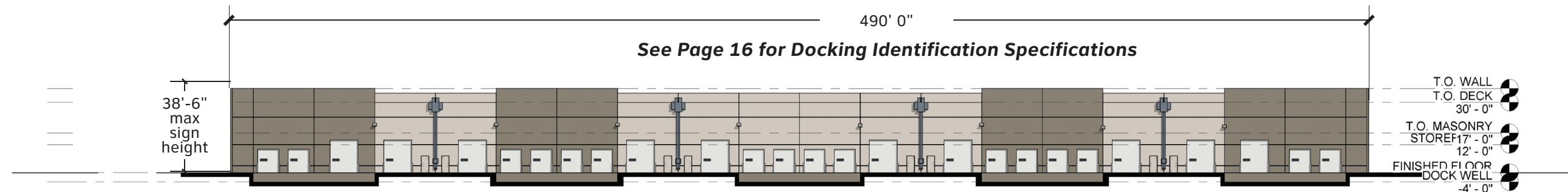
Tenant Building Signage - Building E (possible locations)



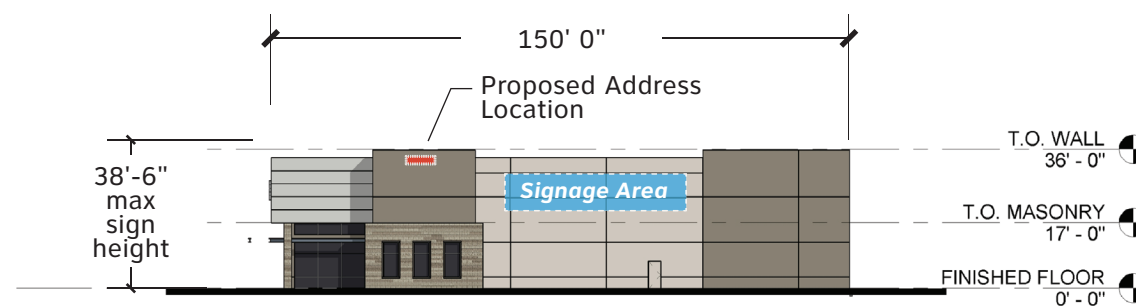
South Elevation - Maximum Aggregate Sign Area: 540 sq.ft.
Scale: 1"=50'



West Elevation - Maximum Aggregate Sign Area: 150 sq.ft.
Scale: 1"=50'



North Elevation - Maximum Aggregate Sign Area: 540 sq.ft.
Scale: 1"=50'



East Elevation - Maximum Aggregate Sign Area: 150 sq.ft.
Scale: 1"=50'

Sign fields shown are to illustrate proposed and/or typical locations, but final locations will be determined by Owner and Tenant.

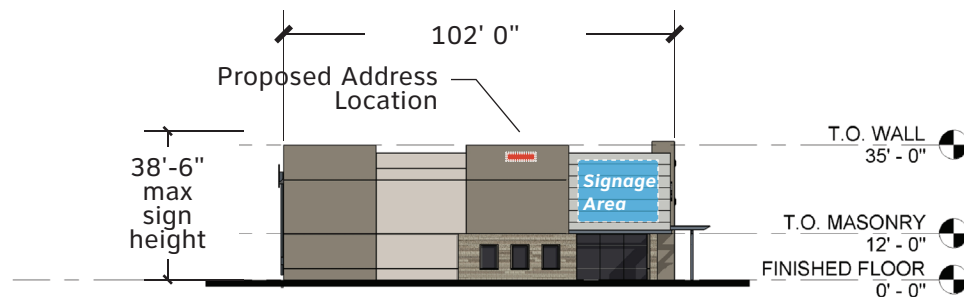
Final addressing placements to be determined by Fire Marshall or other qualified Town of Gilbert representative.

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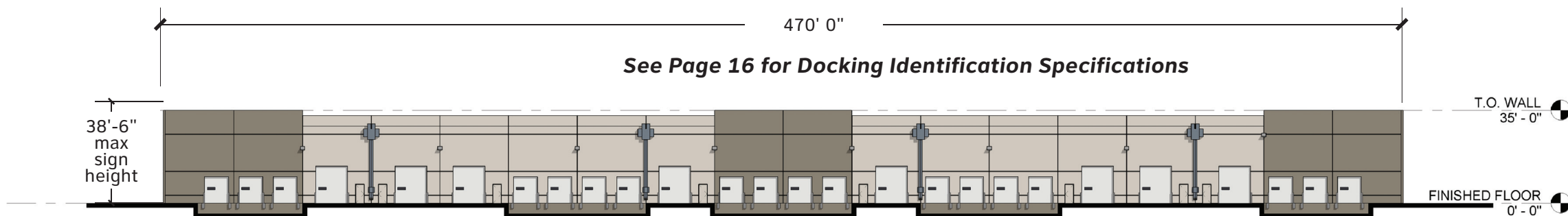
Tenant Building Signage - Building F (possible locations)



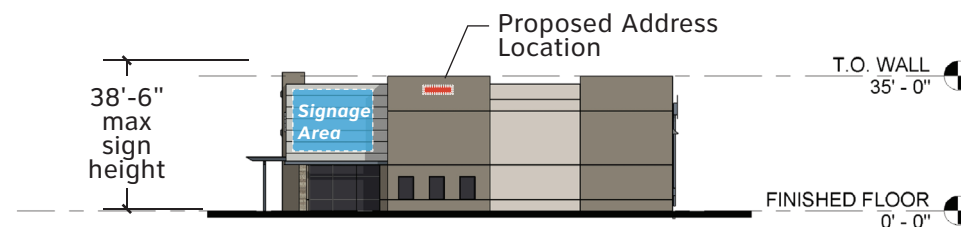
East Elevation - Maximum Aggregate Sign Area: 470 sq.ft.
Scale: 1"=50'



South Elevation - Maximum Aggregate Sign Area: 102 sq.ft.
Scale: 1"=50'



West Elevation - Maximum Aggregate Sign Area: 470 sq.ft.
Scale: 1"=50'



North Elevation - Maximum Aggregate Sign Area: 102 sq.ft.
Scale: 1"=50'

Sign fields shown are to illustrate proposed and/or typical locations, but final locations will be determined by Owner and Tenant.

Final addressing placements to be determined by Fire Marshall or other qualified Town of Gilbert representative.

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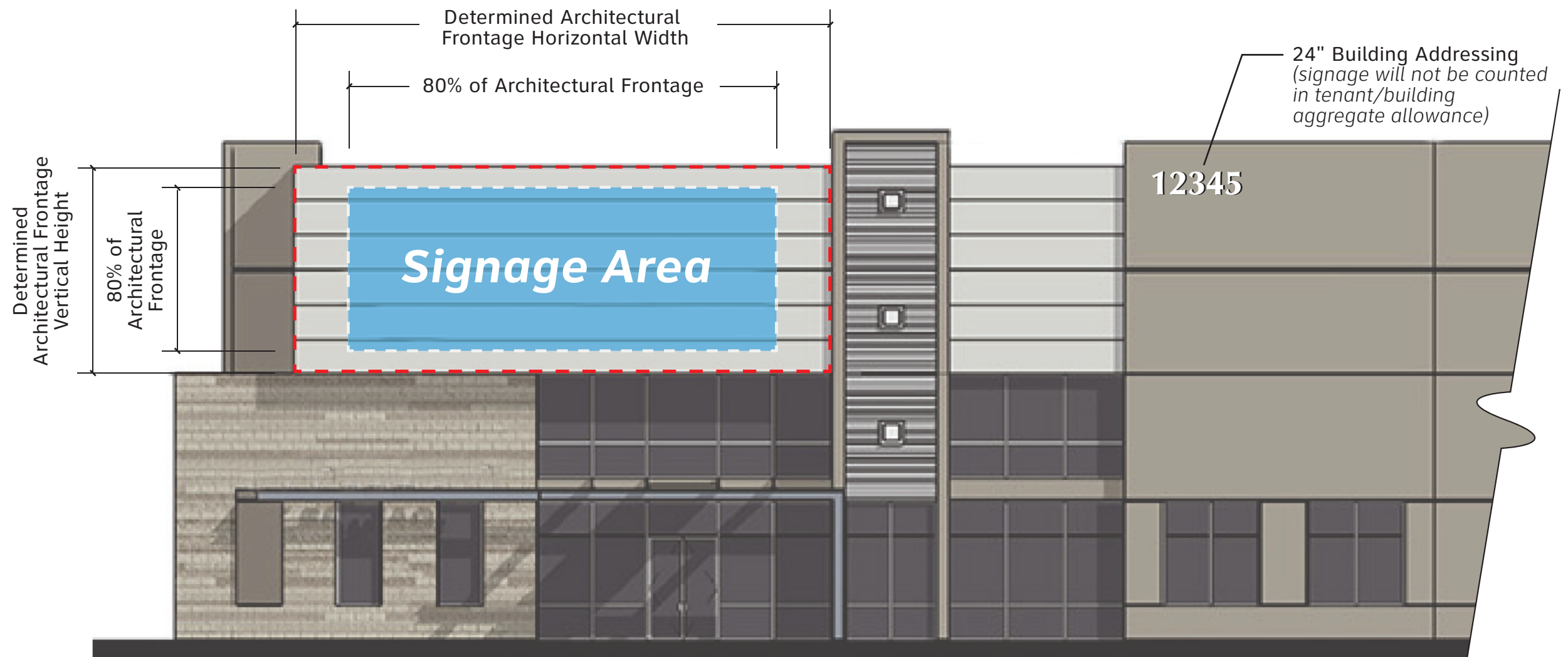
PARK LUCERO

Tenant Building Signage - Size and Location Details

Identification for all applications shall be centered within the designated architectural sign areas in the proportions of 80% of the vertical dimension, and 80% of horizontal dimension.

Optional baseline mounted identification signage, if utilized, is to be non-illuminated dimensional letters.

Final addressing placements to be determined by Fire Marshall or other qualified Town of Gilbert representative.



Typical Signage Location and Area Calculation

Scale: 3/32"=1'-0'

Building Address Numerals

Building Identification Address Numerals to be individual reverse pan channels with optional neon halo backlighting for night time visibility based on Owner's option.

Numeral height shall be a minimum of twenty four inches (24") and a maximum of thirty six inches (36") - based on the building architecture. Returns shall be three inch (3") deep and mounted one and one-half (1-1/2") inches off background wall. Minimum stroke width of 3"(See standard construction details on page 13.)

Numerals shall be located on the corner of the building facing the nearest major street, to be visible to approaching emergency response vehicles. Quantity shall be determined by the fire marshall based on the site plan.

Colors shall be determined by the building architect and submitted as part of their individual signage package. Color of numerals must provide contrast to the background surface for visibility.

Typeface to be consistent throughout **Park Lucero** as Optima Bold.

1234567890

Docking Door/BOH Identification

Docking Door/Back-of-House (BOH) identification shall be, at minimum, painted on a contrasting background surface, or can be surface applied reflective vinyl on acrylic or metal panels, flush mounted to the building. Color and material selected shall be consistent throughout.

Numeral height shall be twelve inches (12"), placed within a 24"x24" background field as noted above.

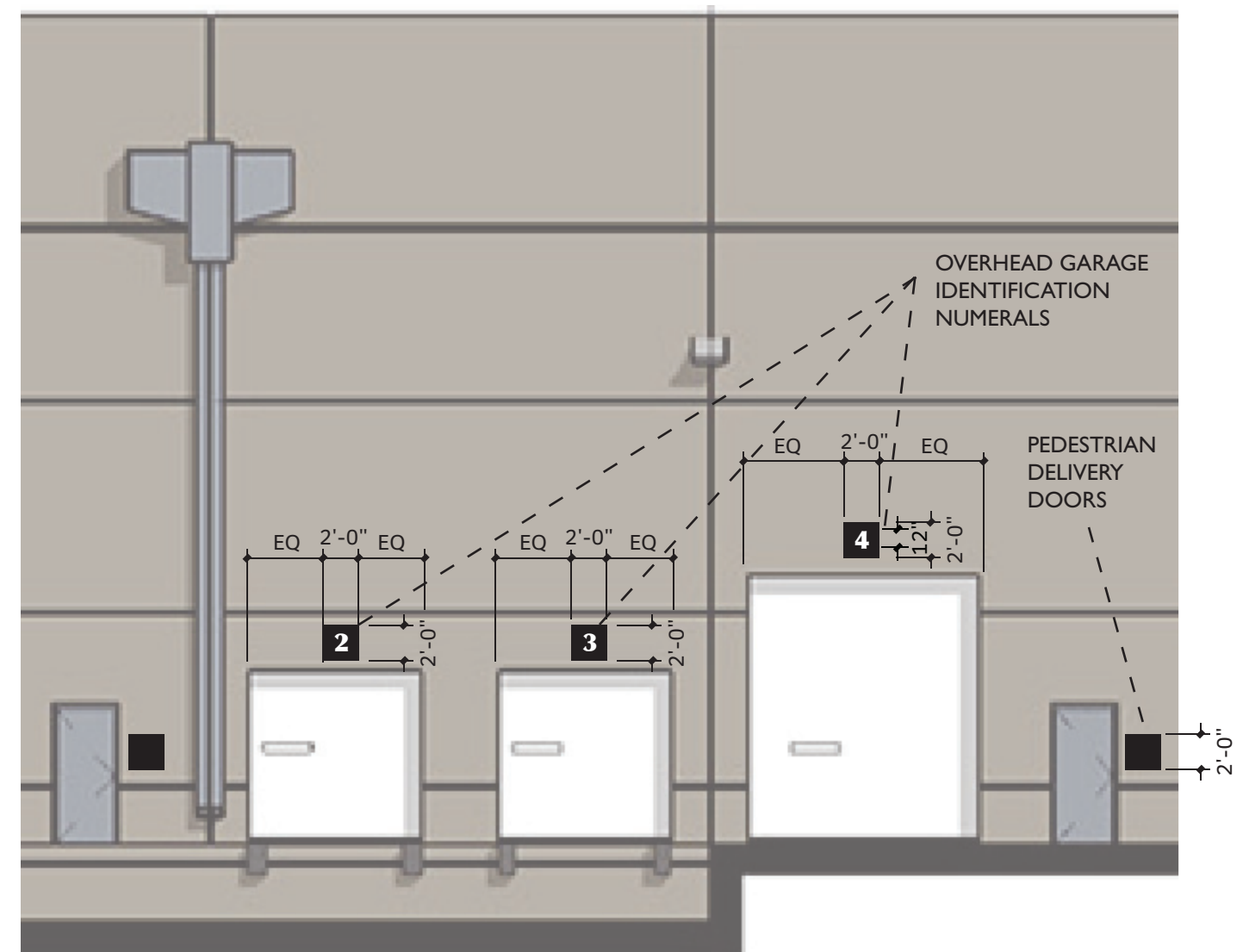
Numerals shall be located centered over the door. An additional sign of the same size, color and finish for tenant identification and information is allowed adjacent to the pedestrian delivery door.

Colors shall be determined by the building architect and submitted as part of their individual signage package. Color of numerals must provide contrast to the background surface for visibility.

Typeface to be consistent throughout **Park Lucero** as Optima Extra Black (overhead) and Optima Bold (pedestrian information)..

1234567890

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Project Graphic Standards

Allowable Signage Types

Buildings shall have individual, dimensional letters and logos fabricated from quality materials and consistent in construction per individual building or within a project's group of buildings.

Individual dimensional letters may include pan channels, reverse pan channels, flat cut out metal or high density Signfoam®, cast acrylics or metal letters. No plastic molded letters will be allowed.

Illumination

Pan and reverse pan channel letters may be halo illuminated with 15 mm, 6500 cool white neon, or LED. Exposed conduits, fasteners, tubing or transformers will not be permitted. All cabinets, inductors, transformers, or other equipment will be concealed in a water tight condition. All electrical components must be U.L. approved and labeled.

Typeface/Logotype

Tenants may use their registered corporate trademark logotype for building mounted signs.

Colors/Finishes

Tenants may use their registered corporate trademark colors and finishes for building mounted signs. However, fluorescent or Day-Glo colors are strictly prohibited.

Returns must be consistent in color with faces. Alternate color options are subject to approval by Landlord and Town of Gilbert.

Typical Individual Letters Construction

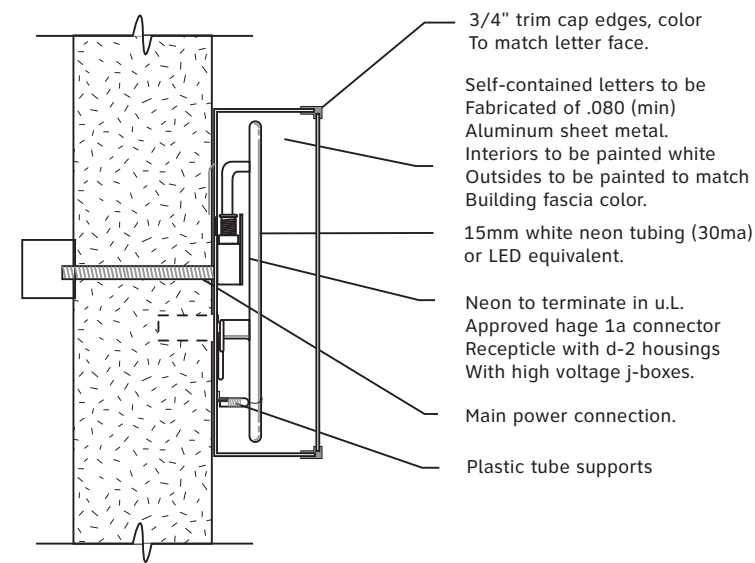
Individual pan-channel or reverse pan-channel letters and logos must be constructed of minimum of .080 aluminum returns and metal retainers. No "Channelume," "Letteredge," or similar material will be allowed.

Reverse pan-channel letter faces must be a minimum of 1/8" thick aluminum. Pan channel letter faces must be a minimum 3/16" Plexiglas®, Lexan or Acrylic - No plastic injection or molded material will be allowed. Retainers for pan channel letters shall either match the returns or face color - glossy brass, gold or silver retainers are strictly prohibited.

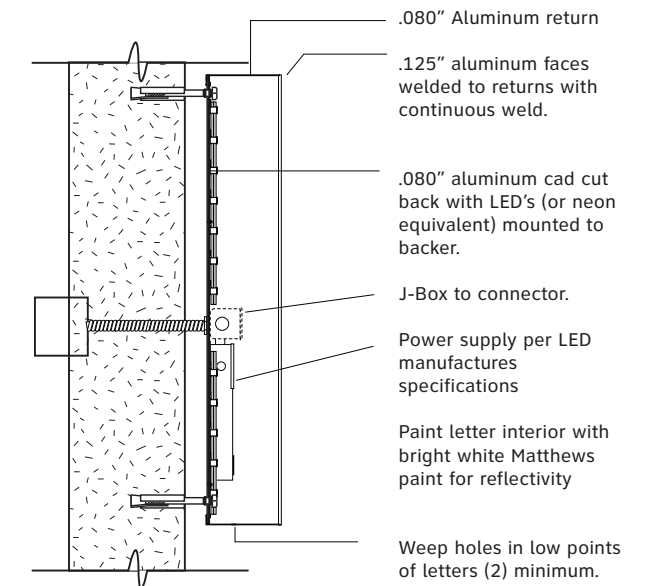
Reverse pan channel letters may be halo illuminated. Pan-Channel letters may be internally illuminated with the company's corporate colors.

Exposed conduits, fasteners, tubing or transformers will not be permitted. All cabinets, inductors, transformers, or other equipment will be concealed in a water tight condition.

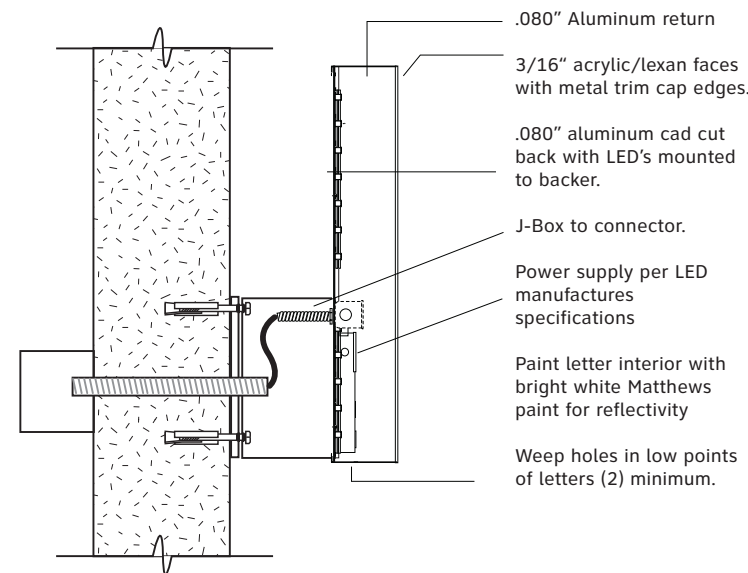
Exposed raceways are discouraged, but may be allowed at the discretion/review of the Landlord/Developer and City. If approved, raceways shall be painted to match background wall color and texture and located along the baseline of the letters.



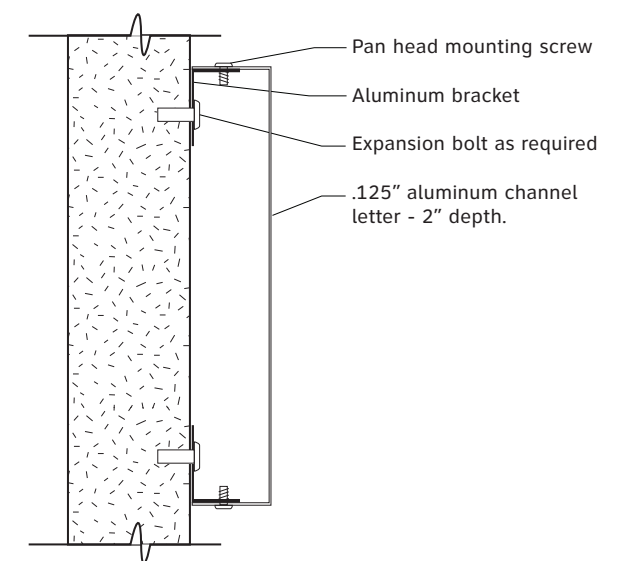
Typical Pan-Channel Detail - Internal Illumination



Typical Reverse Pan-Channel Detail - Halo Illumination



Typical Raceway Mount Detail



Typical Pan-Channel Detail - Non-Illuminated

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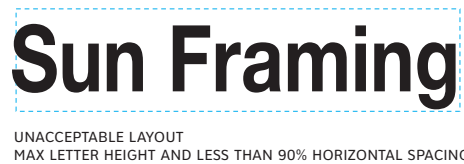
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Project Graphic Standards

Letter Spacing/Kerning

To fit layout standards, lettering and/or logo may not be condensed more than 90% of horizontal letter width of original design.

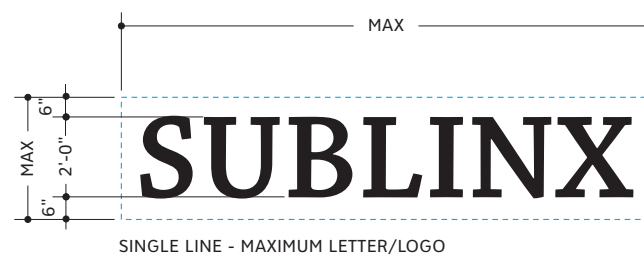
Examples illustrated below show a name that is allowed a maximum letter height of 24" within a designated maximum length. The graphics show what is allowed for fitting the lettering within that space, based on the tenants registered trademark/logo.



Layout/Design Standards

A minimum of one half letter height line spacing will be used between all multiple lines of signage layouts, unless corporate standards (owner's nationally registered trademark) create a unique circumstance.

Occasional ascenders and descenders, or logo details (maximum of 4%) will be allowed to go beyond the sign envelope, but must be counted as square footage and may not be closer than three inches (3") from break or delineation of architecture.



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Window Graphics

No more than 25% of front glass area may have signage/graphics applied to, or within, three (3) feet behind the window area.

Recommended designs should be subtle and sophisticated. White or frosted vinyls are recommended. When color is used, it should be muted and have a transparency of a minimum of 50%.

Window graphics may NOT be:

- prefabricated, "off the shelf" neon elements
- Painted seasonal or thematic in nature
- "Going-out-of-Business" in any medium
- Solid black-out films of any kind or color

Suite Numbers

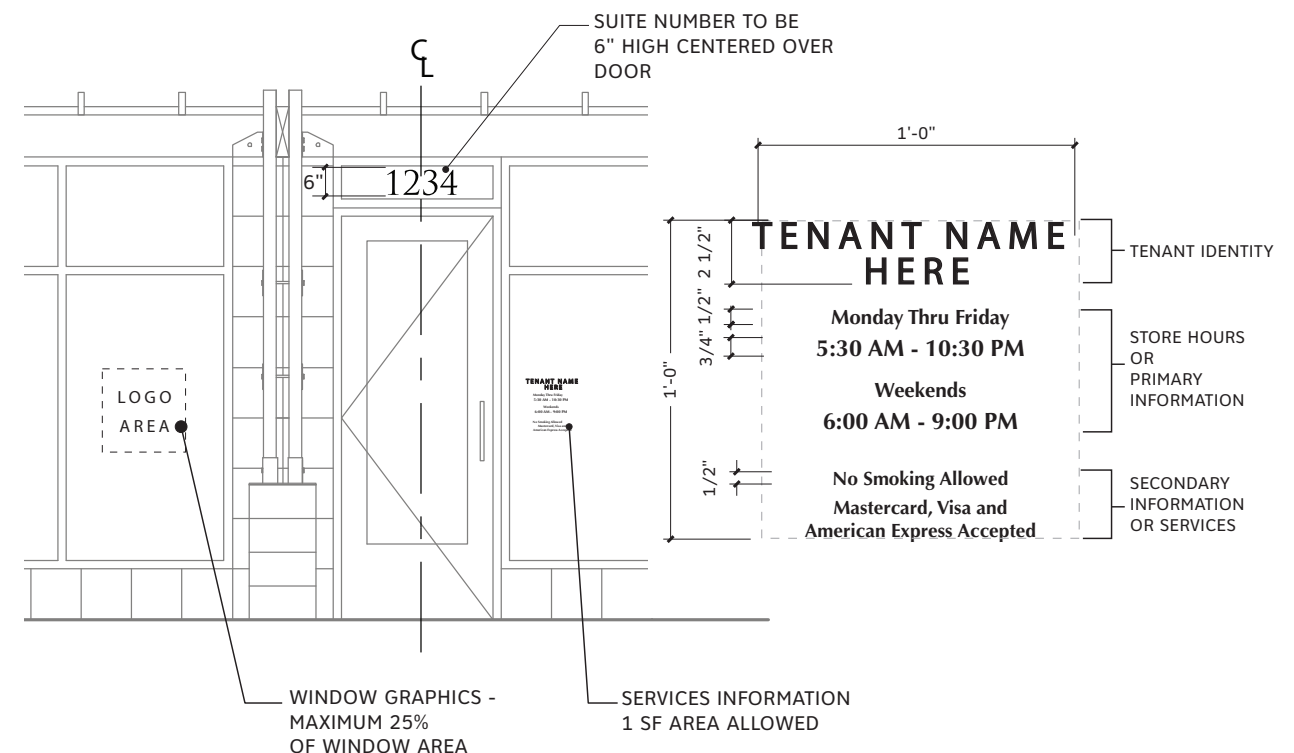
Suite Numbers shall appear directly over each entry and be applied white vinyl on the exterior of the glass. 6" high suite numbers to be displayed in Optima Bold.

Services Information

Services Information may consist of the tenants identification, hours of operation, services provided, payment options, prohibited elements, etc.

Information shall appear adjacent to each entry, to be applied vinyl on the exterior of the glass. Typeface for identity area shall be allowed as the tenant's graphic standards. Information areas shall be Optima Bold, sizes and layout standard as shown below.

All Storefront Graphics (window graphics, suite number and services information signage) layouts shall be approved in writing by the landlord for quality and consistency with the criteria package for Park Lucero.



Example of Window Graphics.

GENERAL REQUIREMENTS AND PROCEDURES

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Trammell Crow Company herein referred to as "Developer, Owner or Landlord", shall administer and interpret the criteria. Before designing signs, all Park Lucero Owner/Occupant/Tenant's (OOT) will receive a copy of these signage standards as well as their specific project guidelines. Sign plans submitted to the Developer/Owner/Landlord for approval must conform to these standards. The Developer/Owner/Landlord will administer and interpret the criteria. All signs must be approved in writing by the Developer/Owner/Landlord prior to permit application to Town of Gilbert.

1 Signage proposal

Each OOT must submit to the Developer/Owner/Landlord three (3) sets of detailed shop drawings showing locations, sizes, design, colors, materials, lettering, graphics, conduits, junction boxes, sleeves, methods of illumination and other mounting apparatus of all proposed wall, window, and rear door signs. This submittal must be made at least fifteen (15) days prior to submitting requests for permits or manufacturing.

2 Sign contractor's responsibilities

Prior to preparation of signage drawings and specifications, the OOT's sign contractor must review all architectural, structural, and electrical documents as they relate to the building wall and/or storefront at the proposed signage location. In addition, the sign contractor should visit the project site to become familiar with as-built conditions and verify all dimensions.

3 Developer/Owner/Landlord review

After review of the signage proposal, the Developer/Owner/Landlord will return one of the three sets of drawings to the OOT, marked either "Approved," "Approved as Noted," or "Revise and Resubmit."

If drawings are marked "Approved," the OOT is allowed to proceed with sign construction and installation in accordance with the drawings.

If drawings are marked "Approved as Noted," the OOT is allowed to proceed with sign construction and installation, provided that any modifications noted are incorporated into the design. An applicant that takes exception to the noted modifications may revise and resubmit, as explained below.

If drawings are marked "Revise and Resubmit," the plans will be returned to the OOT with comments. The drawings should be revised and resubmitted for approval.

4 Openings in building walls

Locations of all openings for conduit and sleeves in building walls must be indicated by the sign contractor on the drawings submitted. The contractor shall install the sign in accordance with the approved drawings.

5 Owner/Occupant/Tenant (OOT) responsibilities for other regulations

The Developer/Owner/Landlord's approval of an OOT's signage plan does not constitute an implication, representation, or certification by the Developer/Owner/Landlord that those plans are in compliance with applicable statutes, codes, ordinances, or other regulations. Compliance with other regulations is the sole responsibility of the OOT for all work performed on the premises by or for the OOT.

All signs at Park Lucero must be compatible with the standards outlined in this Master Sign Program. All temporary and permanent signage shall be permitted through the Town of Gilbert in accordance with existing codes and ordinances and only with Developer/Owner/Landlord's approval.

6 Prohibited signs

- Typical cabinets of Acrylic, Plexiglas®, or plastic-faced panels with surface or second-surface applied or painted graphics, internally backlit in a standard geometric shape.
- No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the buildings visible

from outside the premises, except as specifically approved by the Developer/Owner/Landlord.

- Rude, obscene, offensive, animated, flashing, blinking, rotating, moving, electronic message boards, or audible signs.
- Placards; posters; playbills; postings; paintings; flags; signs in public right-of-way; and fixed balloons are not permitted in any location, whether or not visible from outside the premises.
- Change-panel signs are prohibited.
- "A" frames and portable signs of more than four (4) square feet in area are not permitted. Such signs cannot be placed so as to impede pedestrian and/or vehicular traffic.
- Signs that are installed without written approval from the Developer/Owner/Landlord, or that are inconsistent with approved drawings, may be subject to removal and reinstallation by the Developer/Owner/Landlord at the OOT's expense.
- Painted or hand lettered signs on storefronts.
- Flashing, moving or audible signs.
- Luminous vacuum formed type plastic letters
- Inflatable signs or graphic devices.
- Freestanding attraction boards, posters or other permanent advertising devices.
- Paper, cardboard or Styrofoam signs.
- Signs with exposed neon tubing or raceways.
- Signs with gold or silver plastic trimcaps that contrast with letter returns.

7 Illuminated signs

The Town of Gilbert requires permits for all signs and electrical permits for all signs that are illuminated. It is the OOT's sole responsibility to secure these and any other permits that may be required.

8 Size limitation

Each OOT must limit the area of its sign in accordance with the area allocated for signage. Maximum letter height and length varies according to storefront, but it must not exceed the area allocated for signage.

9 Labels

No labels are permitted on the exposed surface of signs, except those required by local ordinance. Sets of individual letters shall have one label on an end letter only. These are to be installed in an inconspicuous location.

10 Freestanding signs

All freestanding signs must meet applicable setbacks, and their installation must comply with all local building and electrical codes.

11 Upkeep and maintenance

Each OOT is fully responsible for the upkeep and maintenance of its sign(s), including any individual pylon or monument signage, and OOT's are to repair any sign defects within five (5) days of notification. If an OOT does not repair said sign(s), the Developer/Owner/Landlord, at the OOT's sole cost and expense, may repair and/or replace sign(s).

A penalty of 100% of the Developer/Owner/Landlord's cost to repair said signage, in addition to the cost of the repair, may be assessed to the OOT if the Developer is required to provide the necessary maintenance due to the OOT's noncompliance following notification.

12 Illumination timer

Power to illuminate the OOT's sign is to be from OOT's electricity meter, switched through a time clock, set in accordance with schedules determined by the Developer/Owner/Landlord.

13 Sealing of building penetrations

All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight fashion.

14 Damage caused by or during installation

The sign contractor will pay for any damage to a building's fascia, canopy, structure, roof, or flashing caused by sign installation. OOT shall be fully responsible for the operations of OOT's sign contractor and shall indemnify, defend, and hold

Developer/Owner/Landlord harmless for, from, and against damages or liabilities of account thereof.

15 Required insurance for sign contractors

All sign contractors must carry workers' compensation and commercial liability insurance against all damages suffered or done to any and all persons and/or property while engaged in the construction or installation of signs, with a combined single limit in an amount not less than two million and no/100 dollars (\$2,000,000.00) per occurrence. Every sign contractor must hold a current contractor's license in the State of Arizona.

Developer/Owner/Landlord must be named as additionally insured in the workers' compensation and commercial liability insurance.

16 Sign Permits

OOT is responsible for obtaining all necessary sign permits prior to sign installation.

17 Developer/Owner/Landlord's right to modify requirements

The Developer/Owner/Landlord has the right to modify the sign standards and requirements for any OOT.

18 Sign removal

Upon the removal of any sign, all penetrations shall be filled and all finishes and colors shall be repaired to match adjacent surfaces. This shall be the vacating Tenants obligation to provide any such repairs upon removal of any sign.

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