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Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: KEITH NEWMAN, SENIOR PLANNER *KN*
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THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: NOVEMBER 6, 2024

SUBJECT: DR24-79, UP24-44, UP24-45: POPSTROKE

STRATEGIC INITIATIVE: Economic Development

Construct a new indoor miniature golf course within the Gilbert Crossroads Center Development next to Top Golf and Main Event.

REQUEST

DR24-79, POPSTROKE: site plan, landscape, grading and drainage, elevations, floor plans, lighting, and colors and materials on approximately 4.25 acres, generally located south of the southeast corner of Ray Rd. and Santan Village Pkwy., and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay.

UP24-44, POPSTROKE: Request to approve a Conditional Use Permit for approximately 4.25 acres located south of the southeast corner of Ray Rd, and Santan Village Pkwy. to permit a Commercial Amusement Indoor use for an indoor miniature golf facility within the Gilbert Crossroads Center Planned Area Development (PAD). The subject site is zoned Regional Commercial (RC) with a Planned Area Development Overlay.

UP24-45, POPSTROKE: Request to approve a Conditional Use Permit for approximately 4.25 acres located south of the southeast corner of Ray Rd. and Santan Village Pkwy. within the Gilbert Crossroads Center Planned Area Development (PAD), to approve a parking demand study establishing minimum parking standards for an indoor miniature golf facility as a use not listed in the Unified Land Development Code (ULDC) governing the development. The subject site is zoned Regional Commercial (RC) with a Planned Area Development (PAD) Overlay.

RECOMMENDED MOTION

No motion requested, input only

APPLICANT/OWNER

Company: Kimley Horn	Company: Lesueur Investments II LLC.
Name:	Name: Ty Lesueur
Address: 1001 W. Southern Ave. Ste. 131 Mesa, AZ 85210	Address: 3850 E Baseline Rd. Ste 114 Mesa, AZ 85206
Phone: 623-552-3171	Phone: 480-424-3424
Email: HeatherD.Roberts@kimley-horn.com	Email: Ty@lesueurinvestments.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>January 25, 1999</i>	Town Council approved Z98-27 by adopting Ordinance No. 1142, rezoning approximately 523 acres from R-43 (Maricopa County Rural Residential) to PAD (Planned Area Development) with the underlying zoning designation of C-2 (General Commercial).
<i>November 16, 1999</i>	Town Council approved Ordinance No. 1230 by adding 63 acres to the Crossroads Center PAD and rezoning those 63 acres from R-43 (Maricopa County Rural) to C-2 with underlying PAD; adding new conditions; and amending the development plan of Crossroads Center Planned Area Development.
<i>March 3, 2005</i>	Town Council adopted the Land Development Code (LDC) by approving Ordinance No. 1625. With the adoption of the LDC, the site was zoned Regional Commercial (RC) with Planned Area Development (PAD) overlay.

<i>March 9, 2006</i>	Design Review Board approved a master sign program and entry features for Parcels G-1 and G-2 at Santan Village Marketplace (DR05-139).
<i>December 15, 2005</i>	Design Review Board approved the design guidelines for Santan Village Regional Shopping Center (RSC) (DR05-86).
<i>December 15, 2005</i>	Design Review Board approved the Preliminary Design Review (DR05-87) for Phase II of Santan Village RSC.
<i>February 16, 2006</i>	Design Review Board approved the final site plan, landscaping, grading and drainage, building elevations, and lighting for Phase II of the Santan Village RSC (DR05-122).
<i>August 13, 2012</i>	Design Review Board approved DR-5-139-A, The addition of Parcels A, C, D and E, the addition of 2 new signs and minor modifications to 2 signs for Santan Village Master Sign Plan Amendment.
<i>April 14, 2016</i>	Design Review Board approved DR16-11, Main Event.

Overview

Located within Santan Village/Crossroads Planned Area Development (PAD), the proposed project is situated on a 4.25-acre vacant commercial property on the east side of Santan Village Parkway south of Top Golf and west of Main Event. The Santan Freeway is located to the east and the Northside at Santan commercial development, currently under construction, will be located to the south. The proposed development is to construct a 64,306-sf building containing a 36-hole indoor miniature golf facility and a 10,450-sf indoor clubhouse with dining and a full-service bar.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial (RC)	Regional Commercial (RC) PAD	Top Golf
South	Regional Commercial (RC)	Regional Commercial (RC) PAD	Northside at Santan commercial
East	Regional Commercial (RC)	Regional Commercial (RC) PAD	Main Event
West	Residential > 14 - 25 DU/Acre	Multi Family/Medium (MF/M)	Santan Village Pkwy. then Soltra at Santan Village Apartments
Site	Regional Commercial (RC)	Regional Commercial (RC) PAD	Vacant land

Project Data Table:

Site Development Regulations	Required per Crossroads Center PAD Ord. Nos 1142 & 1230	Proposed PopStroke
Maximum Building Height (ft.)/Stories	40' retail and services	23'
Minimum Building Setbacks (ft.)		
Front	20'	48' (Santan Village Pkwy.)
Side (Non-Residential)	0'	12' (North Boundary)
Side (Non-Residential)	0'	286' (South Boundary)
Rear (Non-Residential)	0'	9' (East Boundary)
Separation Between Buildings (ft.)		
Single Story	15'	N/A
Multiple Story	20'	N/A
Minimum Required Perimeter Landscape Area (ft.)		
Front	20'	20' (Santan Village Pkwy.)
Side (Non-Residential)	0'	0' (North Boundary)
Side (Non-Residential)	0'	0' (South Boundary)
Rear (Non-Residential)	0'	0' (West Boundary)
Landscaping (% of net site area)	15%	22%

DISCUSSION

As of the writing of this report, staff has processed two reviews of the project. The applicant has requested to submit construction documents (CD's) at-risk. A submittal of CD's at-risk would be supported only if the applicant is able to address all staff comments and Planning Commission feedback to the satisfaction of review staff.

The 4.25-acre site is part of the larger 85.45-acre Parcel E, as identified in the approved Gilbert Crossroads PAD (Ordinance No. 1142). The property is zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay. The Crossroads PAD includes adoption of the site development standards of the Unified Land Development Code (ULDC). In addition to a Design Review application, staff is also processing two concurrent Conditional Use Permit (CUP) applications. These CUPs seek approval for a Commercial Amusement Indoor facility and a parking demand study to establish minimum parking standards for an indoor miniature golf

facility, a use not listed in the ULDC. Staff notes that this is not a requirement in the LDC in effect today, but was required in the ULDC, which governs this site.

Site Plan

The applicant is proposing the construction of a 64,306-square-foot building that includes a 36-hole indoor miniature golf facility and a 10,450-square-foot indoor clubhouse with dining and a full-service bar, along with associated site improvements on a 4.25-acre vacant property. The site is located south of Top Golf and east of Main Event.

The primary entry to the project faces west, with access from Santan Village Parkway. A secondary access point is provided via an existing private drive aisle to the east, built during the development of Main Event. This drive aisle connects north and south to additional private drives that link to Top Golf to the north and Signature at Santan to the south, ultimately connecting back to Santan Village Parkway. The Santan Freeway (Loop 202) is located to the east of the site.

Parking will include 153 spaces. The applicant is proposing, through a Conditional Use Permit (CUP) and parking demand study, to meet the parking standards for miniature golf facilities. This proposal aligns with the current Land Development Code (LDC), which requires 2 spaces per hole for outdoor miniature golf facilities and 1 space per 150 square feet for indoor entertainment and recreation uses. Based on this, the required parking is 142 spaces. Additionally, four bicycle parking spaces will be available near the building's main entrance.

Site fencing will consist of 3-foot-high parking lot screen walls along the private drive south of the parking lot and along Santan Village Parkway.

Conditional Use Permit #1 (UP24-44)

In determining what the use of the proposed development is per the Unified Land Development Code and the Gilbert Crossroads Center PAD and whether or not it is a permitted use on the subject stie it was determined that the indoor miniature golf use would be classified as a Commercial Amusement Indoor use which requires the approval of a Conditional Use Permit and approval which requires a review and final approval by the Planning Commission. Staff is supportive of the proposed use as it complies with all other zoning regulation as required per said PAD.

Conditional Use Permit #2 (UP24-45)

Initial research on the parking requirements for the Gilbert Crossroads Center PAD determined that 5 spaces per 1,000 square feet are required for the site, classified as "Commercial Amusement Indoor." The PAD requires 1 space per 200 square feet

(5 per 1,000), resulting in a need for 314 spaces for the 64,306-square-foot building, which exceeds the site's capacity.

The ULDC's "Commercial Amusement Indoor" definition doesn't mention miniature golf, while the "Commercial Amusement Outdoor" does. Since indoor miniature golf isn't listed, staff determined that Section 4.3.3 of the ULDC allows parking to be set through a parking demand study. Section 4.33 also requires a Conditional Use Permit (CUP) for unlisted uses, allowing for a customized parking standard based on similar facilities.

However, the applicant's proposal complies with today's Land Development Code (LDC), which requires 1 space per 150 square feet of indoor entertainment/recreation space and 2 spaces per miniature golf hole. This matches the current LDC standard and aligns with the applicant's proposed parking demand.

In conclusion, while the current LDC standard meets the applicant's needs, the ULDC still requires Planning Commission approval of a parking demand study. Town staff supports this approach.

Landscaping

The landscape plan proposes 22% landscape coverage and a varied plant palette of drought tolerant trees and shrubs. The types of trees include Red Push Pistache, Evergreen Elm, Heritage Live Oak, Desert Museum Palo Verde, Mexican Bird of Paradise in tree form and Date Palms. Some of the shrub and access plant types include Desert Sage, Pink Oleanders, Giant Yucca, Red Fairy Duster, Red Yucca, Toothless Desert Spoon, Valentine Bush, Blue Bells, Yellow Bells, Katie Ruellia and New Gold and Purple Lantana.

All landscape materials will be evenly distributed around the foundation of the building, within the parking areas, and in the landscape setbacks along Santan Village Pkwy.

Grading and Drainage

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division. On-site retention will be provided in underground and above-ground retention basins within the landscape areas along property boundaries and the parking lot.

Elevations/Floor Plan / Colors and Materials

The proposed building will be 23' tall and includes exterior materials that complement surrounding development consisting of light tan EIFS, aluminum composite metal with a vintage wood appearance, fiber cement paneling and a

light tan stone veneer. The roof will mainly be flat including parapet walls at the top of the building rooflines. The proposed color palette consists of earth tone colors with two shades of tan for the main body materials, blue and white for the cement accent paneling and black for all metal canopies, coping and black for all decorative metal wall elements.

Lighting

Wall mounted light fixtures are attached to all sides of the proposed building. 24' tall freestanding light poles are proposed on the site throughout the majority of the parking lot to ensure sufficient site lighting and security.

Signs

Two center identification monument sign locations are shown on the site plan at each entrance and will be constructed by the site developer. All wall signage on the building will require the review and approval of a sign permit prior to installation.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require public notice as specified under Land Development Code (LDC) Section 6.2.6.

REQUESTED INPUT

1. Cd's at-risk submittal

Respectfully submitted,



Keith Newman,
Senior Planner

Attachments and Enclosures:

- 1) Aerial Map
- 2) Applicant's Narrative
- 3) Site Plan
- 4) Landscape Plan (2 pages)
- 5) Grading, Drainage & Utility Plans Plan (4 pages)
- 6) Building Elevations (2 pages)
- 7) Floor Plan (2 pages)
- 8) Lighting Plan (3 pages)
- 9) Colors and Materials

DR24-79 PopStroke
Attachment 1: Aerial Map



SanTan Village Parcel E – Popstroke Entertainment Venue

SanTan Village is an existing regional shopping center located in the heart of Gilbert, Arizona between Ray Road on the north Pecos Road on the south, AZ Loop 202 on the east and both sides of San Tan Village Parkway on the west.

This submittal consists of plans for new entertainment and restaurant venue within the Topgolf and Main Event entertainment area. Popstroke will complement the entertainment district within SanTan Village and will also enhance the existing retail, hospitality, and restaurants adjacent to the proposed use.

The entertainment venue will be developed along the San Tan Village Parkway frontage west of Main Event. The new building will utilize existing driveways out to San Tan Village Parkway. This project will require minimal offsite improvements to SanTan Village Parkway.

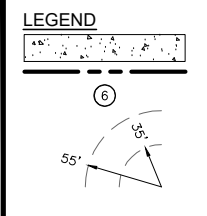
The improvement plans submitted with this application are specific to Popstroke and will complement the strong project character that exists within SanTan Village. The plans are in compliance with the Crossroads PAD development guidelines for the center as set forth by the master developer.

Should you have any questions, please don't hesitate to contact Ty LeSueur with SanTan Development Group, Inc. We look forward to our continued relationship with the Town of Gilbert and continued growth and development at SanTan Village.

Kind Regards,

A handwritten signature in black ink, appearing to read 'Ty LeSueur', is written over a solid black rectangular redaction box.

Ty LeSueur



SITE INFORMATION

ADDRESS: SEC E RAY RD AND S SAN TAN VILLAGE PKWY

EXISTING ZONING: RC
ADJACENT ZONING: RC

PROPOSED LOT AREA: 4.25± AC NET
4.25± AC GROSS

TOTAL GOLF HOLES: 36
BUILDING AREA: 10,450 SF
ENCLOSED GOLF COURSE AREA: 53,856 SF
TOTAL FOOTPRINT AREA: 64,306 SF
LOT COVERAGE PERCENTAGE: 64,306 SF/185,130 SF = 34.7%

LANDSCAPE AREA: 39,398 SF
LANDSCAPE PERCENTAGE: 39,398 SF/185,130 SF = 21.3%

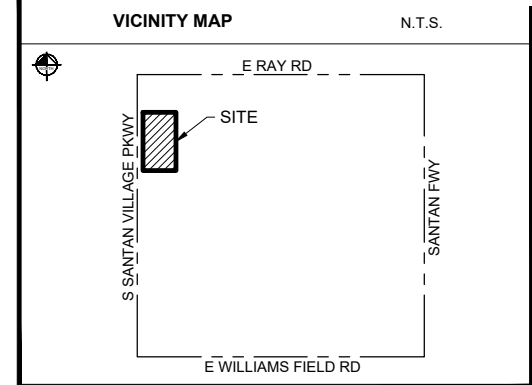
PARKING DATA

PARKING SUMMARY - POPSTROKE
PROPOSED PER CUP PARKING RATIO:

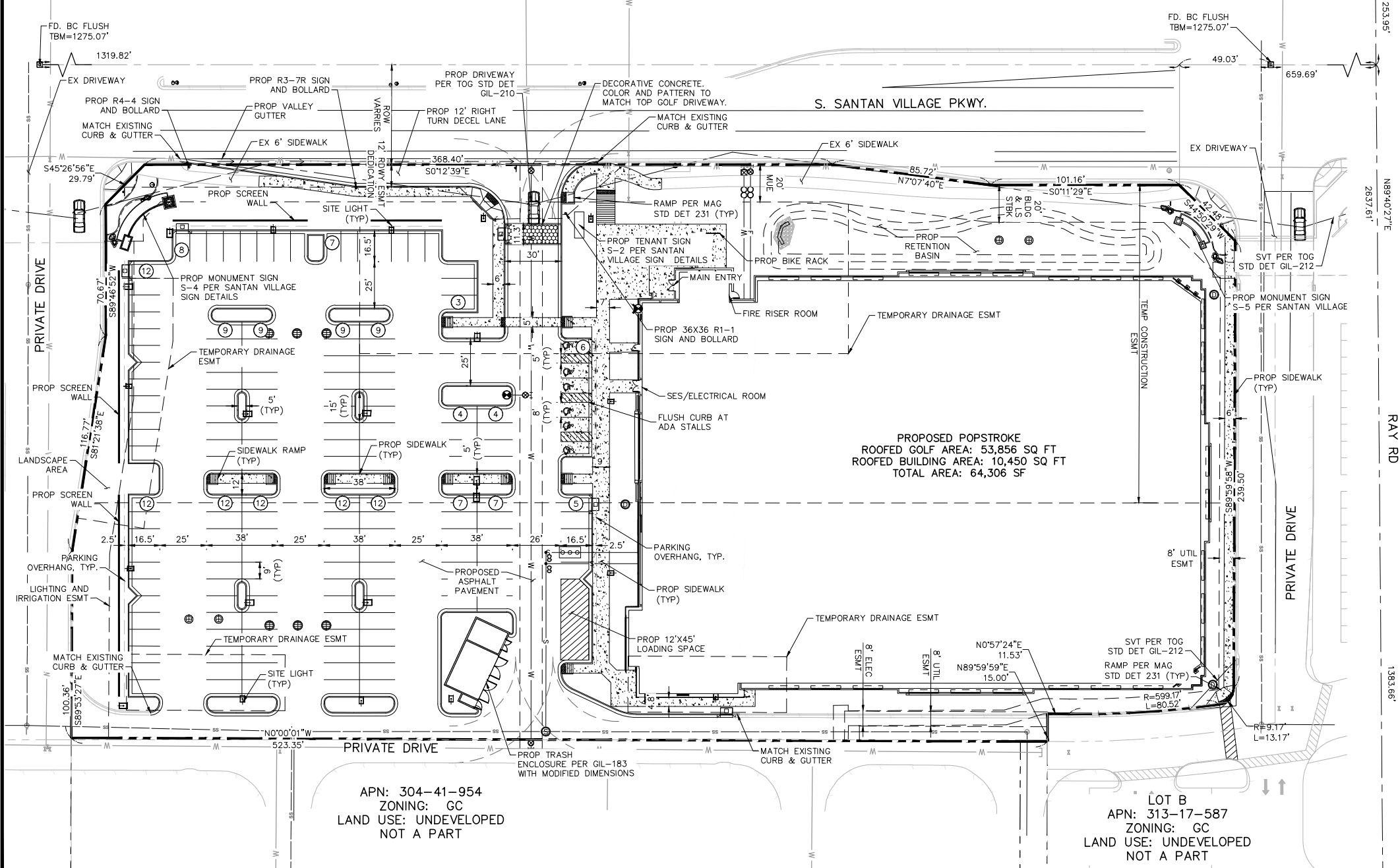
1/150 SF BLDG + 2 PER GOLF HOLE
10,450/150 + 2*36 = 142 REQUIRED

STANDARD:	REQUIRED	PROVIDED
ACCESSIBLE PER ADA:	138	153
TOTAL PARKING:	4	6
	142	159

BICYCLE PARKING: 4 4



6/28/2024 Site Plan Submittal



TOWN OF GILBERT STANDARD FIRE DEPARTMENT NOTES

- CONSTRUCTION WITHIN THE TOWN OF GILBERT SHALL COMPLY WITH THE 2012 INTERNATIONAL FIRE CODE (IFC) AS AMENDED AND ADOPTED BY FIRE CODE SUB-SECTIONS 10-37-1, 10-37-2, AND 2012 FIRE CODE INTERPRETATIONS & REGULATIONS
- THE APPLICANT IS RESPONSIBLE TO IDENTIFY AND COORDINATE DEFERRED SUBMITTALS.
- PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, AUTOMATIC FIRE EXTINGUISHING SYSTEMS, AND STANDPIPES SHALL BE SUBMITTED TO THE PERMITTING & PLAN REVIEW DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- A KNOX BOX IS REQUIRED AT EVERY FIRE SPRINKLER RISER ROOM. WHEN RAPID ACCESS WOULD BE COMPROMISED BY LONG TRAVEL DISTANCES, KNOX BOXES SHALL BE REQUIRED AT OTHER LOCATIONS AT THE DISCRETION OF THE FIRE OFFICIAL. REFER TO 2012 FIRE CODE INTERPRETATIONS & REGULATIONS 12-506.1 KEY BOXES.

TOWN OF GILBERT SITE PLAN NOTES:

- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6" SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;
 - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
 - ROUTED UNDERGROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH THE PRIMARY BUILDING COLOR.
 - CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE. BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDING AND NATURALLY CONTOURED, NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY.
- THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

POPSTROKE
EAT. PUTT. DRINK.

Professional Engineer Seal
47693
HEATHER
ROBERTS

Horizontal Scale: 1"=30'
Vertical Scale: N/A

Kimley-Horn
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Mesa, Arizona 85210 (480) 207-2666

POPSTROKE
SEC OF RAY RD AND SANTAN VILLAGE PKWY

Design Project No:
291381000

Drawing Title:
SITE PLAN

SP.dwg

Drawing No.:

SP



K:\AV\Chil\PopStroke_Gilbert\CAD\Drawings\SP.dwg Sep 09, 2024 Sam.Roy
XREFS: A15 A16 A17 A18 A19 A20 A21 A22 A23 A24 A25 A26 A27 A28 A29 A30 A31 A32 A33 A34 A35 A36 A37 A38 A39 A40 A41 A42 A43 A44 A45 A46 A47 A48 A49 A50 A51 A52 A53 A54 A55 A56 A57 A58 A59 A60 A61 A62 A63 A64 A65 A66 A67 A68 A69 A70 A71 A72 A73 A74 A75 A76 A77 A78 A79 A80 A81 A82 A83 A84 A85 A86 A87 A88 A89 A90 A91 A92 A93 A94 A95 A96 A97 A98 A99 A100
DATE PLOTTED: 9/10/24 10:51:36 AM
PLOTTER: HP DesignJet T730 ePlot Driver
SCALE: 1/8"=1'-0" (AS SHOWN)
SHEET: 01 OF 01
SHEET TITLE: SITE PLAN
PROJECT: DR24-79 POPSTROKE ATTACHMENT 3: SITE PLAN
DRAWING NO.: 291381000
DESIGNED BY: SAM ROY
CHECKED BY: JESSICA ROY
DATE: 9/9/24

EXISTING LANDSCAPE & IRRIGATION NOTES

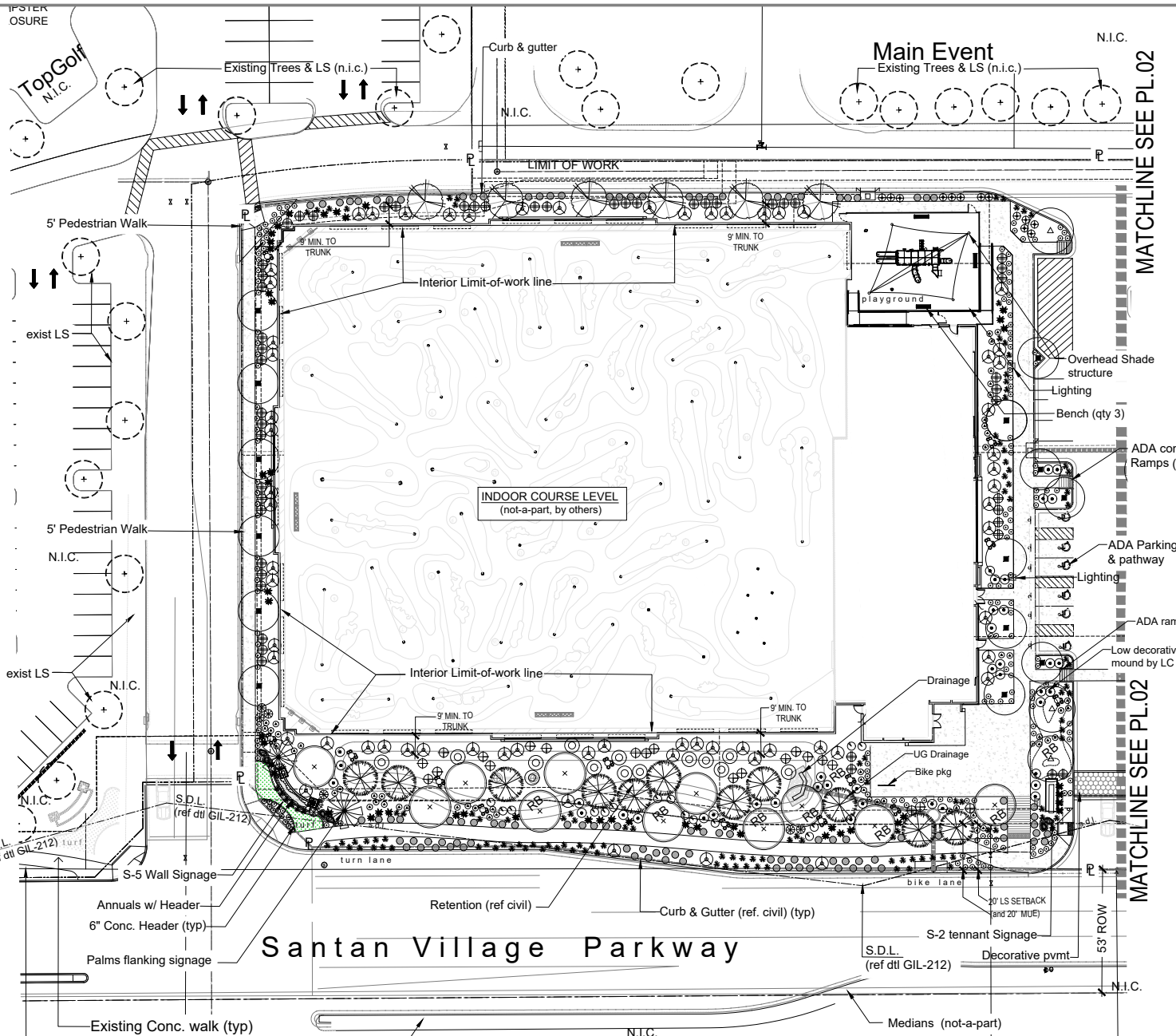
1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.
2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any tree that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, and equal tree size. At no additional cost to owner. Cacti that die shall be replaced with like type, height and size. All shrubs and groundcover shall be replaced with 5 gallon plants.
3. Landscape areas disturbed by new construction shall be repaired new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.
4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to; hand watering, temporary above ground irrigation, existing system, etc.
5. The existing irrigation system shall be protected, maintained and repaired during all phases of construction. The existing system is tied in adjacent properties. All equipment such as mainline, wires, lateral heads and etc. shall be repaired and replaced to maintain continuous and replaced to maintain continuous water.
6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100% coverage.
7. All existing trees to remain, shall be selectively pruned per Landscape ArchS direction.
8. All existing shrubs within the sight distance lines and sight visibility triangles shall be selectively pruned to a maximum height of 30".
9. All trees shall be lifted to clear height of 7'.
10. Landscape contractor and general contractor are responsible for locating all existing irrigation sleeves prior to setting any pavers and/or concrete.
11. Landscape contractor shall bore under existing sidewalk rather than saw cut to place new sleeves.

TOWN OF GILBERT NOTES:

1. A Town of Gilbert permit is required for the installation of any landscape or irrigation system. A CD with PDF format "AS-BUILTS" of the landscape and irrigation plans is also required.
2. Before the Town of Gilbert will accept an installed backflow device for approval, the following must be accomplished: The device must be tested by a State Certified Backflow Tester and the test results forwarded to the town of Gilbert Backflow Specialist. The Town will provide a current list of Certified testers from which to select. Testers fees will be at the expense of the installer.
3. Design of any walls, entry monument signage or ramadas that may be presented herein have been reviewed as conceptual only and will require a separate review and permit from the Building Department. In no case shall the dedicated walls, entry monument signage or ramadas be considered final. Approval by the Planning Department is required prior to the issuance of a Building Permit for said walls, entry monuments and ramadas.
4. No plant material shall come within 3 feet of fire hydrants or any Fire Department equipment.
5. No planting or objects within the Town of Gilbert sight visibility triangles shall exceed 2 feet. Trees shall have a 7 feet minimum clear canopy.
6. All trees, shrubs and groundcover shall meet or exceed Arizona Nursery Association (ANA) specifications.
7. Construction may begin after all permits have been obtained.
8. No plant material shall be placed 3' from any fire hydrant, or fire dept. connection (fdc) maintain a minimum vertical clearance of 15' where trees overhang the curb line.

GENERAL LANDSCAPE NOTES:

1. TREE CALIPERS FOR STANDARD (SINGLE) TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST FOUR (4) TO SIX (6) INCHES ABOVE THE SOIL LINE, FOR TREES WITH FOUR (4) INCH CALIPER AND LESS; AND SIX (6) TO TWELVE (12) INCHES FOR TREES GREATER THAN FOUR (4) INCH CALIPER. TREE CALIPER FOR MULTI-TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST SIX (6) INCHES ABOVE ORIGIN POINT OF THE SECOND LARGEST TRUNK OR SIX (6) INCHES ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL. CALIPER OF MULTIPLE TRUNK TREES SHALL BE DETERMINED BY TAKING THE AVERAGE CALIPER OF ITS TWO (2) LARGEST TRUNKS.
2. TREE CALIPER AND HEIGHT SHALL GOVERN OVER ANY OTHER PLANTING SIZE INFORMATION PROVIDED ON THE DRAWINGS. TREES SPECIFIED BY CONTAINER SIZES ONLY SHALL NOT BE ACCEPTED.
3. THE PROPERTY OWNER AND/OR LESSEE SHALL BE RESPONSIBLE TO INSTALL/MAINTAIN ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY. ALL LANDSCAPING SHALL BE MAINTAINED AS APPROVED ON THE THE LANDSCAPE MAINTENANCE SCHEDULE (SEE ATTACHED).
4. A THREE (3) FOOT CLEAR SPACE IS REQUIRED AROUND ALL FIRE SUPPRESSION EQUIPMENT. NO PLANTS MAY BE INSTALLED THAT WILL ENCR OACH UPON THIS CLEAR SPACE WHEN MATURE.
5. PLANTINGS WITHIN ANY SITE VISIBILITY EASEMENT SHALL BE MAINTAINED SO THAT NO LIMBS HANG LOWER THAN TEN (10) FEET AND SHRUBS OR OTHER PLANTS PLANTED WITHIN ANY SIGHT VISIBILITY EASEMENT SHALL BE NO TALLER THAN THREE (3) FEET AT FULL GROWTH.
6. THE CITY APPROVES THESE PLANS FOR CONCEPT ONLY AND ACCEPTS NO LIABILITY FOR ERRORS OR OMISSIONS.



LANDSCAPE LEGEND

ALL TREES MUST MEET OR EXCEED ANA SPECIFICATIONS

TREES	SIZE	QTY
Ulmus parvifolia Evergreen Elm	24" box	23
Quercus virginiana Heritage Live Oak	36" box	16
Cercidium x 'Desert Museum Palo Verde' Desert Museum Palo Verde Indicates Root Barrier (typ)	24" box u.o.n. high-break Multi	21
Pistacia chinensis "Red Push" Red Push Pistache	24" box standard	6
Caesalpinia mexicana Mexican Bird of Paradise (Tree form)	36" box Matching, Multi	17
Phoenix dactylifera Date Palm (matching)	20" t.f. Straight, diamond cut	4
Existing Tree to remain and be protected	(called out, Refer to plans, field verify)	

SHRUBS	SIZE	QTY
Nerium oleander "Petite Pink" Petite Pink Oleander	5 gallon	81
Caesalpinia Mexicana (Shrub form) Mexican Bird of Paradise	5 gallon	98
Leucophyllum frutescens "compacta" Compact Desert Sage	5 gallon	31
Hesperaloe funifera Giant Yucca	5 gallon	70
Calliandra x "Sierra Star" Sierra Star Red Fairy Duster	5 gallon	53
Hesperaloe parviflora "Perpa" Brakelights® Red Yucca	3 gallon	182
Dasyliion quadrangulum Toothless Desert Spoon	5 gallon	27
Pyracantha Graberi Pyracantha Grabers Firethorn (espallie)	15 gallon	4
Opuntia sp. Kelly's Choice Kelly's var. Purple Prickly Pear	4 pad min	13
Eremophila sp. "Valentine" Valentine Bush	5 gallon	15
Eremophila hygrophana Blue Bells	5 gallon	65
Tecoma stans Yellow Bells	5 gallon	12

GROUND COVER	SIZE	QTY
Eremophila glabra 'Mingenew Gold' Outback Sunrise Emu	1 gallon	26
Lantana montevidensis New Gold & Purple Trailing Lantana 50/50 Mix	1 gallon	151
Ruellia brittoniana 'katie' Purple 'Little Katie' Ruellia	1 gallon	259
Acacia Redolens 'Desert Carpet' Desert Carpet Acacia	1 gallon	14
Annuals	4" pot 8" o.c.	63 SQ. FT.
Artificial Turf (manuf. & spec t.b.d. by owner)		451 SQ. FT.

INERT MATERIAL	SIZE
Decomposed Granite - 1/2" screened - 2" min thickness Table Mesa Brown in all landscape areas.	
4" x 6" Concrete Header at all turf and annual locations Surface Select Granite Boulders 3'x3'x3' minimum size (boulders to be minimum 1 ton in weight) bury a minimum of 1/3	

PROJECT TEAM

Owner	Architect	Landscape Architect
Popstroke 451 SW Federal Hwy Stuart, Florida 34994 Contact: Peter Balmes Ph: (630) 532-3400 Ty@esueurinvestments.com	Aria Group 830 North Blvd Oak Park II 60301 Contact: Ilias Saoukbaev, AIA Ph: (773) 230-0574 isaoukbaev@ariainc.com	Laskin & Associates, Inc 5013 E. Washington St., Ste 110 Phoenix, Arizona 85034 Contact: Hans Stoll, RLA Ph: (602) 840-7771 hans@laskindesign.com

LANDSCAPE DATA -

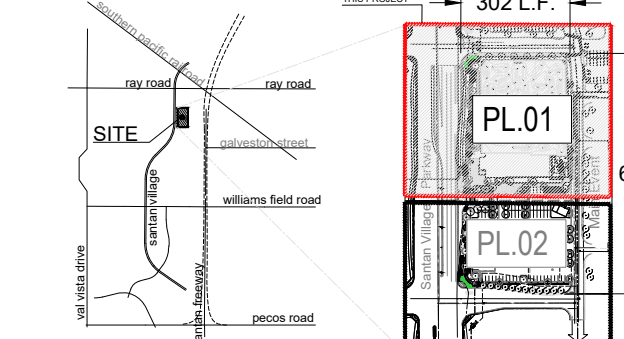
<input type="checkbox"/> Proposed NET Lot Area	182,516 s.f.
Acreage:	4.19 Acres
Gross Building Area:	28,720 s.f. Bldg = 1.54 Acres
Lot coverage Percentage	14%
Total on-site Parking	165 spots (includes ADA x 6)
Playground area:	2,391 s.f.
<input type="checkbox"/> Landscape Area:	39,398 s.f. = .91 Acres (includes existing LS @ South drive: 1,786 s.f. & Playground)
Landscape as % of site:	22%
<input type="checkbox"/> ON-SITE Landscape Area:	13,588 s.f.
<input type="checkbox"/> OFF-SITE Landscape Area:	35,862 s.f.
On-site Landscapable Area:	39,398 s.f.

Landscape setback / frontage Tree Calcs -

<input type="checkbox"/> FRONTAGE, PL.01 -- 1 tree per 20 L.F. of Street Frontage: 349 l.f. @ North SVP = 18 Req'd SHRUBS / GC / ACCENTS @ 5 PER TREE = 90 REQUIRED, 110 PROVIDED (PL.01)	<input checked="" type="checkbox"/> 18 Provided
<input type="checkbox"/> FRONTAGE, PL.02 -- 1 tree per 20 L.F. of Street Frontage: 212 l.f. @ South SVP = 11 Req'd SHRUBS / GC / ACCENTS @ 5 PER TREE = 55 REQUIRED, 60 PROVIDED (PL.02)	<input checked="" type="checkbox"/> 11 Provided
Percentage of street theme trees along s.v.p. now = 100% compliant	
Parking Lot Tree Calcs -	
<input type="checkbox"/> PARKING LOT TREE REQUIREMENTS: TWO (2) TREES @ 24" BOX MIN / SEVEN (7) STALLS 159 SPOTS + 7 = 22 X 2 TREES = 44 REQUIRED,	
TOTAL PARKING LOT SHADE TREES = 35 PROVIDED	

GENERAL BLDG FOUNDATION & IRRIGATION NOTE:

POSITIVE DRAINAGE NEEDS TO BE MAINTAINED FROM THE BUILDINGS EXTERIOR WALLS FOR A MINIMUM OF 9'. NO IRRIGATED LANDSCAPE MATERIALS WITHIN THE FIRST 3' NEXT TO THE BUILDING FOUNDATION. WITHIN 3'-5' OF THE BUILDING FOUNDATION ONLY LANDSCAPE MATERIALS THAT CAN BE IRRIGATED WITH A 1 GPH EMITTER ARE ALLOWED. ANY LANDSCAPE MATERIALS REQUIRING AN EMITTER GREATER THAN 1GPH, INCLUDING TURF SHALL BE A MINIMUM OF 5' FROM THE OUTSIDE FACE OF THE BUILDING FOUNDATION. ALL IRRIGATION LINES, OTHER THAN THOSE SUPPLYING INDIVIDUAL EMITTERS SHALL NOT BE PLACED WITHIN 5' OF THE BUILDING FOUNDATION.

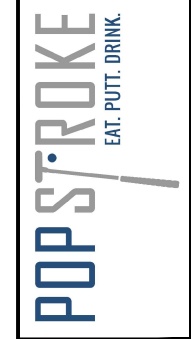


TREE NOTE:

Trees to meet or exceed ANA specifications. During bid it shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for error in plant quantities. If plant counts occur on plant legend, it is for the convenience of the contractor only. Verify plant counts with plan. in case of discrepancy, plan shall govern.

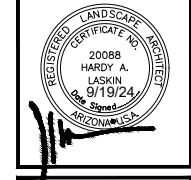


S.E.C. RAY ROAD AND
LOOP 202 FREEWAY
GILBERT, AZ 85295



FIELD VERIFICATION
Contractor shall verify all ligand dimensions and conditions at the job site and notify Aria Group Architects, Inc. of any dimensional errors, omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.
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No	Date	REVISIONS
	9.9.24	TOG SUBMITTAL



Job No.	Drawn by HCS
Scale	Date 09.9.24
Sheet No.	PL.01

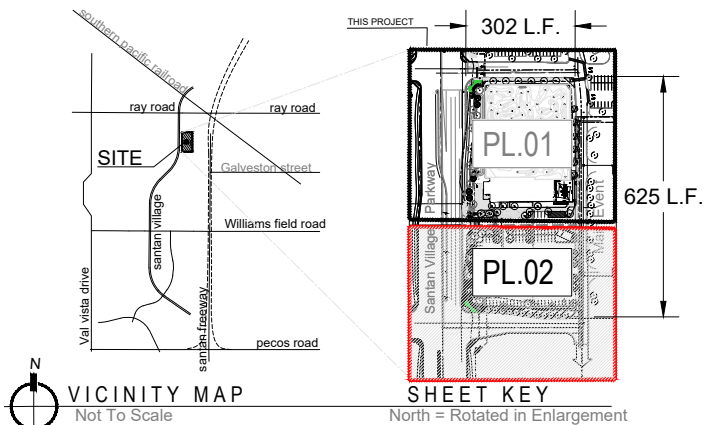
LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
5013 E. WASHINGTON ST.
Suite 110
Phoenix, Arizona 85034
p (602) 840-7771
www.laskindesign.com
Call 811 or click Arizona11.com

TOWN OF GILBERT NOTES:

1. A Town of Gilbert permit is required for the installation of any landscape or irrigation system. A CD with PDF format "AS-BUILTS" of the landscape and irrigation plans is also required.
2. Before the Town of Gilbert will accept an installed backflow device for approval, the following must be accomplished: The device must be tested by a State Certified Backflow Tester and the test results forwarded to the town of Gilbert Backflow Specialist. The Town will provide a current list of Certified testers from which to select. Testers fees will be at the expense of the installer.
3. Design of any walls, entry monument signage or ramadas that may be presented herein have been reviewed as conceptual only and will require a separate review and permit from the Building Department. In no case shall the dedicated walls, entry monument signage or ramadas be considered final. Approval by the Planning Department is required prior to the issuance of a Building Permit for said walls, entry monuments and ramadas.
4. No plant material shall come within 3 feet of fire hydrants or any Fire Department equipment.
5. No planting or objects within the Town of Gilbert sight visibility triangles shall exceed 2 feet. Trees shall have a 7 feet minimum clear canopy.
6. All trees, shrubs and groundcover shall meet or exceed Arizona Nursery Association (ANA) specifications.
7. Construction may begin after all permits have been obtained.
8. no plant material shall be placed 3' from any fire hydrant. or fire dept. connection (fdc) maintain a minimum vertical clearance of 15' where trees overhang the curb line.

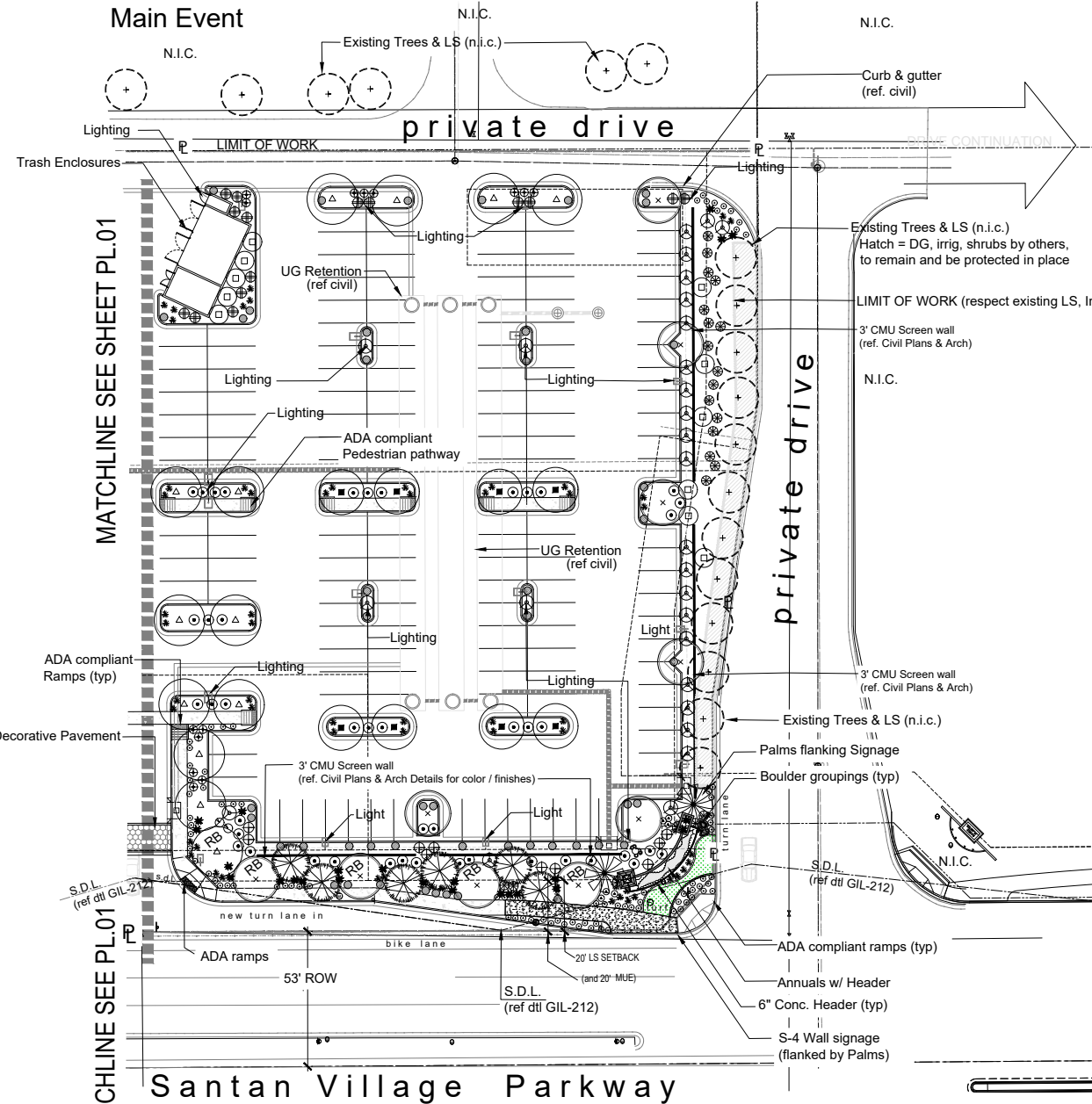
BID & CONSTRUCTION NOTES:

1. All trees must meet or exceed the caliper, width and height at time of planting regardless of box size listed.
2. All trees to be tagged and approved at the nursery by the Landscape Architect a minimum of (6) months prior to planting.
3. Any trees may be rejected based on aesthetic quality and appearance.
4. Contractor to provide sample photos, specifications, quantities and location of trees to landscape architect a minimum of (1) one week prior to nursery visit for selection and review.
5. Landscape contractor to provide any deposit or retainers needed by nursery to retain trees for a period of (3) three months or more.



PRELIMINARY LANDSCAPE NOTES

1. The entire site will be maintained in accordance with Town of Gilbert Standards.
2. 60% of all trees will be 24" Box or larger.
3. An automatic irrigation system will be installed guaranteeing 100% coverage to all landscape areas.
4. 1/2" screened Table Mesa Brown 2" min thickness (submit sample to Landscape Architect for approval). Place in all non-river rock and non-lawn landscape areas.
5. All earthwork will be done so that all water drains away from sidewalks, structures and will not impede natural drainage easements.
6. Structures and landscaping within a triangle measured back 10' from property line and 20' along property line on each side of the driveway entrance will be maintained at a maximum height of 3'.
7. Granite Rip Rap 3" to 6" (Table Mesa Brown). Place at all curb cuts and down spouts to prevent erosion. (see Civil for quantities and location.)
8. All final landscape plans to meet Town of Gilbert min standards for qty and type.
9. Place arbor guards on all trees placed in turf areas.
10. Screen transformers and utility risers with landscape material.



Landscape Frontage tree calcs (continued from Previous PL.01)

FRONTAGE, PL.02 -- 1 tree per 20 L.F. of Street Frontage: 212 L.F. @ South SVP = 11 Req'd	11 Provided
FRONTAGE, PL.01 -- 1 tree per 20 L.F. of Street Frontage: 349 L.F. @ North SVP = 18 Req'd	18 Provided



GENERAL BLDG FOUNDATION & IRRIGATION NOTE:

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LANDSCAPE LEGEND

ALL TREES MUST MEET OR EXCEED CURRENT ANA SPECIFICATIONS		
TREES	SIZE	QTY
Ulmus parvifolia Evergreen Elm	24" box	23
Quercus virginiana Heritage Live Oak	36" box	16
Cercidium x 'Desert Museum Palo Verde' Desert Museum Palo Verde Indicates Root Barrier (typ)	24" box u.o.n. high-break Multi	21
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Existing Tree to remain and be protected	(called out, Refer to plans, field verify)	

SHRUBS		
	SIZE	QTY
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Annuals	4" pot 8" o.c.	63 SQ. FT.
Artificial Turf (manuf. & spec t.b.d. by owner)		451 SQ. FT.

INERT MATERIAL	
	SIZE
Decomposed Granite - 1/2" screened - 2" min thickness	Table Mesa Brown in all landscape areas.
4" x 6" Concrete Header at all turf and annual locations	Surface Select Granite Boulders 3'x3'x3' minimum size (boulders to be minimum 1 ton in weight) bury a minimum of 1/3

TREE NOTE:

Trees to meet or exceed ANA specifications. During bid it shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for error in plant quantities. If plant counts occur on plant legend, it is for the convenience of the contractor only. Verify plant counts with plan, in case of discrepancy, plan shall govern.

MAINTENANCE NOTE:

All landscape areas and materials shall be maintained in a healthy, neat, clean, and weed-free condition, this shall be the responsibility of the property owner. Construction and installation shall be in accordance with these plans and any deviations will require re-approval. Landscape installations shall be approved by the town of Gilbert inspection services before a certificate of occupancy can be issued.

**S.E.C. RAY ROAD AND
LOOP 202 FREEWAY
GILBERT, AZ 85295**

POPSTROKE
EAT. PUTT. DRINK.

FIELD VERIFICATION
Contractor shall verify all liged dimensions and conditions at the job site and notify Aria Group Architects, Inc. of any dimensional errors, omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

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No	Date	TOG SUBMITTAL	Remarks
	9.9.24		



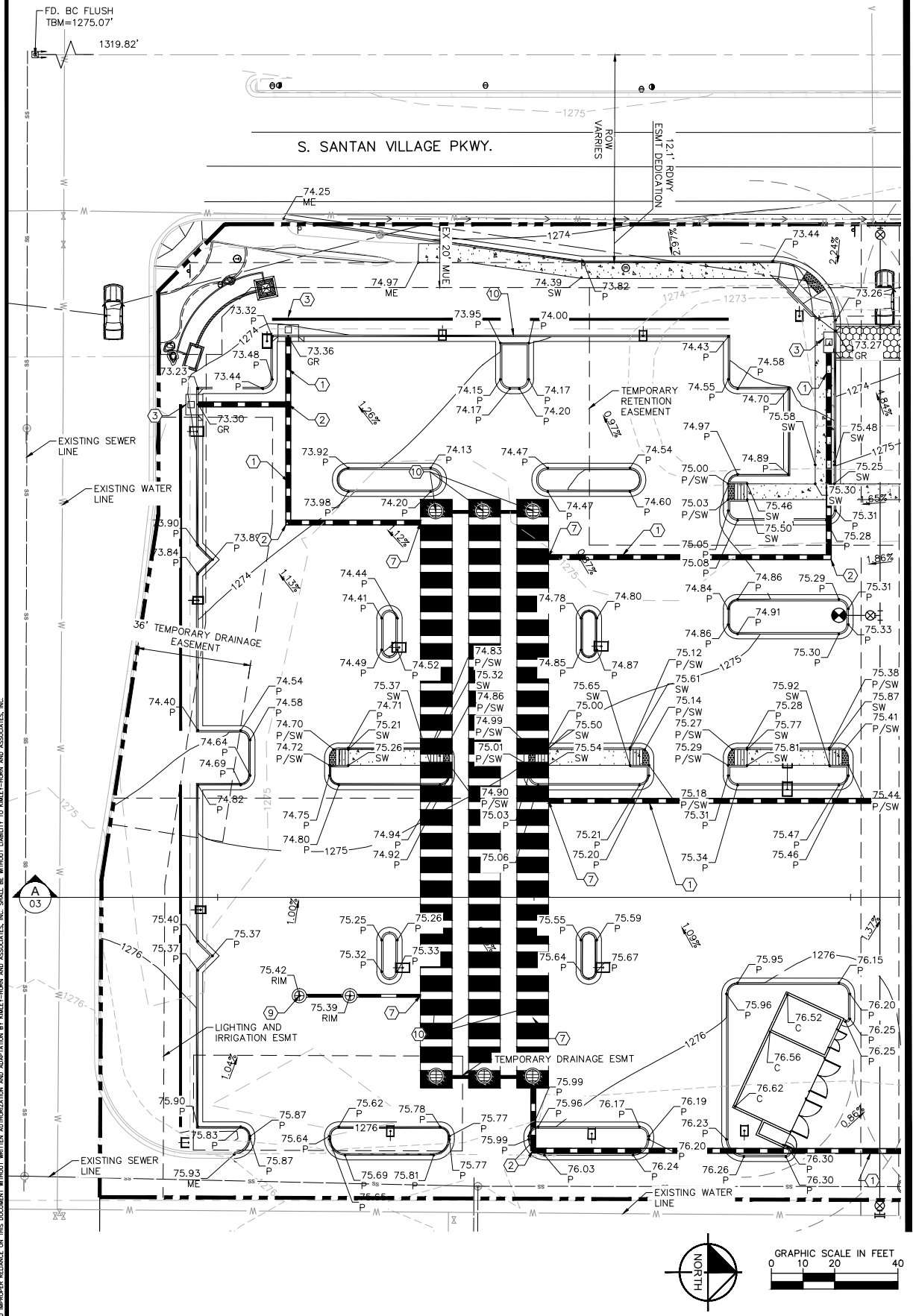
Drawing Title
Preliminary Landscape Plan

Job No.	Drawn by HCS
Scale 20 scale	Date 09.9.24

Sheet No.
PL.02

LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
5013 E. WASHINGTON ST.
SUITE 110
PHOENIX, ARIZONA 85034
P (602) 840-7771
www.laskindesign.com

Contact Arizona B11 at least two full working days before any high irrigation.



LEGEND

- PROPERTY LINE
- RIGHT OF WAY LINE
- STREET CENTERLINE
- EASEMENT LINE
- EXISTING SANITARY SEWER MAIN
- EXISTING PUBLIC WATER MAIN
- PROPOSED WATER MAIN
- PROPOSED SEWER MAIN
- LIMITS OF DISTURBANCE
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- HIGH POINT
- PROPOSED CONTOUR
- EXISTING CONTOURS
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED PAVEMENT SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM DRAIN MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED CATCH BASIN
- SINGLE-CHAMBER DRYWELL
- MATCH EXISTING ELEVATION
- GUTTER/GRATE ELEVATION
- FINISH GRADE ELEVATION
- PAVEMENT ELEVATION
- TOP OF CURB ELEVATION
- SIDEWALK ELEVATION
- PROPOSED RETENTION ACCESS RISER

GRADING AND DRAINAGE NOTES:

- ① HDPE STORM DRAIN PIPE.
- ② HDPE STORM DRAIN BEND/TEE.
- ③ CATCH BASIN PER MAG STD DET 531.
- ④ RIP-RAP SPILLWAY
- ⑤ PROPOSED SAWCUT LINE, 2' MIN
- ⑥ 10' DIAMETER CMP RETENTION TANKS, LENGTH PER PLAN.
- ⑦ STORM DRAIN CONNECTION TO UNDERGROUND RETENTION TANK.
- ⑧ RETENTION TANK ACCESS RISER.
- ⑨ DUAL-CHAMBER DRYWELL.
- ⑩ CURB OPENING PER DETAIL ON SHEET GD-01
- ⑪ 5' DIAMETER STORM DRAIN MANHOLE.
- ⑫ HEADWALL PER MAG 501.

FLOOD ZONE

THE PARCEL LIES IN FLOOD ZONE "X", 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE AS SHOWN ON FIRM PANEL 04018C2753M WITH AN EFFECTIVE DATE OF NOVEMBER 4, 2015.

BASIS OF BEARING

THE BASIS OF BEARING FOR THIS SURVEY IS THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA. SAID LINE BEARS N89°40'27"E.

BENCHMARK

THE CONTROLLING BENCHMARK FOR THIS SURVEY IS A BRASS CAP IN HAND HOLE AT THE INTERSECTION OF RAY ROAD AND SANTAN VILLAGE PARKWAY, HAVING AN NAVD88 ELEVATION OF 1274.36'.

DRAINAGE STATEMENT:

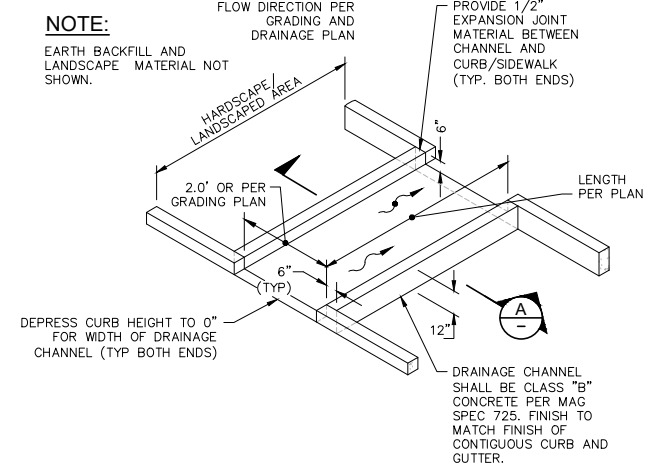
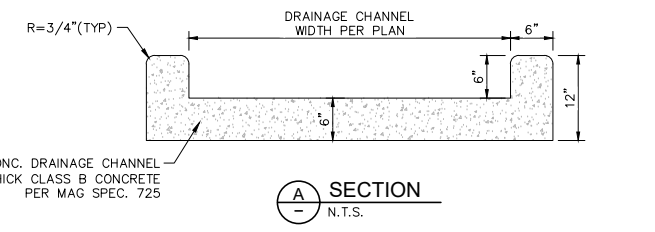
THE PROPOSED DEVELOPMENT WILL RETAIN ALL ON-SITE AND ADJACENT HALF-STREET FLOWS GENERATED FROM THE 50-YEAR 24-HOUR STORM IN SURFACE AND UNDERGROUND RETENTION BASINS PER TOWN OF GILBERT PUBLIC WORKS AND ENGINEERING STANDARDS. THE EASTERN PORTION OF SANTAN VILLAGE PKWY HALF-STREET WILL BE RETAINED IN A SURFACE BASIN, MEETING THE STANDARDS STATED ABOVE.

NOTES

- 1. ADD 0.5' TO PAVEMENT (P) ELEVATIONS FOR TOP OF CURB ELEVATIONS FOR VERTICAL CURBS.
- 2. ALL SPOT ELEVATIONS ARE FINISHED GRADE PAVEMENT (P), GUTTER/GRATE (G), TOP OF CURB (TC), FINISHED GRADE (FG), OR SIDEWALK (SW) ELEVATIONS UNLESS OTHERWISE NOTED.
- 3. CONTRACTOR SHALL USE SPOT ELEVATIONS, PROPOSED CONTOURS, AND SLOPES TO ESTABLISH GRADES.
- 4. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
- 5. REFER TO LANDSCAPE PLANS FOR SLOPE TREATMENT.
- 6. ALL FILL SLOPES SHALL BE COMPACTED TO 95% RELATIVE DENSITY.
- 7. SEE UTILITY PLANS FOR CROSSING ELEVATIONS.
- 8. REFER TO SITE PLAN FOR BOUNDARY CONTROL.

SITE DATA

ADDRESS: 304-41-955
EXISTING ZONING: RC
PROPOSED ZONING: RC
ADJACENT ZONING: RC
PROPOSED LOT AREA: 4.25± AC NET
4.25± AC GROSS



CONCRETE DRAINAGE CHANNEL DETAIL N.T.S.

RETENTION CALCULATIONS

Basin	Land Use	Runoff Coefficient	Drainage Area (ft ²)	Required Volume (ft ³)	Provided Volume (ft ³)	Surplus (ft ³)
UG-1	Building	0.95	67387	16325		
	Pavement	0.90	76574	17574		
	Landscape	0.70	54406	9712		
			198,368	43,610		215

Basin	Land Use	Runoff Coefficient	Drainage Area (ft ²)	Required Volume (ft ³)	Provided Volume (ft ³)	Surplus (ft ³)
A	Building	0.95	0	0		
	Pavement	0.90	29055	6668		
	Landscape	0.70	16379	2924		
			45,433	9,592		208

Underground Retention Summary

Retention Basin	Required Volume	Diameter	Required Length	Provided Length	Provided Storage
	cf	ft	lf	lf CMP	cf
UG1	43,610	10	556	558	43,825

Drywell Summary

Retention Basin	Volume	Allowed per TOG	Drywells Required	Drywells Provided	Drain Time
	cf	cf	ea	ea	hr
A	9,797	43,560	0.22	1.00	9
UG1	43,610	43,560	1.00	1.00	36

Submittal

POPSTROKE
EAT. PUTT. DRINK.

Professional Engineer
Certificate No. 47693
HEATHER ROBERTS

Horizontal Scale: 1"=30'
Vertical Scale: N/A

Kimley-Horn
©2024 Kimley-Horn and Associates, Inc.
1001 West Southern Avenue, Suite 1311
Mesa, Arizona 85210 (480) 267-2666

POPSTROKE

SEC OF RAY RD AND SANTAN VILLAGE PKWY

Design Project No.:
Drawing Title:
GRADING AND DRAINAGE
GD.dwg
Drawing No.:
GD01
01 OF 03 SHEETS

Contact Arizona 811 at least two full working days before you begin excavation
ARIZONA 811
Call 811 or click Arizona811.com

K:\A_V\Civil\PopStroke_Gilbert\CAD\GD.dwg Sep 09, 2024 Sam.Roy
XREFS: X:\S\XIB\XIB.dwg X\F...
THIS DOCUMENT IS UNCONTROLLED. FOR THE LATEST REVISIONS AND DISCREPANCIES, REFER TO THE PROJECT WEBSITE AT WWW.POPSTROKE.COM OR CONTACT THE DESIGNER AT (480) 267-2666.

LEGEND	
	PROPERTY LINE
	RIGHT OF WAY LINE
	STREET CENTERLINE
	EASEMENT LINE
	EXISTING SANITARY SEWER MAIN
	EXISTING PUBLIC WATER MAIN
	PROPOSED WATER MAIN
	PROPOSED SEWER MAIN
	LIMITS OF DISTURBANCE
	PROPOSED STORM DRAIN
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	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED CATCH BASIN
	SINGLE-CHAMBER DRYWELL
	MATCH EXISTING ELEVATION GUTTER/GRADE ELEVATION
	FINISH GRADE ELEVATION
	TOP OF CURB ELEVATION
	SIDEWALK ELEVATION
	PROPOSED RETENTION ACCESS RISER

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- ③ CATCH BASIN PER MAG STD DET 531.
- ④ RIP-RAP SPILLWAY
- ⑤ PROPOSED SAWCUT LINE, 2' MIN LENGTH PER PLAN.
- ⑥ 10' DIAMETER CMP RETENTION TANKS, LENGTH PER PLAN.
- ⑦ STORM DRAIN CONNECTION TO UNDERGROUND RETENTION TANK.
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DRAINAGE STATEMENT:

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SITE DATA

ADDRESS: 304-41-955
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 PROPOSED ZONING: RC
 ADJACENT ZONING: RC
 PROPOSED LOT AREA: 4.25± AC NET
 4.25± AC GROSS

NOTES

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3. CONTRACTOR SHALL USE SPOT ELEVATIONS, PROPOSED CONTOURS, AND SLOPES TO ESTABLISH GRADES.
4. SIDEWALK GROSS SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
5. REFER TO LANDSCAPE PLANS FOR SLOPE TREATMENT.
6. ALL FILL SLOPES SHALL BE COMPACTED TO 95% RELATIVE DENSITY.
7. SEE UTILITY PLANS FOR CROSSING ELEVATIONS.
8. REFER TO SITE PLAN FOR BOUNDARY CONTROL.

POPSTROKE
 EAT. PUTT. DRINK.



Horizontal Scale: 1"=30'
 Vertical Scale: N/A

Kimley-Horn
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 Mesa, Arizona 85210 (480) 267-2666

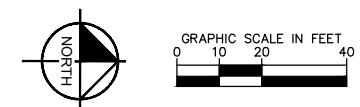
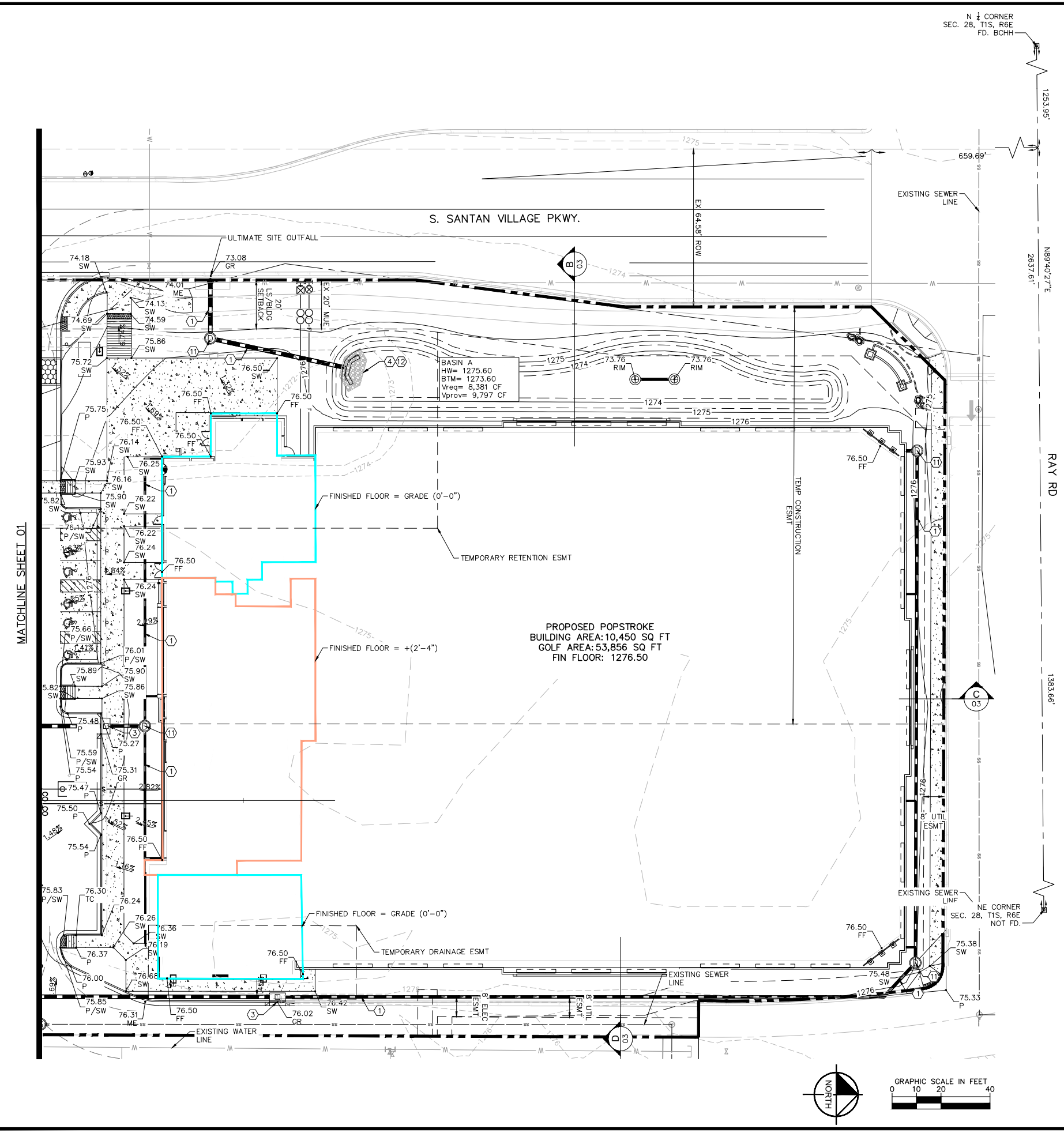
POPSTROKE
 SEC OF RAY RD AND SANTAN VILLAGE PKWY

Design Project No.: 291381000

Drawing Title: GRADING AND DRAINAGE
 GD.dwg

Drawing No.: **GD02**

02 OF 02 SHEETS



K:\AVI_Civil\PopStroke_Gilbert\CADD\GD.dwg Sep 09, 2024 Sam.Roy
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Horizontal Scale: 1"=30'
 Vertical Scale: N/A

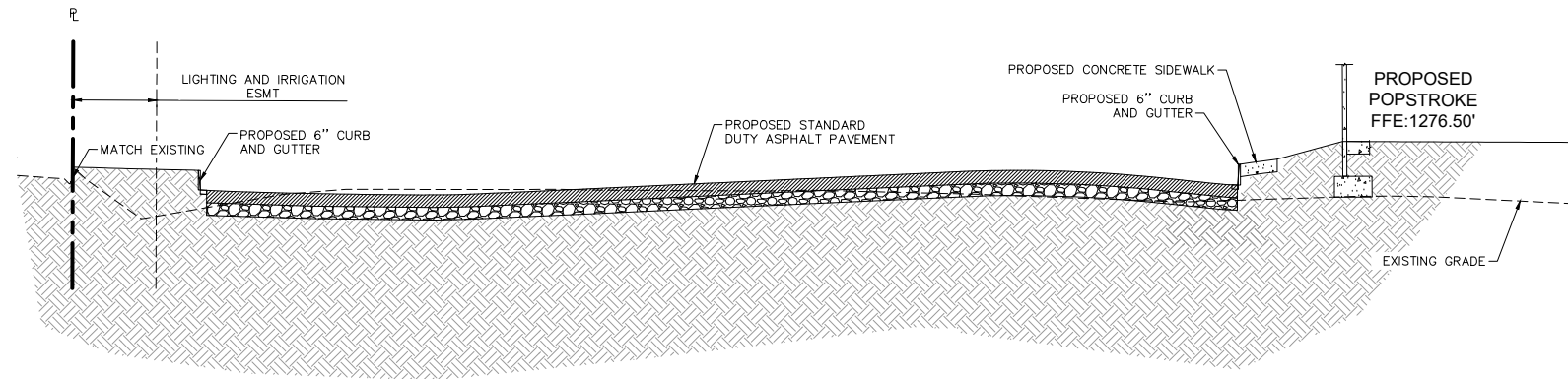
Kimley-Horn
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POPSTROKE
 SEC OF RAY RD AND SANTAN VILLAGE PKWY

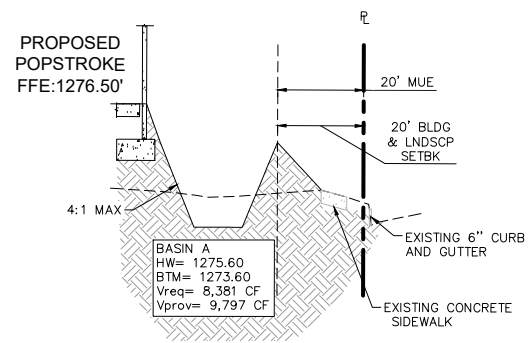
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Drawing Title:
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 GD.dwg

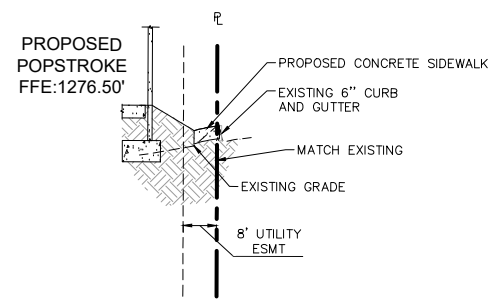
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XS



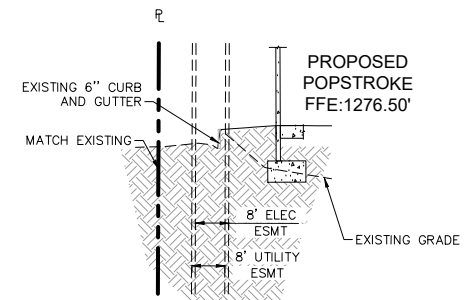
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SECTION B N.T.S.



SECTION C N.T.S.

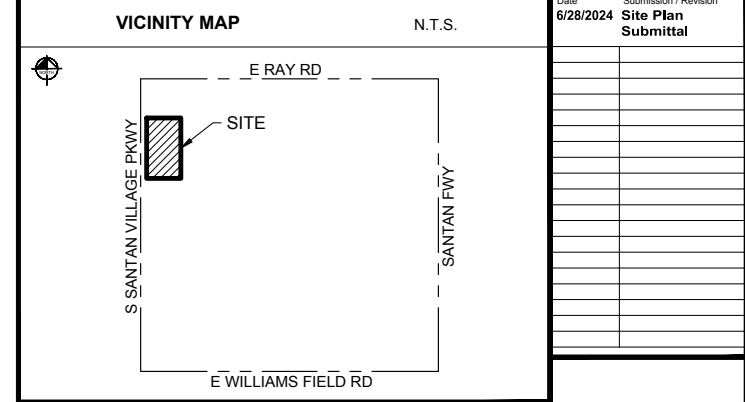
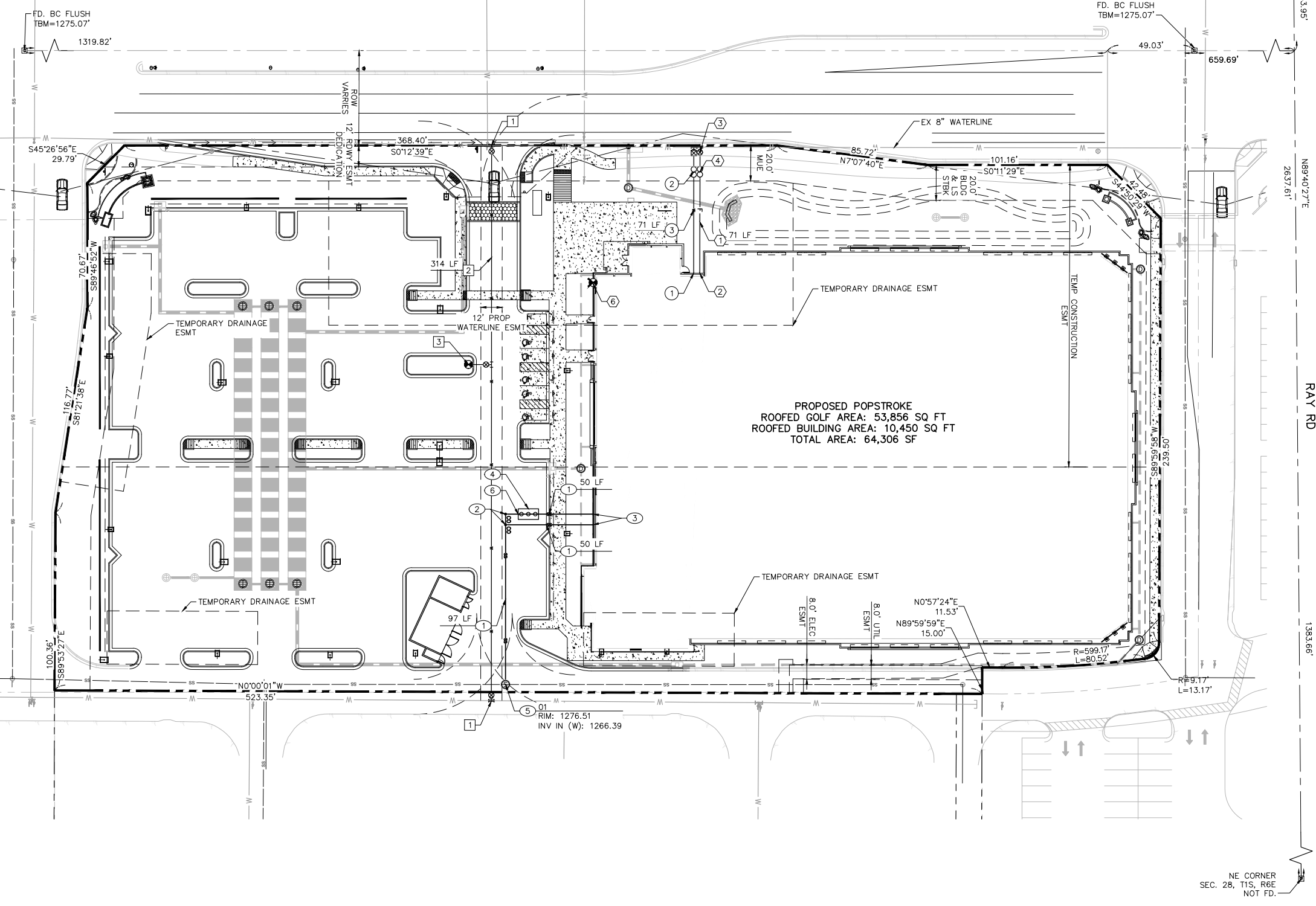


SECTION D N.T.S.

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LEGEND	
---	PROPERTY LINE
---	RIGHT OF WAY LINE
---	EASEMENT LINE
---	LIMITS OF CONSTRUCTION
S	EXISTING SANITARY SEWER MAIN
W	EXISTING PUBLIC WATER MAIN
W	PROPOSED WATER MAIN
S	PROPOSED SEWER SEWER MAIN
T	PROPOSED TELEPHONE LINE
E	PROPOSED POWER LINE
G	PROPOSED GAS LINE
---	COM
---	PROPOSED COMMUNICATIONS LINE
---	PROPOSED STORM DRAIN
---	PROPOSED CATCH BASIN
o	PROPOSED SANITARY SEWER CLEANOUT
o	PROPOSED SANITARY SEWER MANHOLE
o	PROPOSED FIRE HYDRANT
⊗	PROPOSED GATE VALVE
⊕	PROPOSED RETENTION ACCESS RISER
⊕	PROPOSED STORM DRAIN MANHOLE
⊕	PROPOSED DRYWELL
⊕	PROPOSED SITE LIGHTING



SANITARY SEWER NOTES

- ① 6" SDR 35 PVC PRIVATE SEWER PIPE, LENGTH PER PLAN. MIN 1.04% SLOPE. BEDDING AND BACKFILL PER TOG STD DET GIL-401.
- ② PRIVATE SEWER CLEANOUT PER MAG STD DET 441, INVERT PER PLAN.
- ③ CONNECT TO BUILDING SEWER AT TWO WAY CLEANOUT. REF MEP PLANS FOR CONTINUATION.
- ④ GREASE TRAP. REFER TO MEP PLANS FOR DESIGN AND CONTINUATION.
- ⑤ SANITARY SEWER MANHOLE AND FRAME PER MAG STD DET 420-1 AND 423-1. INVERT PER PLAN. LID TO READ "SANITARY SEWER".
- ⑥ CONNECT TO GREASE INTERCEPTOR. REF MEP PLANS FOR CONTINUATION.

DOMESTIC WATER NOTES

- ① 2.5" DOMESTIC WATER ENTRY INTO BUILDING, REF MEP PLANS FOR CONTINUATION. WATER METER PER TOG STD DET GIL-340-1. METER TO BE INSTALLED BY TOWN PERSONNEL.
- ② 2.5" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY PER TOG STD DET GIL-350. PER EPA-SWDA SECTION 1417(d), AMENDED 1-4-2014. ALL DOMESTIC USE BRASS PLUMBING FIXTURES, NOT LIMITED TO BACKFLOW PREVENTION ASSEMBLIES, SHALL CONTAIN NO GREATER THAN <0.25% TOTAL LEAD CONTENT.
- ③ 2.5" PVC DOMESTIC WATER LINE WITH BEDDING PER TOG STD DET GIL-302, LENGTH PER PLAN.

PRIVATE FIRELINE NOTES

- ① 8" PVC C-900 CLASS 235 BUILDING FIRELINE WITH BEDDING PER TOG STD DET GIL-302, LENGTH PER PLAN.
- ② CONNECT TO BUILDING FIRELINE CONNECTION, REF MEP PLANS FOR CONTINUATION.
- ③ 8" WATER MAIN GATE VALVE PER MAG STD DET 391-1 TYPE 'C'.
- ④ 8" REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY PER TOG STD DET GIL-351. PER EPA-SWDA SECTION 1417(d), AMENDED 1-4-2014. ALL DOMESTIC USE BRASS PLUMBING FIXTURES, NOT LIMITED TO BACKFLOW PREVENTION ASSEMBLIES, SHALL CONTAIN NO GREATER THAN <0.25% TOTAL LEAD CONTENT.
- ⑥ PROPOSED BUILDING MOUNTED FDC.

PUBLIC WATER MAIN NOTES

- ① 8"x8" TAPPING SLEEVE AND VALVE.
- ② 8" PVC C-900 CLASS 235 WATER MAIN, LENGTH PER PLAN, MINIMUM 3' COVER. BEDDING AND BACKFILL TOG STD DET GIL-302.
- ③ FIRE HYDRANT ASSEMBLY PER TOG STD DET GIL-320-1 AND GIL-320-2 AND FIRE HYDRANT MARKER PER TOG STD DET GIL-325.

Date:	6/28/2024
Submission / Revision:	Site Plan
	Submittal

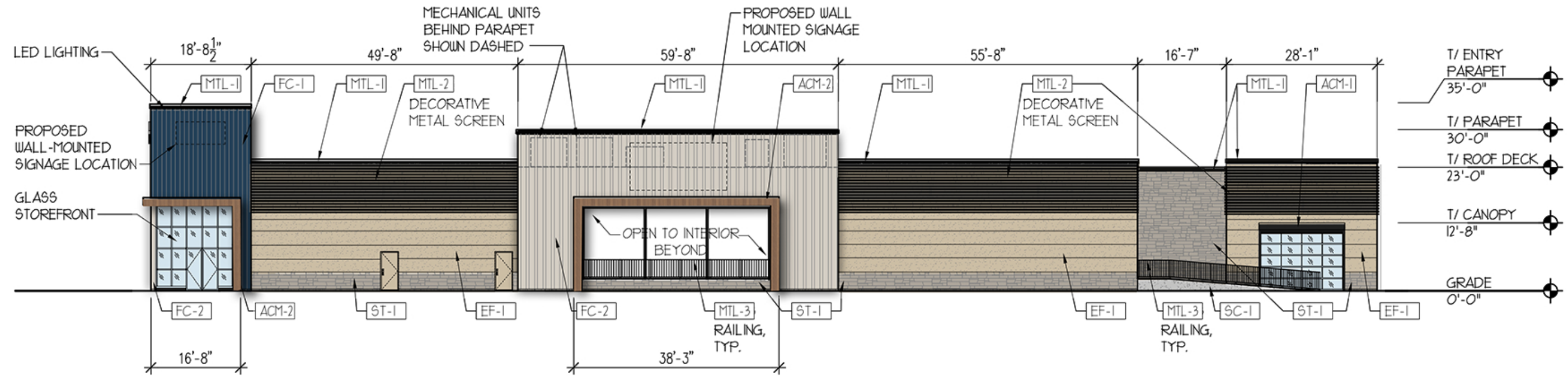
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POPSTROKE
 SEC OF RAY RD AND SANTAN VILLAGE PKWY

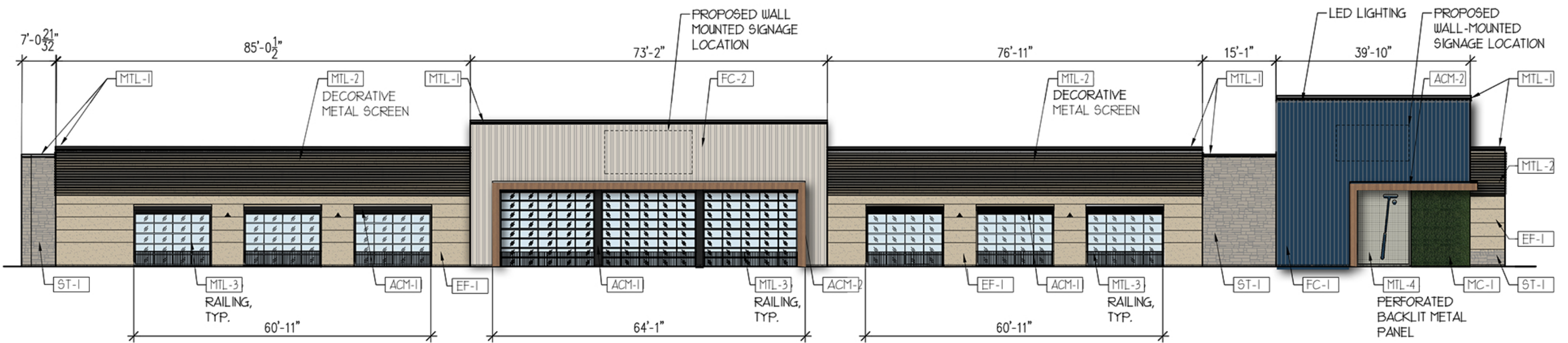
Design Project No.:	
Drawing Title:	UTILITY PLAN
	UT.dwg
Drawing No.:	UT
	01 OF 01 SHEETS

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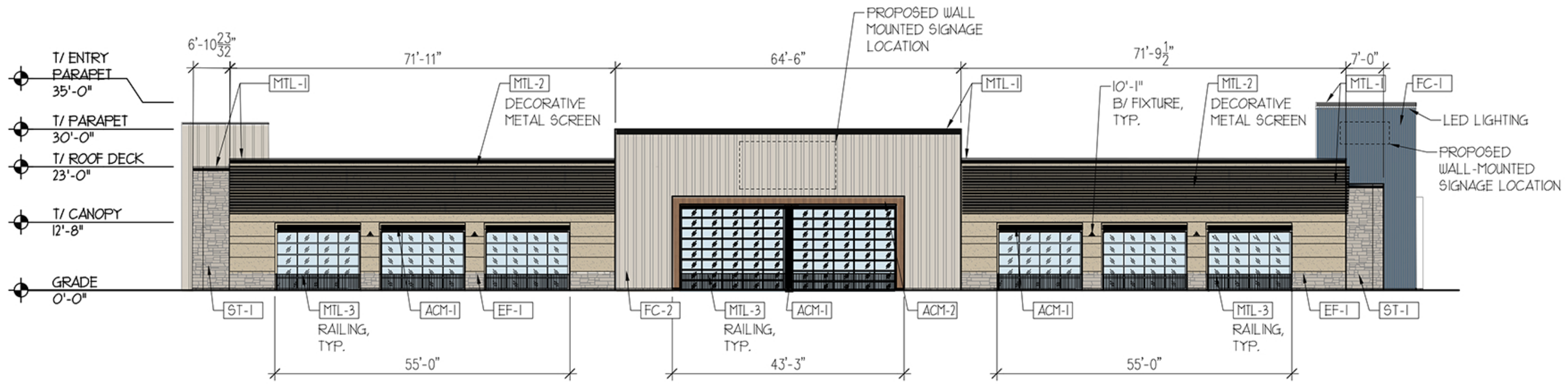




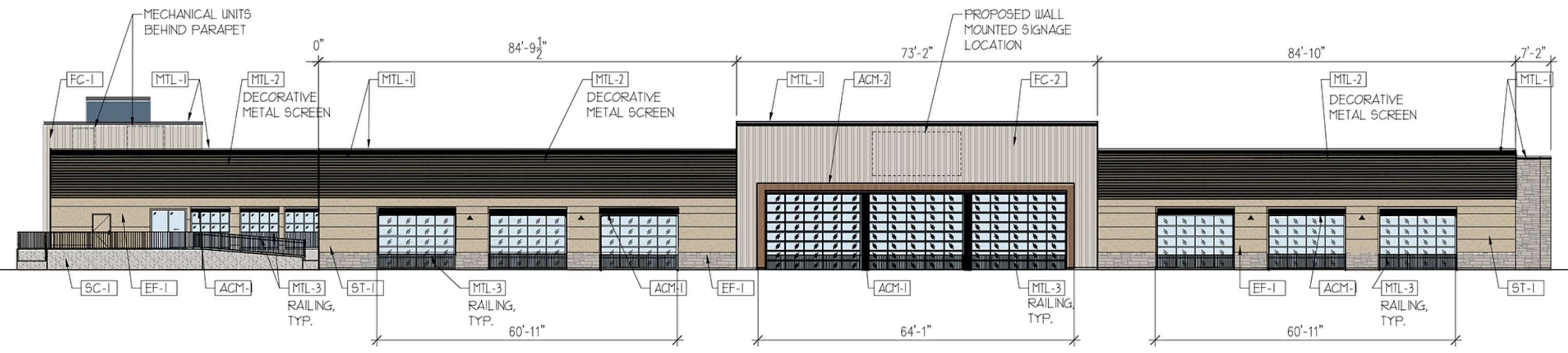
2 SOUTH ELEVATION
1/20



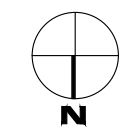
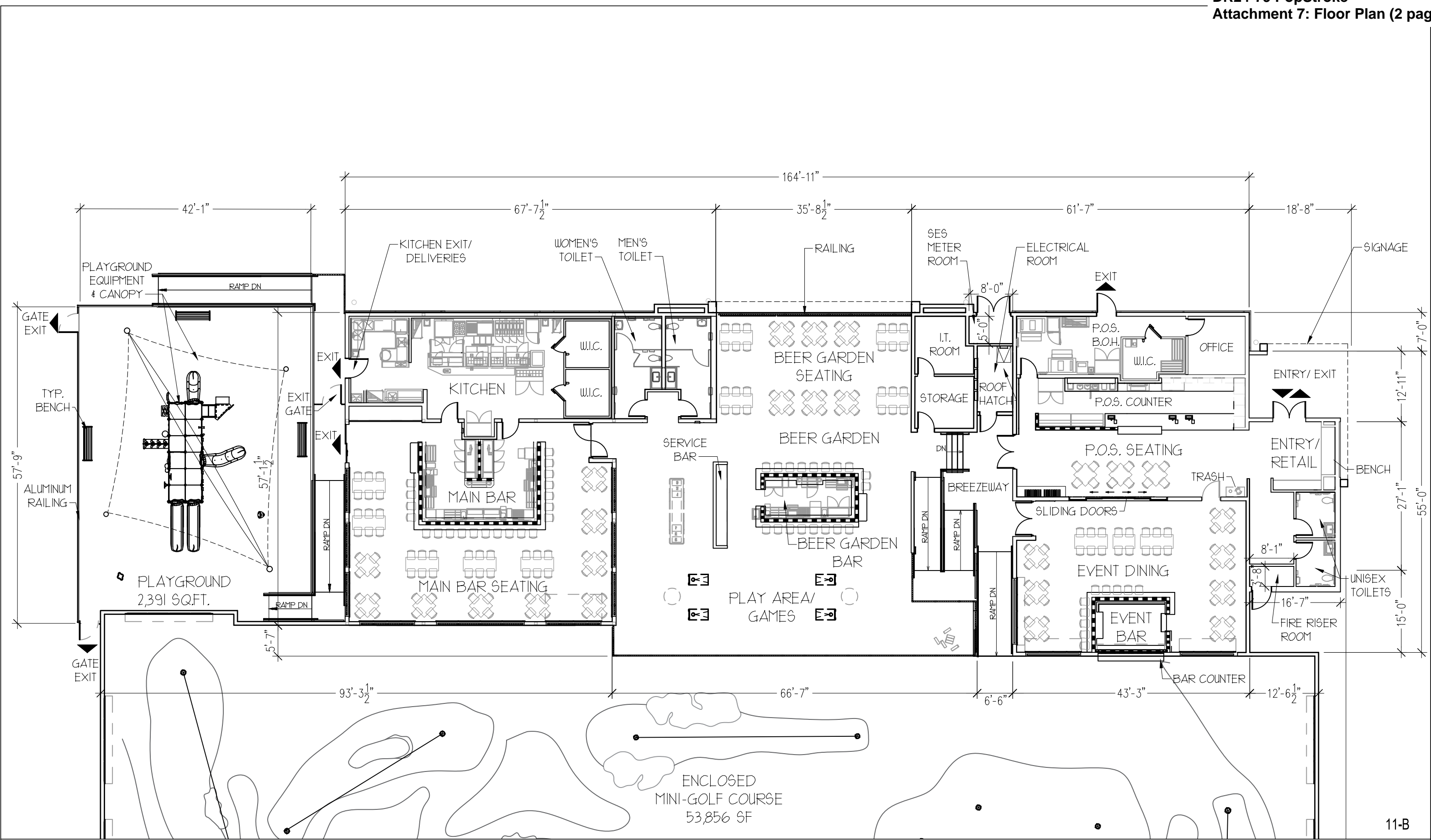
1 WEST ELEVATION
1/20

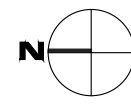
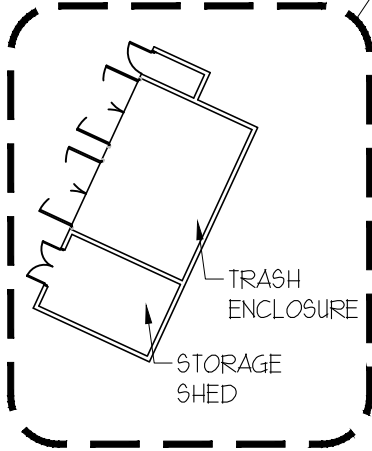
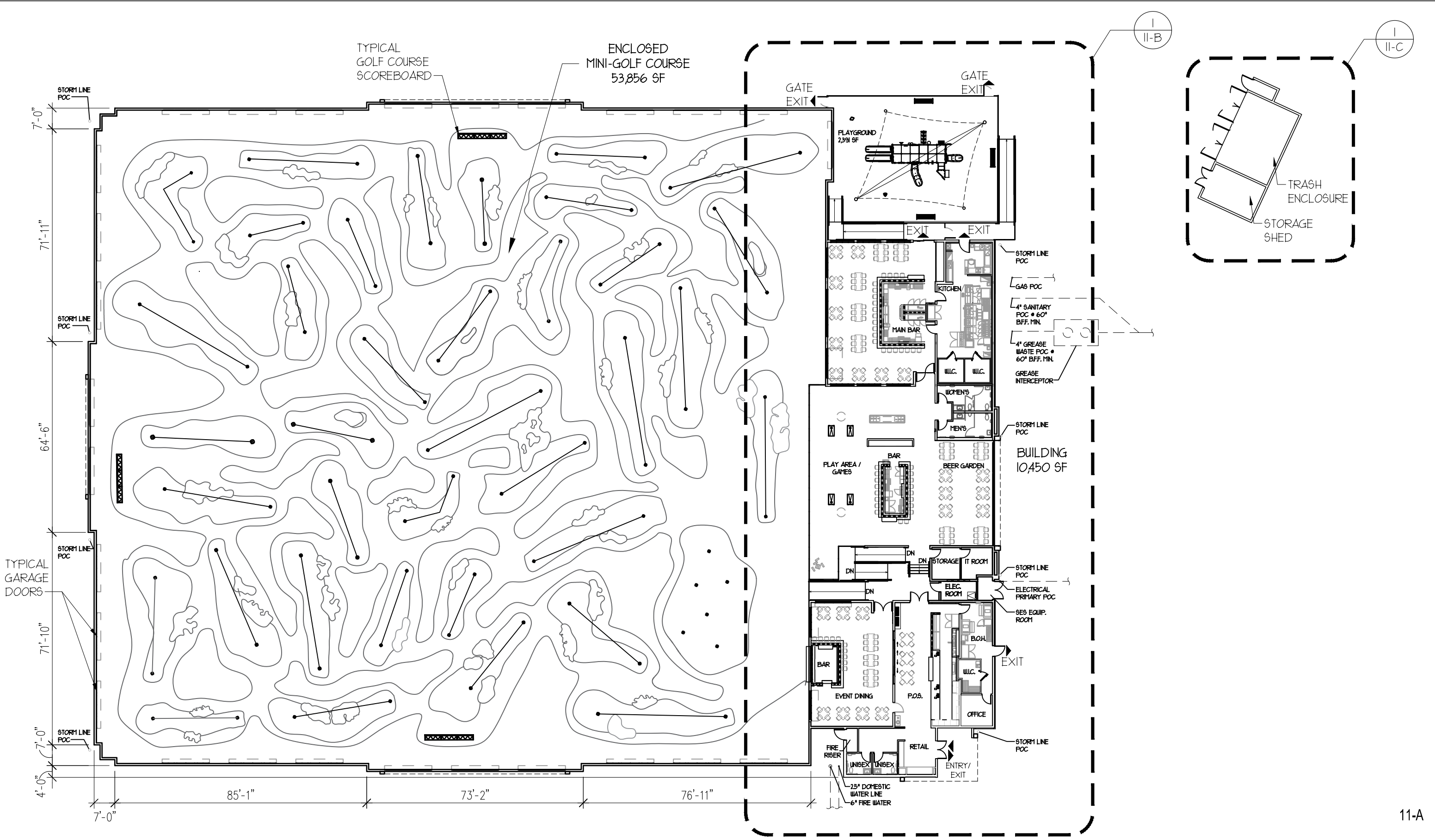


4 NORTH ELEVATION
1/20



3 EAST ELEVATION
1/20







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This laboratory performance will always differ from that observed in the field due to a great number of variables, both known and unknown (installation methods, power quality, lamping, recoverable and non-recoverable light loss factors, etc.)
In general, SESCO Lighting considers numerical studies to be predictive in that they cannot characterize the visual performance of any luminaire, single or grouped. As such, specification decisions must be thoroughly based upon experience, consultation with the manufacturer, and, above all, common sense.

Sales Rep: BILL SNYDER

Office: FT MYERS

Contact No: (239) 274-3759

Processed By: S PENNINGTON

Filename: 8-26-2024 POPSTROKE GILBERT AZ.AGI

POPSTROKE
GILBERT, AZ

Date: 8/26/2024

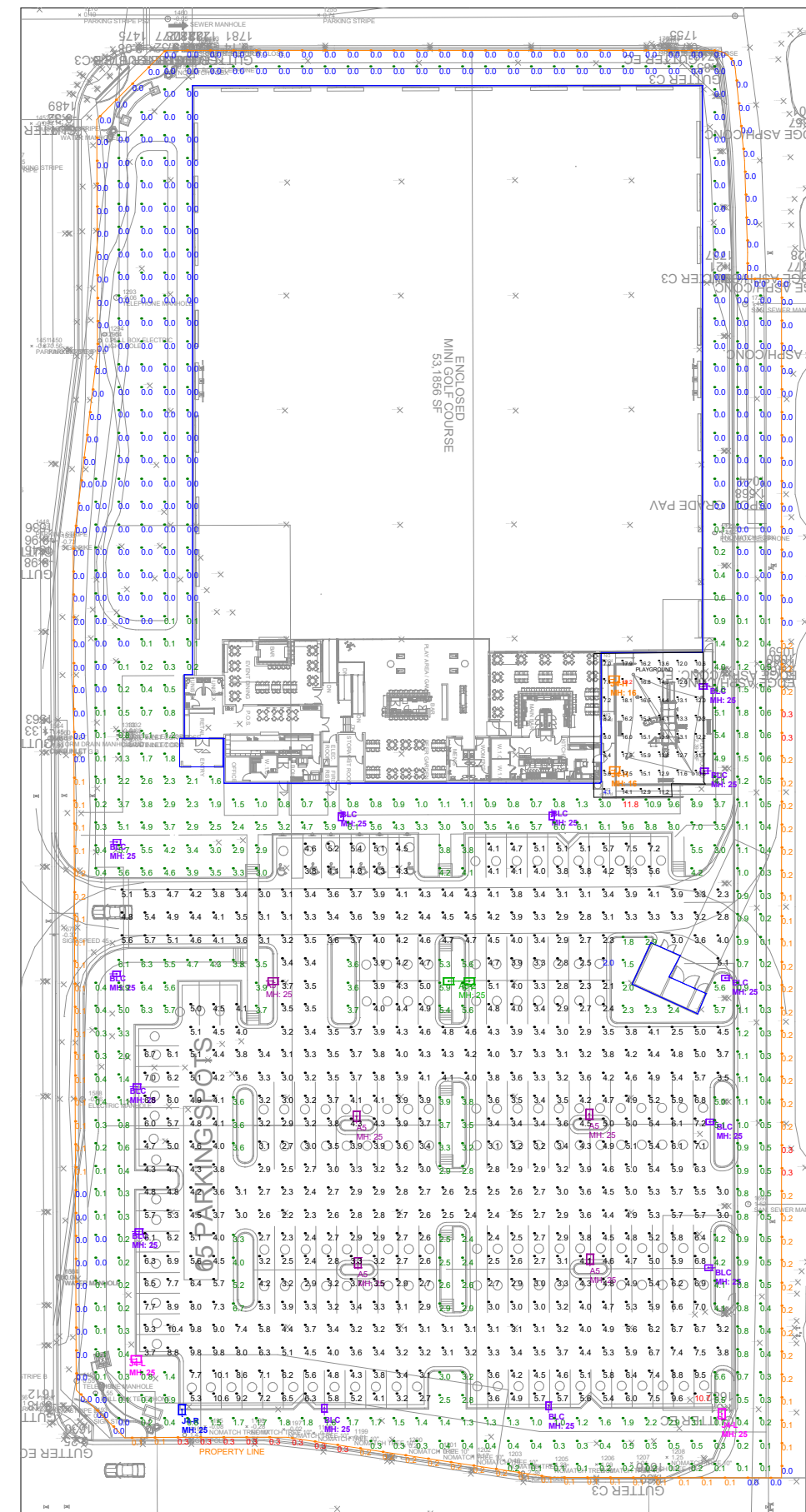
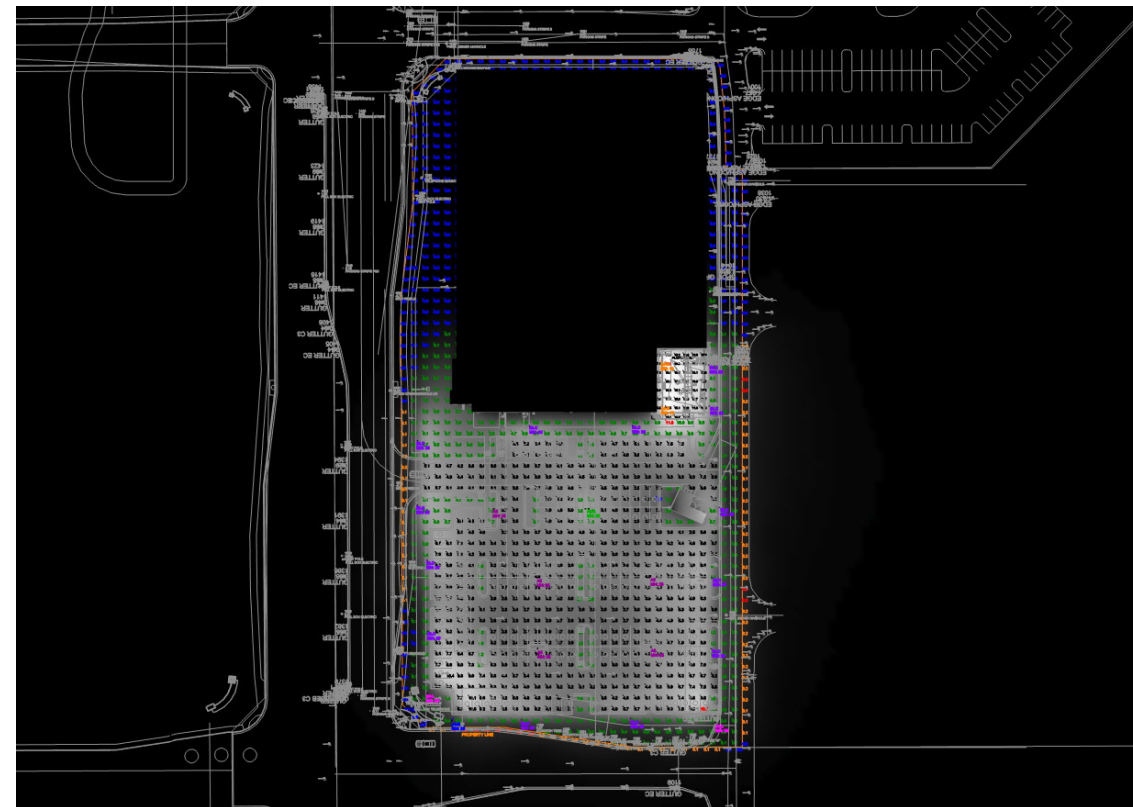
Page 1 of 3

Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Luminaire Watts	Total Watts	Description
	13	BLC	Single	12843	1.000	133.0985	1730.28	ECF-S-48L-900-NW-G2-BLC
	5	A5	Single	18937	1.000	135.1	675.5	ECF-S-48L-900-NW-G2-5
	2	J4-H	SINGLE	19136	1.000	177.8	355.6	ECF-S-64L-900-NW-G2-4-HIS BLDG MNTD
	2	J4-L	Single	10853	1.000	175.1659	350.332	ECF-S-64L-900-NW-G2-LCL
	1	A5-2	BACK-BACK	18937	1.000	135.1	270.2	ECF-S-48L-900-NW-G2-5
	1	J4-R	Single	10851	1.000	175.1659	175.166	ECF-S-64L-900-NW-G2-RCL

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Grid Z
PARKING	Illuminance	Fc	4.30	10.7	2.0	2.15	5.35	0
PLAYGROUND	Illuminance	Fc	12.85	19.2	4.1	3.13	4.68	0
PROPERTY LINE	Illuminance	Fc	0.08	0.3	0.0	N.A.	N.A.	0
SITE	Illuminance	Fc	1.39	11.8	0.0	N.A.	N.A.	0

TARGETING: GILBERT, AZ
PARKING:
- 2.0 FC MIN
- 3.1 AVG/MIN
- 8.1 MAX/MIN
PROPERTY LINE:
- 0.3 FC MAX

- NOTES:
- WHEN THE LLF IS NOT .9 OR 1.0 THE WATTAGE INFORMATION WILL NOT BE CORRECT
- LUMINAIRES PLACED AT PROPOSED LOCATIONS
- BUILDING MOUNTED LOCATIONS TO HAVE MOUNTING CONFIGURATIONS CONFIRMED WITH ARCHITECTURAL DESIGN FIRM
- LUMINAIRE SYMBOLS MAGNIFIED FOR LEGIBILITY



View: 1: FULL SITE
Scale: 1 inch = 32 ft.



View_1:SCOPE OF PROJECT
Scale: 1 inch= 18 Ft.



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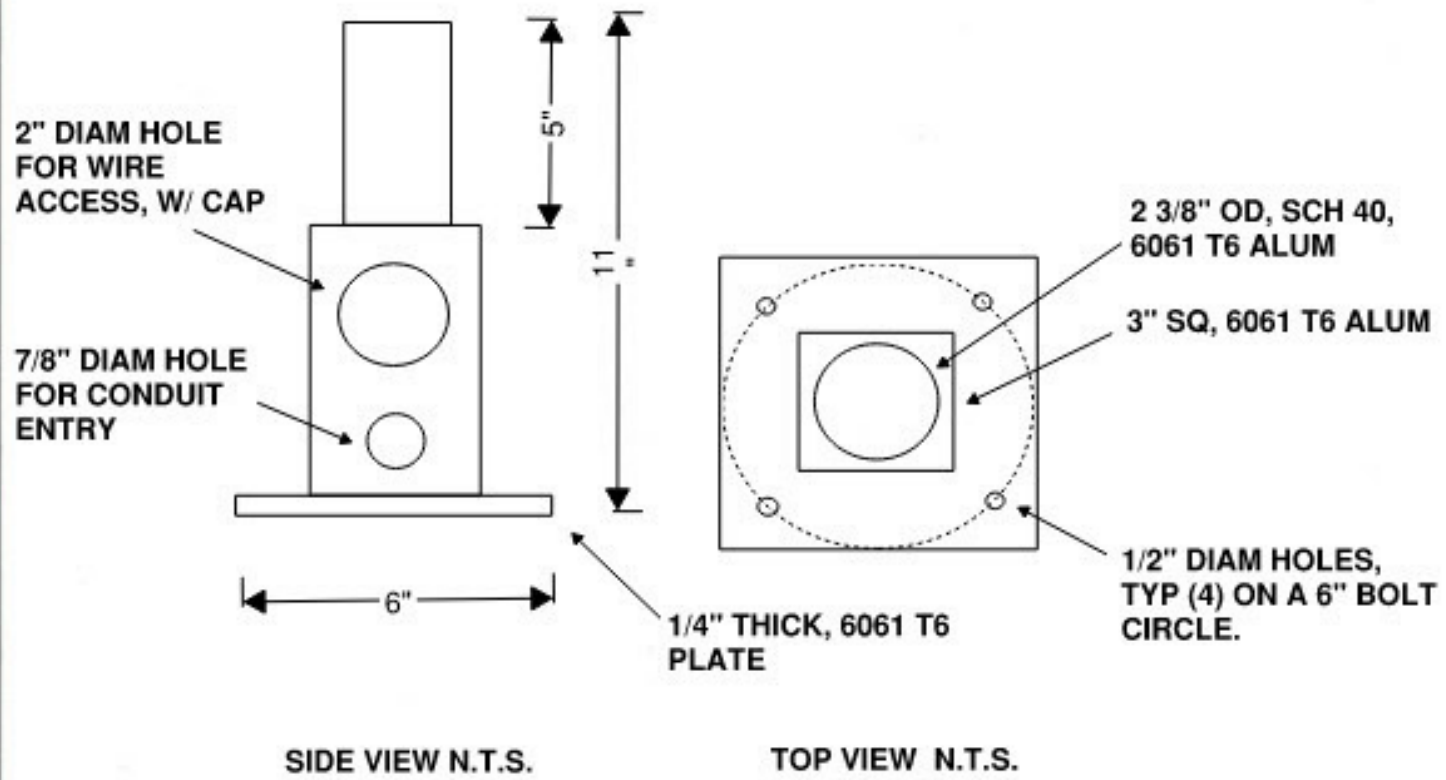
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Filename: 8-26-2024 POPSTROKE GILBERT AZ.AGI

POPSTROKE
GILBERT, AZ

Date: 8/26/2024

Page 2 of 3

**PARAPET MOUNT FOR FLOOD WITH 2" SLIPFITTER
POPSTROKE**



#PM-2-BZ
POWDERCOATED BLACK

LITEWORKS INC
CAPE CORAL, FL
PH 239.770.4192
FAX 239.549.1709

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**POPSTROKE
GILBERT, AZ**



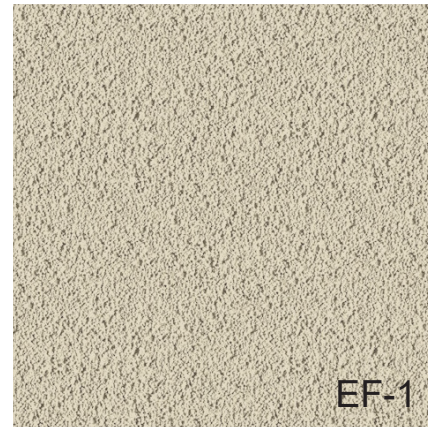
ACM-1

ALUMINUM COMPOSITE METAL
MFR: ARCONIC
PRODUCT: REYNOBOND FR
COLOR: DEEP BLACK



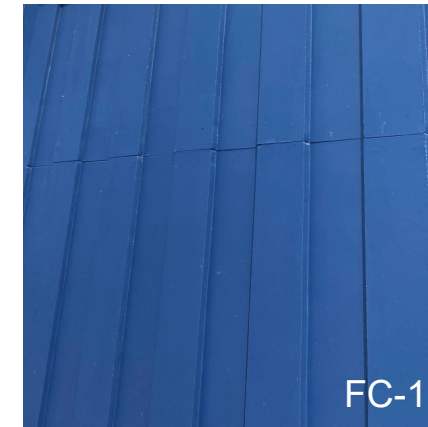
ACM-2

ALUMINUM COMPOSITE METAL
MFR: ARCONIC
PRODUCT: REYNOBOND FR
COLOR: FRENCH WALNUT



EF-1

EIFS
MFR: STO
PRODUCT: STO THERM 1177-LM-150
COLOR: CUSTOM TO MATCH
SW 6149 RELAXED KHAKI



FC-1

FIBER CEMENT BOARD
MFR: JAMES HARDIE
PRODUCT: HARDIE BOARD
COLOR: CUSTOM TO MATCH
SW 9177 SALTY DOG



FC-2

FIBER CEMENT BOARD
MFR: JAMES HARDIE
PRODUCT: HARDIE BOARD
COLOR: CUSTOM TO MATCH
SW 7029 AGREEABLE GREY



MC-1

SYNTHETIC TURF WALL
MFR: BY OWNER'S VENDOR
PRODUCT: SYNRYE 200



MTL-1

METAL COPING
MFR: PAC-CLAD
PRODUCT: BRAKE METAL
COLOR: BLACK



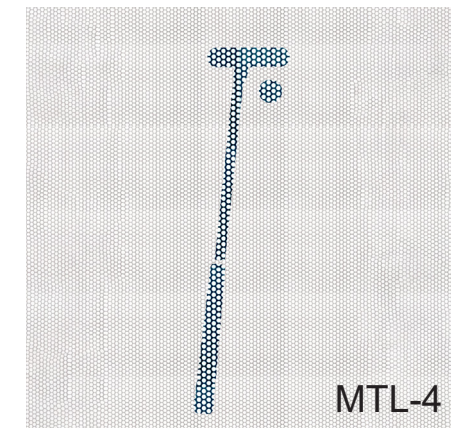
MTL-2

METAL VISION SCREEN
MFR: AVW
PRODUCT: LS-40H COAL BLACK
COLOR: PREFINISHED



MTL-3

METAL RAILING
MFR: --
PRODUCT: STEEL
COLOR: BLACK



MTL-4

PERFORATED METAL SIGN
MFR: THOMAS SIGNS
PRODUCT: PERFORATED AND
BACKLIT METAL SCREEN
COLOR: CUSTOM



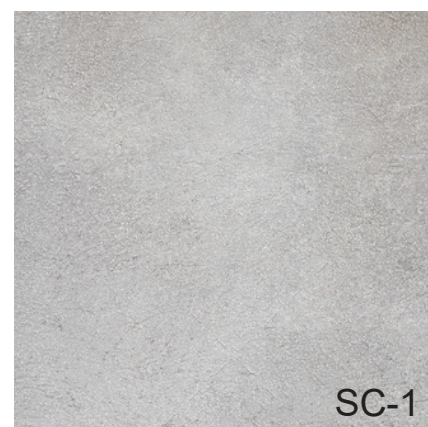
P-1

EXTERIOR DOOR PAINT
MFR: SHERWIN WILLIAMS
PRODUCT: SW 6149
COLOR: RELAXED KHAKI



P-2

EXTERIOR METAL PAINT
MFR: SHERWIN WILLIAMS
PRODUCT: SW 6258
COLOR: TRICORN BLACK



SC-1

SEALED CONCRETE
MFR: --
PRODUCT: --
COLOR: GREY



ST-1

STONE
MFR: FOND DU LAC NATURAL
PRODUCT: STONE VENEER
COLOR: APOLLO LEDGESTONE