



13

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: NICOLE RUSSELL, SENIOR PLANNER *NR*
(480) 503-6716, NICOLE.RUSSELL@GILBERTAZ.GOV

THROUGH: VERONICA GONZALEZ, PRINCIPAL PLANNER *vg*
(480) 503-6720, VERONICA.GONZALEZ@GILBERTAZ.GOV

MEETING DATE: OCTOBER 2, 2024

SUBJECT: DR23-170, COBBLESTONE EXPRESS AUTO SPA

STRATEGIC INITIATIVE: Exceptional Built Environment

To allow for the development of a car wash.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR23-170, Cobblestone Express Auto Spa: Master Site Plan Amendment, site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 3.92 acres, generally located southwest of the intersection of Lindsay Road and Germann Road, previously zoned Neighborhood Commercial (NC) but recently rezoned to Community Commercial (CC) by case Z23-11.

APPLICANT

OWNER

Company: Gilbert Blilie PLLC	Company: Lindsay Germann 4 LLC
Name: Kurt Waldier	Name:

Address: 701 N 44 th Street Phoenix, AZ 85008	Address: 4650 E Cotton Center Blvd. Ste 200 Phoenix, AZ 85040
Phone: 480-429-3061	Phone:
Email: kwaldier@gilbertblilie.com	Email:

BACKGROUND/DISCUSSION

History

Date	Description
<i>February 15, 2005</i>	Town Council adopted Annexation (A04-07), Ordinance No. 1627, annexing 12.47 acres.
<i>February 15, 2005</i>	Town Council adopted Resolution No.2568 in case GP04-07, reclassifying 6 acres from Residential > 2-3.5 DU/Acre to Neighborhood Office (NO).
<i>February 15, 2005</i>	Town Council adopted Ordinance No. 1634 in case Z04-11, rezoning 12.47 acres from Agricultural (AG) and R-43 (County) to Neighborhood Office (NO) and Neighborhood Commercial (NC).
<i>March 9, 2006</i>	The Design Review Board approved Lindsay Groves DR05-88, for an office development and future commercial development.
<i>November 4, 2020</i>	Planning Commission approved DR20-94, Speedway convenience store.
<i>November 4, 2020</i>	The Planning Commission approved UP20-26 for a fueling dispensing facility.
<i>November 4, 2020</i>	The Planning Commission approved UP20-27 for a 24-hour convenience store.
<i>November 4, 2020</i>	The Planning Commission approved UP20-28 a Master Site Plan for a convenience store and a limited service restaurant.
<i>September 10, 2024</i>	The Town Council approved GP23-13 to change land use designation from Neighborhood Commercial (NC) to General Commercial (GC) to allow for rezoning the property for a carwash.
<i>September 10, 2024</i>	The Town Council approved Z23-11 to change the zoning from Neighborhood Commercial (NC) to Community Commercial (CC) to allow for a carwash.

Overview

The applicant is proposing an amendment to the previously approved Master Site Plan to allow for the construction and operation of a carwash. The previous approval (DR20-94, UP20-26, UP20-27, & UP20-28) included a 24-hour convenience store with fueling facility on the northern parcel with a quick service restaurant on the southern parcel. The southern parcel is the proposed location for the carwash. Access to the site is from Germann Road on the north side, and Lindsay Road on the east side of the site.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Industrial (I)	County zoning	Personal Storage facility
South	Neighborhood Commerical (NC)	Neighborhood Commerical (NC)	Lindsay Groves Office complex
East	Residential > 3.5-5 du/ac	Single Family 6 (SF-6) with a PAD overlay	Place of Worship
West	Residential > 14-25 du/ac & General Office (GO)	Multi-Family Medium (MF/M) & County zoning	Apartment Complex & a Single-Family residence
Site	General Commercial (GC)	Community Commercial (CC)	Undeveloped

Project Data Table

Site Development Regulations	LDC Standard for Community Commercial (CC)	Proposed
Maximum Building Height (ft.)/(Stories)	35/2	28 to the top of the wing wall
Minimum Building Setback (ft.)		
Front	20	66.5
Side (Non-residential)	15	5*/66
Rear (Non-residential)	15	90
Minimum Required Perimeter Landscape Area (ft.)		

Front	20	33.75
Side (Non-residential)	15	16 (south)/0 (north)*
Rear (Non-residential)	15	8'4"
Landscaping (% of net lot area)	15	30%
Off-Street Parking and Loading	2	3

*Master site plan

DISCUSSION

Site

The applicant is proposing a 4,857 square foot drive-through carwash on the southern parcel within the Master Site Plan area. The site is accessible by utilizing the drive aisle between the convenience store and gas station on the north side of the southern parcel. From the primary entrance customers can access the three pay station lanes that filter into one lane into the tunnel. Once the cars exit the car wash, customers have the choice of leaving the site to the north or east or turning left into the two rows of covered vacuum bays, utilizing the western internal drive aisle vacuum spaces or the second drive aisle that has 14 covered vacuum spaces. Employee parking spaces are located on the southwest side of the building. Access to the site is from Lindsay Road on the east side of the southern parcel.

Landscape

The proposed landscaping is consistent within the Master Site Plan area. The tree pallet includes Chinese Elms, Red Push Pistache, and Desert Willows. Shrubs and groundcover include Blue Bells, Little John Bottle Brush, Jojoba, Blue Yucca, Lantana, Starn Thompson. There is also significant foundation landscaping along the east, north, and south elevations of the building.

Grading and Drainage

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

Elevations, Floor Plan, Colors and Materials

The proposed building is 4,857 square feet and will be 28 feet high at the top of the signature wing wall. The project is proposed within an existing master site plan and utilizes colors and materials that are complementary to the convenience store building to the north. The primary materials are block and stucco in various neutral shades, with the signature Cobblestone colors of deep red and dark blue colors on the entry and exit of the tunnel and the wing wall. Stone accents are used along portions of the bottom of the building with stucco accents on the east and west

sides of the building. A metal accent feature breaks up the roofline and provides visual interest on the east side of the building facing Lindsay Road. The canopies over the vacuum spaces and pay stations will be 10 feet in height and will be dark blue to match the tunnel entry/exit.

Lighting

There are three lighting types proposed, parking lot, wall mounted, and vacuum canopy lighting. The parking lot light poles are 15 feet in height, whereas the wall mounted lighting on the building varies between 10 feet and 12.5 feet high. The vacuum canopy lighting will be mounted on the underside of the vacuum canopy cover structures. All site lighting will be required to comply with Town codes.

Signage

Approval of a Comprehensive Sign Plan is required in order to establish sign design standards, coordination of uses, and building architecture compatibility expected in this project area. The Sign Plan must be approved prior to submitting for sign permits.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 6.2.6.

A neighborhood meeting was held on November 6, 2023. No residents attended the meeting. Staff received one inquiry email from a member of the public who wanted to know more about the project. In addition, a neighbor spoke at the Town Council meeting on the rezoning with concerns about potential noise from the car wash. Staff and the applicant have reached out to this neighbor to provide additional detail on the project. The applicant has provided staff with 10 petitions of non-opposition from surrounding community businesses. No additional comments have been received by staff from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR23-170, Cobblestone Express Auto Spa: Master Site Plan Amendment, site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 3.92 acres, generally located southwest of the intersection of Lindsay Road and Germann Road, previously zoned Neighborhood Commercial (NC) but rezoned to Community Commercial (CC) by case Z23-11; subject to conditions:

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the October 2, 2024, public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
- c. Signage is not included in this approval. Approval of a Comprehensive Sign Plan is required in order to establish sign design standards, coordination of uses, and building architecture compatibility expected in this project area. The Sign Plan must be approved prior to submitting for sign permits.
- d. A Property Owners Association (POA) shall be established prior to permit issuance for the initial phase of development to maintain and operate all landscaping, open space, recreation facilities, private streets, private sidewalks, parking area, utilities, and/or other facilities.

Respectfully submitted,

Nicole Russell
Nicole Russell
Senior Planner

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Master Site Plan
- 6) Phasing Plan
- 7) Landscape
- 8) Grading and Drainage
- 9) Elevations
- 10) Colors and Materials
- 11) Floor Plans
- 12) Lighting
- 13) Applicant's Narrative (6 pages)
- 14) Petitions of non-opposition (10 pages)

FINDINGS OF FACT
DR23-170, Cobblestone Express Auto Spa

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Notice of Public Hearing

DR23-170: Cobblestone Express Auto Spa
Attachment 2: NOPH

PLANNING COMMISSION DATE:

*Wednesday, August 7, 2024*TIME: 6:00PM*

TOWN COUNCIL DATE:

Tuesday, September 10, 2024 TIME: 6:30 PM*

LOCATION: Council Chambers

Municipal Building I

50 E Civic Center Dr.

Gilbert, AZ 85296

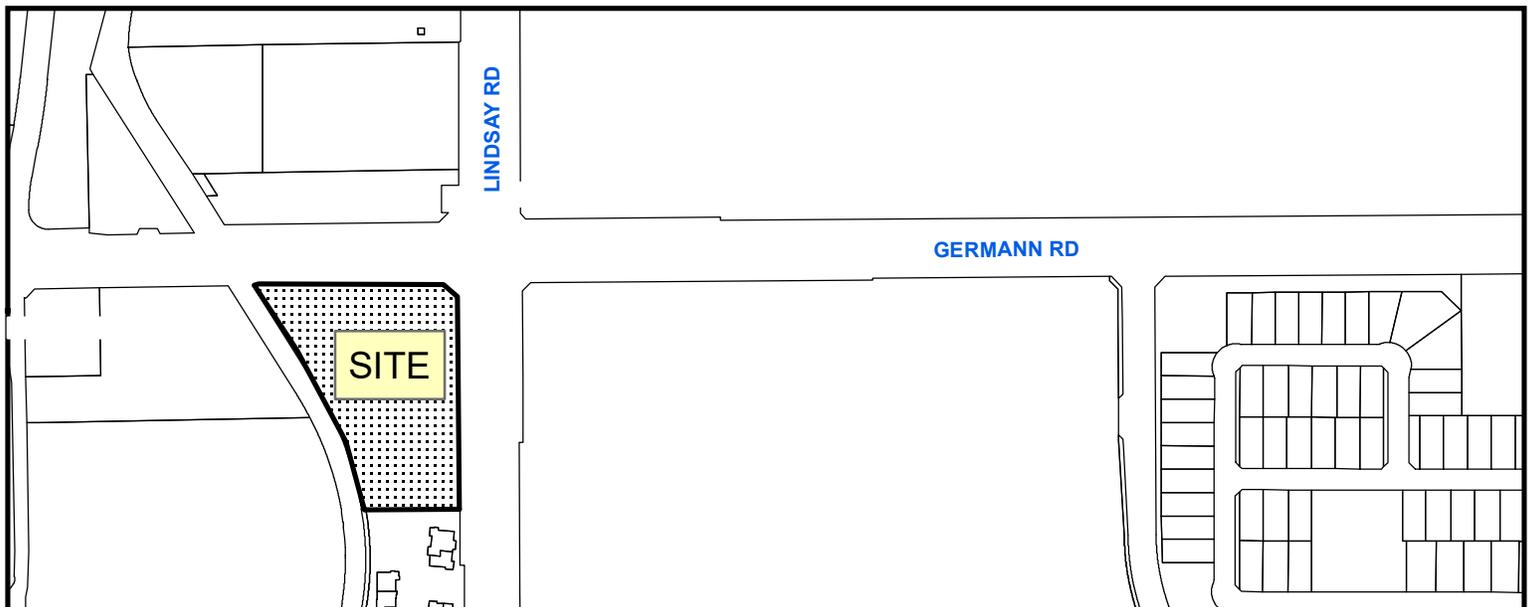
*Call Planning Division to verify date and time: (480) 503-6716

The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission

REQUESTED ACTION:

DR23-170 COBBLESTONE EXPRESS AUTO SPA: Master Site Plan Amendment, Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 3.92 acres, generally located southwest of the intersection of Lindsay Road and Germann Road, and zoned Neighborhood Commercial (NC) and to be rezoned to Community Commercial (CC) by case Z23-11.

SITE LOCATION:



0 150 300 600 Feet



APPLICANT: Gilbert Blilie PLLC

CONTACT: Kurt Waldier

ADDRESS: 701 N 44th St.

Phoenix, AZ 85008

TELEPHONE: (480) 429-3061

E-MAIL: kwaldier@gilbertblilie.com

Proposed Cobblestone Auto Spa

SWC Lindsay Rd and Germann Rd



PROJECT NAME: DR23-170: Cobblestone Express Auto Spa
 EXISTING USE: VACANT
 PROPOSED USE: EXPRESS CAR WASH
 OWNER: COBBLESTONE AUTO SPA
 8900 E BAHIA DR
 SCOTTSDALE, AZ 85230
 (602) 787-0808
 CONTACT: TUCK BETTIN
 ARCHITECT: M3 DESIGN
 2645 N 7TH AVE
 PHOENIX, ARIZONA 85007
 (480) 528-3136
 CONTACT: JESSE MACIAS

2645 NORTH 7th AVE
PHOENIX, ARIZONA




COBBLESTONE EXPRESS CARWASH #63
SWC LINDSAY & GERMANN, GILBERT, ARIZONA

PRELIMINARY SITE PLAN

DATE: 2024-06-12
 SCALE: SCALE
 DRAWN BY: JM
 PROJECT NUMBER: CBL22007.0
DD1
 PROJECT #: DR23-170

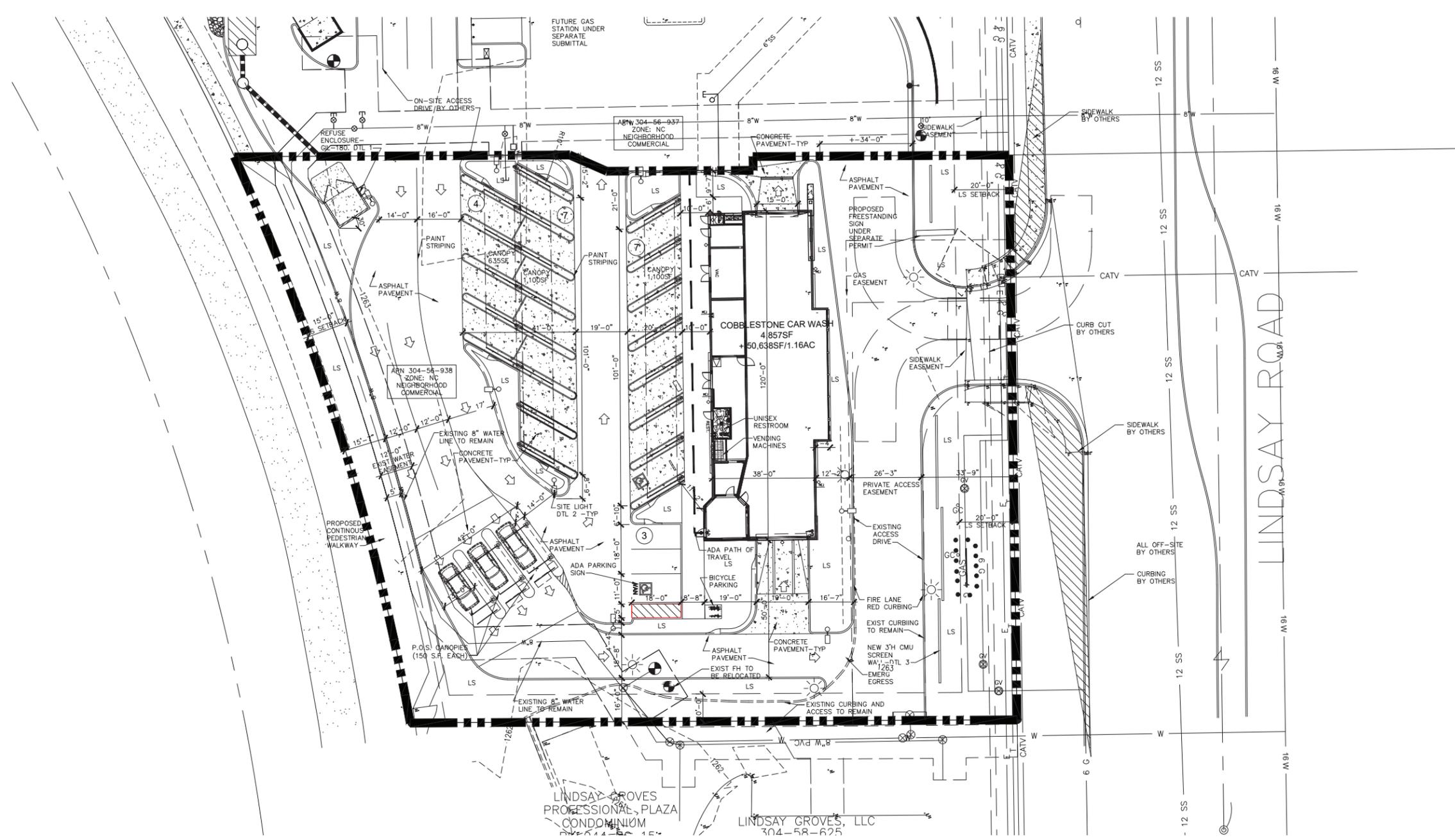
SITE DATA

SITE NET AREA:	50,638 SF / 1.16 AC															
APN #:	304-56-938															
GENERAL PLAN DESIGNATION:	COMMERCIAL															
ZONING:	NC - NEIGHBORHOOD COMMERCIAL CC - COMMUNITY COMMERCIAL															
BUILDING FOOTPRINT:	4,857 S.F. CAR WASH															
BUILDING COVERAGE:	4,857 S.F. / 50,638 S.F. = 9.5%															
PARKING CANOPIES:	2,835 S.F.															
P.O.S. CANOPIES:	450 S.F.															
TOTAL CANOPIES:	3,285 S.F.															
BUILDING HEIGHT:	MAXIMUM: 35'-0" / 2 STORIES PROVIDED: ±30'-0"															
LANDSCAPE:	15,116 S.F. / 50,638 S.F. = 30%															
IMPERVIOUS COVERAGE:	30,665 S.F. / 50,638 S.F. = 60.6%															
SETBACKS:	<table border="1"> <tr> <th>SETBACKS: BS/(A/S)</th> <th>REQD:</th> <th>PROVIDED:</th> </tr> <tr> <td>STREET FRONT (EAST)</td> <td>20' / 20'</td> <td>66'-6" / 33'-9"</td> </tr> <tr> <td>SIDE (NORTH)</td> <td>0' / 0'</td> <td>5'-0" / 9'-0"</td> </tr> <tr> <td>SIDE (SOUTH)</td> <td>15' / 15'</td> <td>66'-0" / 16'-0"</td> </tr> <tr> <td>REAR (WEST)</td> <td>15' / 15'</td> <td>90'-0" / 15'-0"</td> </tr> </table>	SETBACKS: BS/(A/S)	REQD:	PROVIDED:	STREET FRONT (EAST)	20' / 20'	66'-6" / 33'-9"	SIDE (NORTH)	0' / 0'	5'-0" / 9'-0"	SIDE (SOUTH)	15' / 15'	66'-0" / 16'-0"	REAR (WEST)	15' / 15'	90'-0" / 15'-0"
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REAR (WEST)	15' / 15'	90'-0" / 15'-0"														
TYPE OF CONSTRUCTION:	VB - SPRINKLERED															
OCCUPANCY TYPE:	B (BUSINESS)															
PARKING:	<table border="1"> <tr> <td>REQUIRED:</td> <td>2 SPACES</td> </tr> <tr> <td>TOTAL PROVIDED:</td> <td>3 SPACES</td> </tr> </table>	REQUIRED:	2 SPACES	TOTAL PROVIDED:	3 SPACES											
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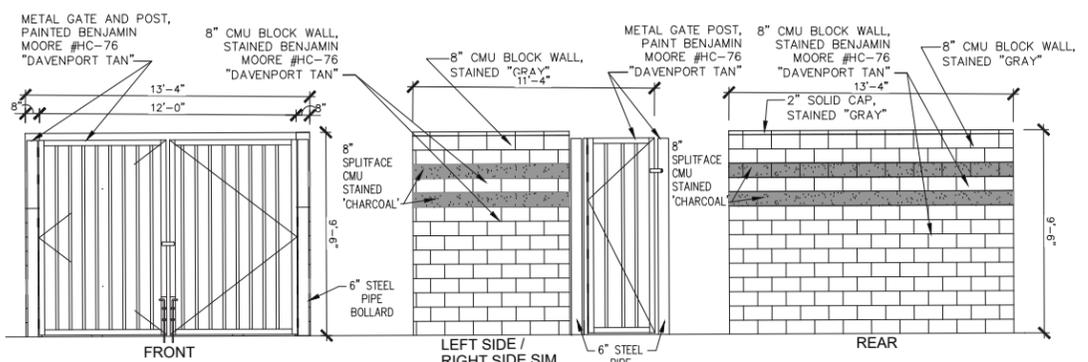
PROJECT DESCRIPTION

NEW EXPRESS CAR WASH FACILITY WITH 4,857 S.F. CAR WASH BUILDING, (22) SELF-SERVE COVERED VACUUM STATIONS (1 ADA), 3 STANDARD PARKING SPACES (1 ADA) AND THREE (3) COVERED PAY STATIONS ON EXISTING NC ZONED VACANT PARCEL WITH NEW CURB CUT ACCESS BY OTHERS. NEW ON-SITE IMPROVEMENTS INCLUSIVE OF NEW LANDSCAPING

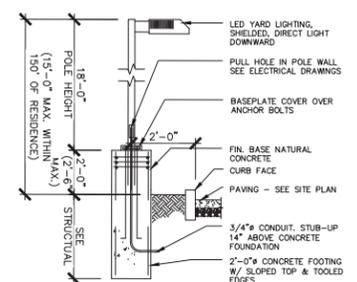
TOWN OF GILBERT SITE PLAN NOTES



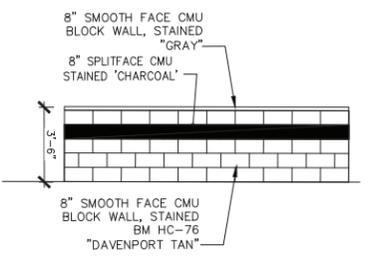
1 SITE PLAN
DD1.0 SCALE: 1" = 20'-0"



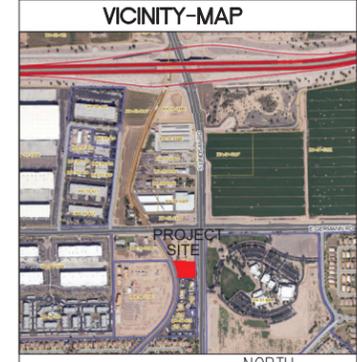
1 TRASH ENCLOSURE
DD1.0 SCALE: 1/4" = 1'-0"



2 LIGHT POLE DETAIL
DD1.0 SCALE: 1/4" = 1'-0"



3 SCREEN WALL
DD1.0 SCALE: 1/4" = 1'-0"



VICINITY-MAP
NORTH

APPROVAL STAMPS



Cobblestone Auto Spa Express Carwash: Phasing Plan

Design Review (Less than 5 acres)

Case #: TBD

Date: February 16, 2024

Phasing Plan

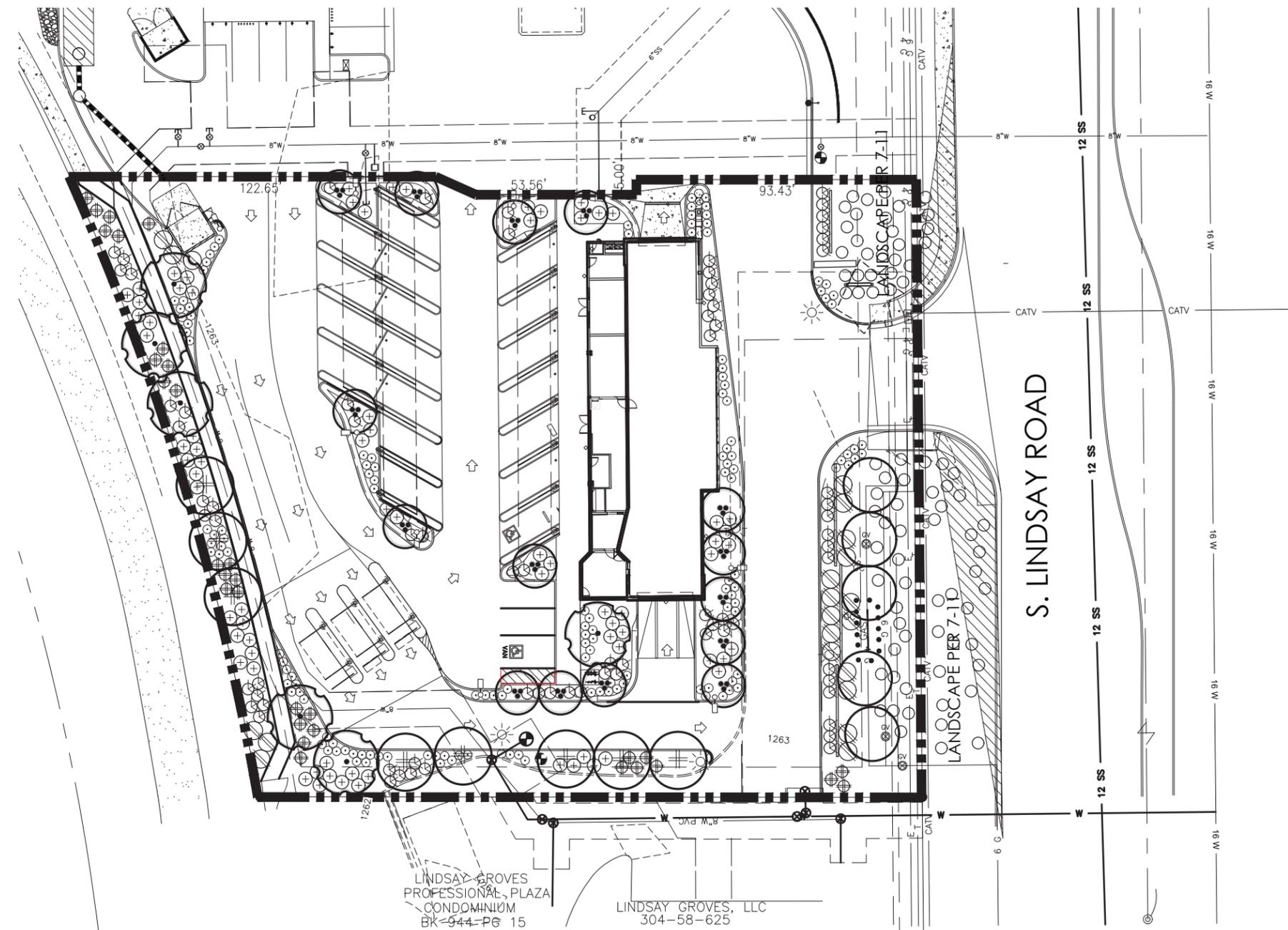
This phasing plan is in relation to an amendment to a Master Site Plan Amendment to DR20-94 for the development of a proposed Cobblestone Auto Spa Express Car Wash, which will consist of a single 4,857-square-foot building housing the express drive-through car wash functionalities, as well as a small office for employees.

DR20-94, approved in September of 2020, encompassed two separate properties, APNs 304-56-937 and 304-56-938. The approved plan included a Speedway convenience store and fueling facility and gas station on APN 304-56-937 and a quick service restaurant with drive-through on APN 304-56-938. However, today, a 7-11 is proposed in place of the Speedway convenience store and fueling facility, and the proposed Cobblestone Auto Spa Express Car Wash is being proposed to replace the quick service restaurant.

Since both properties encompassed in this previously approved master site plan are now owned by separate property owners, it is not certain at this time which property will be developed first. However, it is expected at this time that the development of these two properties will occur generally in one phase as both projects are in the entitlement and permitting process for approval with the 7-11 running slightly ahead of the proposed Cobblestone Auto Spa Express Car Wash.

For this reason, this Phasing Plan accounts for just one phase for the overall Master Plan, with separate properties identified as sub phases in the plan: Phase 1a encompassing APN 304-56-937 for the proposed 7-11 and Phase 1b encompassing APN 304-56-938 for the proposed Cobblestone Auto Spa Express Car Wash. Both properties will be responsible for the landscaping and offsite conditions on their respective property with development of their phase. Neither sub phase is conditioned on the development of the other.

The phasing plan for this project illustrating these two sub phases is provided in Exhibit A.



LANDSCAPE LEGEND

- ULMUS PARVIFOLIA
CHINESE ELM (MATCHING)
24" BOX
- PISTACIA X 'RED-PUSH'
RED PUSH PISTACHE
36" BOX
- CHILOPSIS LINEARIS 'ART'S SEEDLESS'
DESERT WILLOW
24" BOX
- EXISTING TREE
PROTECT FROM CONSTRUCTION
- EXISTING SHRUB
PROTECT FROM CONSTRUCTION
- EREMOPHILA HYGROPHANA
'BLUE BELLS'
5 GALLON
- CALISTEMON 'LITTLE JOHN'
LITTLE JOHN BOTTLE BRUSH
5 GALLON
- SIMMONDSIA CHINENSIS
JOJOBA
5 GALLON
- YUCCA RIGIDA
BLUE YUCCA
5 GALLON
- LANTANA MONTEVIDENSIS
'NEW GOLD'
1 GALLON
- BACHARIS X 'STARN'
THOMPSON
5 GALLON

1/2" SCREENED ROCK PROS CARMEL
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE PLAN



LINDSAY GROVES PROFESSIONAL PLAZA CONDOMINIUM BK-944-P6 15
LINDSAY GROVES, LLC 304-58-625

TOWN OF GILBERT LANDSCAPE NOTES:

A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD IN PDF FORMAT RECORD DRAWINGS ARE ALSO REQUIRED.

BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED. THE DEVICE MUST BE TESTED BY A STATE CERTIFIED TESTER, AND THE RESULTS FORWARDED TO THE TOWN OF GILBERT'S BACKFLOW SPECIALIST. THE TOWN OF GILBERT WILL PROVIDE AN UP-TO-DATE LIST OF STATE CERTIFIED TESTERS. ALL RELATED TESTING FEES SHALL BE AT THE EXPENSE OF THE INSTALLER.

DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.

NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.

NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS. CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED. INSTALL ALL SIDEWALKS PER ADA REQUIREMENTS.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING LANDSCAPE AREAS. GAGE, CONTROLLER, ASSOCIATED EXPOSED CONDUITS, AND ETC. SHALL CONFORM TO PREDOMINANT COLOR OF BUILDING.

ATTENTION:

THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS ONLY. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#869) OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECS., SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX.

ALL BACKFLOW DEVICE SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

SOIL REPORT NOTE:

DRAINAGE AND MOISTURE INFILTRATION SHOULD BE CONSIDERED DURING LANDSCAPE DESIGN AND PLACEMENT TO ENSURE FOUNDATION AND SLAB BEARING SOILS ARE NOT EXPOSED TO MOISTURE INFILTRATION OR MOISTURE CONTENT FLUCTUATION. DISTANCE FROM STRUCTURES TO VEGETATIVE PLANTS, PLANTERS, IRRIGATION LINES OR LANDSCAPE BORDERS SHOULD NOT BE LESS THAN 3 FEET. TREES SHOULD BE PLACED AT A DISTANCE OF 8 FEET OR MORE. LANDSCAPE IRRIGATION SCHEDULES SHOULD BE ADJUSTED FOR CLIMATIC CHANGES TO MINIMIZE MOISTURE CONTENT FLUCTUATION OF FOUNDATION BEARING SOILS.



T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P: (602)265-0320
EMAIL: timmccqueen@tjmia.net



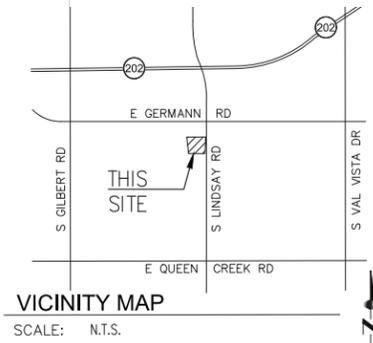
COBBLESTONE EXPRESS CARWASH
LINDSAY ROAD AND GERMANN
GILBERT, ARIZONA

DATE:	05.22.24
SCALE:	
DRAWN BY:	JM
PROJECT NUMBER:	CBL62
SHEET:	La.01
REV:	

PRELIMINARY GRADING & DRAINAGE PLAN

FOR
COBBLESTONE EXPRESS CARWASH #63
SW CORNER GERMANN ROAD AND LINDSAY ROAD
GILBERT, ARIZONA
SECTION 7, TOWNSHIP 2 SOUTH, RANGE 6 EAST GILA AND SALT RIVER
BASE AND MERIDIAN

SHEET INDEX	
C1.01	COVER SHEET
C1.02	PRELIMINARY GRADING & DRAINAGE PLAN
C1.03	SECTIONS AND DETAILS



SCOTTSDALE, AZ 85230
PHONE: 602.787.0808
CONTACT: TUCK BETTIN

ENGINEER

KAEKO
4655 N. FLOWING WELLS RD.
TUCSON, AZ 85705
PHONE: 520.690.1669
NATHAN.COTTRELL@KAEKOINC.COM

ARCHITECT

M3 DESIGN
2645 N. 7TH AVE.
PHOENIX, AZ 85007
PHONE: 480.528.3136
CONTACT: JESSE MACIAS

SITE AREA		
GROSS AREA	66,076 S.F.	1.517 AC.
NET AREA	50,753 S.F.	1.165 AC.

A.P.N.
304-56-938

LEGAL DESCRIPTION
LOT 1B OF SPEEDWAY - 101195 & Q.S.R. AS RECORDED IN BOOK 1619 OF MAPS, PAGE 31 OF MARICOPA COUNTY, ARIZONA, LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

FLOOD INFO - FIRM DATA
ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 04013C2744M DATED NOVEMBER 4, 2015, THE SUBJECT PROPERTY IS LOCATED IN ZONE X. ZONE X IS DESCRIBED AS: "AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD."

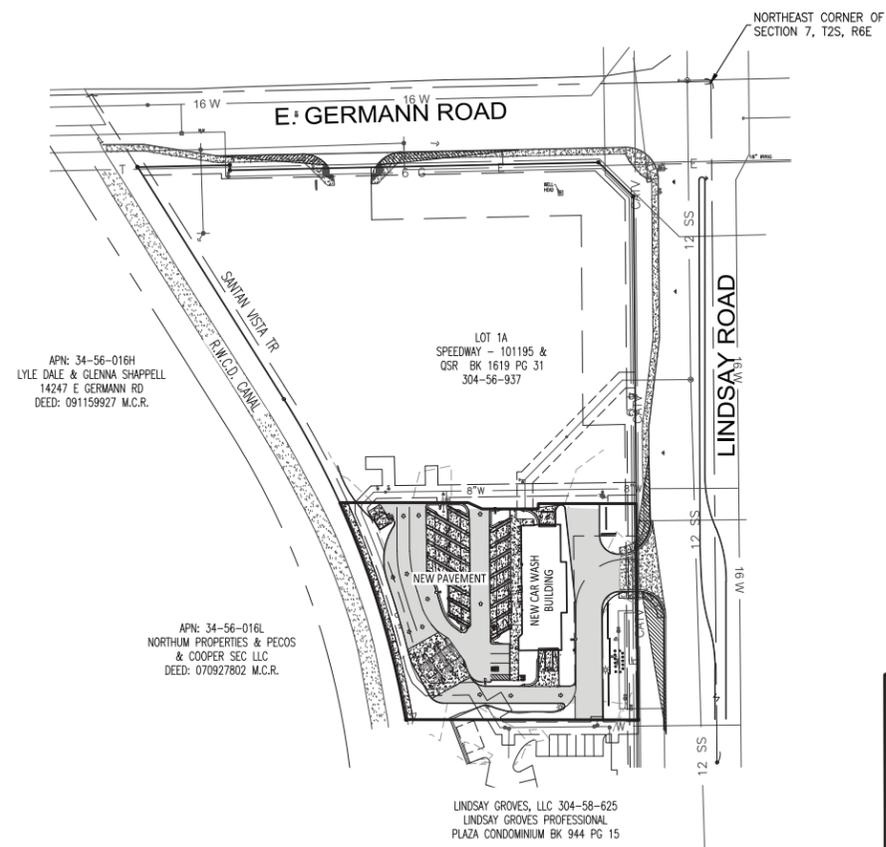
ELEVATION BENCHMARK
MARICOPA COUNTY BRASS CAP IN HANDHOLE AT THE 1/4 CORNER SECTION 7, T2S, R6E
ELEVATION = 1254.29 (NAVD-88 DATUM)

RETENTION CALCULATIONS
ONSITE RETENTION IS REQUIRED AND PROVIDED FOR THE 50-YEAR, 24-HOUR STORM EVENT. THE PARCEL DIRECTLY TO THE NORTH (SPEEDWAY) HAS BEEN DESIGNED TO ACCEPT 10,430 C.F. OF THE REQUIRED RETENTION FOR THE COBBLESTONE CARWASH SITE. AN ADDITIONAL 760 C.F. REQUIRED RETENTION WILL BE PROVIDED BY WAY OF ABOVE GROUND RETENTION BASINS.

REQUIRED ONSITE VOLUME:
 $V = D^*A^*C = 0.25^*50,754 \text{ SF}^*0.87 = 11,039 \text{ CF}$

PROVIDED ONSITE RETENTION VOLUME:
CATCH BASINS AND STORM PIPES CONNECTED TO SPEEDWAY STORM PIPE SYSTEM = 10,430 C.F.
ABOVE GROUND RETENTION BASINS = 1,059 C.F.

TOTAL ONSITE RETENTION = 11,489 CF



APN: 34-56-016H
LYLE DALE & GLENNA SHAPPELL
14247 E GERMANN RD
DEED: 091159927 M.C.R.

APN: 34-56-016L
NORTHUM PROPERTIES & PECOS
& COOPER SEC LLC
DEED: 070927802 M.C.R.

LINDSAY GROVES, LLC 304-58-625
LINDSAY GROVES PROFESSIONAL
PLAZA CONDOMINIUM BK 944 PG 15

ABBREVIATIONS	
AC	ACRE
APN	ASSESSOR PARCEL NUMBER
APS	ARIZONA PUBLIC SERVICE
BC	BACK OF CURB
BOT	BOTTOM
C	CONCRETE
CO	CURB OPENING
C.O.B.	CITY OF BUCKEYE
CF	CUBIC FEET
DE	DRAINAGE EASEMENT
E	EAST
EX	EXISTING
EVp	EQUALIZED VOLUME PROVIDED
FDC	FIRE DEPARTMENT CONNECTION
FFE	FINISH FLOOR ELEVATION
FG	FINISHED GROUND
FL	FIRE LINE
FND	FOUND
G	GUTTER
GR	GRATE
HW	HIGH WATER LEVEL
IN	INCH
INV	INVERT
LF	LINEAR FEET
N	NORTH
P	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
R/W	RIGHT OF WAY
S	SOUTH
SE	SOUTH EAST
SF	SQUARE FEET
SW	SIDEWALK
T	TOWNSHIP
TC	TOP OF BACK OF CURB
TF	TOP OF FOOTING
TW	TOP OF WALL
TRW	TOP OF RETAINING WALL
VG	VALLEY GUTTER
V	VOLUME
PRO V.	VOLUME PROVIDED
REQ V.	VOLUME REQUIRED
W	WEST
WO	WALL OPENING

LEGEND	
---	MONUMENT LINE
---	PROPERTY LINE
---	EASEMENT LINE
---	BASIN HIGHWATER LINE
FL	FIRE LINE
S	SEWER LINE
W	WATER LINE
-1210	EXISTING CONTOUR
-1210	PROPOSED CONTOUR
---	GRADE BREAK
---	EDGE OF PAVEMENT
⊠	ELEC TRANSFORMER
↑	FD MON., AS NOTED
→	FLOW DIRECTION
⊠	WATER METER
⊠	PRESSURE BACKFLOW PREVENTER
⊠	TEE
⊠	BEND
⊠	FIRE RISER
⊠	FIRE DEPARTMENT CONNECTION
⊠	DUAL DRYWELL
⊠	POWER POLE
⊠	STAND PIPE
⊠	FIRE HYDRANT
⊠	STORM MANHOLE
⊠	SANITARY MANHOLE
⊠	WATER VALVE
⊠	LIGHT POLE
⊠	TAPPING SLEEVE
⊠	RIP-RAP
⊠	PAVEMENT
⊠	CONCRETE

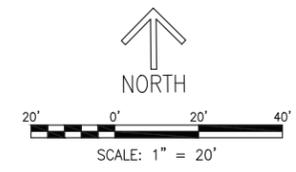
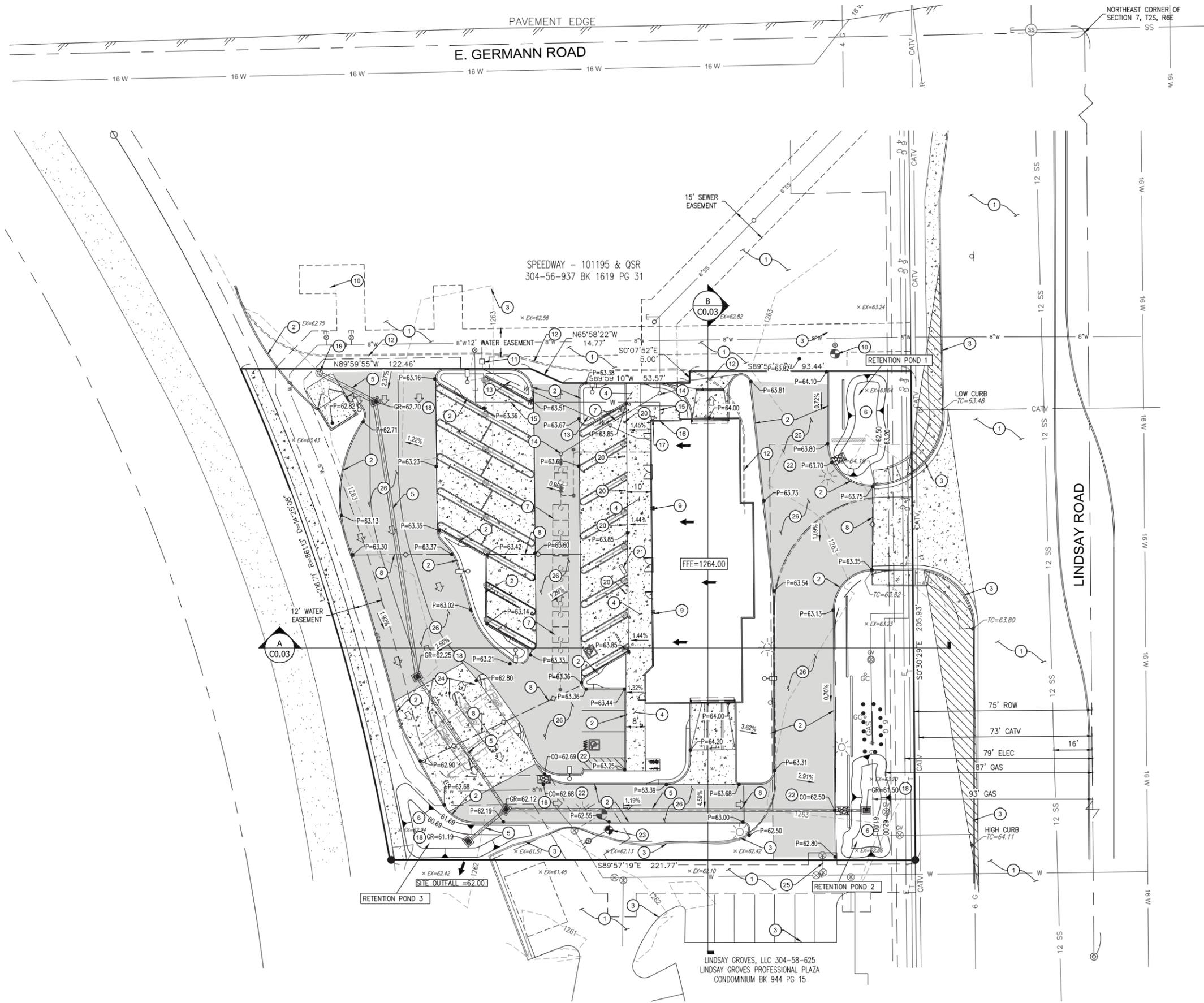
COVER SHEET FOR COBBLESTONE EXPRESS CARWASH #63
APN: 304-56-938
GILBERT, ARIZONA

DRAWN BY:	ALB
CHECKED BY:	NUC
DATE:	05/17/24
SCALE:	
PROJECT #:	7523038
LAST MODIFIED BY:	

KAEKO

4655 N. FLOWING WELLS ROAD, TUCSON, AZ 85705
PHONE: 520.690.1669
FAX: 623.748.9008





DRU L. DAVIN, INC.
SCOTTSDALE, AZ 85230
PHONE: 602.787.0808
CONTACT: TUCK BETTIN

ENGINEER

KA EKO
4655 N. FLOWING WELLS RD.
TUCSON, AZ 85705
PHONE: 520.690.1669
NATHAN.COTTRELL@KAEKOINC.COM

ARCHITECT

M3 DESIGN
2645 N. 7TH AVE.
PHOENIX, AZ 85007
PHONE: 480.528.3136
CONTACT: JESSE MACIAS

**PRELIMINARY G&D PLAN
FOR
COBBLESTONE EXPRESS CARWASH #63**

APN: 304-56-938
GILBERT, ARIZONA

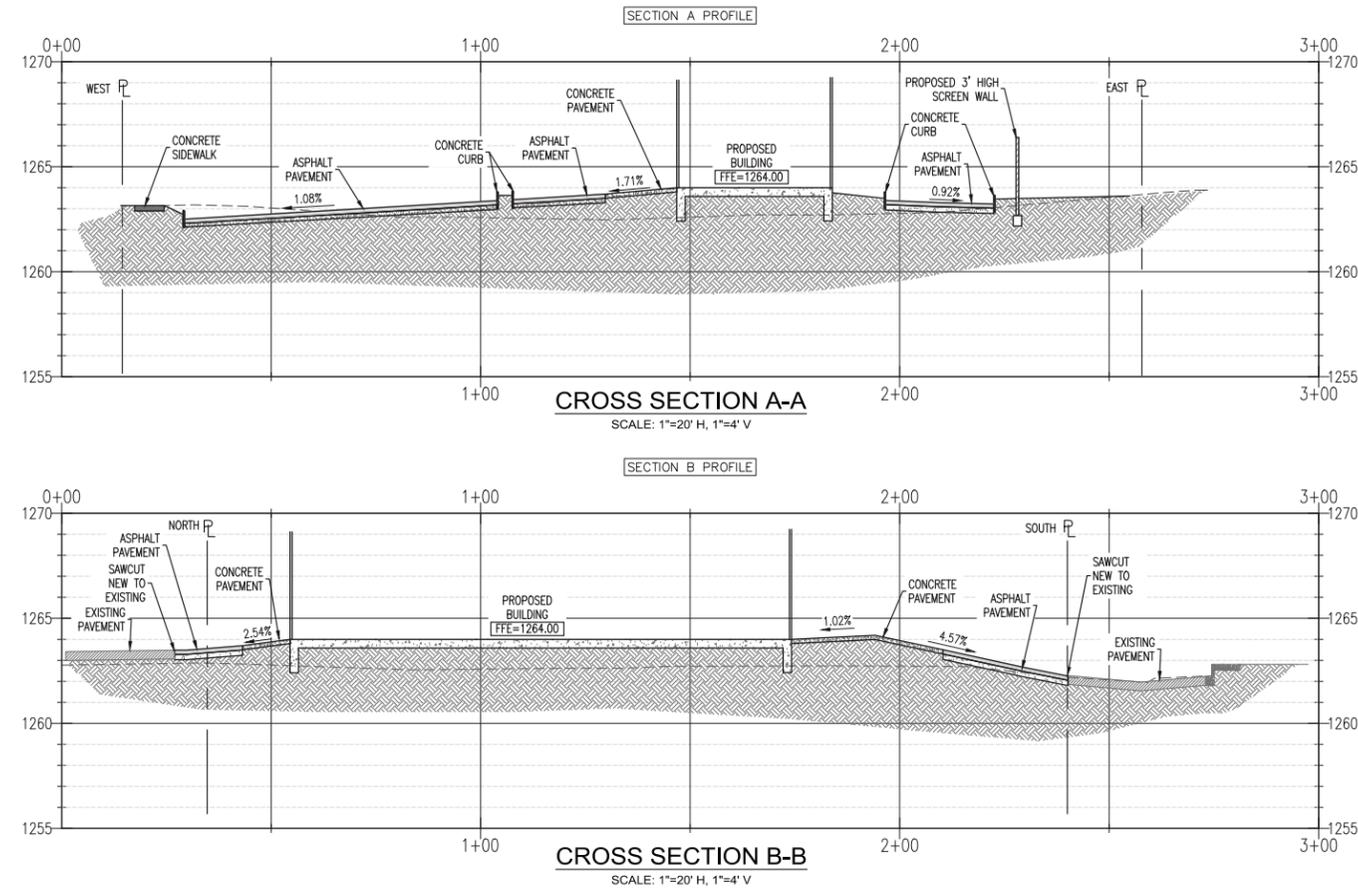
- KEYNOTES** #
- EXISTING ASPHALT PAVEMENT.
 - NEW CONCRETE CURB - PROTECT IN PLACE.
 - EXISTING CONCRETE CURB.
 - NEW SIDEWALK, WIDTH PER PLAN.
 - NEW H.D.P.E. STORM DRAIN PIPE.
 - NEW RETENTION BASIN.
 - NEW 6" SEWER SERVICE WITH GREASE TRAPS. CONNECT TO EXISTING SEWER STUB AT PROPERTY LINE.
 - NEW PAVEMENT GRADE BREAK.
 - ROOF DOWNSPOUT LOCATIONS AS SHOWN.
 - EXISTING FIRE HYDRANT
 - EXISTING WATER SERVICE AND METER BOX - PROTECT IN PLACE.
 - REMOVE EXISTING CONCRETE CURB.
 - NEW 1.5" DOMESTIC WATER SERVICE.
 - NEW SANITARY CLEANOUT.
 - NEW FIRE SERVICE. CONNECT TO EXISTING STUB AT PROPERTY LINE.
 - NEW FIRE RISER AND BUILDING CONNECTION.
 - NEW FDC.
 - NEW CATCH BASIN. GRATE ELEVATION AS SHOWN.
 - CONNECT NEW STORM DRAIN PIPE TO EXISTING STORM DRAIN STUB WITH DRAINAGE M.H. AT LOCATION SHOWN.
 - NEW POST BOLLARD.
 - NEW PLANTER FOR PEDESTRIAN BARRIER.
 - NEW CONCRETE CURB OPENING WITH GROUTED RIPRAP SPILLWAY.
 - RELOCATE EXISTING FIRE LINE, VALVE & HYDRANT TO LOCATION SHOWN.
 - RAISED CURB ISLANDS.
 - REMOVE EXISTING WATERLINE STUB BACK TO TEE AND EITHER INSTALL A FLANGE OR DIRECTLY CAP/PLUG THE TEE PER THE TOWN OF GILBERT WATER DEPARTMENT.
 - NEW ASPHALT PAVEMENT.

DRAWN BY: ALB
CHECKED BY: INJ
DATE: 05/17/24
SCALE:
PROJECT #: 7523038
LAST MODIFIED:
LAST MODIFIED BY:

KA EKO

4655 N. FLOWING WELLS ROAD, TUCSON, AZ 85705
PHONE: 520.690.1669 FAX: 623.748.9008

SHEET 2 OF 3
C0.02



SCOTTSDALE, AZ 85230
 PHONE: 602.787.0808
 CONTACT: TUCK BETTIN

ENGINEER

KAEKO
 4655 N. FLOWING WELLS RD.
 TUCSON, AZ 85705
 PHONE: 520.690.1669
 NATHAN.COTTRELL@KAEKOINC.COM

ARCHITECT

M3 DESIGN
 2645 N. 7TH AVE.
 PHOENIX, AZ 85007
 PHONE: 480.528.3136
 CONTACT: JESSE MACIAS

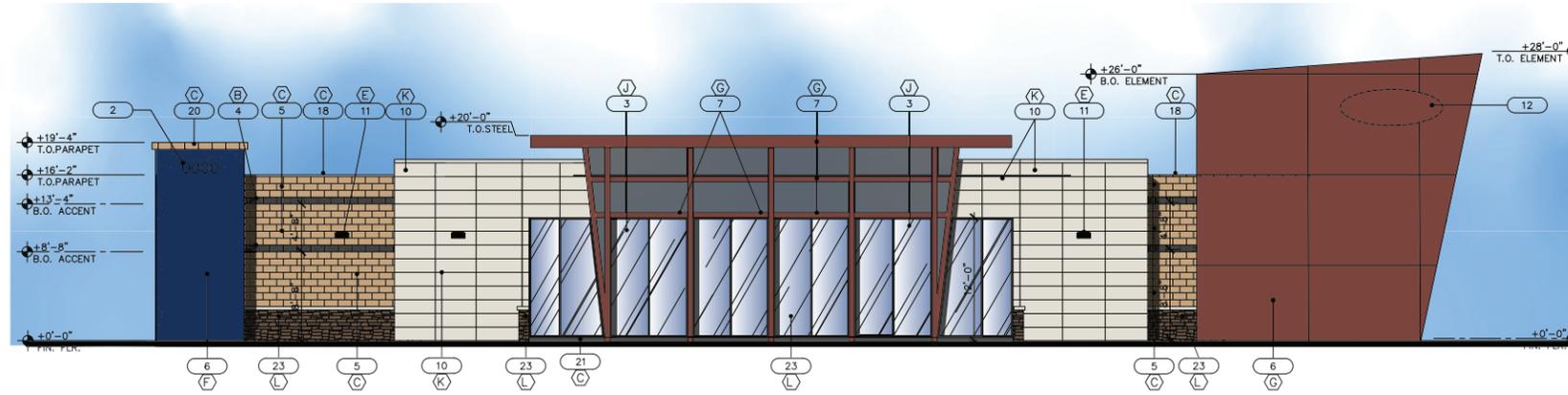
SECTIONS AND DETAILS
FOR
COBBLESTONE EXPRESS CARWASH #63
 APN: 304-56-938
 GILBERT, ARIZONA

DRAWN BY: ALB
 CHECKED BY: NJC
 DATE: 05/17/24
 SCALE:
 PROJECT #: 7523038
 LAST MODIFIED:
 LAST MODIFIED BY:

KAEKO
 4655 N. FLOWING WELLS ROAD, TUCSON, AZ 85705
 PHONE: 520.690.1669 FAX: 623.748.9008

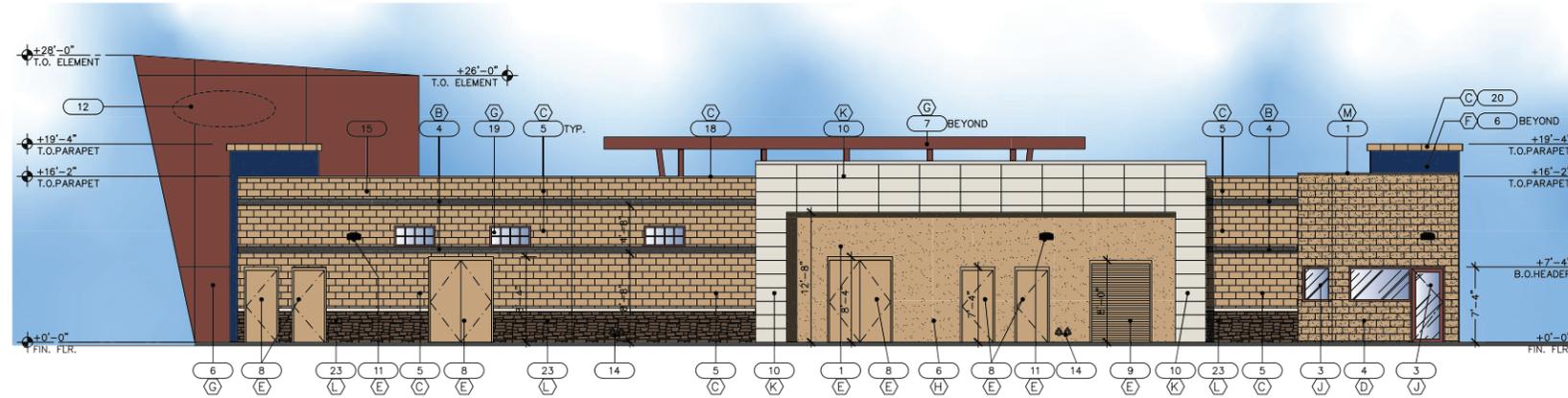


SHEET 3 OF 3



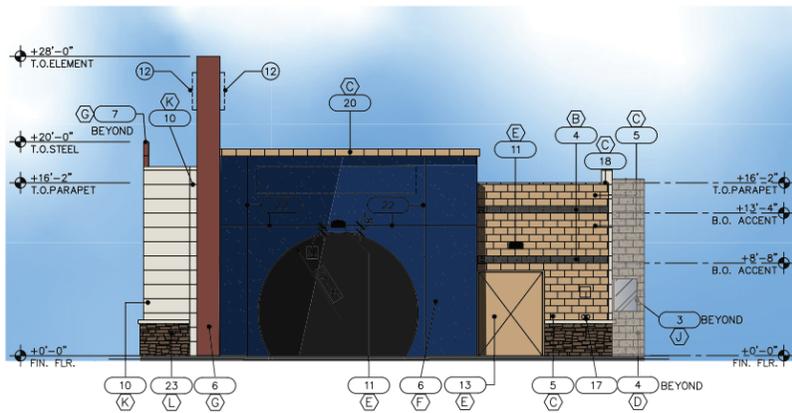
EAST ELEVATION (LINDSAY)

SCALE: 1/8" = 1'-0"



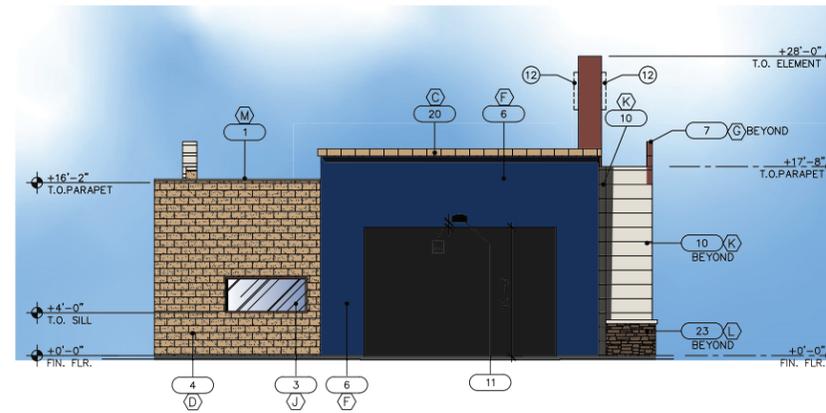
WEST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION (EXIT)

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION (ENTRANCE)

SCALE: 1/8" = 1'-0"

ELEVATION

- 1 METAL CAP - PAINTED
- 2 BUILDING ADDRESS - GC TO VERIFY LOCATION AND SIZE WITH CITY.
- 3 ALUMINUM FRAME WITH GLAZING.
- 4 SPLIT FACE CMU CONSTRUCTION.
- 5 CMU WALL CONSTRUCTION.
- 6 WESTERN 1-KOTE STUCCO SYSTEM-PAINT PER SCHEDULE
- 7 TUBE STEEL STRUCTURAL FRAME.
- 8 HOLLOW METAL DOOR AND FRAME.
- 9 ROLL-UP METAL DOOR.
- 10 NICHHA PANEL SYSTEM-PAINT PER SCHEDULE
- 11 WALL MOUNTED LIGHT FIXTURE.
- 12 ILLUMINATED SIGNAGE REQUIRES SEPARATE PERMITS, APPROVALS AND IS UNDER SEPARATE CONTRACT - SHOWN FOR REFERENCE ONLY.
- 13 SES CABINET - PROVIDE PAINTED SHEET METAL CLOSURE FROM CABINET TO WALL.
- 14 ROOF DRAIN AND OVERFLOW TO DAYLIGHT 12" A.F.G. PROVIDE BRASS NOZZLE AT DISCHARGE.
- 15 ALL RTU'S TO BE SCREENED BY PARAPET TO TOP OF UNIT.
- 16 LINE OF ROOF BEYOND.
- 17 FIRE DEPARTMENT CONNECTION.
- 18 2x8 SMOOTH FACE CMU CAP BLOCK.
- 19 2"x2" TUBE STEEL FRAME WITH 1"x1" TUBE STEEL PICKETS W/ INSECT SCREEN. PAINT FINISH.
- 20 12x8x8 CMU CAP BLOCK LAID ON SIDE.
- 21 CONCRETE CURB PER STRUCT. DWG'S.
- 22 STUCCO EXPANSION JOINT
- 23 FAUX STACKED STONE "CALIFORNIA GOLD SLATE"
- 24 NOT USED

MATERIAL AND COLOR LEGEND

- (A) 8" BLOCK SMOOTH FINISH, STAINED BENJAMIN MOORE "FRENCH TOAST"
- (B) 8" ACCENT BLOCK, SPLIT-FACE FINISH, STAINED "CHARCOAL"
- (C) 8" BLOCK SMOOTH FINISH, STAINED TO MATCH BENJAMIN MOORE "FRENCH TOAST"
- (D) 8" BLOCK, SPLIT-FACE FINISH, STAINED BENJAMIN MOORE "FRENCH TOAST"
- (E) PAINT TO MATCH ADJACENT WALL COLOR.
- (F) PAINT SHERWIN WILLIAMS 8122 "MIDNIGHT BLUE"
- (G) PAINT SHERWIN WILLIAMS #SW2307 "RED BARN".
- (H) PAINT BENJAMIN MOORE "FRENCH TOAST".
- (J) FINISH TO MATCH SHERWIN WILLIAMS #SW2307 "RED BARN".
- (K) NICHHA "ILLUMINATION" SERIES WALL PANEL SYSTEM
- (L) FAUX STACKED STONE "CALIFORNIA GOLD SLATE"
- (M) METAL CAP "FRENCH TOAST"
- (N) NOT USED

NOTE:
GC TO VERIFY ALL COLORS WITH OWNER.

COLOR LEGEND:



2645 NORTH 7th AVE
PHOENIX, ARIZONA



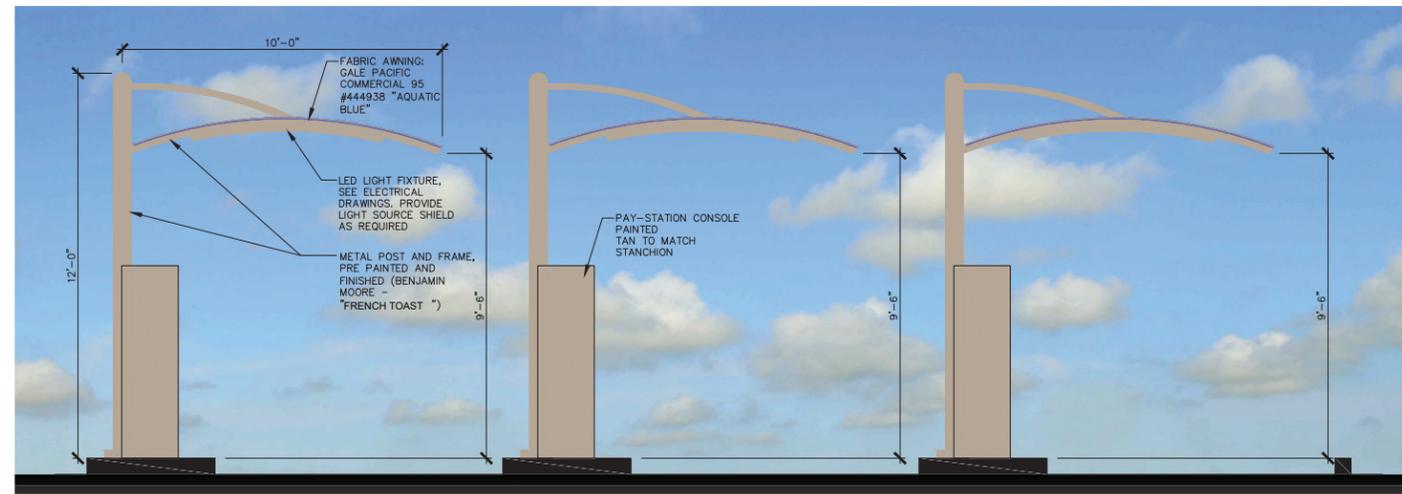
COBBLESTONE EXPRESS CARWASH #63
SWC LINDSAY & GERMANN, GILBERT, ARIZONA

COLOR ELEVATIONS

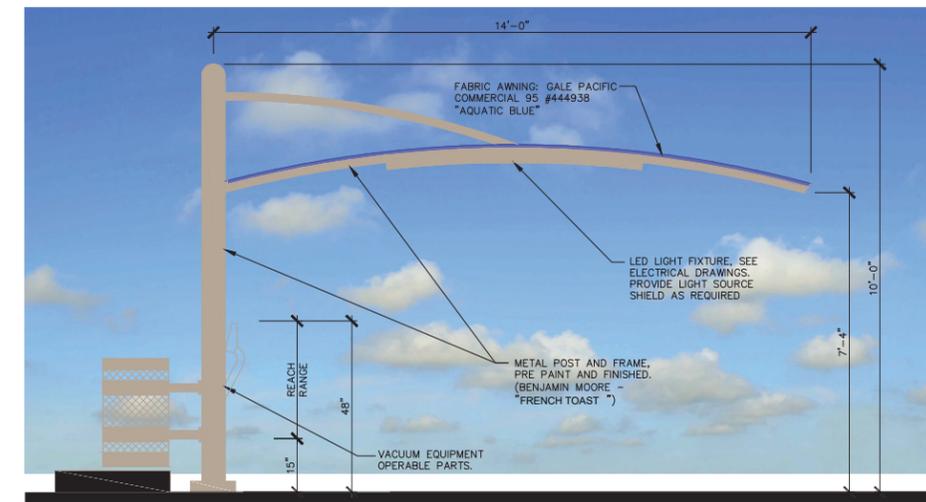
DATE: 2024-06-12
SCALE:
DRAWN BY: JM
PROJECT NUMBER: CBL22007.0

DD3

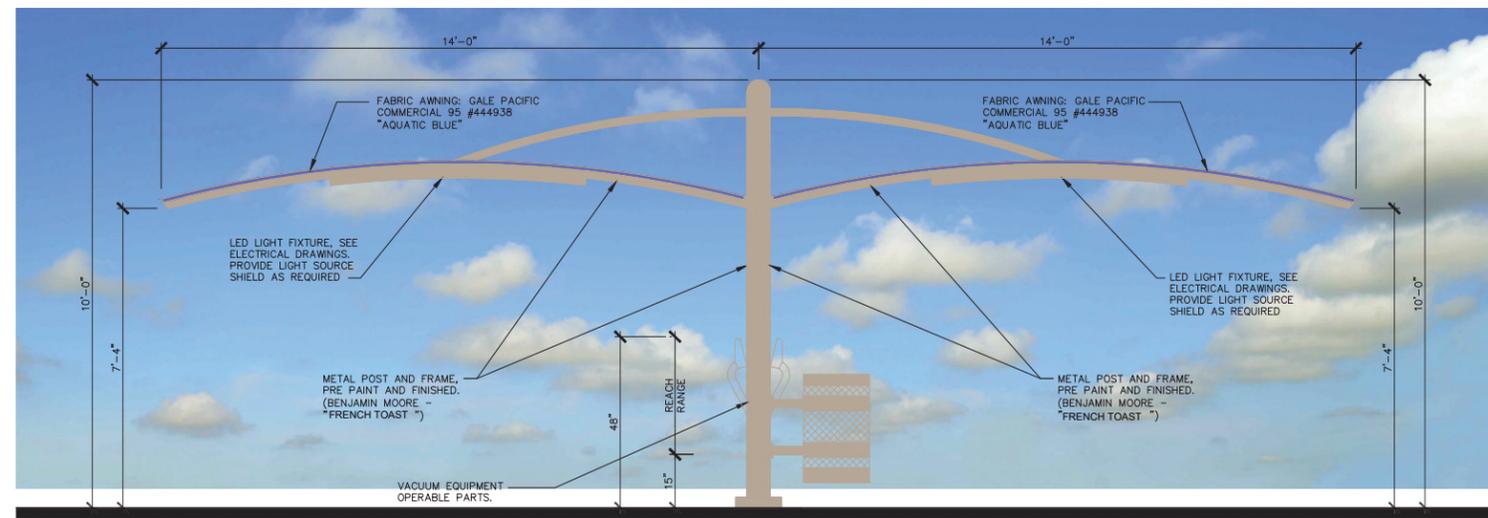
PROJECT #: DR23-170



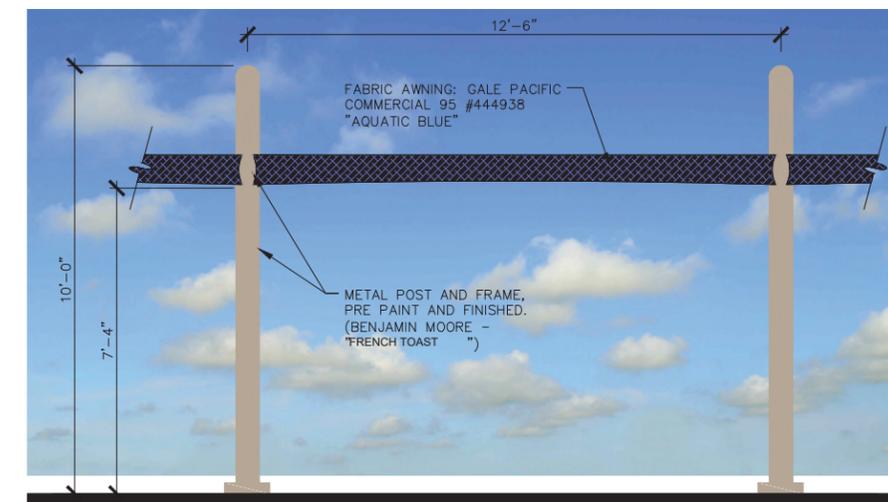
1 PAY STATION CANOPY
SCALE: 1/2"=1'-0"



2 VACUUM SINGLE STANCHION ELEVATION
SCALE: 1/2"=1'-0"



3 VACUUM DBL STANCHION FRONT ELEVATION
SCALE: 1/2"=1'-0"

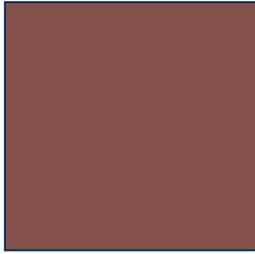


4 VACUUM STANCHION FRONT ELEVATION
SCALE: 1/2"=1'-0"



COBBLESTONE EXPRESS CARWASH #63
SWC LINDSAY & GERMANN
GILBERT, ARIZONA
COLOR CANOPY ELEVATIONS

DATE:	2024-06-15
SCALE:	
DRAWN BY:	JM
PROJECT NUMBER:	CBL22007.0
SHEET:	DD4A
PROJECT #	PDR23-DR-00170



STEEL TOWER/"BLADE"
SHERWIN WILLIAMS
SW7591 "RED BARN"



SPLIT-FACE CMU BLOCK OFFICE
BENJAMIN MOORE
"FRENCH TOAST"



ENTRY/EXIT TOWERS
STUCCO FINISH
"MIDNIGHT BLUE"



FAUX STACKED STONE
"CALIFORNIA GOLD SLATE"



NICHIHA
ILLUMINATION SERIES
"ORIGAMI WHITE"



SMOOTH CMU BLOCK
MAIN BUILDING
"FRENCH TOAST"



SPLIT-FACE ACCENT
CMU BLOCK
"CHARCOAL"

MATERIALS BOARD



COBBLESTONE AUTO SPA #63
SWC LINDSAY & GERMANN
GILBERT, ARIZONA



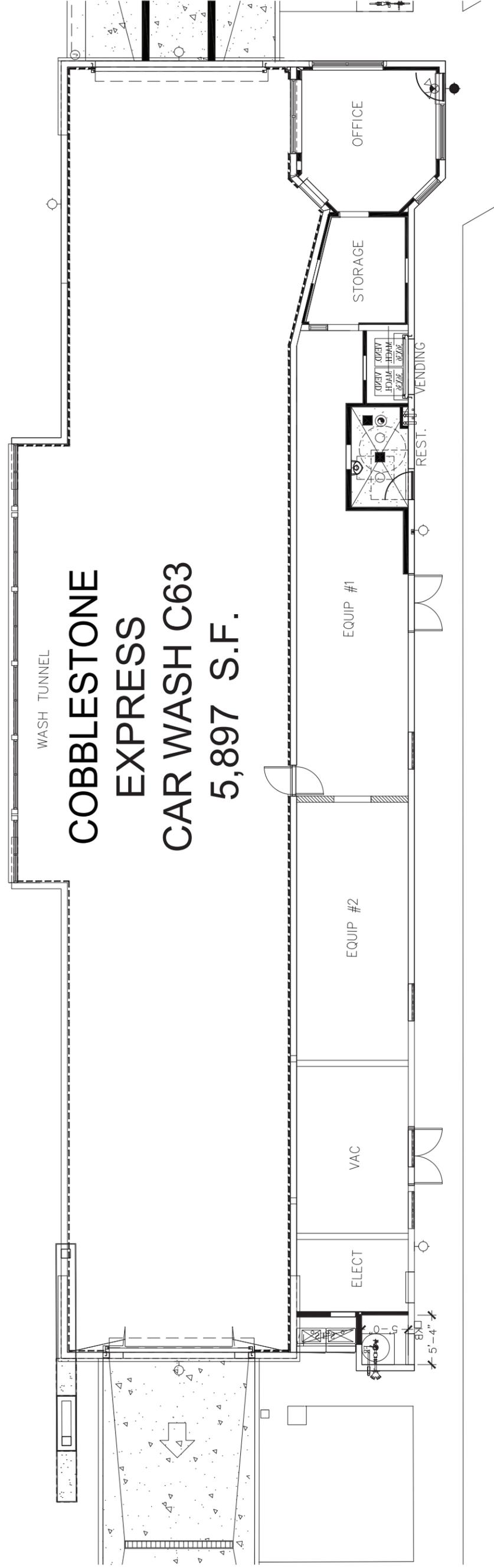
2645 NORTH 7TH AVENUE
PHOENIX, ARIZONA 85007



COBBLESTONE EXPRESS CARWASH #63
SWS LINDSAY & GERMANN, GILBERT, ARIZONA

COBBLESTONE FLOOR PLAN

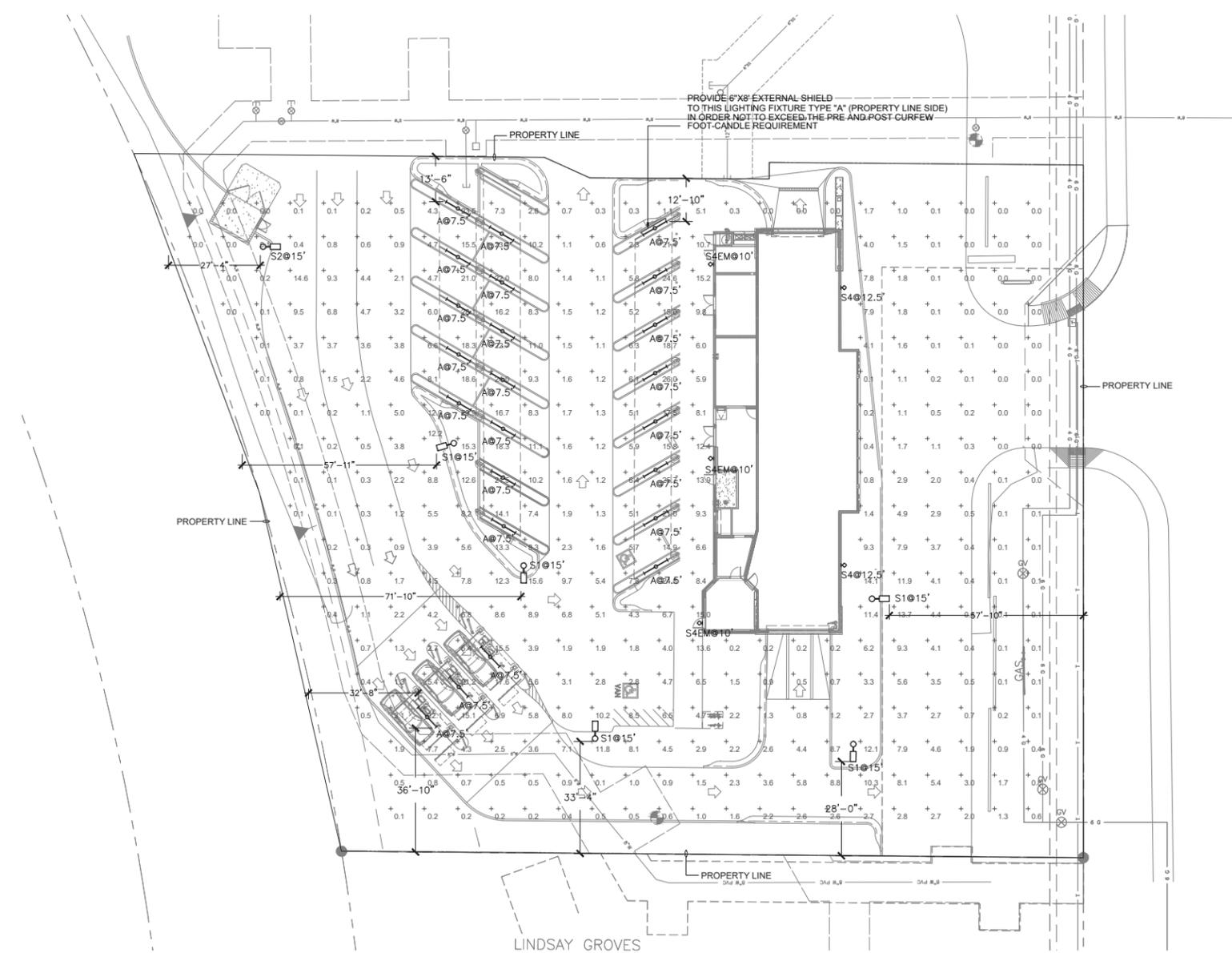
DATE: 2023-07-20
SCALE:
DRAWN BY: JIM
PROJECT NUMBER: CBL22007.0
PROJECT #: DD4.0



1 NORTH
COBBLE FLOOR PLAN
SCALE: 3/16" = 1'-0"

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamps	per Lamp	LLF
I	A	23	G&G Industrial Lighting	GPX8-SO	Dimmerless AC LED Luminaire	1	4800	0.90
□	S1	5	SIGNIFY GARDCO	ECF-S-32L-1A-NW-G2-2	EcoForm Area LED ECF - Small, 32 LED's, 4000K CCT, TYPE 2 OPTIC, NO SHIELD	1	13683	0.90
□	S2	1	SIGNIFY GARDCO	ECF-S-32L-1.2A-NW-G2-RCL	EcoForm Area LED ECF - Small, 32 LED's, 4000K CCT, TYPE RCL OPTIC	1	6910	0.90
□	S4	2	STONCO/KEENE	LPW32-50-NW-G3-2	LPW32, 32 LED's, 4000K CCT, TYPE 2 OPTIC	1	6025	0.90
□	S4EM	3	STONCO/KEENE	LPW32-50-NW-G3-2 EBP-Normal Mode	LPW32, 32 LED's, 4000K CCT, TYPE 2 OPTIC, LPW32-EBP	1	6025	0.90

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site @ 0'-0" AFG	+	4.7 fc	29.9 fc	0.0 fc	N/A	N/A



2008 NORTH 7th AVE
PHOENIX, ARIZONA 8



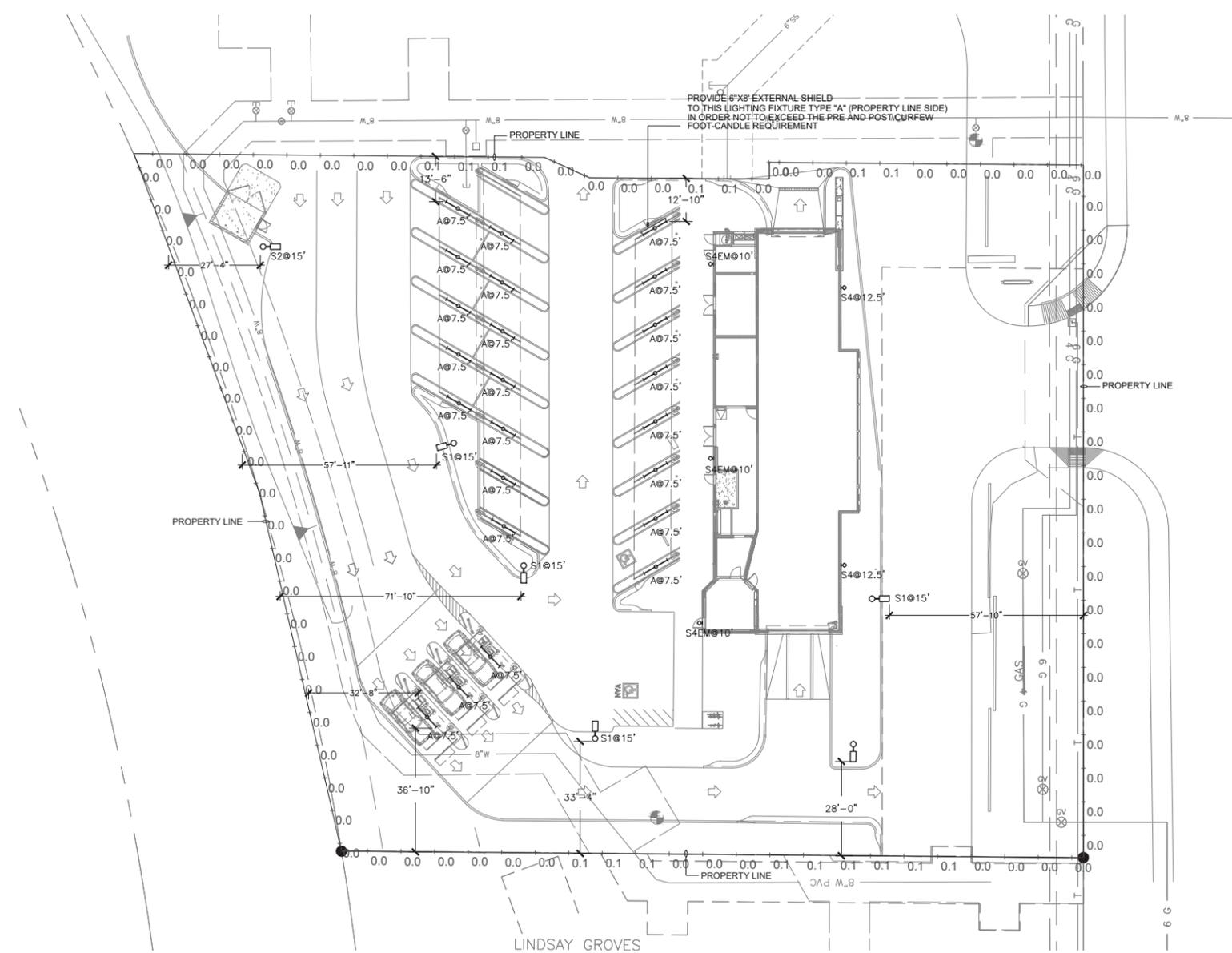
COBBLESTONE EXPRESS CARWASH
763 E GERMANN ROAD
GILBERT, ARIZONA

PHOTOMETRIC PLAN - SITE LIGHTING

Design Group
Electrical Design and Construction
2415 East Camelback Road, Suite 700,
Phoenix, AZ 85016
T: 602-560-3344 E: info@designgroup.org
Proj. Mgr.: Sandy Q. Proj. No.: 23-075

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Lumens per Lamp	LLF
I	A	23	G&G Industrial Lighting	GPK8-S0	Dimmerless AC LED Luminaire	1	4800	0.90
□	S1	5	SIGNIFY GARDCO	ECF-S-32L-1A-NW-G2-2	EcoForm Area LED ECF - Small, 32 LED's, 4000K CCT, TYPE 2 OPTIC, NO SHIELD	1	13683	0.90
□	S2	1	SIGNIFY GARDCO	ECF-S-32L-1.2A-NW-G2-RCL	EcoForm Area LED ECF - Small, 32 LED's, 4000K CCT, TYPE RCL OPTIC	1	6910	0.90
□	S4	2	STONCO/KEENE	LPW32-50-NW-G3-2	LPW32, 32 LED's, 4000K CCT, TYPE 2 OPTIC	1	6025	0.90
□	S4EM	3	STONCO/KEENE	LPW32-50-NW-G3-2 EBP-Normal Mode	LPW32, 32 LED's, 4000K CCT, TYPE 2 OPTIC, LPW32-EBP	1	6025	0.90

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line @ 5'-0" AFG	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A



COBBLESTONE EXPRESS CARWASH
763 E GERMANN ROAD
GILBERT, ARIZONA

PHOTOMETRIC PLAN - PROPERTY LINE PRE-CURFEW

Design Group
Electrical Design and Consulting
2415 East Camelback Road, Suite 700,
Phoenix, AZ 85016
T: 602-560-3344 E: info@designgroup.org
Proj. Mgr.: Sandy Q. Proj. No.: 23-075

Design Review Project Narrative
For

Cobblestone Express Carwash C63

*Near the Southwest Corner of Lindsay Rd and Germann Rd
APN 304-56-938*

Case: PGP-2023-00013, PZN-2023-00011, and PDR-2023-00170

*General Plan Amendment request from NC to GC
Rezoning request from NC to CC*

Design Review for a proposed Cobblestone Express Carwash on a site less than 5 acres

First Submittal: February 2, 2024

Resubmittal: May 10, 2024

Submitted on behalf of
Cobblestone Auto Spa
8900 E Bahia Dr
Scottsdale, AZ 85230
www.cobblestone.com
(623) 787-0808

Submitted by
Gilbert Blilie PLLC
701 North 44th Street
Phoenix, Arizona 85008
www.gilbertblilie.com
(480) 429-3000



Cobblestone Auto Spa Express Carwash

Minor General Plan Amendment, Rezone, and Design Review (Less than 5 acres)

Near the southwest corner of Lindsay Rd and Germann Rd

Project Description

Gilbert Blilie PLLC is requesting a Minor General Plan Amendment from Neighborhood Commercial (NC) to General Commercial (GC) and a Zoning Map Amendment from Neighborhood Commercial (NC) to Community Commercial (CC), as well as Design Review for a vacant property less than 5 acres located near the southwest corner of Lindsay Rd and Germann Rd (APN 304-56-938). The proposed project will develop a new 4,857-square-foot express car wash facility with 22 free covered vacuum stations (the "Project").

Existing Conditions

The site (see Figure 1 below) consists of 1.16 net acres (1.52 gross acres) of vacant, undeveloped land near the intersection of two arterial roads – Germann Rd (major arterial) and Lindsay Rd (minor arterial). Importantly, this site is located less than a half-mile from the new highway access from Lindsay Rd to the Loop 202.

Figure 1. Site Aerial and Context



Cobblestone Auto Spa Express Carwash

Minor General Plan Amendment, Rezone, and Design Review (Less than 5 acres)

Near the southwest corner of Lindsay Rd and Germann Rd

Relationship to Surrounding Context

North: The property immediately north of the subject site is in the process of developing a 7-11 gas station and convenience store. North of Germann Rd is a large self-storage facility – Extra Space Storage – zoned C-3 in the County, which is the most intense commercial designation in the County, and planned for industrial uses in the Town’s General Plan. The northeast corner of Lindsay Rd and Germann Rd is an existing agricultural field incorporated in the Town of Gilbert, but designed for General Office in the Town’s General Plan and zoned Business Park.

South: Immediately south of the subject site is the existing Lindsay Groves professional offices, which includes single-story, garden style offices.

East: East of Lindsay Road, although designed for residential uses in the General Plan and zoned SF-6, is the Central Christian Church campus that sits on nearly 53 acres of land.

West: The western boundary is bordered by a canal. Beyond the canal are the Town Germann apartments currently under construction, which will consist of 209 units (approx. 14.5 du/ac) and each with a two-car garage. Northwest of the site is a 4.2-acre county island planned for General Office uses in the Town’s General Plan.

Project Overview

The Project will consist of a single 4,857-square-foot building housing the express drive-through car wash functionalities, as well as a small office for employees. The parking lot will be equipped with shade canopies and 22 free vacuum stations spaced between each parking space for customers. The table below provides the development standards of the proposed Project in relation to the CC zoning district requirements:

Standards	CC Zoning	Proposed
Maximum Size of Use or Stand-alone Building (sf.)	50,000	4,857
Maximum Building Height (ft./stories)	35/2	30/1
Minimum Building Setbacks (ft.)		
<i>Front</i>	20	66.5
<i>Side (North)</i>	0	5
<i>Side (South)</i>	15	66
<i>Rear (Residential)</i>	15	90
Minimum Required Landscape Area (ft.)		
<i>Front</i>	20	33.75
<i>Side (North)</i>	0	0
<i>Side (South)</i>	15	16
<i>Rear</i>	15	15
Landscaping (% of net area)	15	30%
Off-Street Parking (# of spaces)	2	3

Cobblestone Auto Spa Express Carwash

Minor General Plan Amendment, Rezone, and Design Review (Less than 5 acres)

Near the southwest corner of Lindsay Rd and Germann Rd

Access to the site is primarily provided via an existing driveway along the south-bound lane of Lindsay Rd, which is restricted to right-in-right-out only access due to a center median in the roadway. There is also an existing vehicular access easement through the future 7-11 gas station and convenience store that will allow customers to access the site from Germann Rd as well. Circulation around the car wash facility will also utilize this vehicular access easement on the northern boundary of the site where customers will enter the queuing line for the payment kiosks and after existing the automatic car wash tunnel, as well as for circulation around the parking lot/vacuum stations. This project will also provide a 5-foot-wide pedestrian path along the western boundary adjacent to the canal and connecting to the Lindsay Groves to the south and to the 7-11 development to the north. This path will run over a water easement in order to maintain adequate landscaping long the property line to shade the pathway for pedestrians.

The landscape plan submitted with this application also provides for lush landscaping along the Lindsay Rd frontage, which will be provided in addition to the existing streetscaping along Lindsay Rd today south of the driveway. The west and south boundaries will also contain rows of shade trees to screen the view of the Project from the adjacent properties.

This type of quick and convenient service is essential for the rapidly-increasing employment base and residential density in the area. Many multifamily units, like the 209-unit Town Germann apartments under construction just the west of the site or the 356-unit Curve at Gilbert apartments, do not have the space or necessities available for residents to wash their personal automobiles. Similarly, the growing employment center along Germann Rd, inclusive of the Gilbert Crossroads Business Park, Park Lucero, The Reserve, and others featuring facilities ranging in size from approximately 70,000-square-feet to 100,000-square-feet, attracts a diversity of employees, the vast majority of whom likely commute via their personal vehicle. Additionally, the adjacent Central Christian Church attracts hundreds if not thousands of church goers on a weekly basis. As such, the proposed car wash facility and self-service vacuums is at the ideal location in the surrounding employment center and in close proximity to the new Loop 202 access from Lindsay Rd to provide a quick and convenient stop for residents and employees along their daily commute or between errands to clean their personal vehicles.

Zoning Request

The site today is zoned NC, which allows a variety of small-scale retail, office, and service uses less than 25,000 square feet per building. However, it is located at the intersection of two arterial roads and less than a half-mile from the new Loop 202 access from Lindsay Rd. So, the subject site has much broader access to the community with its proximity and quick and convenient access to the freeway. Additionally, Germann Rd has developed as a major employment center. The adjacent residential areas are either multifamily or a church. Thus, this is not nested within a neighborhood. Further, the property immediately north is under development for a 7-11 gas station and convenience store, which this use is highly compatible with. In fact, it is very common for gas stations to include car washing facility as an accessory use as many customers refueling

Cobblestone Auto Spa Express Carwash

Minor General Plan Amendment, Rezone, and Design Review (Less than 5 acres)

Near the southwest corner of Lindsay Rd and Germann Rd

their vehicle often choose to clean their vehicle during the same trip. The proposed Cobblestone Auto Spa Express Car Wash will provide that service to the 7-11 customers, as well as to the broader community.

General Plan Conformance

The subject site is currently designated NC on the 2020 General Plan Land Use Map, which is intended for basic services for the immediate area and are generally no larger than 5 acres in size. However, it should be noted that the NC designation the subject site lies within is approximately 8 acres, and thus is currently inconsistent with the General Plan description of the NC land use. It should also be noted that the General Plan Land Use Map was adopted prior to the opening of the Loop 202 interchange with Lindsay Rd. This minor General Plan Amendment for the GC land use designation will bring the General Plan into compliance with this acreage limitation by reducing the amount of the NC land use at the southwest corner of Lindsay Rd and Germann Rd, and will be further compatible with the approval of the subsequent rezoning request for CC zoning.

The subject site is also within the Gilbert and the 202 Growth Area of the General Plan, which is intended for general office, business park, and light industrial land uses that have a need for quick freeway access or proximity to the airpark. These large-scale employment uses have been built out along the Germann Rd corridor, which does not foster the need for neighborhood uses, and as such, does not necessitate the NC land use designation in the General Plan. Furthermore, the proposed Project will also capitalize on the quick freeway access to Loop 202, which is identified as an asset to this growth area.

Nonetheless, the Project will advance and support several of the General Plan goals and policies, including the following:

Community Goal 1: Encourage a Balanced Land Use Framework

Policy 6: Support the provision of appropriate transitions between sites having distinct changes in types or intensities of land uses.

This subject site is sandwiched between large-scale employment uses and multifamily development to the west, a major church campus to the east, a gas station and industrial uses to the north, and office uses to the south. The proposed minor General Plan Amendment for the GC land use designation will be more compatible and provide a better balance of uses between and transition from the employment, multifamily, and industrial uses, to the adjacent church campus and office complex.

Opportunity Goal 1: Encourage Job Growth

Policy 46: Maintain and broaden the mix of unique shopping, service, and hospitality opportunities.

Cobblestone Auto Spa Express Carwash

Minor General Plan Amendment, Rezone, and Design Review (Less than 5 acres)

Near the southwest corner of Lindsay Rd and Germann Rd

The Project will deliver a unique service to Town of Gilbert Residents, employees, and church goers, offering a quick and convenient location to thoroughly clean their personal vehicles. This service offers a necessary service to customers who may not have time to clean their vehicle at home; enjoy the convenience of not having to wash their car themselves; or perhaps provides the only opportunity for some residents and employees to clean their vehicle as they may not have the capabilities to do it at home, for example those living in multifamily communities like the future residents of the adjacent Town Germann.

Fiscal Impact on Surrounding Properties

This project will not have any adverse impacts on surrounding properties. All motors and fans for the facility are internalized to the building to minimize any off-site noise concerns. In fact, this Project is highly compatible with the adjacent 7-11 gas station and convenience store.

Impact on Resources

This project will not adversely affect the Town's resources and services. The relatively small site is already planned and zoned for commercial uses.

Public Utilities

As an infill site adjacent to existing development, the site is currently served by the following public utilities:

Power: SRP

Gas: Southwest Gas

Water: Town of Gilbert

Sewer: Town of Gilbert

Refuse: Town of Gilbert

Conclusion

The proposed Cobblestone Auto Spa Express Car Wash will be highly compatible with the surrounding context, and is situated in the ideal location in proximity to the new Loop 202 access from Lindsay Rd to provide quick and convenient service to the rapidly-increasing employment base and residential density in the area, including the Town Germann and Curve at Gilbert apartments, which do not have the space or necessities available for residents to wash their personal automobiles. Likewise, the proposed Project will provide a great pitstop for employees to clean their vehicle while on their daily commute to and from the growing employment center, inclusive of the Gilbert Crossroads Business Park, Park Lucero, The Reserve, among others along Germann Rd, and/or or between errands before or after weekly church services held at the Central Christian Church right across Lindsay Rd.

Petition of No Opposition

By signing my name below, I acknowledge that I have met with a representative of Cobblestone's development team to review and discuss the proposed Express Car Wash at the southwest corner of Lindsay Rd and Germann Rd (APN 304-56-938). My signature confirms that I am not opposed to the requested General Plan Amendment (PGP-2023-00013) from NC to GC, Rezone (PZN-2023-00011) from NC to CC, and Design Review (DR23-170) for the proposed Cobblestone Express Car Wash.

Business Extraspace Storage

Name Santiago Valencia

Position Manager

Address 

City/Zip Code 85297

Signature S. Valencia

Date 7/10/24

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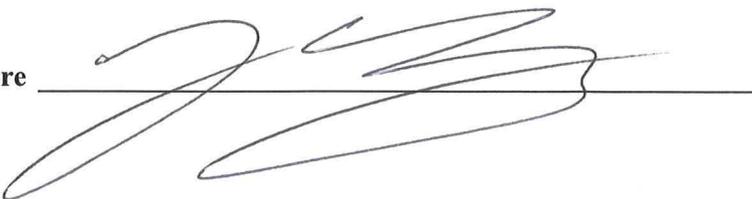
Business _____

Name John Keeverabouth

Position Assistant Manager

Address 

City/Zip Code Gilbert AZ 85297

Signature 

Date 7/10/24

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Business Foundations Developmental House

Name Tracy Shale

Position Operations Manager

Address [REDACTED]

City/Zip Code Gilbert Az 85297

Signature Tracy Shale

Date 7/10/24

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Business Cresleigh Homes

Name Nicole Lafar

Position Ap manager

Address 

City/Zip Code Gilbert AZ 85297

Signature 

Date 7/10/24

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Business All About Smiles Pediatric Dentistry

Name Dr. Katherine Cotton

Position Owner

Address 

City/Zip Code Gilbert, AZ 85297

Signature Kathy Cotton

Date 7/18/24

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Business Dynasty Law PLC

Name Koleya Sierra

Position Law Clerk

Address 

City/Zip Code Gilbert AZ 85297

Signature Koleya Sierra

Date 7.10.24

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Business Dynasty Law PLC

Name Sarah Drush

Position paralegal

Address [REDACTED] Gilbert, AZ 85297

City/Zip Code _____

Signature 

Date 7/10/24

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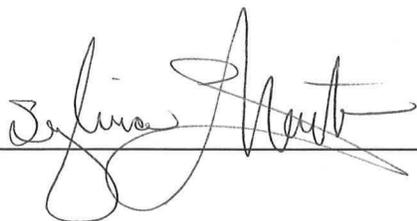
Business Peterson Geotechnical

Name Sylvia Montierth

Position Office Manager

Address [REDACTED]

City/Zip Code Gilbert, AZ 85297

Signature 

Date 7/11/24

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Business Peterson Geotechnical Group

Name Monika Heiges

Position Tech Assistant

Address [REDACTED]

City/Zip Code Gilbert, AZ 85297

Signature Monika Heiges

Date 7/11/24

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Business PGG

Name JESSE ROWLEY

Position SR PROJECT MANAGER

Address 

City/Zip Code 85297

Signature 

Date 07/10/24