

## Planning Commission Staff Report

TO: PLANNING COMMISSION

FROM: SAMANTHA NOVOTNY, PLANNER I *SN*  
 (480) 503-6602, SAMANTHA.NOVOTNY@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *AM*  
 (480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: DECEMBER 6, 2023

SUBJECT: DR23-86 FUTURE RETAIL 2

**STRATEGIC INITIATIVE:** Exceptional Built Environment

This project is developing a multi-tenant, commercial building for restaurant uses and/or retail uses.

### RECOMMENDED MOTION

Approve the Findings of Fact and approve DR23-86: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.3 acres, generally located north of the northwest corner of Higley Road and Williams Field Road and zoned Shopping Center (SC).

### APPLICANT

Company: Kimley-Horn  
 Name: Bryce Quigley  
 Address: 7740 N 16<sup>th</sup> St., Ste 300

### OWNER

Company: SanTan Development Group  
 Name: Ty LeSueur  
 Address: 3850 E Baseline Rd., Ste 114

Phoenix, AZ 85020  
 Phone: (602) 371-4517  
 Email: [Bryce.quigley@kimley-horn.com](mailto:Bryce.quigley@kimley-horn.com)

Mesa, AZ 85206  
 Phone: (480) 424-3425  
 Email: [ty@lesueurinvestments.com](mailto:ty@lesueurinvestments.com)

**BACKGROUND/DISCUSSION**

**History**

Date	Description
<i>May 9, 2006</i>	Town Council adopted Ordinance No. 1748 (A06-21), annexing approximately 60.93 acres from Maricopa County into the Town of Gilbert, which included the subject site.
<i>September 26, 2006</i>	Town Council adopted Ordinance No. 1833 (Z06-22) rezoning 60.93 acres from Maricopa County R-43, C-2, and C-3 to Town of Gilbert SC, CC, and LI.
<i>July 13, 2022</i>	Planning Commission approved DR20-177 QuikTrip #1405: a site plan, landscape plan, grading and drainage, elevations, floor plan, lighting, and colors and materials on approximately 2.81 acres. This approval also included a master site plan and phasing plan for approximately 12.6 acres located at the northwest corner of Higley Road and between Williams Field Road and the Union Pacific Railroad.

**Overview**

The subject site is located on an approximate 1.3-acre portion of a 12.6-acre master site plan located north of the northwest corner of Higley Road and Williams Field Road in the Gateway Character Area. The master site plan is zoned Light Industrial (LI) and Shopping Center (SC). The applicant is proposing to develop a portion of the master site plan with a 1-story multi-tenant building that is approximately 5,752 square feet total. The unified development of medium- scale retail, office, service and entertainment uses under 75,000 square feet per user or stand-alone building is permitted in the Shopping Center (SC) zoning district.

**Surrounding Land Use & Zoning Designations:**

	Existing Land Use Classification	Existing Zoning	Existing Use
North	General Commercial	Shopping Center	Vacant Land/Formal RWCD Facility

South	General Commercial	Shopping Center	Vacant Land/Former RWCD Facility
East	General Commercial	Shopping Center	Higley Road, then Pioneer Landscape Center
West	General Commercial	Shopping Center	Vacant Land/Former RWCD Facility
Site	General Commercial	Shopping Center	Vacant Land/Former RWCD Facility

### Project Data Table

Site Development Regulations	Required per LDC	Proposed
Maximum Building Height (ft.)/(Stories)	35'/2	17'/1
Minimum Building Setback (ft.)		
Front	25'	123'
Side (Non-residential)	15'	15'
Rear (Residential)	75'	247'
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	25'
Side (Non-residential)	15'	9'-6" (north) 10' (south)
Rear (Residential)	35'	35'
Landscaping (% of net lot area)	15%	28.4%
Off-Street Parking and Loading	1 space per 250 SF <u>+ 1 space per 400 SF patio</u> 23 spaces required	58 spaces (includes 3 ADA spaces and 4 mobile-order pick-up spaces)
Bicycle Parking	4 spaces	4 spaces

## DISCUSSION

### Site

The proposal is to develop a 1-story multi-tenant building that is approximately 5,752 square feet total, on a portion of an existing master site plan (DR20-177). The multi-tenant building includes approximately 2,977 square feet of restaurant and 2,775 square feet for a drive-thru restaurant user. The master site plan was

approved on July 15, 2022, and included the development of the Quik Trip to the south and the phasing plan for the remainder of the northwest corner of Higley Road and Williams Field Road. The master site plan also established off-site improvements for internal circulation patterns, drive aisles, drainage, and ingress/egress drives from Higley Road and Williams Field Road. Zoning for the site is Shopping Center (SC), which allows restaurant and retail as permitted uses by right.

Access to the site is provided from a shared access point off Higley Road to the north of the proposed building. This access point is right-in, right-out only. Parking surrounds the proposed building on the north, east, and west, with the drive-thru access at the rear of the site, providing ample vehicle storage in the drive-thru lane.

### **Landscape**

The landscape plan proposes 28.4% open space and includes a varied plant palette of drought-tolerant trees and shrubs. The types of trees include: Red Push Pistache, Evergreen Elm, and Live Oak. Some of the shrub and accent plant types include Aloe Vera, Valentine Bush, Rio Bravo Sage, Regal Mist Grass, Nashville Muhly, Petite Pink Oleander, Upright Rosemary, Baja Ruellia, New Gold Lantana, and Purple Trailing Lantana. All landscape materials will be evenly distributed along each road frontage, the perimeter boundaries of the site, within the parking areas, and around the foundations of all buildings. The landscaping is consistent with the palette of the master site plan.

### **Grading and Drainage**

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division. Drainage is proposed to be provided across the master site plan and includes underground storage tanks as well as aboveground basins at the front and rear landscape setback areas.

### **Elevations, Floor Plan, Colors and Materials**

The building is designed with articulation and vertical and horizontal movement on all sides of the structure. The building will be predominantly EIFS in two shades, Anew Gray and Dovetail. Brick veneer, in the color Pewter Mission and fiber cement panels in the color Cedar accent the building. Shading is provided by black metal awnings on all four sides of the building over entryways and over the windows. The store will also feature large windows along the street frontage elevation to provide additional visual interest.

## Lighting

Lighting consists of parking lot light poles, wall mounted fixtures, bollard lights and ceiling mounted fixtures under the drive thru canopy. All site lighting will be required to comply with Town codes.

## Signage

Approval of a Comprehensive Sign Plan is required to establish sign design standards and coordination of uses and multiple tenants expected in this commercial subdivision. Staff has not reviewed any conceptual designs or locations for signage as of the writing of this staff report. Any signage shown on exhibits is illustrative and not part of this approval.

## PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town, and neighborhood notice was provided per the requirements of the LDC Section 6.2.6.

Staff has received no public comments as of the writing of this staff report.

## STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR23-86: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.3 acres, generally located north of the northwest corner of Higley Road and Williams Field Road and zoned Shopping Center (SC):

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the December 6, 2023, public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
- c. Signage is not included in this approval. Prior to submission of sign permits, approval of a Comprehensive Sign Plan shall be created to establish sign design standards and coordination of multiple uses.
- d. If this project has been approved by the Planning Commission to provide and install an outdoor dining/seating/patio area, and prior to or during construction, deletion/removal of this area is warranted, the area shall be landscaped to maintain the integrity of the project. A revised site plan must be submitted to Planning for review and approval.

- e. A final plat shall be submitted at the time of construction drawing submittal for town approval of lots created through Maricopa County.
- f. A Property Owners Association (POA) shall be established prior to permit issuance for the initial phase of development to maintain and operate all landscaping, open space, recreation facilities, private streets, private sidewalks, parking area, utilities, and/or other facilities.

Respectfully submitted,



Samantha Novotny  
Planner I

**Attachments and Enclosures:**

- 1) Findings of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Master Site Plan
- 6) Landscape
- 7) Grading and Drainage
- 8) Elevations
- 9) Colors and Materials
- 10) Floor Plans
- 11) Lighting
- 12) Applicant's Narrative

## **FINDINGS OF FACT DR23-86, FUTURE RETAIL 2**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

# Notice of Public Hearing

PLANNING COMMISSION DATE:

Wednesday, December 6, 2023\* TIME: 6:00 PM

LOCATION: Municipal Building I  
Council Chambers  
50 East Civic Center Drive

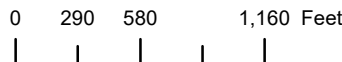
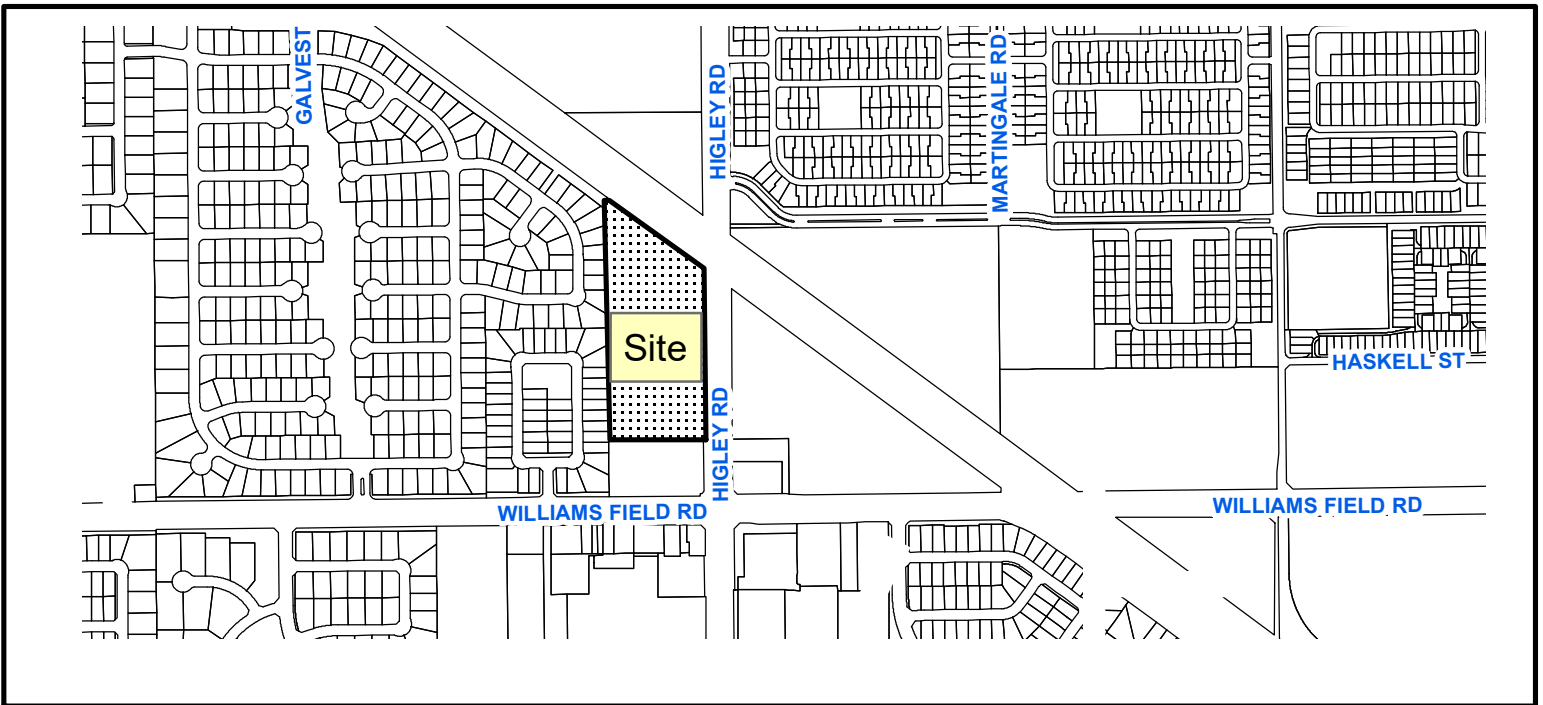
\*Call Case Planner to verify date and time: (480) 503-6602

The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at [www.gilbertaz.gov/departments/development-services/planning/planning-commission](http://www.gilbertaz.gov/departments/development-services/planning/planning-commission)

### REQUESTED ACTION:

DR23-86 FUTURE RETAIL 2: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 2.1 acres, generally located north of the northwest corner of Higley Road and Williams Field Road, and zoned Shopping Center (SC).

### SITE LOCATION:



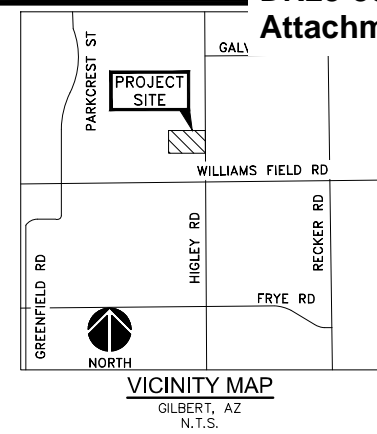
APPLICANT: Kimley-Horn and Associates, Inc  
CONTACT: Bryce Quigley  
ADDRESS: 7740 N. 16th Street Suite 300  
Phoenix, AZ 85020

TELEPHONE: (602)371-4517  
E-MAIL: [bryce.quigley@kimley-horn.com](mailto:bryce.quigley@kimley-horn.com)



# Map





**SITE DATA:**

APN: 304-40-009F  
GROSS AREA: ±91,612 SF (±2.103 AC)  
NET AREA: ±80,131 SF (±1.840 AC)  
EXISTING ZONING: SC  
PROPOSED ZONING: SC

BUILDING FOOTPRINT: 5,752 SF  
LOT COVERAGE: 5,752 / 80,131 = 7.2%

PARKING REQUIRED:  
LIMITED SERVICE RESTAURANT= 1 SPACE / 250 SF + 1 SPACE / 400 SF PATIO  
5752 SF / 250 SF = 23 STALLS

TOTAL REQ'D PARKING: 23 SPACES  
PARKING PROVIDED: 58 SPACES  
ADA PARKING PROVIDED: 3 SPACES, PER ACCESSIBLE DESIGN SECTION 208,  
3 SPACES FOR 51 TO 75 STALLS PROVIDED

BICYCLE PARKING REQUIRED: 4 SPACES, PER MINIMUM LAND DEVELOPMENT CODE 5.3.19.B  
BICYCLE PARKING PROVIDED: 4 SPACES

TOTAL LANDSCAPE AREA: 22,255 SF  
LANDSCAPE AREA PERCENTAGE: 22,255 SF / 80,131 SF = 27.7%

SETBACK:	BUILDING REQUIRED	BUILDING PROVIDED	LANDSCAPE REQUIRED	LANDSCAPE PROVIDED
WEST BOUNDARY:	75'	75'	35'	35'
NORTH BOUNDARY:	0'	0'	0'	0'
EAST BOUNDARY:	25'	25'	25'	25'
SOUTH BOUNDARY:	0'	0'	0'	0'

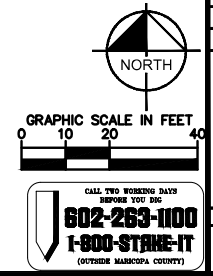
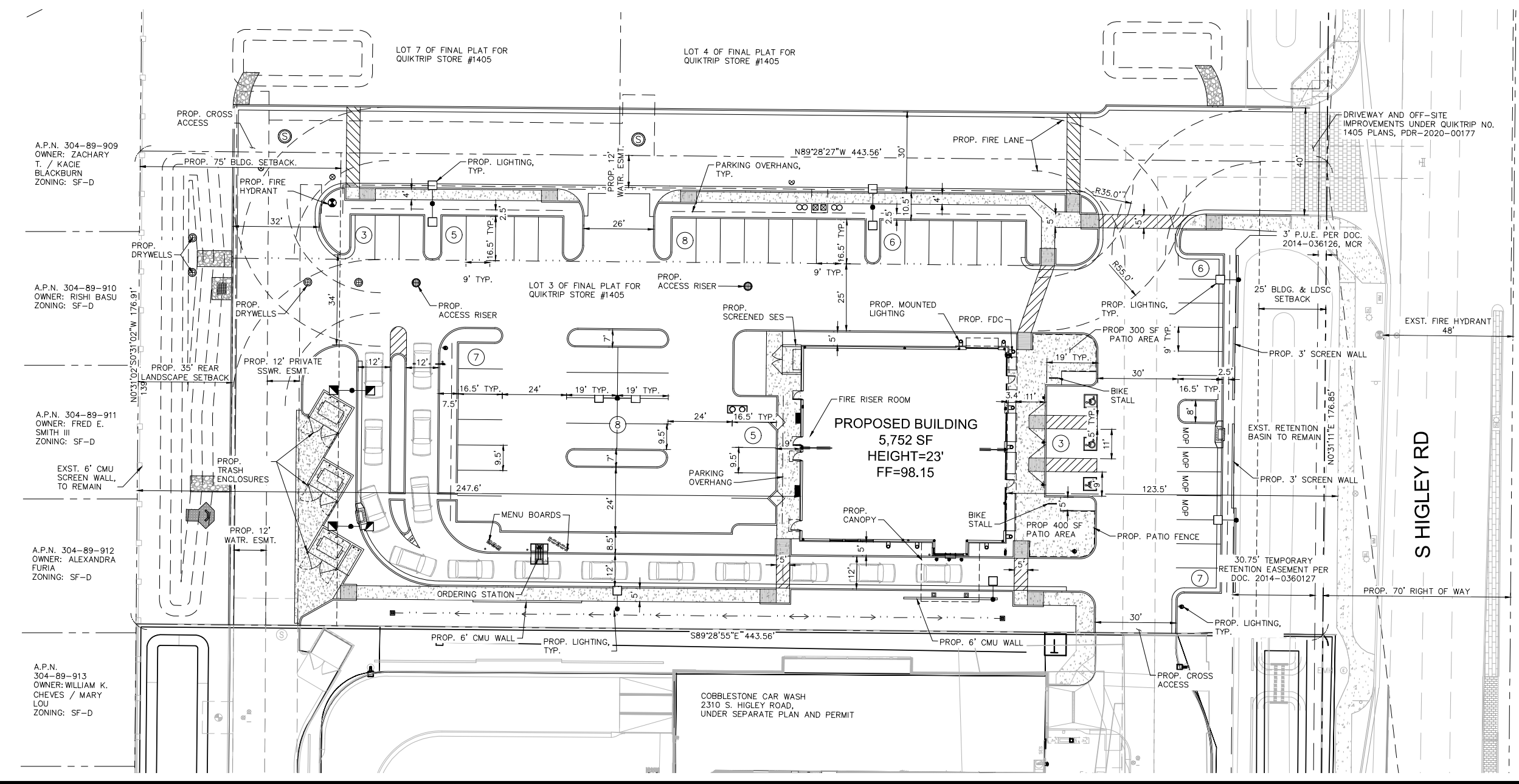
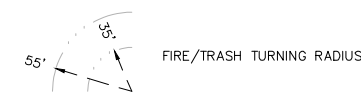
**CIVIL ENGINEER**  
KIMLEY-HORN AND ASSOCIATES, INC.  
7740 N. 16TH STREET, SUITE 300  
PHOENIX, AZ 85020  
PH: (602) 371-4517  
CONTACT: BRYCE QUIGLEY, PE  
EMAIL: BRYCE.QUIGLEY@KIMLEY-HORN.COM

**DEVELOPER**  
ALRIG USA  
30200 TELEGRAPH RD SUITE 205  
BINGHAM FARMS, MI 48025  
PH: (480) 201-8377  
CONTACT: VANESSA RODRIGUEZ  
EMAIL: VANESSA@ALRIGUSA.COM

**LAND SURVEYOR**  
ALTA ARIZONA  
1800 W. BROADWAY ROAD, SUITE 5  
TEMPE, AZ 85282  
PH: (480) 656-1517  
CONTACT: NEIL GARITY  
EMAIL: NEIL.GARITY@ALTAARIZONA.COM

**LANDSCAPE ARCHITECT**  
KIMLEY-HORN AND ASSOCIATES, INC.  
7740 N. 16TH STREET, SUITE 300  
PHOENIX, AZ 85020  
PH: (602) 944-5500  
CONTACT: ANDREW VALESTIN  
EMAIL: ANDREW.VALESTIN@KIMLEY-HORN.COM

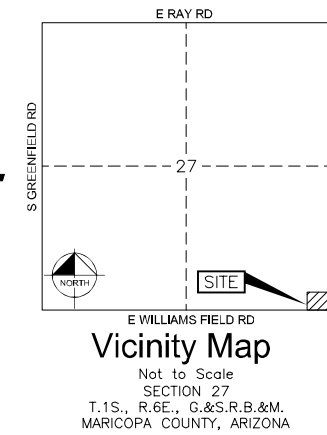
**ARCHITECT**  
DETROIT ARCHITECTURAL GROUP  
1644 FORD AVENUE  
WYANDOTTE, MICHIGAN 48192  
PH: (734) 556-3259  
CONTACT: BEAU WYNN  
EMAIL: BWYNN@DETROITARCH.COM



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# MASTER SITE PLAN

## NEW COMMERCIAL CENTER AT NWC WILLIAMS FIELD ROAD AND HIGLEY ROAD INCL. QUIKTRIP STORE #1405 GILBERT, AZ



PROJECT NO. 05-1405

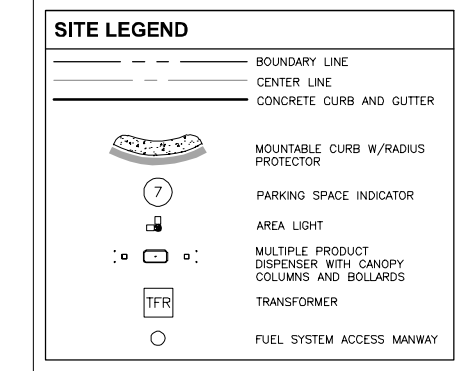
**Kimley-Horn**  
© 2002 KIMLEY-HORN AND ASSOCIATES, INC.  
7740 NORTH 16TH STREET, SUITE 300  
PHOENIX, ARIZONA 85020 (602) 944-5800

### TOWN OF GILBERT - STANDARD COMMERCIAL SITE PLAN NOTES

- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS: A. FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;  
B. SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;  
C. AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS: A. THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;  
B. BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER: A. ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;  
B. ROUTED UNDERGROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL: A. BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.  
B. HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.  
C. BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED

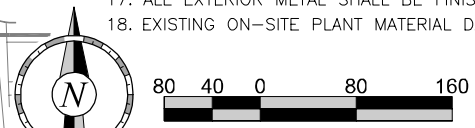
### QUIKTRIP PROJECT CONTACT LIST:

ENGINEER OF RECORD KIMLEY-HORN AND ASSOCIATES, INC. GARRETT FRAME, P.E. 7740 N. 16TH STREET, STE 300 PHOENIX, AZ, 85020 TEL: (602) 944-5500 GARRETT.FRAME@KIMLEY-HORN.COM	QT CIVIL PROJECT MANAGER QUIKTRIP CORPORATION ASHLEY GOODRICH 4705 SOUTH 129TH EAST AVE. TULSA, OK 74134 TEL: (918) 615-7273 AGOODRIC@QUIKTRIP.COM
QT REAL ESTATE PROJECT MANAGER QUIKTRIP CORPORATION JONATHAN NAUT 1116 E BROADWAY RD TEMPE, AZ 85282 TEL: (480) 446-6318	SURVEYOR OF RECORD THE WLB GROUP, INC. C. DON WALDING, R.L.S. 33880 1600 W BROADWAY RD, STE 150 TEMPE, AZ, 85282 TEL: (480) 736-1600 DWALDING@WLBGROUP.COM



### SITE DATA (MASTER DEVELOPMENT)

PROPOSED/EXISTING ZONING:	SC
PROPOSED USE:	COMMERCIAL CENTER
ADJACENT ZONING:	NORTH: SC EAST: SC WEST: SF-D/SF-7 SOUTH: CC
GENERAL PLAN CLASSIFICATION:	GENERAL COMMERCIAL
<b>SITE AREA INFORMATION:</b>	
GROSS AREA:	654,633 S.F. 15.03 A.C.
NET AREA:	550,484 S.F. 12.64 A.C.
SELF-STORAGE:	80,000 S.F.
AUTO REPAIR:	2,090 S.F.
RESTAURANT 1:	3,500 S.F.
RETAIL 1:	6,000 S.F.
RESTAURANT 2:	4,000 S.F.
RETAIL 2:	6,800 S.F.
CAR WASH:	5,897 S.F.
QUIKTRIP BUILDING:	4,993 S.F.
<b>TOTAL:</b>	<b>113,280 S.F.</b>
<b>PARKING REQUIRED:</b>	
SELF-STORAGE:	1/2,500 S.F. = 32 P.S.
CAR WASH:	2 SPACES MIN.
ALL ELSE:	1/250 S.F. = 109 P.S.
<b>TOTAL:</b>	<b>143 SPACES</b>
<b>PARKING PROVIDED:</b>	<b>290 SPACES</b>



NOTE: FUTURE PAD SITES SHOWN IN GREY ARE CONCEPTUAL ONLY AND ARE NOT APPROVED WITH THIS SITE PLAN. ALL FUTURE PAD SITES WILL BE REQUIRED TO SUBMIT A SEPARATE DESIGN REVIEW APPLICATION FOR REVIEW AND APPROVAL PRIOR TO DEVELOPMENT.

FILE LOCATION: K:\PHX\_Civil\231443008 - QT1405 - Williams Field & Higley\CADD\05-1405 Civil.dwg TAB NAME: Master Site (Prelim) USER: Hunter.Older SAVED: 3/28/2022 10:17 PM PLOTTED: 3/29/2022 3:19 PM

**QuikTrip No. 1405**  
2380 S HIGLEY ROAD  
GILBERT, AZ



PROTOTYPE:	P-104 (11/06/20)
DIVISION:	05
VERSION:	001
DESIGNED BY:	CGF
DRAWN BY:	RRO
REVIEWED BY:	CGF

REV	DATE	DESCRIPTION

SHEET TITLE:  
MASTER SITE PLAN SHEET 1

SHEET NUMBER:  
**SP1**  
SHEET 1 OF 6

FILE LOCATION: K:\PHX\_Civil\291443008 - QT1405 - Williams Field & Higley\CADD\05-1405 Civil.dwg TAB NAME: Master Site (Prelim) (2) USER: Hunter.Oliver SAVED: 3/28/2022 10:17 PM PLOTTED: 3/29/2022 3:25 PM

NOTE: FUTURE PAD SITES SHOWN IN GREY ARE CONCEPTUAL ONLY AND ARE NOT APPROVED WITH THIS SITE PLAN. ALL FUTURE PAD SITES WILL BE REQUIRED TO SUBMIT A SEPARATE DESIGN REVIEW APPLICATION FOR REVIEW AND APPROVAL PRIOR TO DEVELOPMENT.



PROJECT NO. 05-1405



**QuikTrip No. 1405**  
2380 S HIGLEY ROAD  
GILBERT, AZ



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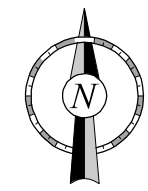
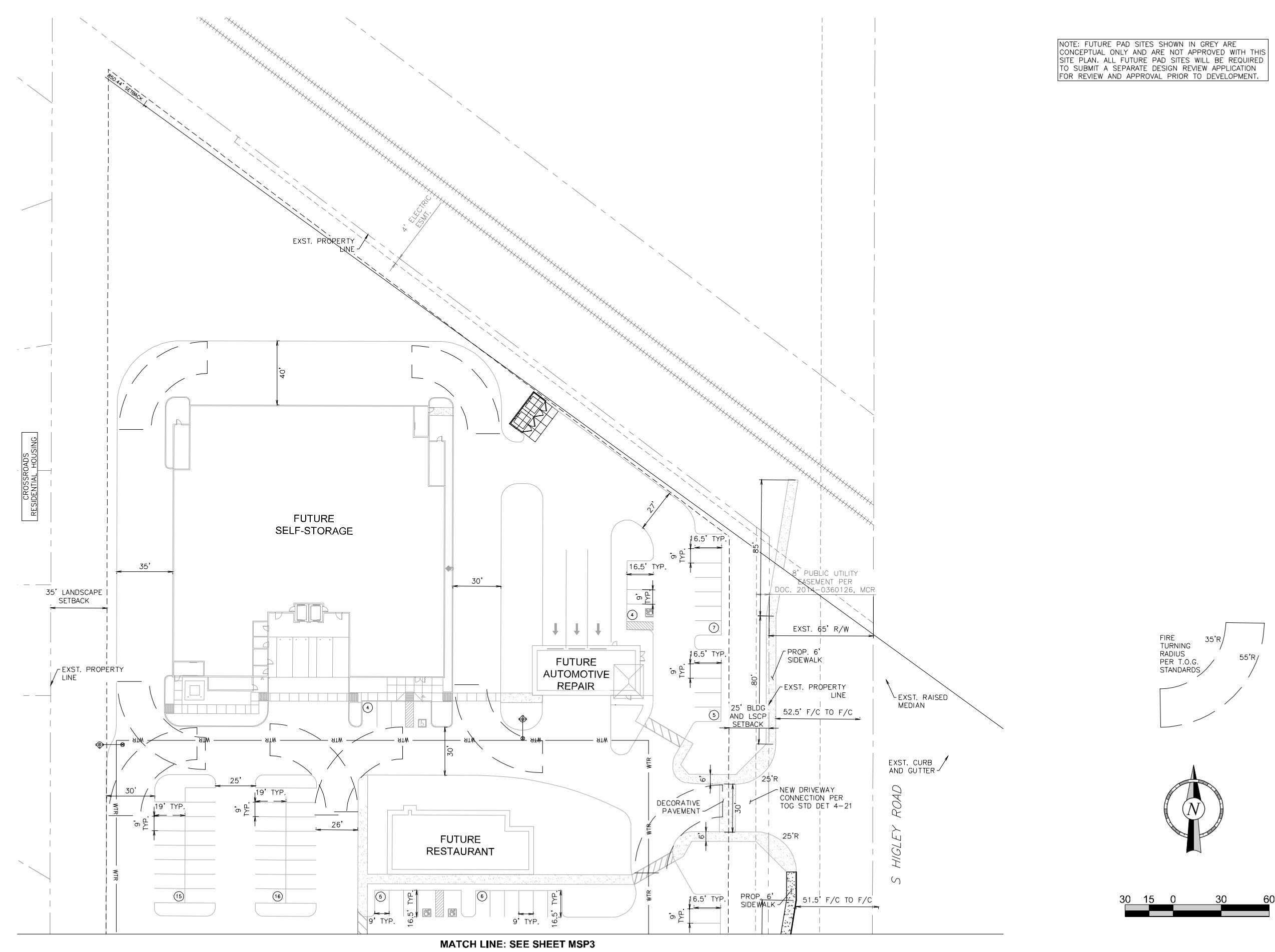
PROTOTYPE: P-104 (11/06/20)  
DIVISION: 05  
VERSION: 001  
DESIGNED BY: CGF  
DRAWN BY: RRO  
REVIEWED BY: CGF

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 03/28/2022

SHEET TITLE:  
MASTER SITE PLAN SHEET 2

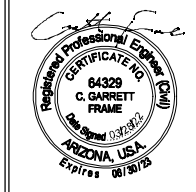
SHEET NUMBER:  
**SP2**  
SHEET 2 OF 6



MATCH LINE: SEE SHEET MSP3

MATCH LINE: SEE SHEET SP2

NOTE: FUTURE PAD SITES SHOWN IN GREY ARE CONCEPTUAL ONLY AND ARE NOT APPROVED WITH THIS SITE PLAN. ALL FUTURE PAD SITES WILL BE REQUIRED TO SUBMIT A SEPARATE DESIGN REVIEW APPLICATION FOR REVIEW AND APPROVAL PRIOR TO DEVELOPMENT.



PROJECT NO. 05-1405  
**Kimley-Horn**  
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7740 NORTH 16TH STREET, SUITE 300  
PHOENIX, ARIZONA 85020 (602) 944-5800

**QuikTrip No. 1405**  
2380 S HIGLEY ROAD  
GILBERT, AZ



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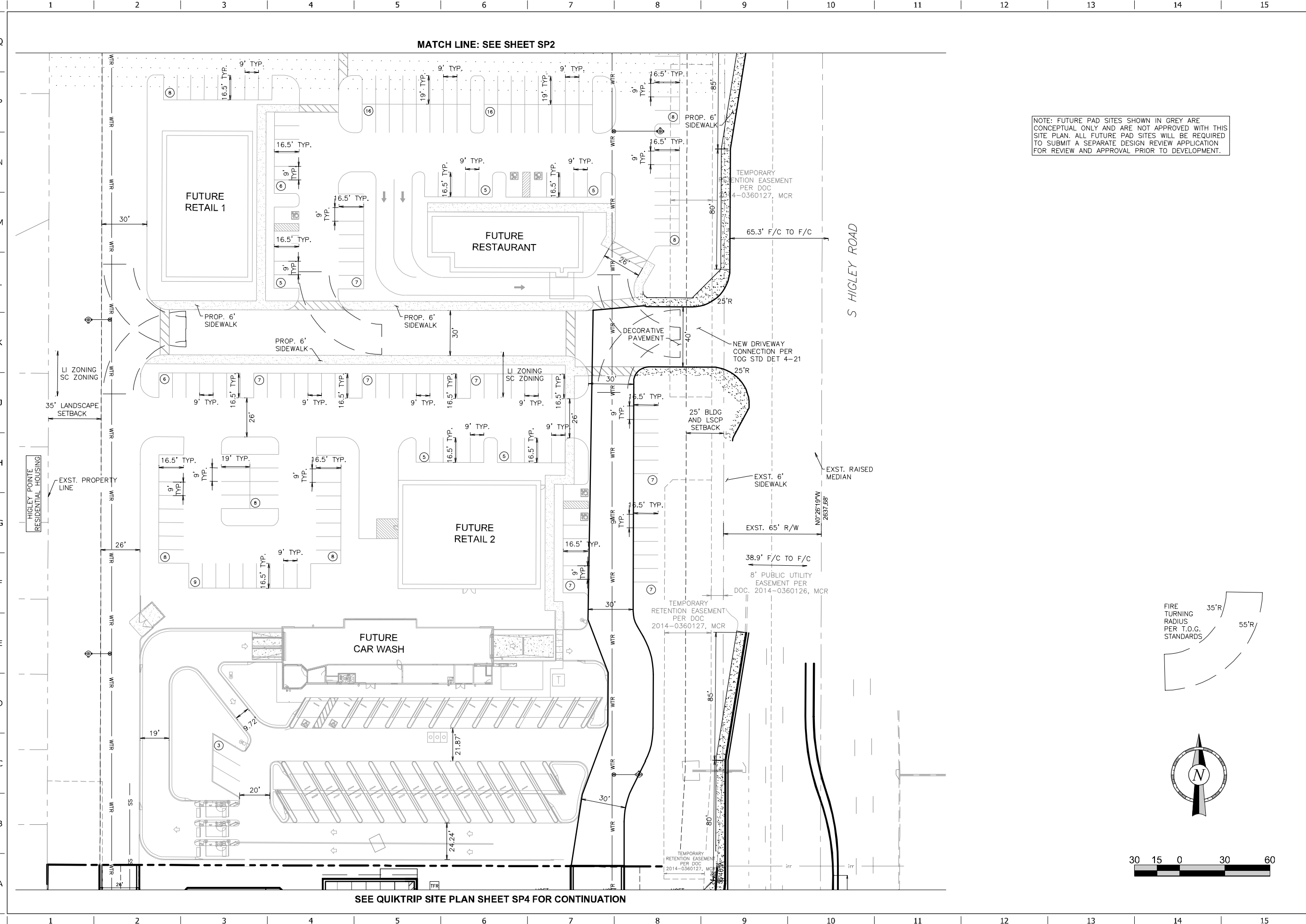
PROTOTYPE: P-104 (11/06/20)  
DIVISION: 05  
VERSION: 001  
DESIGNED BY: CGF  
DRAWN BY: RRO  
REVIEWED BY: CGF

REV	DATE	DESCRIPTION

SHEET TITLE:  
MASTER SITE PLAN SHEET 3

SHEET NUMBER:  
**SP3**  
SHEET 3 OF 6

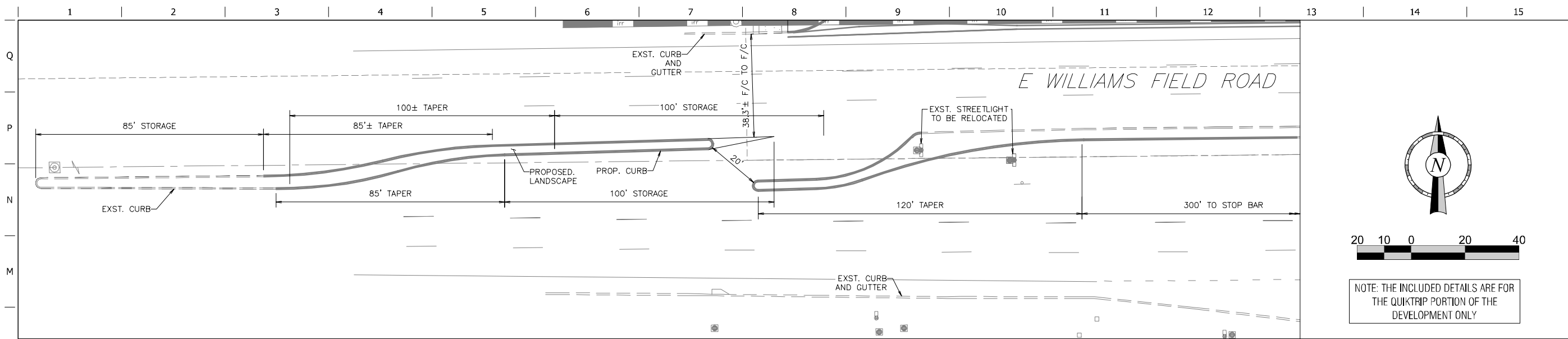
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SEE QUIKTRIP SITE PLAN SHEET SP4 FOR CONTINUATION



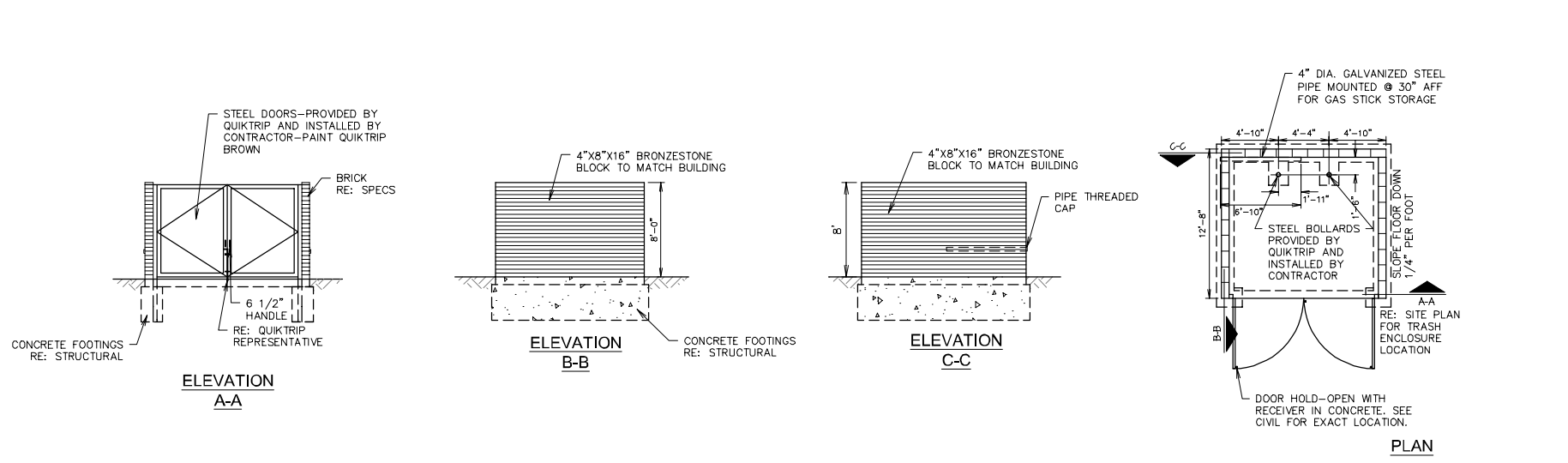
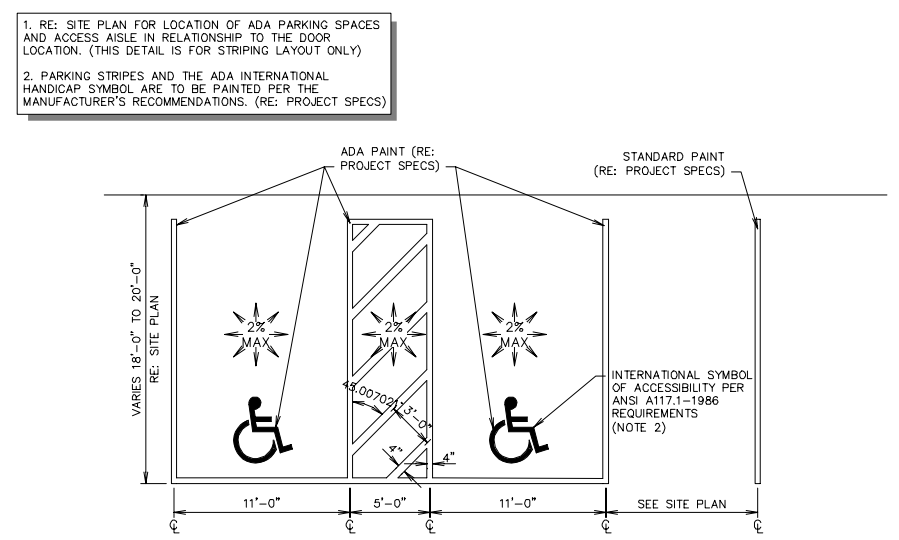
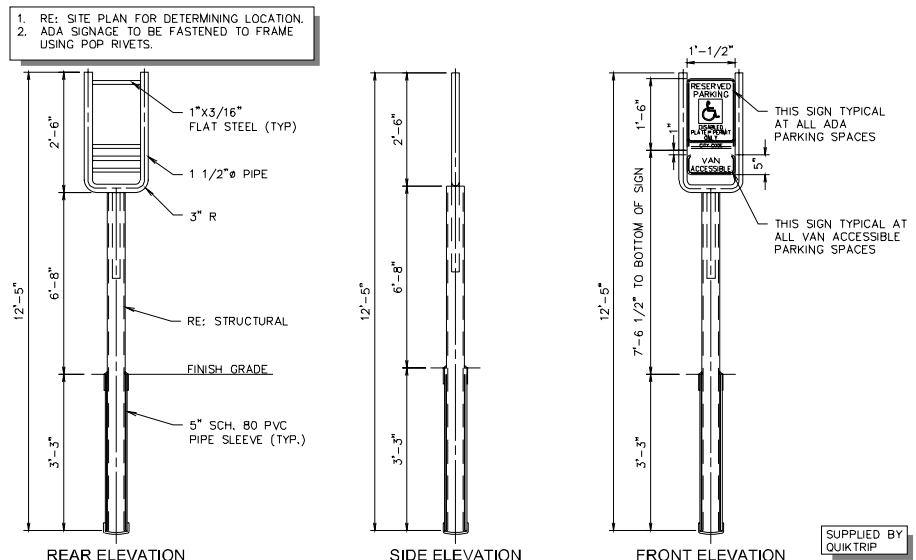
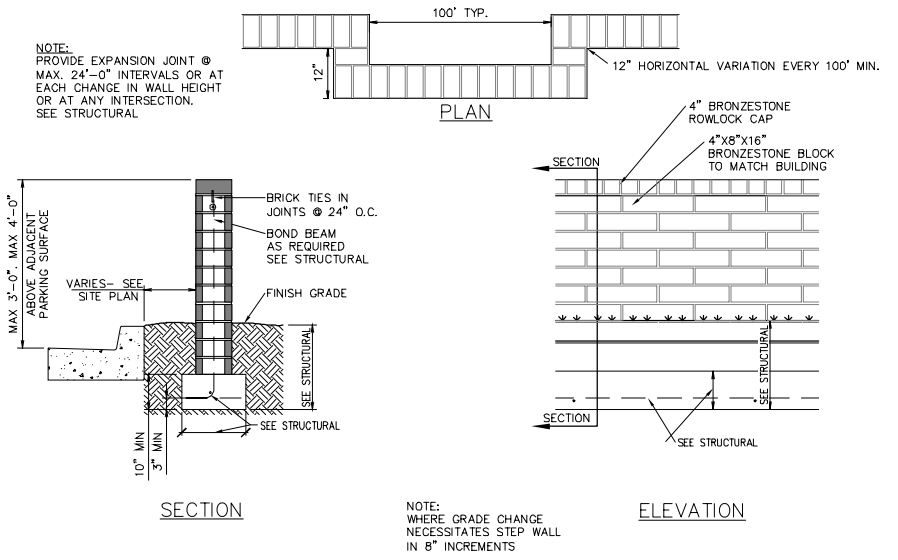
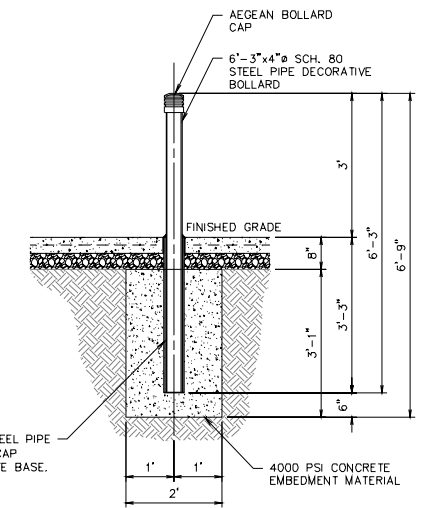
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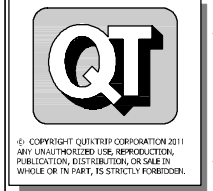
PROJECT NO. 05-1405  
**Kimley-Horn**  
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7740 NORTH 16TH STREET, SUITE 300  
PHOENIX, ARIZONA 85020 (602) 944-5800

NOTE: THE INCLUDED DETAILS ARE FOR THE QUIKTRIP PORTION OF THE DEVELOPMENT ONLY

- NOTES:**
1. FILL VOIDS W/SILICA SAND BETWEEN BOLLARD & SLEEVE ONCE BOLLARD IS INSERTED INTO SLEEVE.
  2. PAINT COLOR: AT STORE FRONT SIDEWALK IS OT BROWN, ALL OTHER LOCATIONS: YELLOW
  3. BOLLARD FOOTING INSTALLED INTO SOIL CAPABLE OF SUSTAINING AN ALLOWABLE LATERAL BEARING PRESSURE OF 200 PSF/FT OF DEPTH.
  4. WHERE EMBEDDED IN CONCRETE:
    - a. EXTEND SLEEVE TO WITHIN 1/4" OF TOP OF CONCRETE OR 2" ABOVE GRADE IN LANDSCAPE AREAS
    - b. 2 LAYERS 15# FELT AROUND PIPE SLEEVE BETWEEN CONCRETE SIDEWALK AND SLEEVE
    - c. SEAL AROUND PERIMETER JOINT WITH SONOLASTIC NP2 SEALANT



**QuikTrip No. 1405**  
2380 S HIGLEY ROAD  
GILBERT, AZ



PROTOTYPE: P-104 (11/06/20)  
DIVISION: 05  
VERSION: 001  
DESIGNED BY: CGF  
DRAWN BY: RRO  
REVIEWED BY: CGF

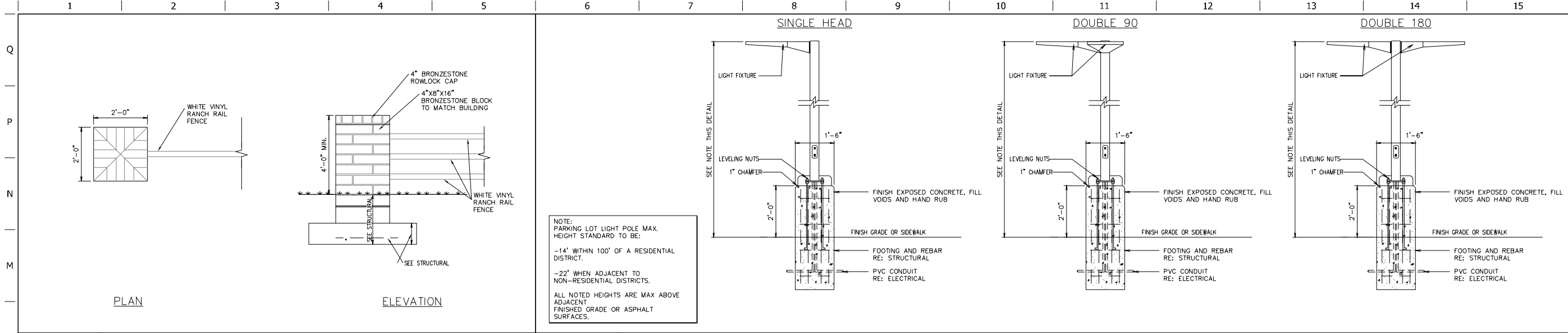
REV	DATE	DESCRIPTION

SHEET TITLE:  
QUIKTRIP SITE DETAILS  
SHEET 1

SHEET NUMBER:  
**SP5**  
SHEET 5 OF 6

ORIGINAL ISSUE DATE: 03/28/2022

FILE LOCATION: K:\PHX\_Civil\291443008 - 071405 - Williams Field & Higley\CADD\Details\1405 DETAILS SITE.dwg TAB NAME: SITE DETAIL SHEET 2 USER: Hunter.Colder SAVED: 3/29/2022 6:05 PM PLOTTED: 4/21/2022 7:50 AM



NOTE:  
 PARKING LOT LIGHT POLE MAX. HEIGHT STANDARD TO BE:  
 -14' WITHIN 100' OF A RESIDENTIAL DISTRICT.  
 -22' WHEN ADJACENT TO NON-RESIDENTIAL DISTRICTS.  
 ALL NOTED HEIGHTS ARE MAX ABOVE ADJACENT FINISHED GRADE OR ASPHALT SURFACES.



PROJECT NO.: 05-1405

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**QuikTrip No. 1405**  
 2380 S HIGLEY ROAD  
 GILBERT, AZ



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PROTOTYPE: P-104 (11/06/20)  
 DIVISION: 05  
 VERSION: 001  
 DESIGNED BY: CGF  
 DRAWN BY: RRO  
 REVIEWED BY: CGF

REV	DATE	DESCRIPTION

ORIGINAL ISSUE DATE: 03/28/2022

SHEET TITLE:  
 QUIKTRIP SITE DETAILS  
 SHEET 2

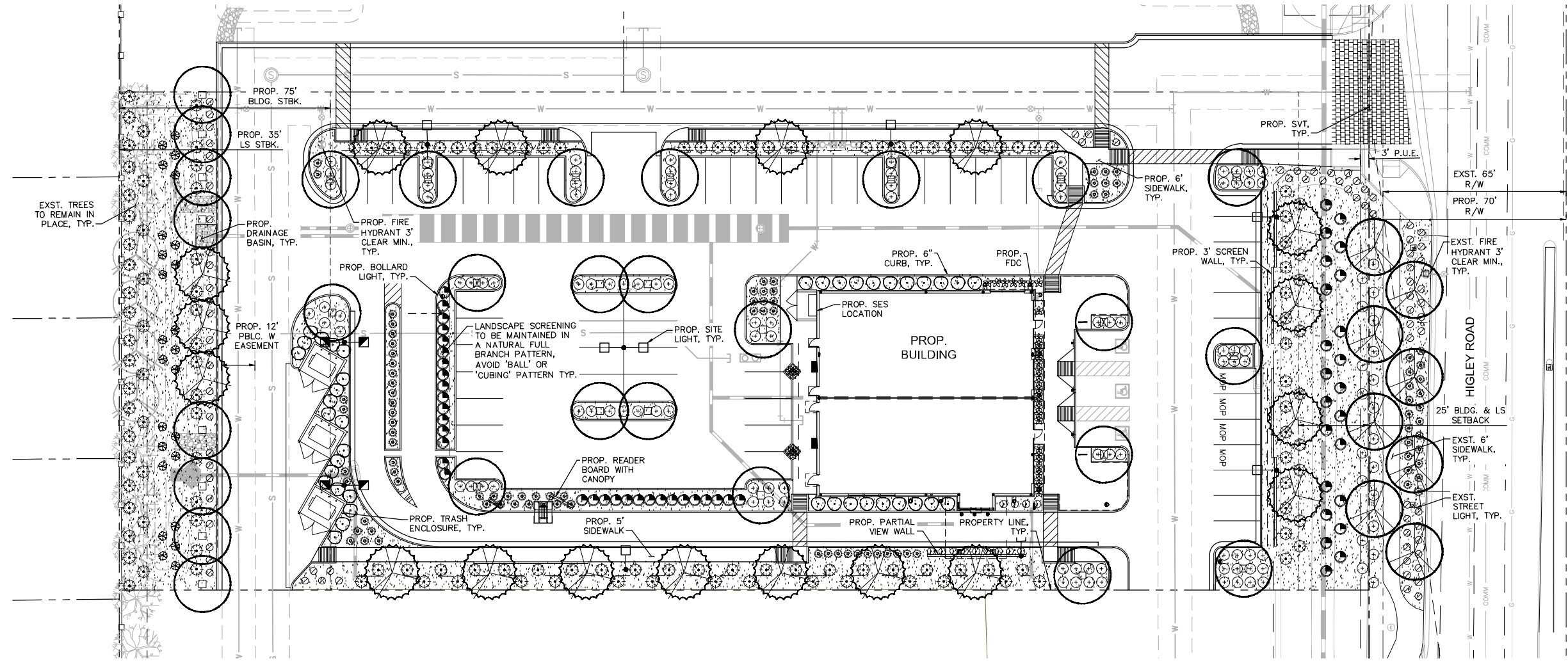
SHEET NUMBER:  
**SP6**  
 SHEET 6 OF 6

L1	LANDSCAPE CORNER FEATURE	L6	LIGHT POLE DETAIL
F1	NOT USED	F6	NOT USED
F11	NOT USED	F11	NOT USED
A1	NOT USED	A6	NOT USED

NOTE: THE INCLUDED DETAILS ARE FOR THE QUIKTRIP PORTION OF THE DEVELOPMENT ONLY



REV	DESCRIPTION	DATE	APP



**TOWN OF GILBERT LANDSCAPE REQUIREMENTS**

	REQUIRED ORDINANCE	PROVIDED
GENERAL REQUIREMENTS	PROPOSED/EXISTING ZONING	GC
	SITE NET AREA	78,493 SF
	OPEN SPACE COVERAGE (22,255 SF)	28.4%
	TURF AREA ON SITE	0 SF
STREETSCAPE REQUIREMENTS	HIGLEY ROAD (GATEWAY AREA)	
	DOUBLE ROW 1 PISTACHE TREE/30 LF (149 LF)	12 TREES
	149 LF/30 LF = 10 PISTACHE TREES	
	3 SHRUBS/TREE (10 TREES)	71 SHRUBS
OPEN SPACE REQUIREMENTS	LANDSCAPE COVERAGE	
	SHRUBS AND GROUND COVERS SHALL PROVIDE 75% LIVE COVERAGE IN LANDSCAPE AREA	81.2% PROVIDED
	ON-SITE LANDSCAPE	
	ON-SITE LANDSCAPE AREA	22,255 SF
SIDE AREA REQUIREMENTS	OFF-SITE LANDSCAPE (RIGHT OF WAY)	
	OFF-SITE LANDSCAPE AREA	2,070 SF
	LANDSCAPE COVERAGE	
	3 EVERGREENS/1,000 SF	21 TREES
7,000 SF/1,000 SF = 21 TREES	(10 EXST.)	
5 SHRUBS/1,000 SF	73 SHRUBS	
7,000 SF/1,000 SF = 35 SHRUBS		

**PLANT MAINTENANCE**

ALL PLANT MATERIALS SHALL BE KEPT IN A NATURAL STATE (MINIMAL PRUNING). FORMAL PRUNING OR "BALLING" OF SHRUBS AND GROUNDCOVER IS NOT ACCEPTABLE.

**PLANTING LEGEND**

TREES			
BOTANICAL NAME / COMMON NAME	SIZE	QTY	
Pistacia x 'Red Push' / Red Push Pistache	24" Box Min.	8	
Quercus virginiana / Live Oak	24" Box Min.	29	
Ulmus parviflora 'True Green' / True Green Elm	24" Box Min.	18	
SHRUBS & ACCENTS			
BOTANICAL NAME / COMMON NAME	SIZE	QTY	
Aloe barbadensis / Aloe Vera	5 Gal.	38	
Eremophila maculata / Valentine Bush	5 Gal.	25	
Leucophyllum langmaniae 'Rio Bravo' / Rio Bravo Sage	5 Gal.	141	
Muhlenbergia rigida 'Nashville' / Nashville Muhly	5 Gal.	93	
Nerium oleander 'Petite Pink' / Petite Pink Oleander	5 Gal.	120	
Ruellia Peninsularis / Baja Ruellia	5 Gal.	54	
Tecoma stans 'Gold Star' / Yellow Bells	5 Gal.	40	
GROUNDCOVERS			
BOTANICAL NAME / COMMON NAME	SIZE	QTY	
Lantana camara 'New Gold' / New Gold Lantana	1 Gal.	83	
Lantana montevidensis / Purple Trailing Lantana	1 Gal.	13	
MATERIALS			
DESCRIPTION	QTY		
Decomposed Granite	24,325 SF		
1/2" Screened, Rusty Nickel, 2" Depth Min.			

**DEVELOPER**  
ALRIG USA  
30200 TELEGRAPH RD SUITE 205  
BINGHAM FARMS, MI 48025  
PH: (480) 201-8377  
CONTACT: VANESSA RODRIGUEZ

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TEMPE, AZ 85282  
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CONTACT: NEIL GARITY

**CIVIL ENGINEER**  
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CONTACT: BRYCE QUIGLEY, PE

**LANDSCAPE ARCHITECT**  
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**ARCHITECT**  
DETROIT ARCHITECTURAL GROUP  
1644 FORD AVENUE  
WYANDOTTE, MICHIGAN 48192  
PH: (734) 556-3259  
CONTACT: BEAU WYNN

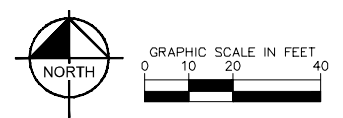
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7740 North 16th Street, Suite 300  
Phoenix, Arizona 85020 (602) 944-5500

**ALRIG USA**  
DEVELOPMENT

2310 S. HIGLEY ROAD  
**PRELIMINARY LANDSCAPE PLAN**  
GILBERT, ARIZONA

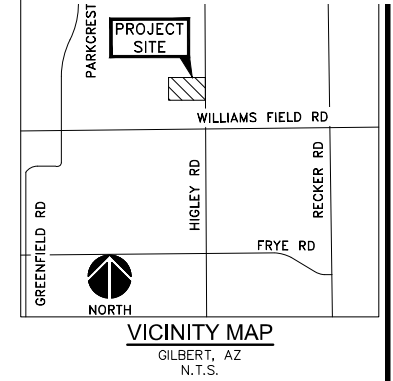
PROJECT No. 291891000
SCALE (H): 1"=20'
SCALE (V): NONE
DRAWN BY: JMW
DESIGN BY: JAJ
CHECK BY: AAV
DATE: 10/24/2023

PROFESSIONAL LANDSCAPE ARCHITECT CERTIFICATE NO. 60494 ANDREW A. VALESTIN  
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT ARIZONA U.S.A.  
1-800-375-1100  
CLASSIFIED BY: JMW  
DATE: 10/24/2023  
LS1  
01 OF 01 SHEETS



CLASSIFIED BY: JMW  
DATE: 10/24/2023  
1-800-375-1100  
I-800-375-1100  
(EXCEPT MANICURE SOCIETY)





**Kimley»Horn**  
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7740 North 16th Street, Suite 300  
Phoenix, Arizona 85020 (602) 944-5500

**ALRIG USA**  
DEVELOPMENT

NWC OF HIGLEY RD. AND WILLIAMS FIELD RD.  
**PRELIMINARY GRADING AND DRAINAGE PLAN**  
GILBERT, ARIZONA

PROJECT No. 291891000  
SCALE (H): 1"=20'  
SCALE (V): NONE  
DRAWN BY: CAC  
DESIGN BY: BEQ  
CHECK BY: BEQ  
DATE: 11/13/2023  
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION  
**Kimley»Horn**  
ENGINEER: B. QUIGLEY, PE NO. 71824 DATE: 11/23/23  
PRELIMINARY  
GD1  
1 OF 2 SHEETS

**LEGEND**

- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- PROPOSED CATCH BASIN
- SINGLE-CHAMBER DRYWELL
- PROPOSED DUAL-CHAMBER DRYWELL
- MATCH EXISTING ELEVATION
- GUTTER/GRADE ELEVATION
- FINISH GRADE ELEVATION
- PAVEMENT ELEVATION
- TOP OF CURB ELEVATION
- SIDEWALK ELEVATION

**NOTES:**

1. ADD 1200' TO ALL ELEVATIONS.
2. ADD 0.5 TO PAVEMENT (P) ELEVATIONS FOR TOP OF CURB ELEVATION, UNLESS OTHERWISE NOTED.
3. ALL SPOT ELEVATIONS ARE FINISHED GRADE PAVEMENT (P), GUTTER/GRADE (G), CONCRETE (C), DECOMPOSED GRANITE (DG), SIDEWALK (SW), MATCH EXISTING (ME), FINISHED GRADE (FS), FINISHED FLOOR (FF), RIM (R) ELEVATIONS UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL USE SPOT ELEVATIONS, PROPOSED CONTOURS, AND SLOPES TO ESTABLISH GRADES.
5. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2% AND LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
6. REFER TO LANDSCAPE PLANS FOR SLOPE TREATMENT.
7. REFER TO THIS SHEET FOR LEGEND AND ABBREVIATIONS.
8. ALL FILL SLOPES SHALL BE COMPACTED TO 95% RELATIVE DENSITY.
9. REFER TO ARCHITECTURAL/STRUCTURAL PLANS FOR BUILDING SLAB THICKNESS.
10. ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNER WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A THIRTY-SIX HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILTING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL.
11. FF ELEVATIONS ARE TO THE TOP OF THE BUILDING SLAB AND PAD ELEVATIONS ARE TO THE BOTTOM OF THE BUILDING SLAB.
12. PAD ELEVATIONS FOR TRANSFORMERS REFER TO THE TOP OF THE PRECAST SLAB. CONTRACTOR SHALL SUBTRACT PRECAST SLAB THICKNESS TO DETERMINE SLURRY ELEVATION.
13. PARKING STALLS 16.5' IN LENGTH NEED AT LEAST 4-INCH WIDE STRIPING.

**GRADING AND DRAINAGE NOTES**

1. PROPOSED CATCH BASIN PER MAG STD DET 534.
2. PROPOSED HDPE STORM DRAIN PIPE.
3. PROPOSED HEADWALL.
4. 2' WIDE DRAINAGE CHANNEL.
5. PROPOSED RIP-RAP.
6. 2' WIDE CURB OPENING UNLESS OTHERWISE NOTED.
7. PROPOSED HDPE STORM DRAIN BEND.
8. DUAL CHAMBER DRYWELL.
9. 10' DIAMETER UNDERGROUND RETENTION TANK.
10. RETENTION TANK ACCESS RISER.
11. PROPOSED HDPE STORM DRAIN TEE.
12. PROPOSED AREA DRAIN.
13. PROPOSED GRADED SWALE.
14. PROPOSED CATCH BASIN PER MAG STD DET 535.

Basin	Land Use	Runoff Coefficient	Drainage Area (ft <sup>2</sup> )	Required Volume (ft <sup>3</sup> )	Provided Volume (ft <sup>3</sup> )	Surplus (ft <sup>3</sup> )
S-1	Pavement	0.90	18,156	4,085		
	Building	0.95	0	0		
	Landscaping	0.70	8,575	1,501		
	Total		26,731	5,586	4,175	-1,411

Basin	Land Use	Runoff Coefficient	Drainage Area (ft <sup>2</sup> )	Required Volume (ft <sup>3</sup> )	Provided Volume (ft <sup>3</sup> )	Surplus (ft <sup>3</sup> )
UG1	Pavement	0.90	27,350	6,154		
	Building	0.95	5,752	1,266		
	Landscaping	0.70	13,526	2,364		
	Total		46,628	9,883	11,310	1,426

\*EXCESS VOLUME WILL BE PROVIDED IN UNDERGROUND RETENTION TANK UG1: 1,411 CF  
9,883 CF - 1,411 CF = 11,294 CF REQUIRED  
11,310 CF - 11,294 CF = 16 CF SURPLUS

Basin	Land Use	Runoff Coefficient	Drainage Area (ft <sup>2</sup> )	Required Volume (ft <sup>3</sup> )	Provided Volume (ft <sup>3</sup> )	Surplus (ft <sup>3</sup> )
TEMP 1	Pavement	0.90	3,026	681		
	Building	0.95	0	0		
	Landscaping	0.70	0	0		
	Total		3,026	681	682	1

Basin	Land Use	Runoff Coefficient	Drainage Area (ft <sup>2</sup> )	Required Volume (ft <sup>3</sup> )	Provided Volume (ft <sup>3</sup> )	Surplus (ft <sup>3</sup> )
TEMP 2	Pavement	0.90	3,630	817		
	Building	0.95	0	0		
	Landscaping	0.70	0	0		
	Total		3,630	817	817	0

Underground Retention Summary					
Retention Basin	Required Volume	Diameter	Required Length	Provided Length	Provided Storage
UG1	cf	ft	ft	ft	cf
	9,883	10	126	144	11,310

Basin Drain Time Summary				
Retention Basin	Volume Required (Vreq)	Percolation Rate	Drywells Required	Drain Time
UG1 + S-1	cf	cls	ea	hr
	15,469	0.10	2	22

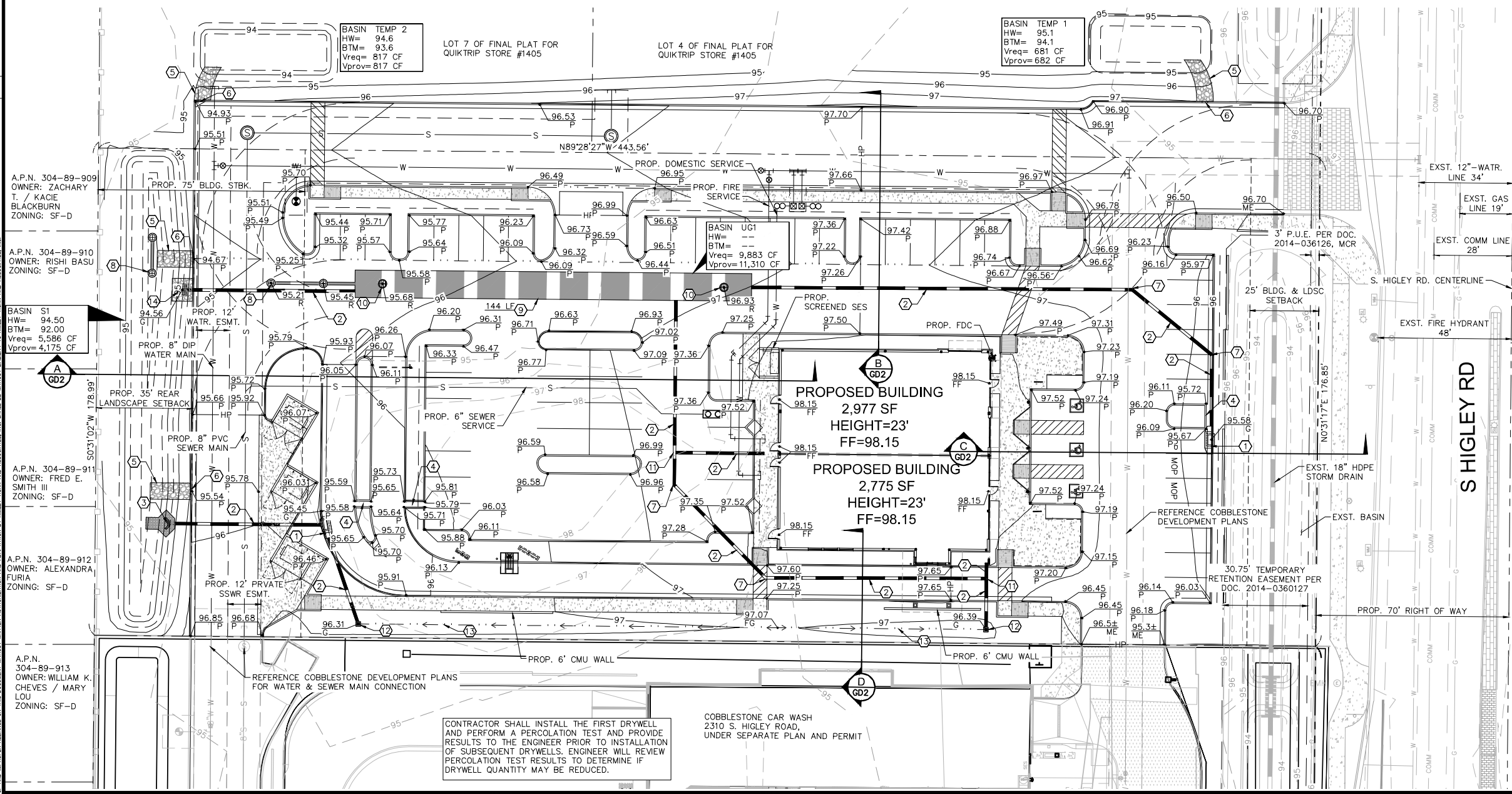
**CIVIL ENGINEER**  
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EMAIL: BWYNN@DETROITARCH.COM



K:\Vrh\_civil\291891000 - 011g\_gilbert\CADD\Preliminary\PRE\_GD.dwg, Layout:PRE-GD Nov 17, 2023 - 12:46pm carlos.ambroz  
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A.P.N. 304-89-909 OWNER: ZACHARY T. / KACIE BLACKBURN ZONING: SF-D  
 A.P.N. 304-89-910 OWNER: RISHI BASU ZONING: SF-D  
 A.P.N. 304-89-911 OWNER: FRED E. SMITH III ZONING: SF-D  
 A.P.N. 304-89-912 OWNER: ALEXANDRA FURIA ZONING: SF-D  
 A.P.N. 304-89-913 OWNER: WILLIAM K. CHEVES / MARY LOU ZONING: SF-D

CONTRACTOR SHALL INSTALL THE FIRST DRYWELL AND PERFORM A PERCOLATION TEST AND PROVIDE RESULTS TO THE ENGINEER PRIOR TO INSTALLATION OF SUBSEQUENT DRYWELLS. ENGINEER WILL REVIEW PERCOLATION TEST RESULTS TO DETERMINE IF DRYWELL QUANTITY MAY BE REDUCED.

COBBLESTONE CAR WASH  
2310 S. HIGLEY ROAD,  
UNDER SEPARATE PLAN AND PERMIT

REFERENCE COBBLESTONE DEVELOPMENT PLANS FOR WATER & SEWER MAIN CONNECTION

REFERENCE COBBLESTONE DEVELOPMENT PLANS

30.75' TEMPORARY RETENTION EASEMENT PER DOC. 2014-0360127

3' P.U.E. PER DOC. 2014-036126, MCR

EXST. 12" WATR. LINE 34'  
 EXST. GAS LINE 19'  
 EXST. COMM LINE 28'  
 EXST. FIRE HYDRANT 48'

EXST. 18" HDPE STORM DRAIN  
 EXST. BASIN

25' BLDG. & LDSC SETBACK  
 30.75' TEMPORARY RETENTION EASEMENT PER DOC. 2014-0360127

25' BLDG. & LDSC SETBACK

25' BLDG. & LDSC SETBACK

25' BLDG. & LDSC SETBACK

25' BLDG. & LDSC SETBACK

25' BLDG. & LDSC SETBACK



DRAWN: STAFF  
CHECKED: CM



711 N. FIELDER RD.  
ARLINGTON, TX 76012  
PH: (817) 635-5696  
FAX: (817) 635-5699



1844 Ford Avenue Wyandotte, MI 48186  
734.996.8290 O. 734.996.8284 F.

MULTI-TENANT  
SHELL BUILDING  
2304 SOUTH HIGLEY ROAD  
GILBERT, AZ 85295

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST ALIKE USA. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED WITH THIS PROJECT.

REVISIONS  
10-26-23 ISSUED FOR REVIEW

PROJECT NUMBER  
23-070

PRELIMINARY  
FLOOR PLANS AND  
ELEVATIONS

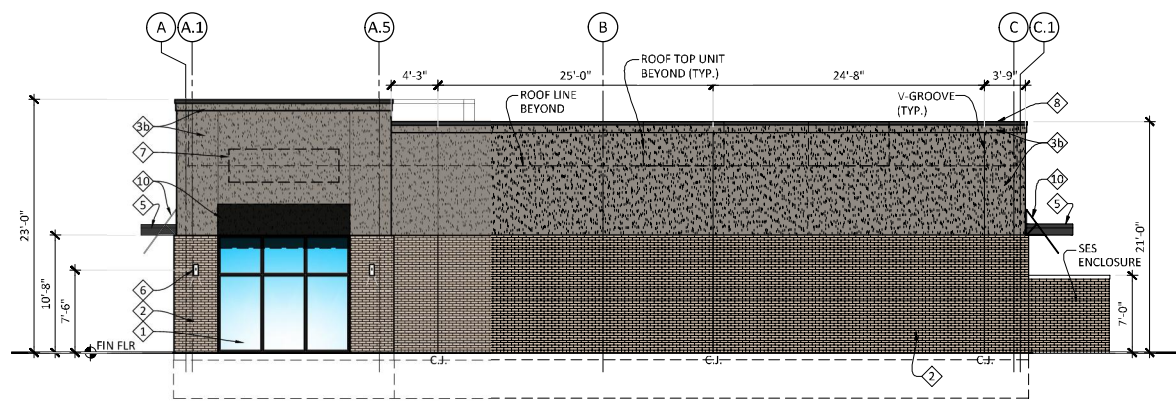
SHEET NUMBER

PP-3

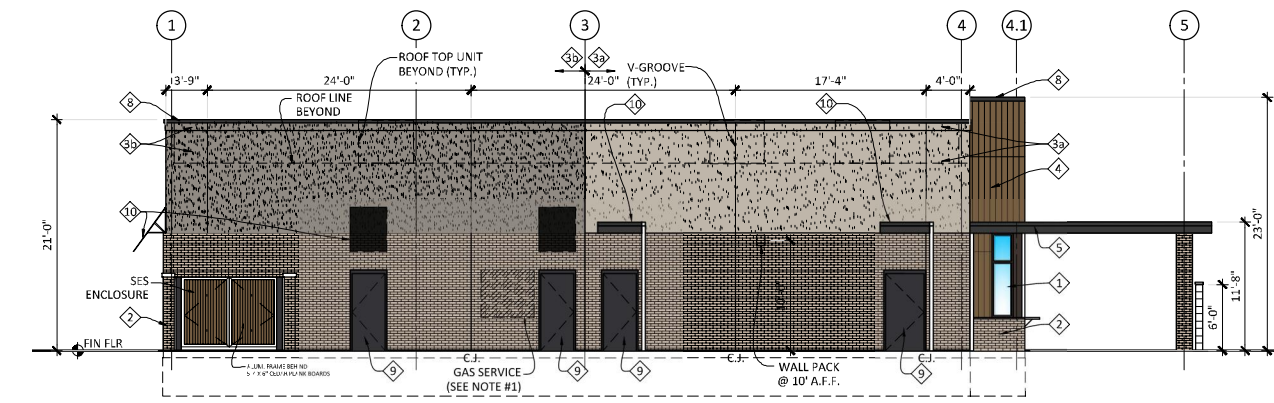
EXTERIOR FINISH KEY

BASED ON STARBUCKS "CORE PALETTE"

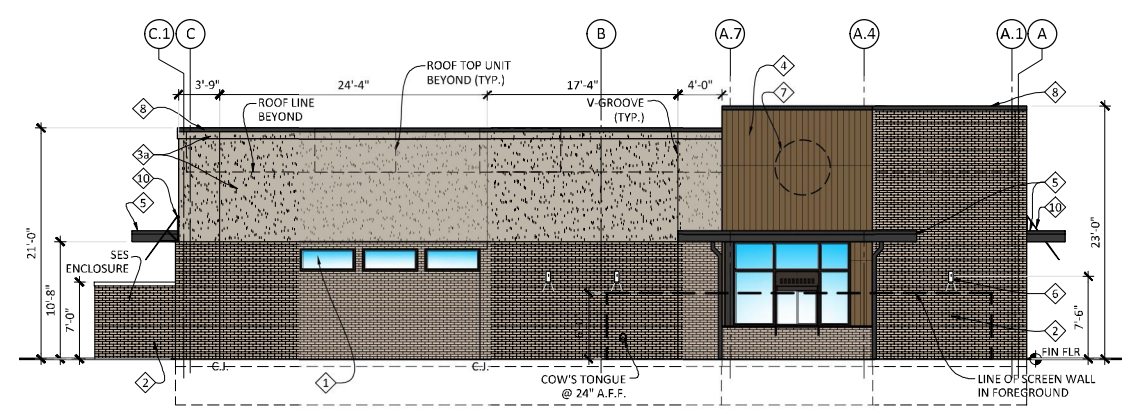
- 1 STOREFRONT  
THERMALLY BROKEN ALUM. FRAME  
W/INSULATED GLAZING  
COLOR: DARK BRONZE
- 2 DENOTES SPANDREL GLAZING
- 3 MODULAR BRICK VENEER  
MFR: MUTUAL MATERIALS  
OR EQUAL TO MATCH  
COLOR: PEWTER MISSION
- 4 E.I.F.S.  
MFR: DRYVIT  
COLOR: (MATCH) SW7030 ANEW GRAY  
TEXTURE: SANDBLAST
- 5 E.I.F.S.  
MFR: DRYVIT  
COLOR: (MATCH) SW7018 DOVETAIL  
TEXTURE: SANDBLAST
- 6 FIBER CEMENT SIDING  
MFR: NICHIIHA (VERTICAL)  
STYLE: VINTAGEWOOD - WOOD SERIES  
COLOR: CEDAR
- 7 METAL CANOPY  
COLOR: MATTE BLACK (RAL#7021)  
(LIGHTING PER TENANT PLANS & SPECS)  
\* NICHIIHA @ UNDERSIDE
- 8 LIGHTING  
WALL SCONCE FIXTURE  
(KICHLER - 11251BKT30)
- 9 SIGNAGE  
SIGNAGE ALLOWED: VERIFY MAX. SQ.FT  
SIGNAGE SHALL BE SUBMITTED PER TENANT.  
(SEE NOTE #1)
- 10 PREFINISHED METAL COPING  
MANUF. UNA-CLAD (OR EQUIVALENT)  
COLOR: MATTE BLACK (RAL#7021)
- 11 PAINT  
MFR: SHERWIN WILLIAMS  
COLOR: SW 6989 "DOMINO"
- 12 ALUMINUM FRAME AWNING  
FABRIC ON ALUMINUM FRAME AWNING  
BY LANDLORD  
COLOR: BLACK



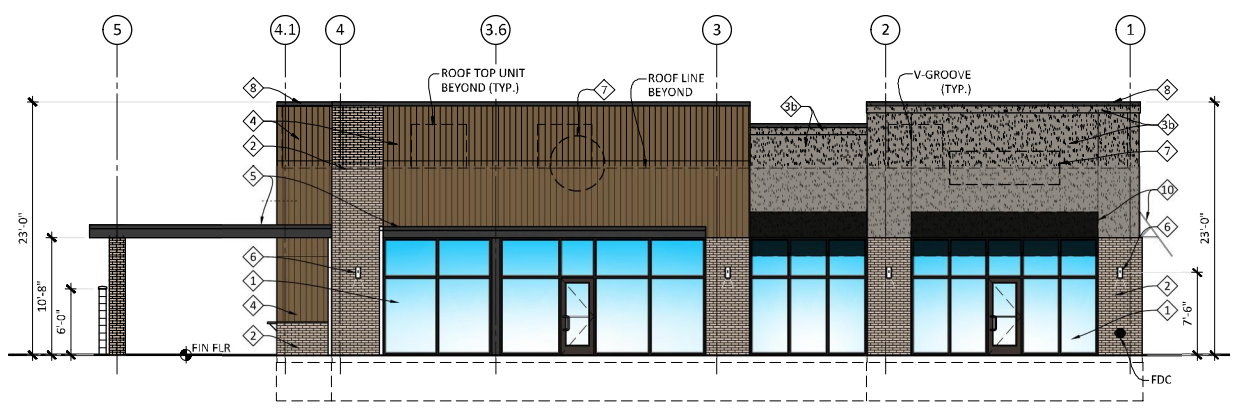
PRELIMINARY NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



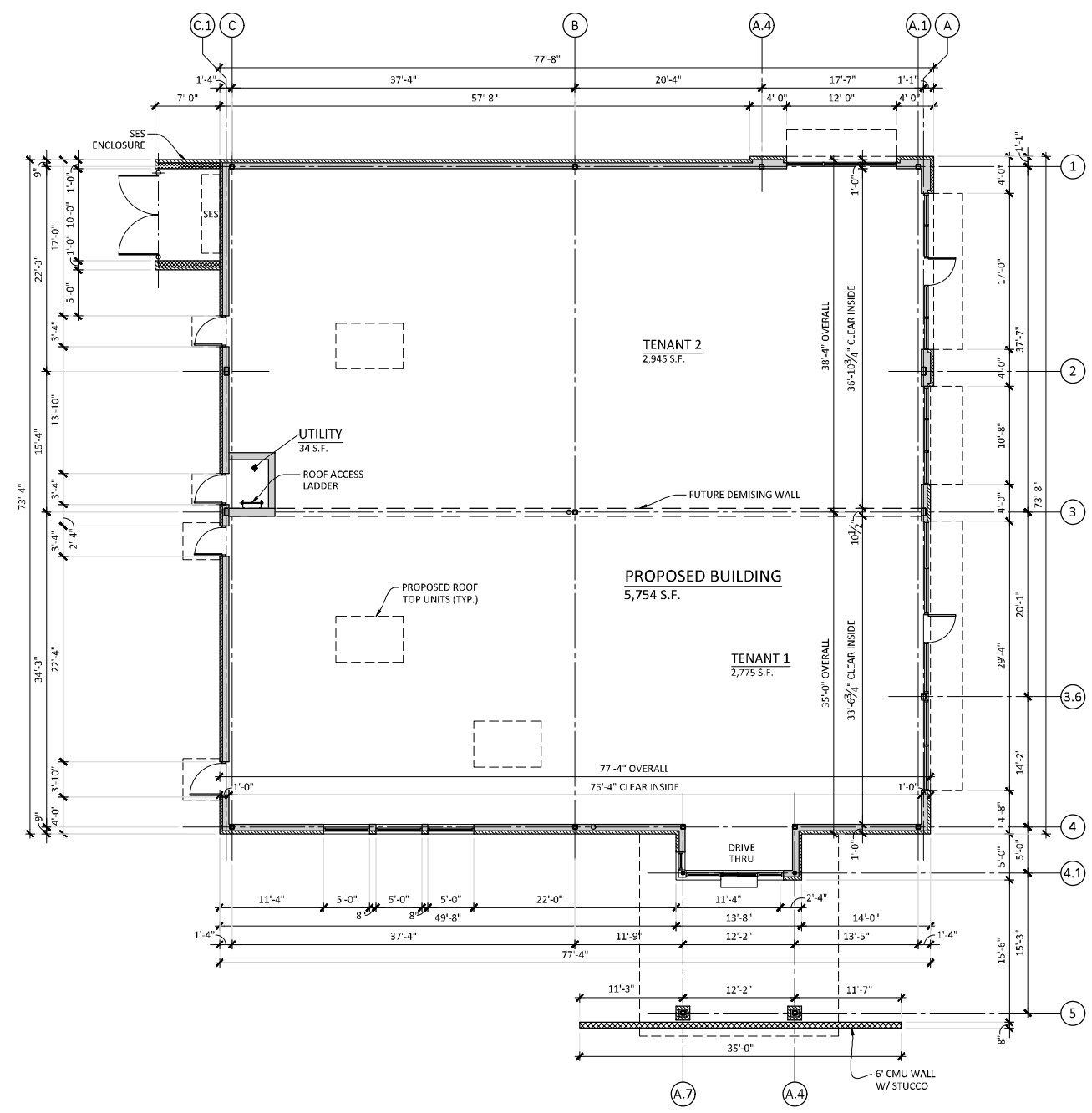
PRELIMINARY WEST ELEVATION  
SCALE: 1/8" = 1'-0"



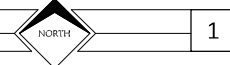
PRELIMINARY SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



PRELIMINARY EAST ELEVATION  
SCALE: 1/8" = 1'-0"



PRELIMINARY FLOOR PLAN  
SCALE: 1/8" = 1'-0"



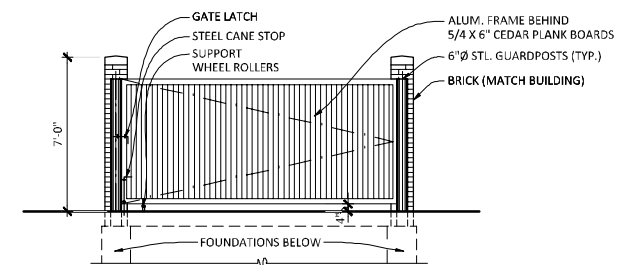


711 N. FIELDER RD.  
 ARLINGTON, TX 76012  
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 FAX: (817) 635-5699

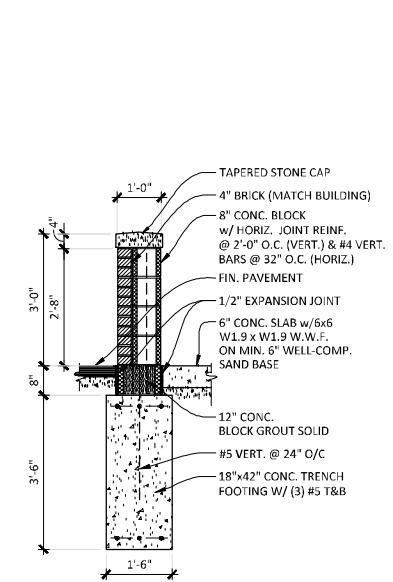


PROJECT COORDINATOR  
 1844 Ford Avenue Wyandotte, MI 48182  
 734.966.8266 O. 734.966.8264 F.

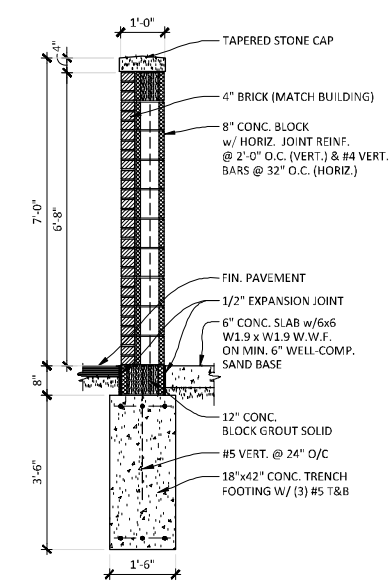
MULTI-TENANT  
 SHELL BUILDING  
 2304 SOUTH HIGLEY ROAD  
 GILBERT, AZ 85295



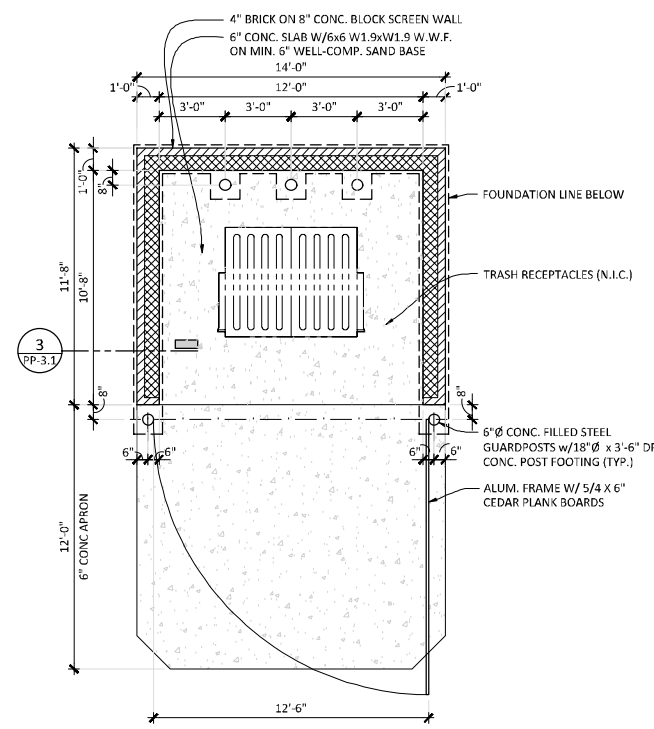
**TRASH ENCLOSURE ELEVATION** 2  
 SCALE: 1/4" = 1'-0"



**SCREEN WALL DETAIL** 4  
 SCALE: 1/2" = 1'-0"



**TRASH ENCLOSURE DETAIL** 3  
 SCALE: 1/2" = 1'-0"



**TRASH ENCLOSURE PLAN** 1  
 SCALE: 1/4" = 1'-0"

THE PROFESSIONAL SERVICES OF THE ARCHITECT ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST ALIKE USA. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED WITH THIS PROJECT.

REVISIONS	
10-26-23	ISSUED FOR REVIEW

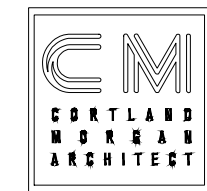
PROJECT NUMBER  
 23-070

MONUMENT SIGN  
 AND DUMPSTER  
 DETAILS

SHEET NUMBER

PP-3.1

DRAWN: STAFF  
CHECKED: CM

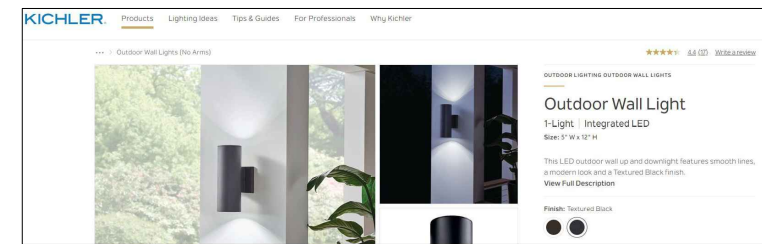


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1044 Ford Avenue Waukegan, IL 60087  
847.866.8366 • 847.866.8367 F.

MULTI-TENANT  
SHELL BUILDING  
2304 SOUTH HIGLEY ROAD  
GILBERT, AZ 85295



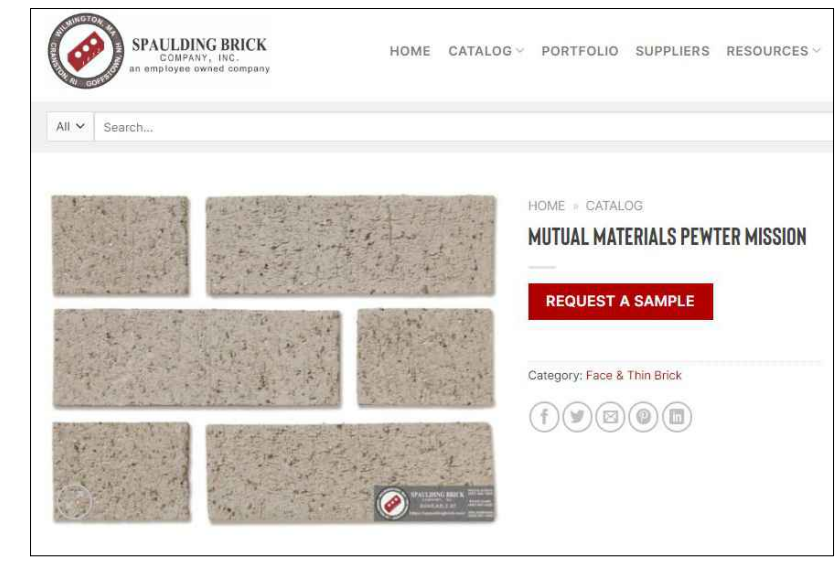
SCONCE LIGHT  
SCALE: -



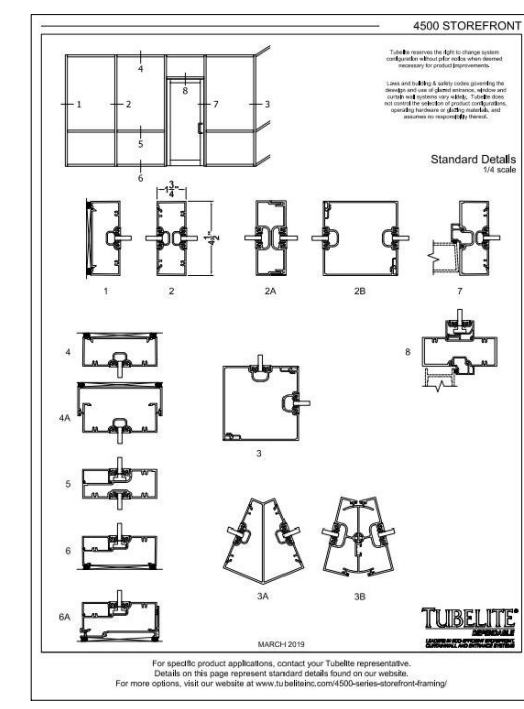
VINTAGEWOOD Cedar  
FIBER CEMENT SIDING  
SCALE: -



EIFS  
SCALE: -



BRICK  
SCALE: -



STOREFRONT GLASS  
SCALE: -



METAL COPING/ CANOPY  
SCALE: -



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REVISIONS  
07-18-23 ISSUED FOR REVIEW

PROJECT NUMBER  
23-070

MATERIAL BOARD

SHEET NUMBER

MB-1

DRAWN: STAFF  
CHECKED: CM



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ARLINGTON, TX 76012  
PH: (817) 635-5696  
FAX: (817) 635-5699



PROJECT COORDINATOR  
1844 Ford Avenue, Mendenhall, LA 70108  
224.446.8888 • 724.446.8884 F.

MULTI-TENANT  
SHELL BUILDING  
2304 SOUTH HIGLEY ROAD  
GILBERT, AZ 85295

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REVISIONS  
10-26-23 ISSUED FOR REVIEW

PROJECT NUMBER  
23-070

PRELIMINARY  
FLOOR PLANS AND  
ELEVATIONS

SHEET NUMBER

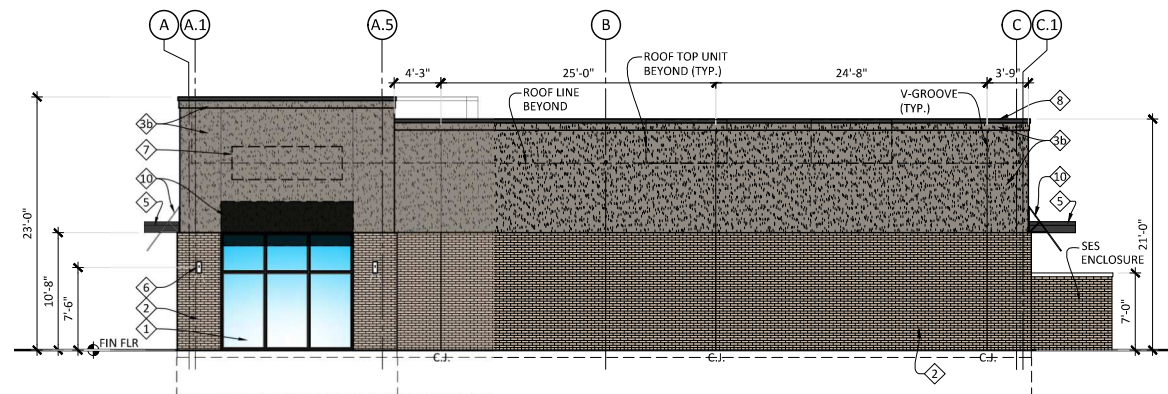
PP-3

EXTERIOR FINISH KEY

BASED ON STARBUCKS "CORE PALETTE"

- 1 STOREFRONT  
THERMALLY BROKEN ALUM. FRAME  
W/INSULATED GLAZING  
COLOR: DARK BRONZE
- 2 DENOTES SPANDREL GLAZING
- 3 MODULAR BRICK VENEER  
MFR: MUTUAL MATERIALS  
OR EQUAL TO MATCH  
COLOR: PEWTER MISSION
- 4 E.I.F.S.  
MFR: DRYVIT  
COLOR: (MATCH) SW7030 ANEW GRAY  
TEXTURE: SANDBLAST
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- 7 METAL CANOPY  
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(LIGHTING PER TENANT PLANS & SPECS)  
\* NICHHA @ UNDERSIDE

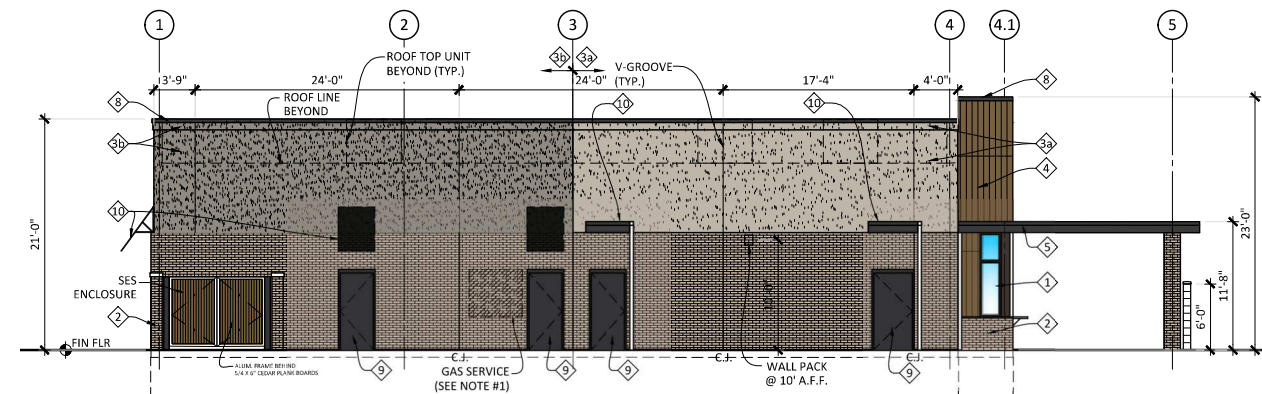
- 8 LIGHTING  
WALL SCONCE FIXTURE  
(KICHLER - 11251BKT30)
- 9 SIGNAGE  
SIGNAGE ALLOWED: VERIFY MAX. SQ FT  
SIGNAGE SHALL BE SUBMITTED PER TENANT.  
(SEE NOTE #1)
- 10 PREFINISHED METAL COPING  
MANUF.: UNA-CLAD (OR EQUIVALENT)  
COLOR: MATTE BLACK (RAL#7021)
- 11 PAINT  
MFR: SHERWIN WILLIAMS  
COLOR: SW 6989 "DOMINO"
- 12 ALUMINUM FRAME AWNING  
FABRIC ON ALUMINUM FRAME AWNING  
BY LANDLORD  
COLOR: BLACK



PRELIMINARY NORTH ELEVATION

SCALE: 1/8" = 1'-0"

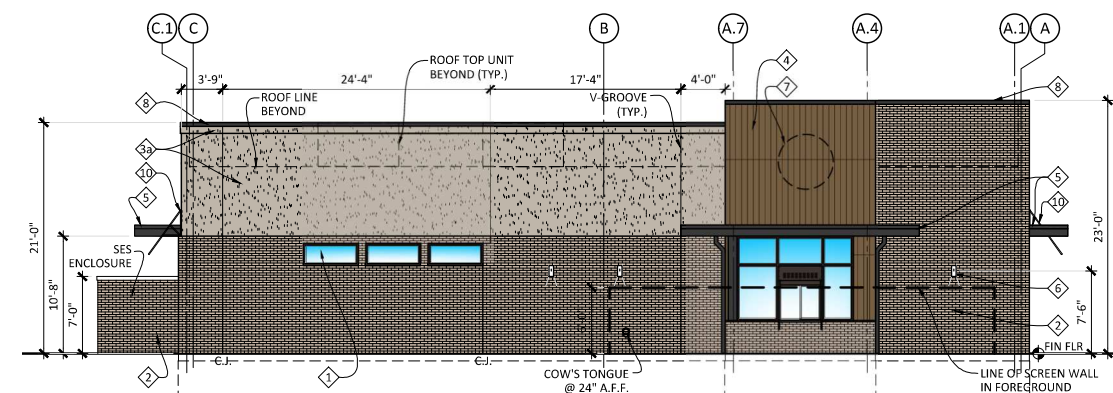
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PRELIMINARY WEST ELEVATION

SCALE: 1/8" = 1'-0"

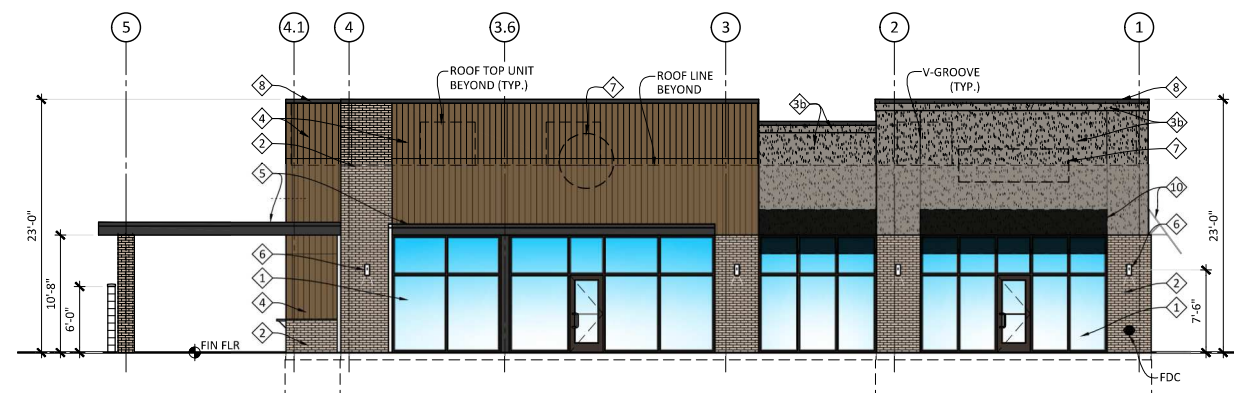
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PRELIMINARY SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

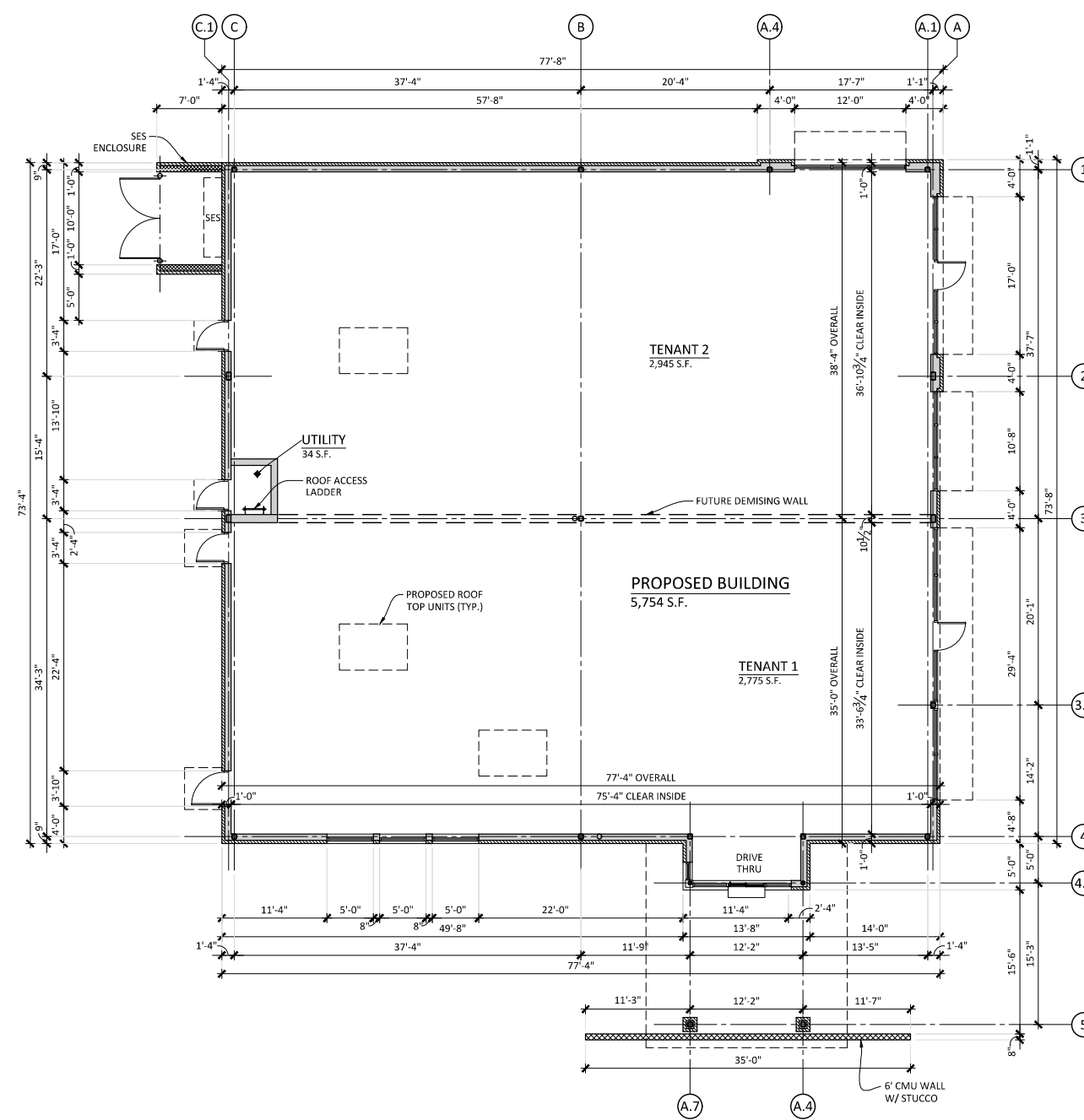
3



PRELIMINARY EAST ELEVATION

SCALE: 1/8" = 1'-0"

2



PRELIMINARY FLOOR PLAN

SCALE: 1/8" = 1'-0"

1





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 ARLINGTON, TX 76012  
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1044 Ford Avenue, Mendenhall, LA 70109  
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MULTI-TENANT  
 SHELL BUILDING  
 2304 SOUTH HIGLEY ROAD  
 GILBERT, AZ 85295

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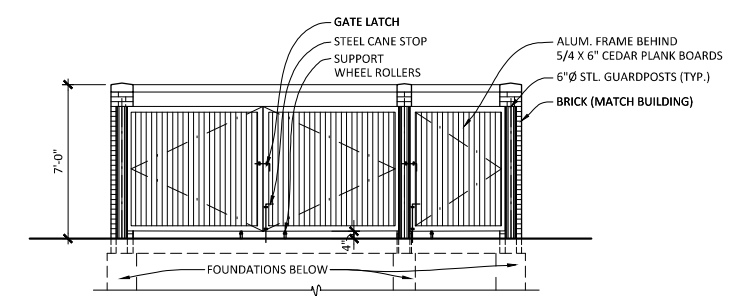
REVISIONS	
10-26-23	ISSUED FOR REVIEW
11-17-23	CITY COMMENTS

PROJECT NUMBER  
 23-070

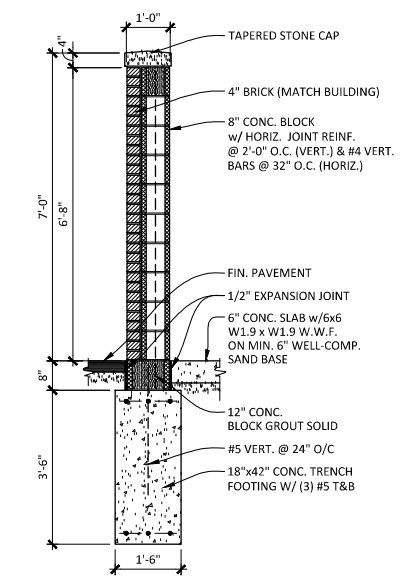
MONUMENT SIGN  
 AND DUMPSTER  
 DETAILS

SHEET NUMBER

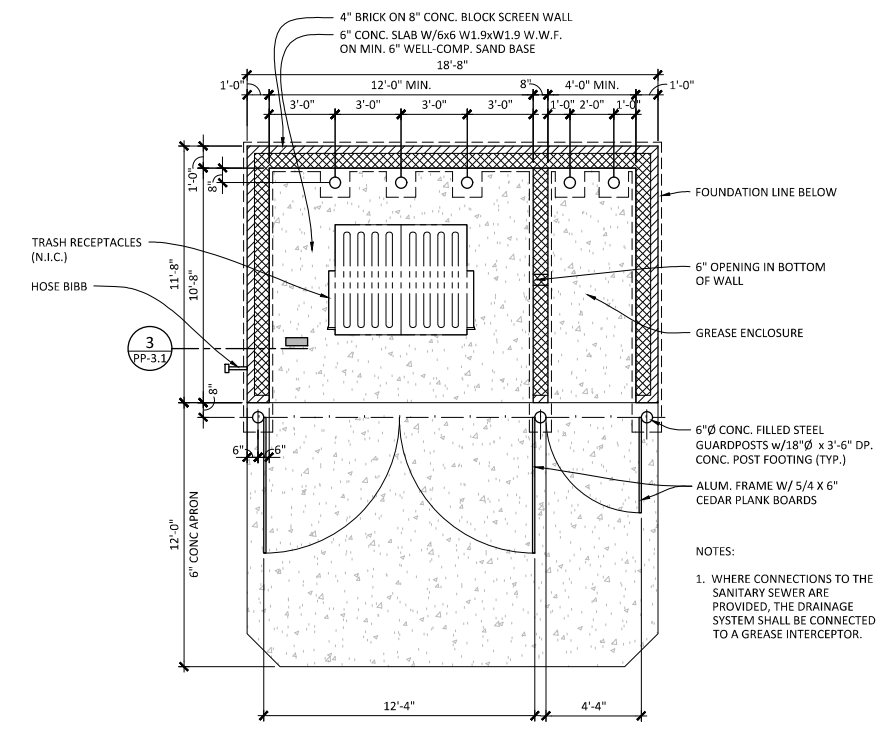
PP-3.1



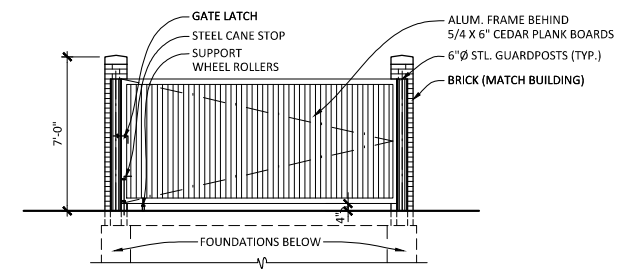
**TRASH ENCLOSURE ELEVATION**  
 SCALE: 1/4" = 1'-0" 6



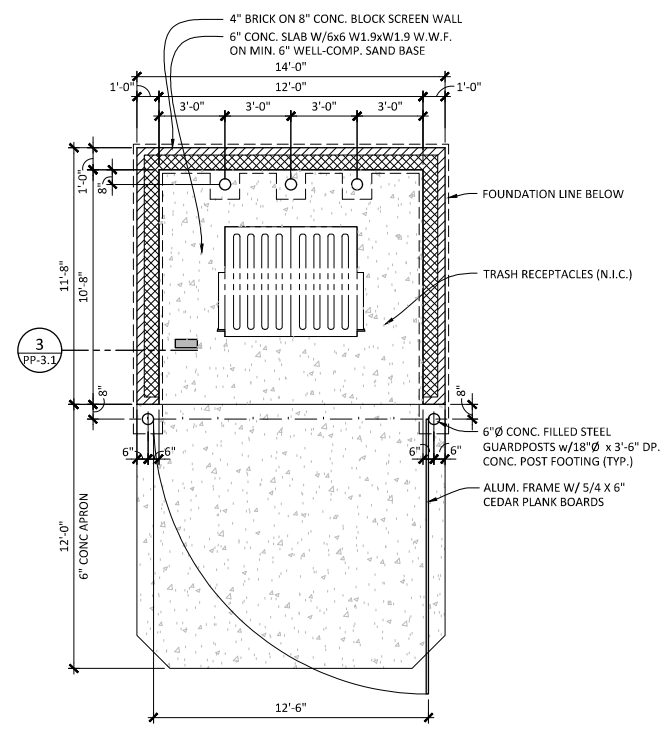
**TRASH ENCLOSURE DETAIL**  
 SCALE: 1/2" = 1'-0" 3



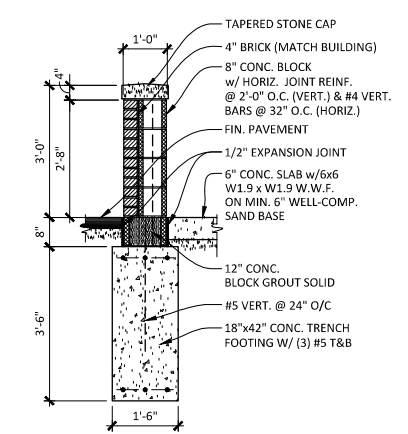
**TRASH ENCLOSURE WITH GREASE TRAP PLAN**  
 SCALE: 1/4" = 1'-0" 5



**TRASH ENCLOSURE ELEVATION**  
 SCALE: 1/4" = 1'-0" 2



**TRASH ENCLOSURE PLAN**  
 SCALE: 1/4" = 1'-0" 1

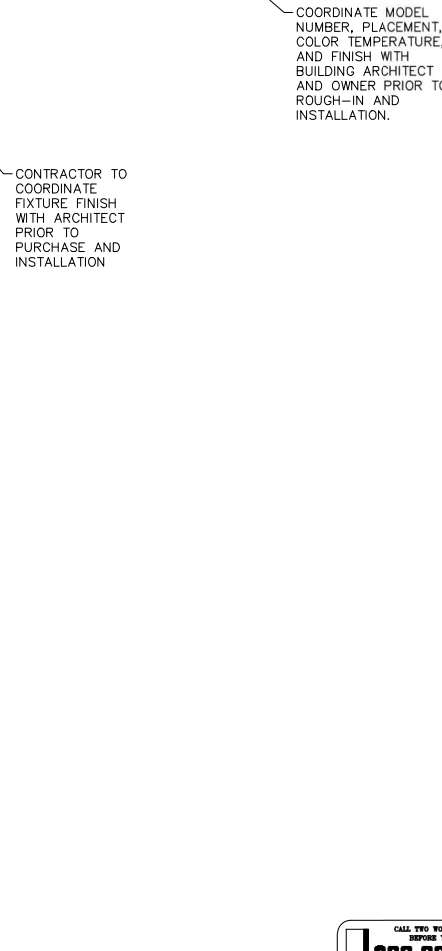
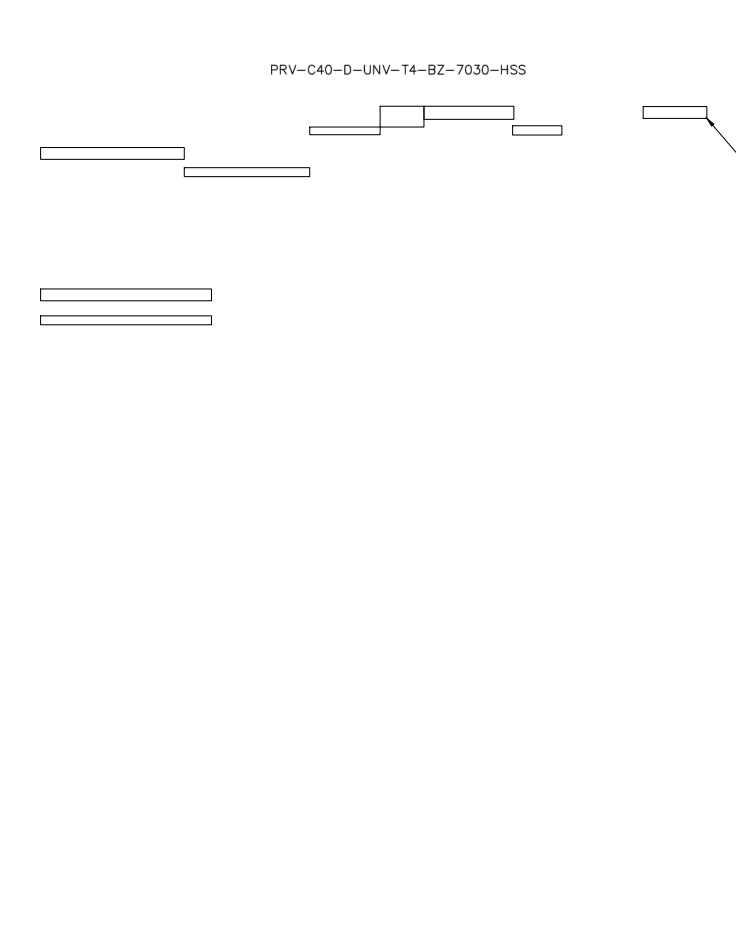
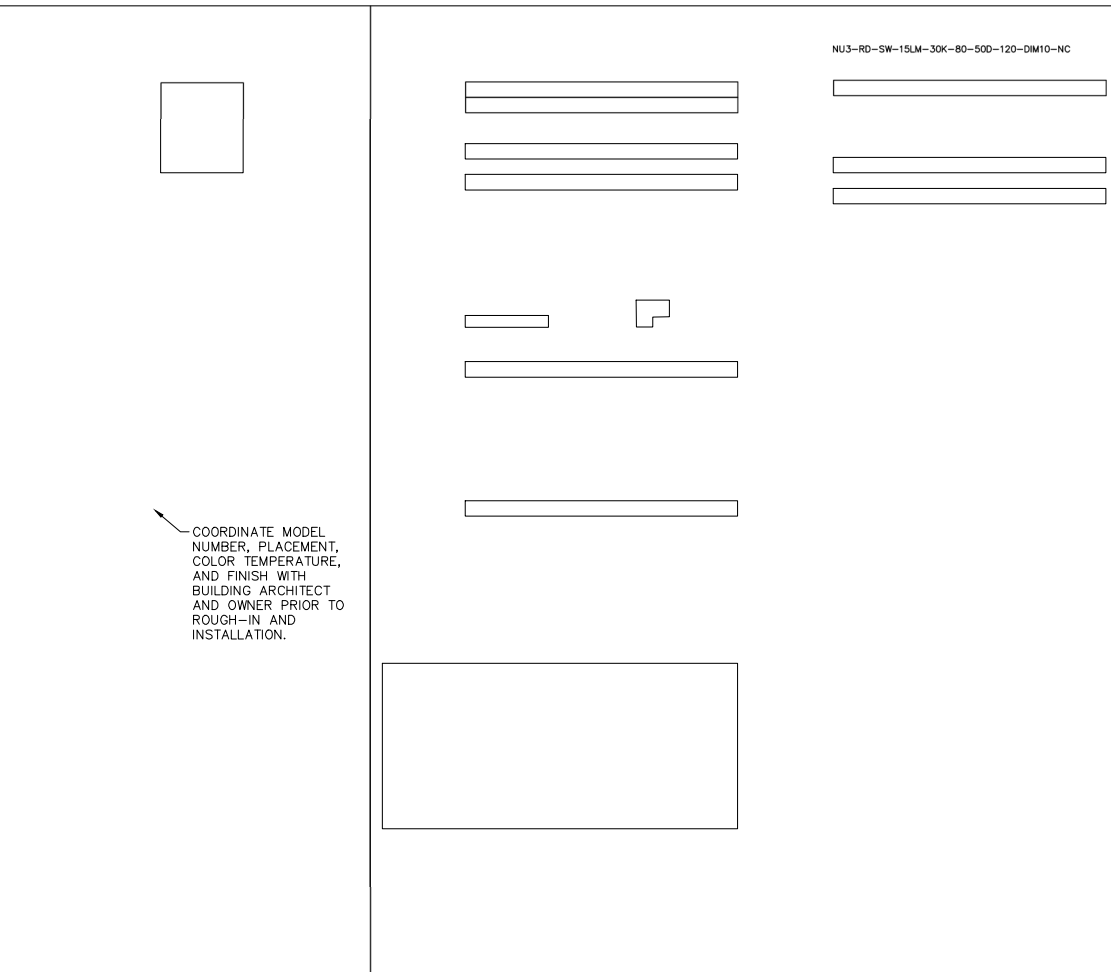
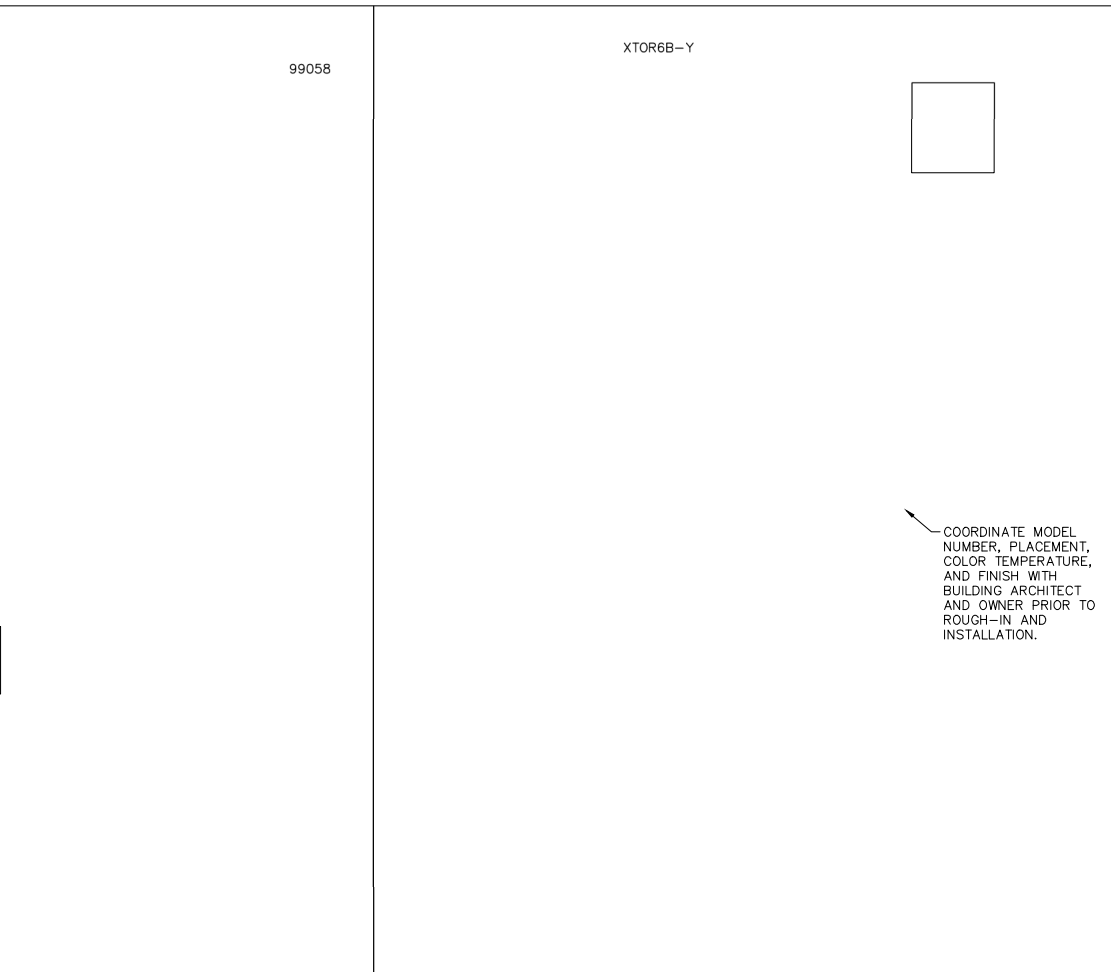
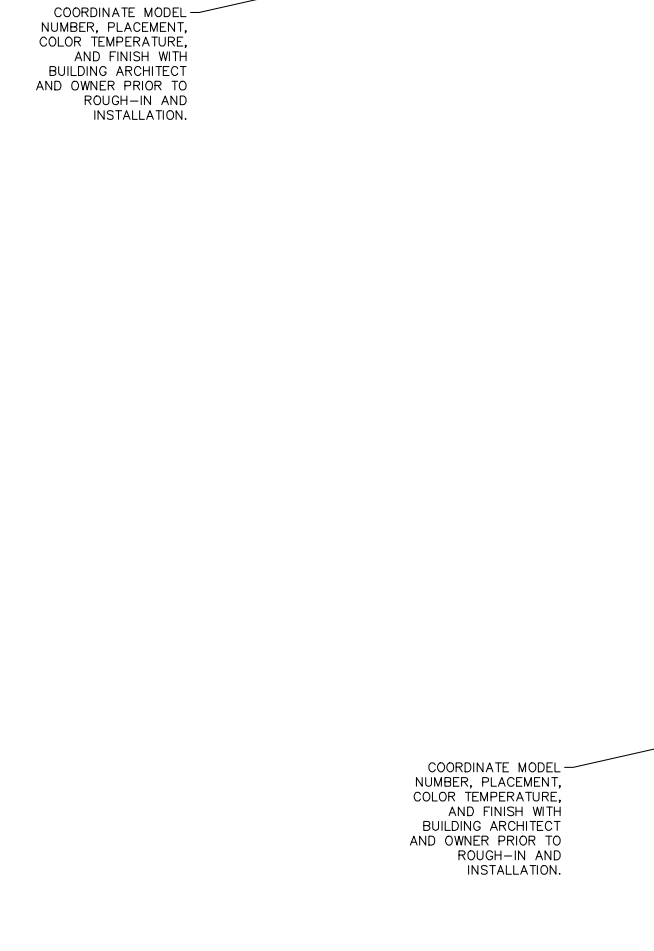
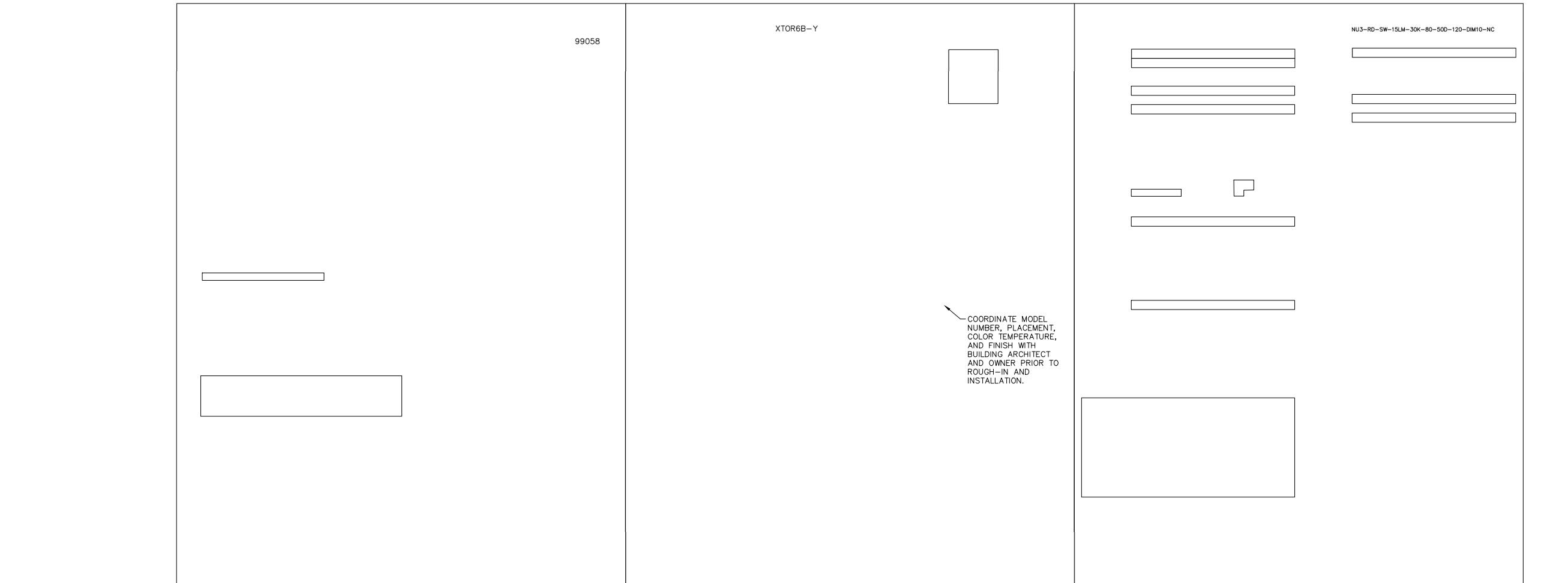


**SCREEN WALL DETAIL**  
 SCALE: 1/2" = 1'-0" 4



REV	DESCRIPTION	BY	DATE	APPR

K:\Vrh\_civil\291891000 - atig.gilbert\CADD\Preliminary\PRE\_EL.dwg, Layout:PH2 PHOTOMETRIC CUTSHEET Oct. 26, 2023 - 2:29pm carlosambriz  
 THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE  
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**A** PHOTOMETRIC CUTSHEETS  
SCALE: N.T.S.

CALL TWO WORKING DAYS BEFORE YOU DIE  
**602-263-1100**  
**1-800-STRAE-IT**  
(OUTSIDE MARICOPA COUNTY)

**Kimley»Horn**  
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 7740 North 16th Street, Suite 300  
 Phoenix, Arizona 85020 (602) 944-5500

**ALRIG USA**  
 DEVELOPMENT

NWC OF HIGLEY RD. AND WILLIAMS FIELD RD.  
**PHOTOMETRIC CUTSHEET**  
 GILBERT, ARIZONA

PROJECT No.  
291891000  
 SCALE (H): N.T.S.  
 SCALE (V): N.T.S.  
 DRAWN BY: CLC  
 DESIGN BY: JLW  
 CHECK BY: PMS  
 DATE: 10/26/2023

**PRELIMINARY**  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION  
**Kimley»Horn**  
 ENGINEER P. SYNTAX  
 PE NO. 49025 DATE 10/23

**PH2**  
 2 OF 2 SHEETS



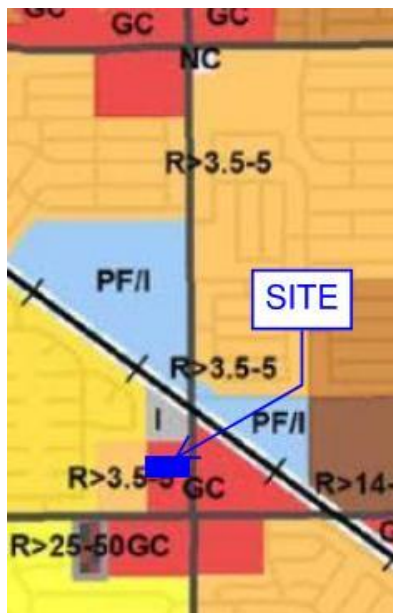
October 25<sup>th</sup>, 2023

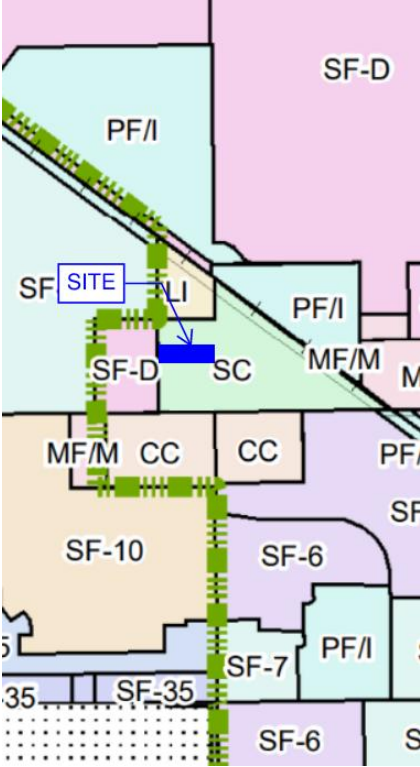
Development Services Department  
90 E. Civic Center Dr.  
Gilbert, AZ 85296

**RE: *Project Narrative – 2304 S. Higley Road (APN 304-40-009F)***

To Whom It May Concern:

Kimley-Horn and Associates, Inc., on behalf of ALRIG USA, has prepared this Project Narrative for the proposed 1.3-acre multi-use development project located at 2304 S. Higley Rd. (APN 304-40-009F) in Gilbert, Arizona. The existing site is currently a vacant lot. The site is currently zoned SC and will not need rezoning. The project consists of a 5,752 square foot multi-tenant building with associated parking and utility improvements. The multi-tenant use breaks down to approximately 2,977 square feet of restaurant and 2,775 square feet of drive-thru restaurant. See below for the existing Town of Gilbert zoning Map and General Plan Map with the site location.





Please feel free to reach out with any questions.  
Sincerely,  
Kimley-Horn and Associates, Inc.

Bryce Quigley, P.E.