



NOTICE OF ADMINISTRATIVE DECISION

August 14, 2023

Jason Shano
Associated Sign Company
3335 W. Vernon Ave
Phoenix, AZ 85009
Email: jms@ascosigns.com

RE: Administrative Design Review to establish a Comprehensive Sign Plan for the Power Commerce industrial development – Comprehensive Sign Plan – located at the NWC of Elliot and Power Roads: PDR-2020-00097-A (**DR23-73**)

Dear Mr. Shano:

Staff has reviewed and **approved** your Administrative Design Review **DR20-97-A (DR23-73)**, for approval of the proposed Comprehensive Sign Plan for the Power Commerce industrial development located at the NWC Elliot and Power Roads, and zoned Light Industrial (LI) zoning district.

Staff has **approved** your request with the following conditions:

1. Construction of the monument sign shall conform to the exhibits submitted for this request. All exhibits are stamped administratively approved August 14, 2023.

If you have any questions regarding these findings, please contact me at (480) 503-6742 or Kristen.Devine@gilbertaz.gov.

Sincerely,

Kristen Devine

Kristen Devine
Planner II

POWER COMMERCE PARK

COMPREHENSIVE SIGN PLAN

February 2023

3380 S Power Rd | Gilbert, AZ 85234

PROJECT

Power Commerce Park
3380 South Power Road
Gilbert, AZ 85234

PROPERTY OWNER

Power Commerce Park LLC
10632 N Scottsdale Rd, #200
Scottsdale, AZ 85254

SIGNAGE CONSULTANT

Associated Sign Company
3335 W. Vernon Ave.
Phoenix, AZ 85009
Ph: 602-278-8464
Jason Shano
jms@ascosigns.com

PARCEL INFORMATION

PARCEL NUMBER:

304-16-956

ZONING:

LI

JURISDICTION:

Gilbert

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Sign Location Plan	4
Project ID Monument	5
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I. INTRODUCTION

THE PURPOSE OF THE COMPREHENSIVE SIGN PLAN IS TO ENSURE AN ATTRACTIVE PROFESSIONAL ENVIRONMENT WHILE ALSO PROTECTING THE INTERESTS OF THE LANDLORD, TENANT, AND SURROUNDING NEIGHBORHOOD.

II. GENERAL REQUIREMENTS

- A.** ALL TENANTS SHALL SUBMIT (1) ELECTRONIC SET OF COLOR DRAWINGS IN PDF FORMAT TO LANDLORD FOR APPROVAL. DRAWINGS MUST INCLUDED DETAILS OF SIZE, COLOR, MATERIALS, ILLUMINATION, AND ATTACHMENT. NO DRAWINGS MAY BE SUBMITTED TO TOWN OF GILBERT PRIOR TO LANDLORD APPROVAL.
- B.** LANDLORD SHALL REVIEW ALL SUBMITTED DRAWINGS AND MARK THEM EITHER APPROVED, APPROVED AS NOTED, OR REVISE AND RESUBMIT.
- C.** NO SIGNS, ADVERTISEMENTS, NOTICES, OR OTHER LETTERING SHALL BE DISPLAYED, EXHIBITED, INSCRIBED, PAINTED OR AFFIXED ON ANY PART OF THE BUILDING VISIBLE FROM OUTSIDE THE PREMISES EXCEPT AS SPECIFICALLY APPROVED BY THE LANDLORD. SIGNS THAT ARE INSTALLED WITHOUT WRITTEN APPROVAL OR ARE INCONSISTENT WITH APPROVED DRAWINGS MAY BE SUBJECT TO REMOVAL AND/OR REINSTALLATION BY LANDLORD AT TENANTS EXPENSE.
- D.** TOWN OF GILBERT REQUIRES SIGN PERMITS FOR ALL SIGNS VISIBLE FROM OUTSIDE THE BUILDING. IT SHALL BE TENANT'S SOLE RESPONSIBILITY TO SECURE THESE AND ANY OTHER PERMITS THAT MAY BE REQUIRED.
- E.** LANDLORD'S APPROVAL OF TENANT'S PLANS SHALL NOT CONSTITUTE AN IMPLICATION, REPRESENTATION, OR GUARANTEE THAT SAID ITEMS ARE IN COMPLIANCE WITH APPLICABLE STATUTES, CODES, ORDINANCES, OR OTHER REGULATIONS.
- F.** SIGN CONTRACTOR PERFORMING ANY SIGN WORK AT POWER COMMERCE PARK MUST BE APPROVED BY LANDLORD PRIOR TO CONSTRUCTION OF SIGN.
- G.** LANDLORD RESERVES THE RIGHT TO FIX, REPAIR, OR REPLACE ANY BROKEN OR FADED SIGN OR ANY SIGN DEEMED TO BE IN DISREPAIR AT THE TENANTS EXPENSE. TENANT IS RESPONSIBLE FOR THE COST TO REMOVE EXTERIOR SIGNAGE AT LEASE END. LANDLORD WILL ARRANGE FOR REMOVAL AND BILL TENANT.
- H.** ANY SIGN TYPE NOT SPECIFICALLY ADDRESSED BY THIS CRITERIA IS SUBJECT TO THE APPLICABLE STANDARDS SET FORTH IN THE TOWN OF GILBERT LDC SECTION 5.6.

LOGO - WORDMARK

POWER COMMERCE PARK

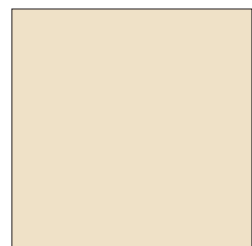
PROJECT FONT

CENTURY GOTHIC - BOLD

AaBbCcDdEeFfGgHhIiJjKkLlMmNnOoPpQqRrSsTtUuVvWwXxYyZz

1234567890!@#\$%^&()+-*/[|\,.;:'

COLORS



P-1 (Paint)
Dunn Edwards
DE6177
'Thatched Roof'



P-2 (Paint)
Dunn Edwards
DEC726
'Adobe'



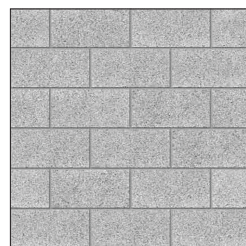
P-3 (Paint)
Dunn Edwards
DET441
'Revival Red'



P-4 (Paint)
Dunn Edwards
DE6201
'Rattan Basket'



P-5 (Paint)
Matthews
'Black'



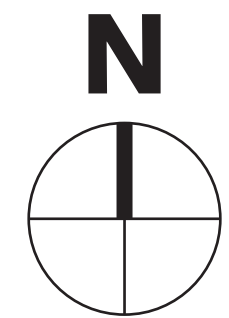
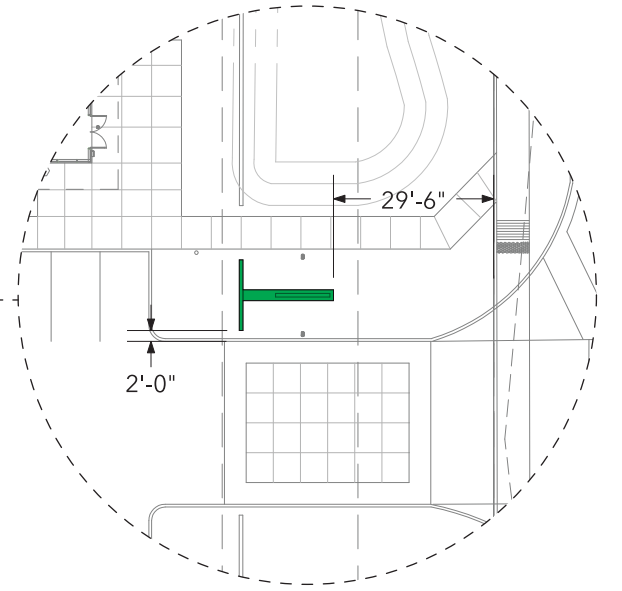
Masonry
Smooth Face CMU
8" x 8" x 16"
Standard Gray

POWER COMMERCE PARK

SIGN LOCATION PLAN



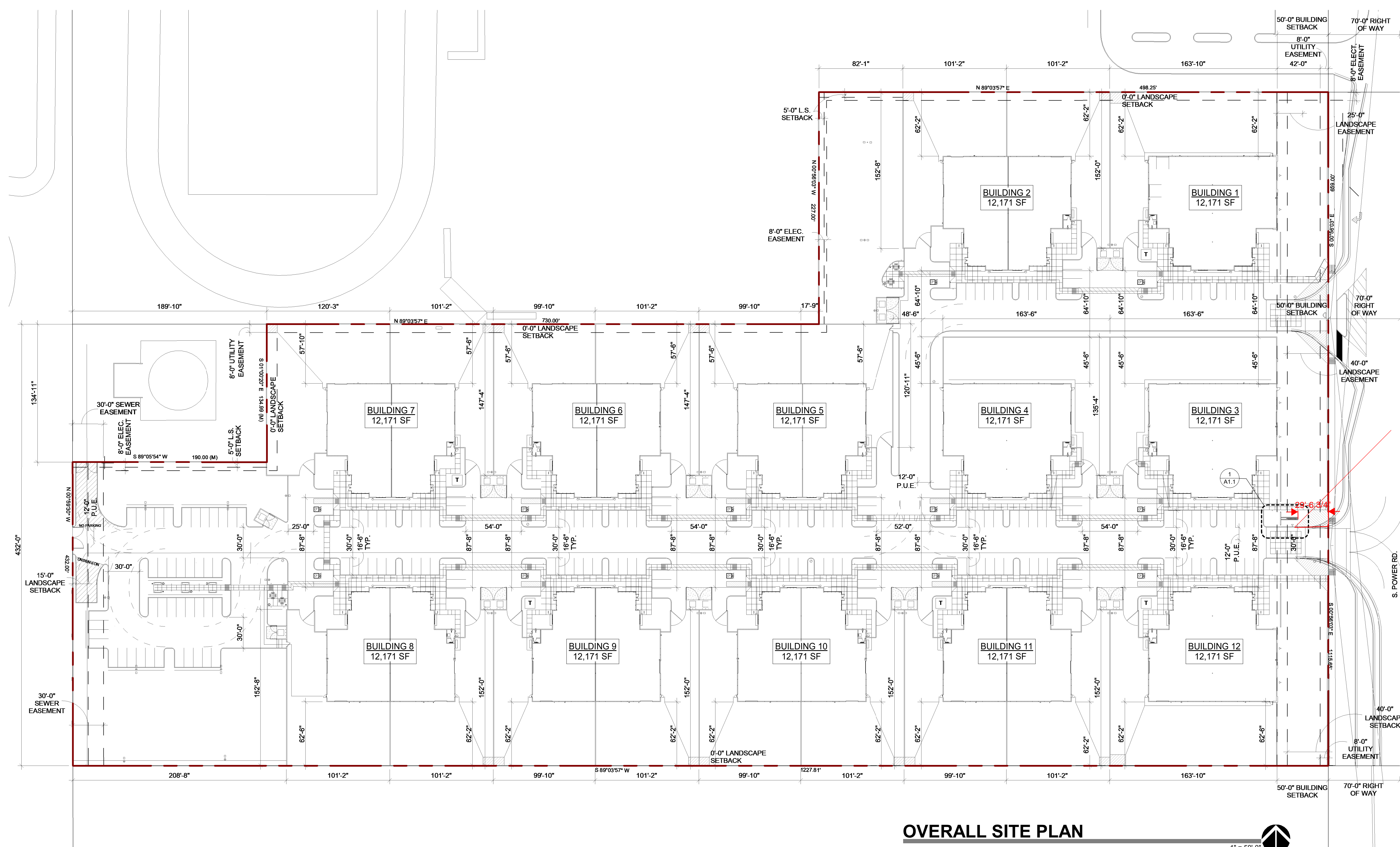
- A** Project ID Monument
- B** Tenant ID Wall Sign





SHEET INDEX

- ARCHITECTURAL
 - A1.0 OVERALL SITE PLAN
 - A1.1 MONUMENT SIGN
- LANDSCAPE
 - L0.1 ENTRY MONUMENT
- STRUCTURAL
 - S1.1 GSN AND DETAILS



OVERALL SITE PLAN
1" = 50'-0"

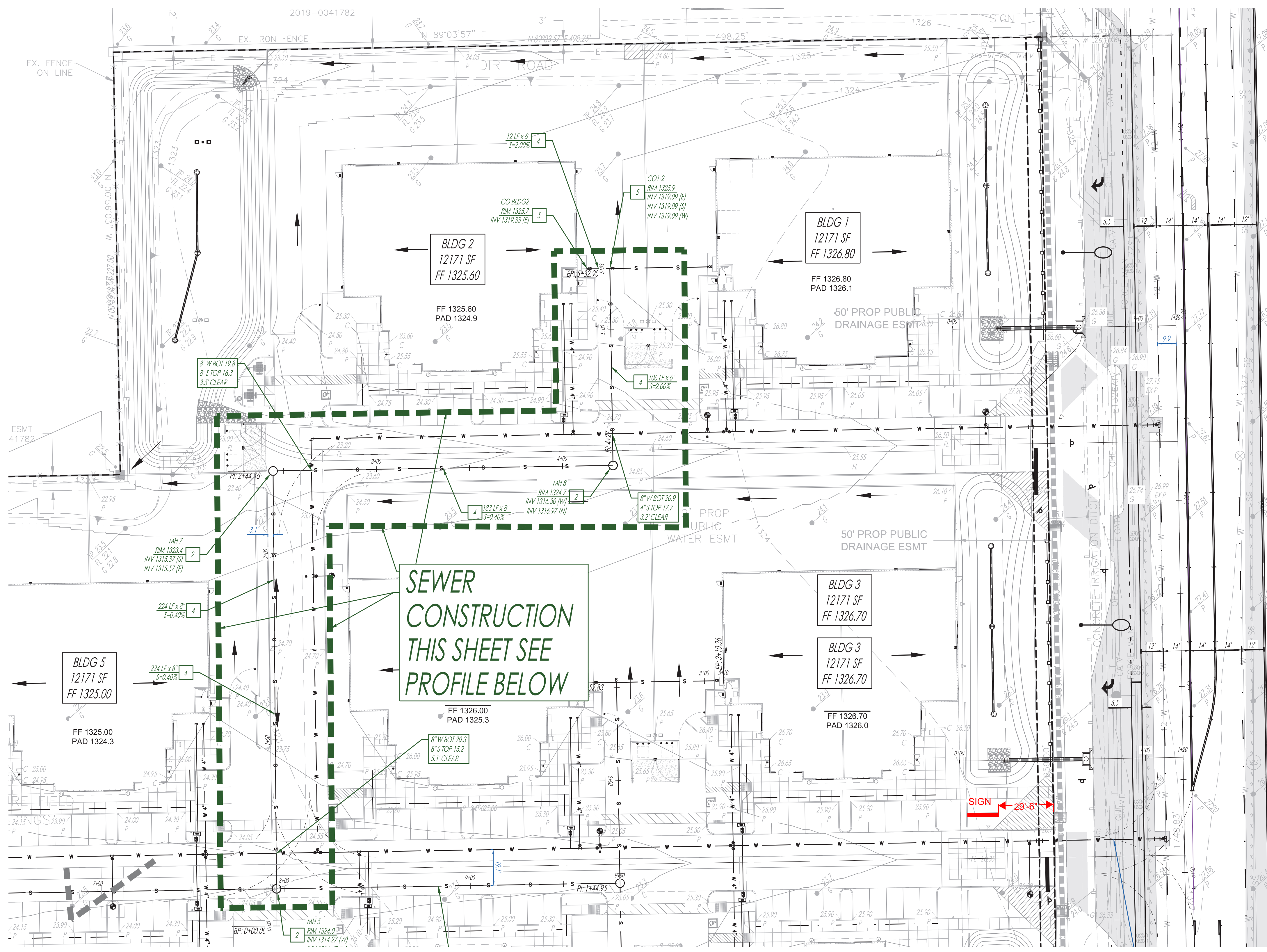
BUILDING PARKING INFORMATION

NOTES: SECTION 4.204
85% @ 1/1,000 121.9
15% @ 1/250 86.1
TOTAL REQUIRED: 208 SPACES
TOTAL PROVIDED: 221 SPACES
(INCLUDES (12) ADA SPACES)
BIKE RACKS REQUIRED: 221 REQUIRED PARKING STALLS @ 1 BIKE RACK / 10 STALLS
22.1 TOTAL : 22 BIKE RACKS PROVIDED

PROJECT DATA

BASE ZONING DISTRICT: EXISTING: LI / BP
PROPOSED: LI
GENERAL PLAN CLASSIFICATION: EXISTING: LI / BP
PROPOSED: LI
SITE AREA (NET): ±17,906 SF = ±14.2 AC
SITE AREA (GROSS): ±663,979 SF = ±15.2 AC
TOTAL BUILDING AREA: ±146,052 SF
TOTAL LANDSCAPE AREA: ±120,734 SF
LANDSCAPE AREA PERCENTAGE: 19.5%
LOT COVERAGE PERCENTAGE: 23.2%

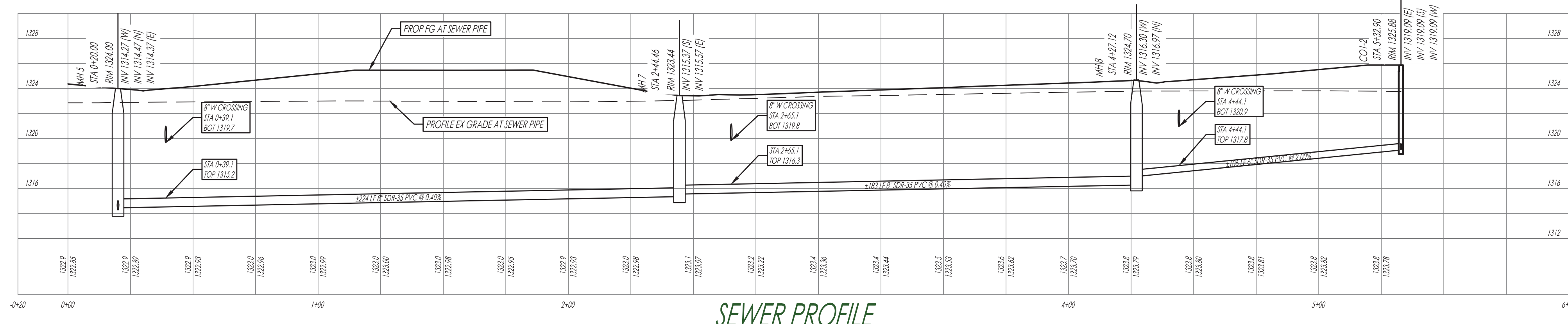
IPDIDC01\Architecture\2019\19-011.0-Power_Commerce_Park\19-011.0-2_PCP-Monument_Sign_CD\ASAS\19-011.0-2.rvt



SEWER CONSTRUCTION
THIS SHEET SEE
PROFILE BELOW

SEWER CONSTRUCTION NOTES

1. REMOVE EX PLUG AND CONNECT TO EXISTING 10" SEWER LINE VERIFY LOCATION AND ELEVATION PRIOR TO CONNECTION.
2. INSTALL NEW 4' Ø MANHOLE (<10' DEEP) PER MAG STD DTL 420-1, 420-2 AND 424. CAST IN PLACE BASE ONLY. WITH 24" FRAME AND COVER. TYPE 'A' TOP. NO STEPS. LINING PER TOG SUPPLEMENT TO MAG SPEC SECTION 625.
3. INSTALL NEW 5' Ø MAINHOLE (>10' DEEP) PER MAG STD DTL 420-1, 420-2 AND 424. CAST IN PLACE BASE ONLY. WITH 30" FRAME AND COVER. TYPE 'A' TOP. NO STEPS. LINING PER TOG SUPPLEMENT TO MAG SPEC SECTION 625.
4. INSTALL NEW PVC DRESS SEWER PIPE PER TOG SUPPLEMENT TO MAG SPEC SECTION 615. SIZE LENGTH AND SLOPE PER PLAN. PIPE BEDDING PER TOG STD DTL GL-401 AND TOG SUPPLEMENT TO MAG SPEC SECTION 601.
5. INSTALL NEW CLEANOUT PER MAG STD DTL 441.
6. CONNECT TO BUILDING PLUMBING. SEE PLUMBING PLANS FOR CONTINUATION.
7. INSTALL PLUG PER MAG STD DTL 427.
8. INSTALL 5' Ø DROP MANHOLE TYPE B PER MAG STD DTL 426. CAST IN PLACE BASE ONLY. WITH 30" FRAME AND COVER. TYPE 'A' TOP. NO STEPS. LINING PER TOG SUPPLEMENT TO MAG SPEC SECTION 625.

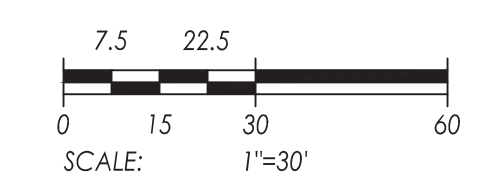


SEWER PROFILE

SCALE: 1" = 30' H / 1" = 6' V

CALL AT LEAST TWO FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION
ARIZONA811
DIAL 8-1-1 OR 1-800-STAR-11 (1-800-5348)
N. WILCOX COUNTY: (602) 263-1100

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



PINNACLE DESIGN INC
1048 N. 44th St. #200
Phoenix, AZ 85008
602.952.8585
www.pdi-az.com

KBELL ENGINEERING
1355 N 86TH PLACE MESA, ARIZONA 85207
PH: 602.980.8246 Copyright © 2021

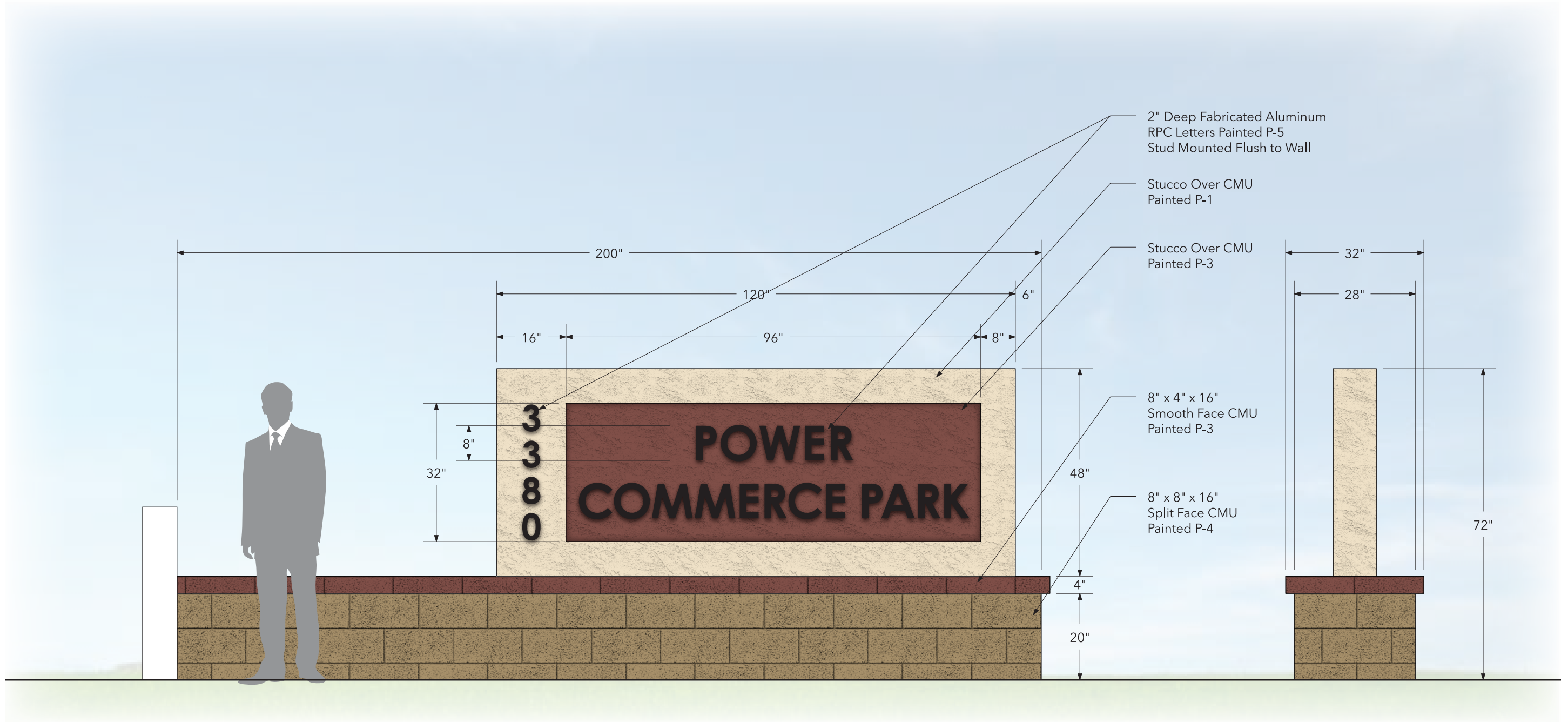
CAVAN COMMERCIAL
FOR REFERENCE ONLY
SEE SITE IMPROVEMENT PACKAGE

POWER COMMERCE PARK
3380 SOUTH POWER ROAD, GILBERT, AZ 85234
SEWER PLAN AND PROFILE C

PROJECT #: 19-011.02(PDI)
1026.03(KBE)
DATE: 6/21/2021
DRAWN BY: KB / JB
REV # DATE DESCRIPTION

Professional Engineer Seal
KELLY J. BELL
57116
No. 0000000000

SHEET
C-13
PLEASE RECYCLE



● Sign Detail
SCALE: 1/2"=1'

QTY [1]

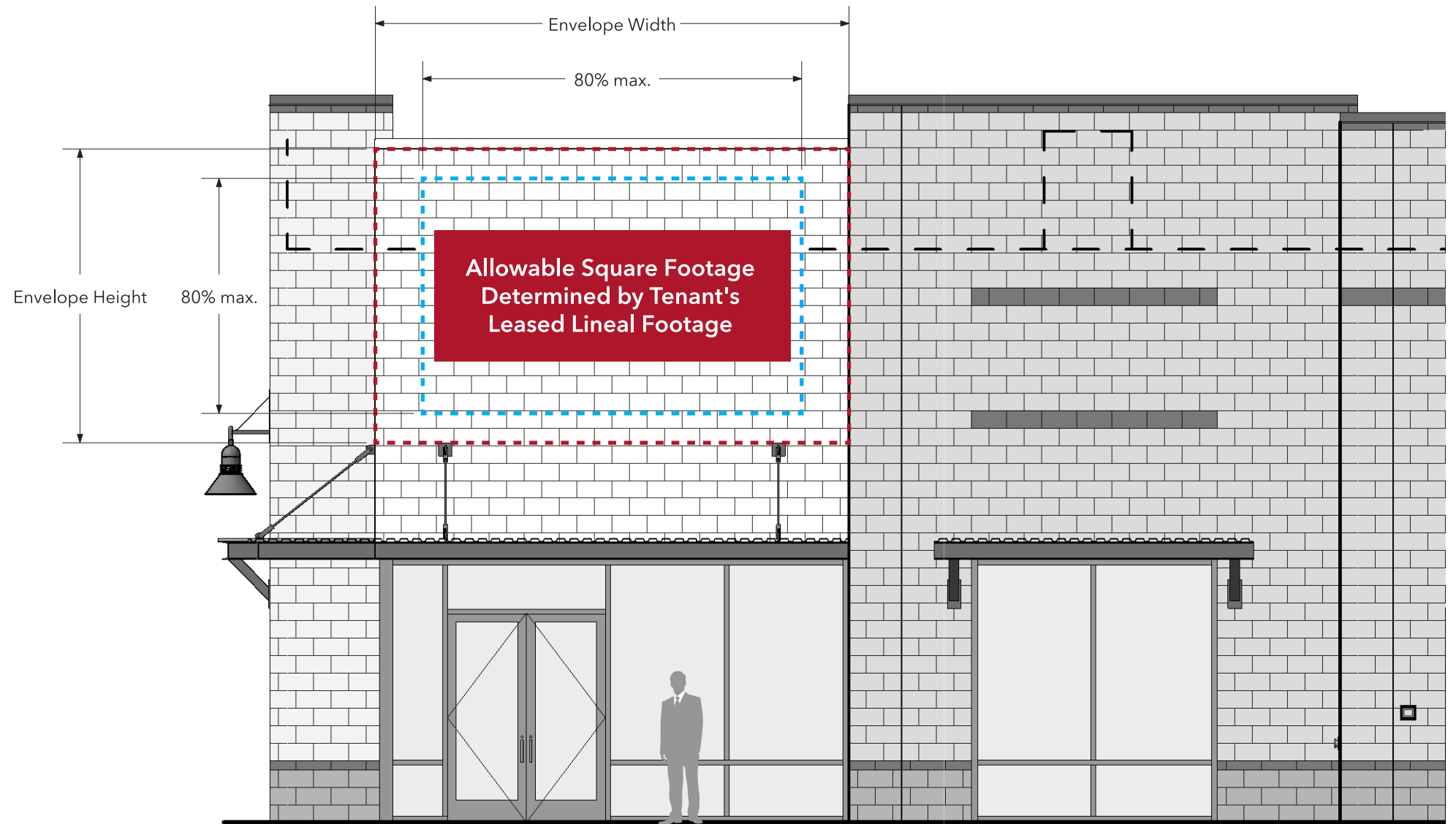
TYPICAL SIZE & LOCATION:

Minimum Wall Sign Area. Each tenant or user suite shall be permitted a Wall Sign with a Minimum Sign Area of 32 square feet, and such Wall Sign shall be permitted on any exterior wall of the tenant or user suite on the first floor of the building.

Maximum Wall Sign Area. Each tenant or user suite shall be limited to Wall Sign with a Sign Area no greater than the total Sign Allowance Area defined below for (a) the longest building elevation of the tenant or user suite facing the street, or (b) the length of the building elevation of the tenant or user suite where its principal entrance is located.

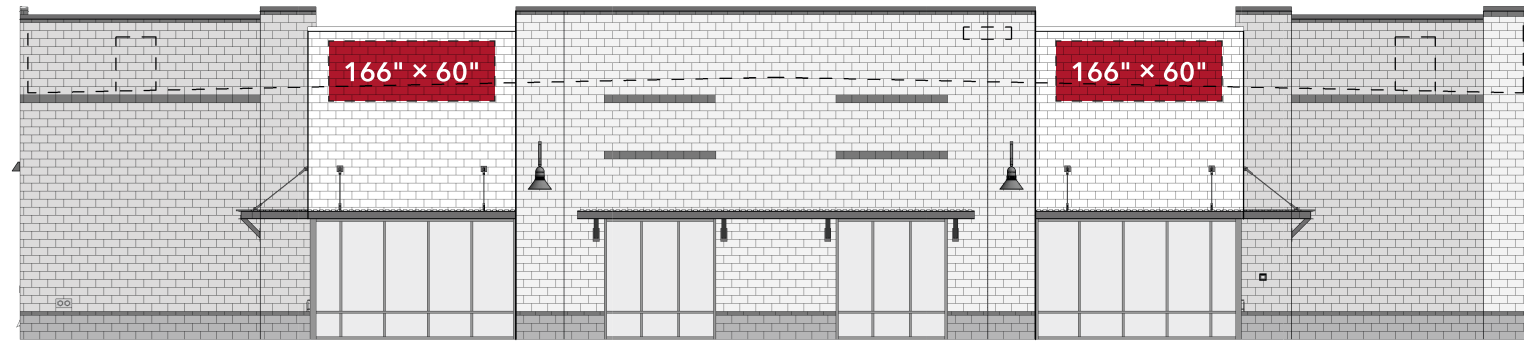
Sign Allowance Area. Sign Allowance Area under this subsection shall mean "for buildings set back seventy-five (75) feet or less from the right-of-way, one (1) square foot of Sign Area for each one (1) lineal foot of the building elevation adjacent to the suite," and "for buildings set back more than seventy-five (75) feet from the right-of-way, one and one-half (1.5) square feet of Sign Area for each one (1) lineal foot of building elevation adjacent to the suite." Town of Gilbert Land Development Code Revised 10-17-19 Chapter I, Article 4.4 Sign Regulations Page 29

Double Sign Allowance Area for Certain Buildings. Buildings with at least two building elevations facing streets and/or main private circulation drives shall be permitted double (2X) the Sign Allowance Area. Signs may be located on more than two elevations so long as the maximum allowance is not exceeded. In no event shall the Double Sign Allowance Area be used on a single elevation.

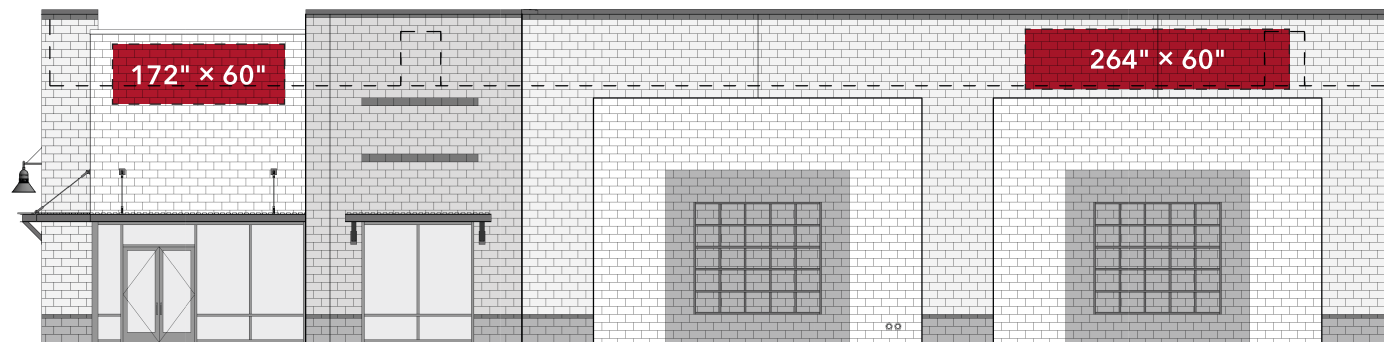


POWER COMMERCE PARK

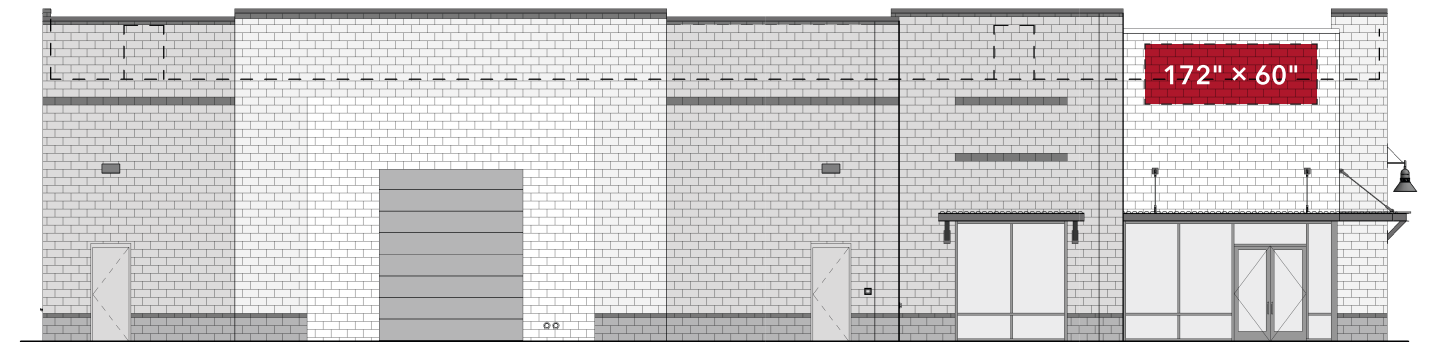
TENANT ID WALL SIGNAGE - BUILDING 1



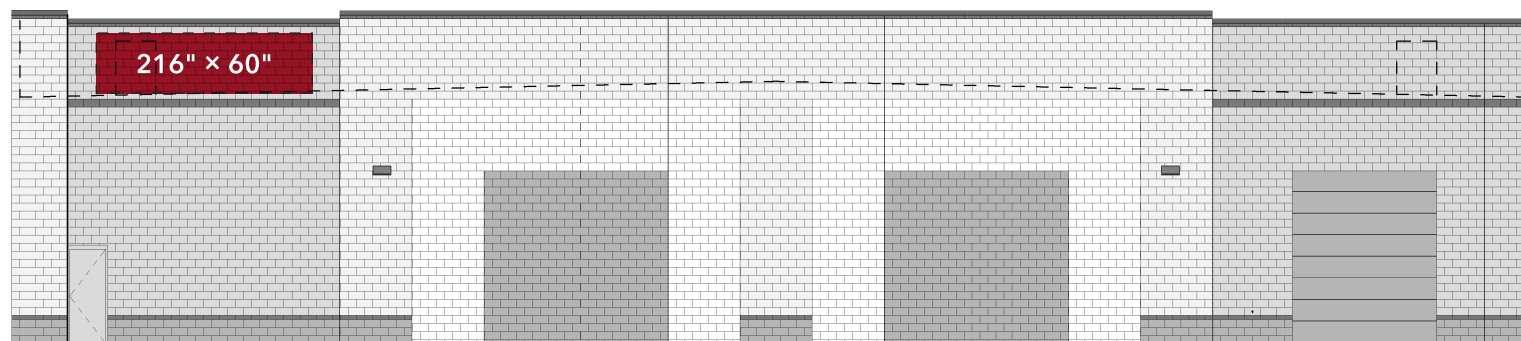
1 South Elevation
SCALE: 1/16"=1'



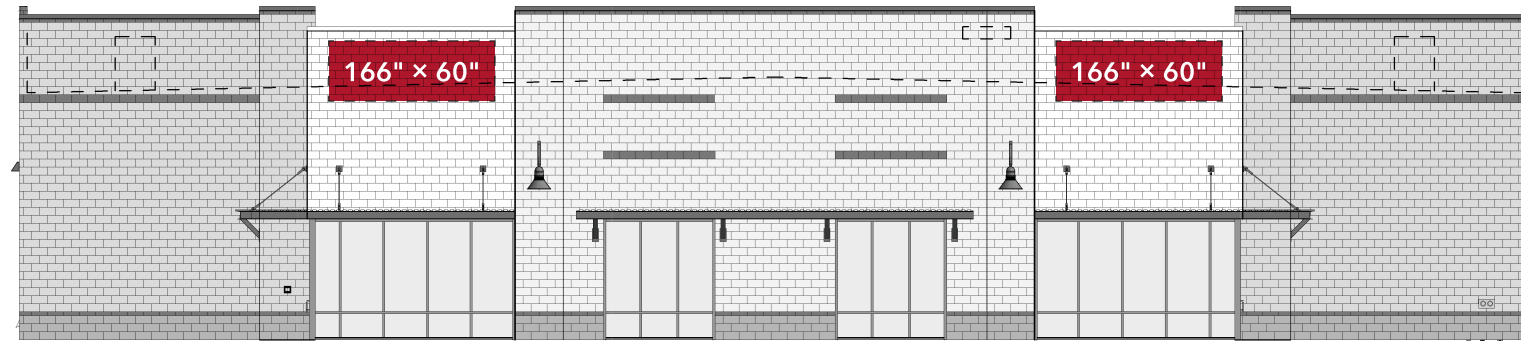
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SCALE: 1/16"=1'



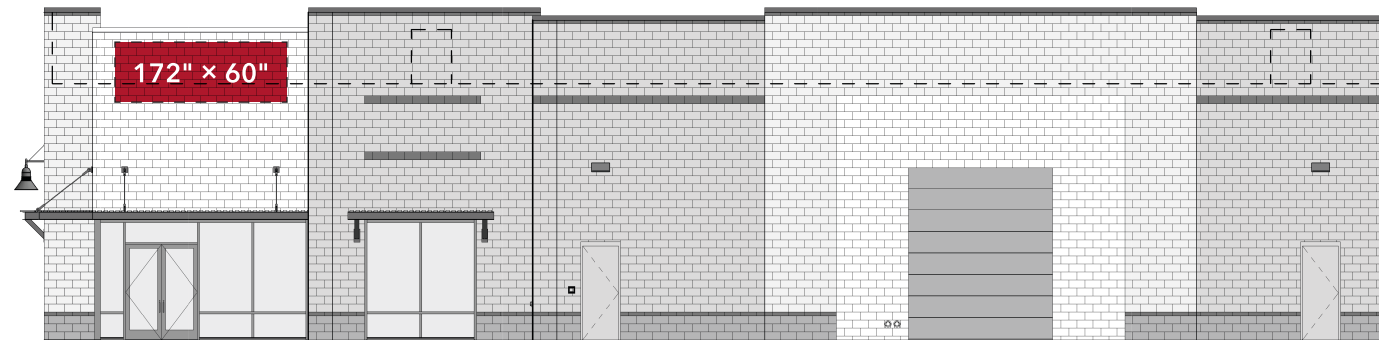
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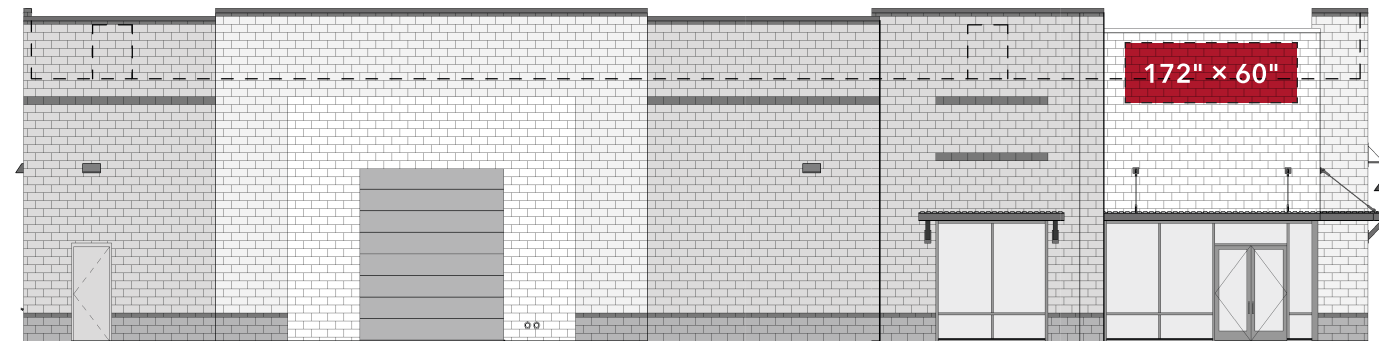
4 North Elevation
SCALE: 1/16"=1'



1 South Elevation
SCALE: 1/16"=1'



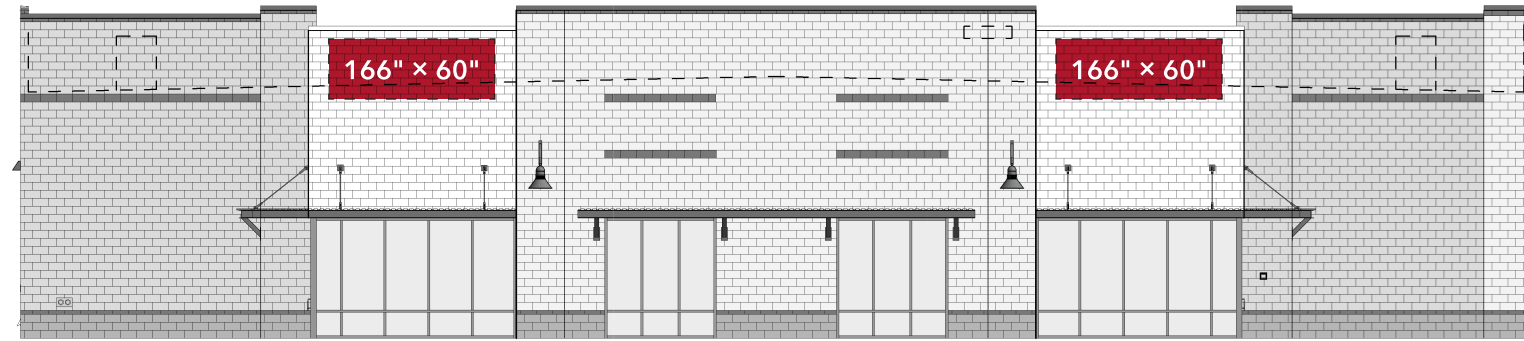
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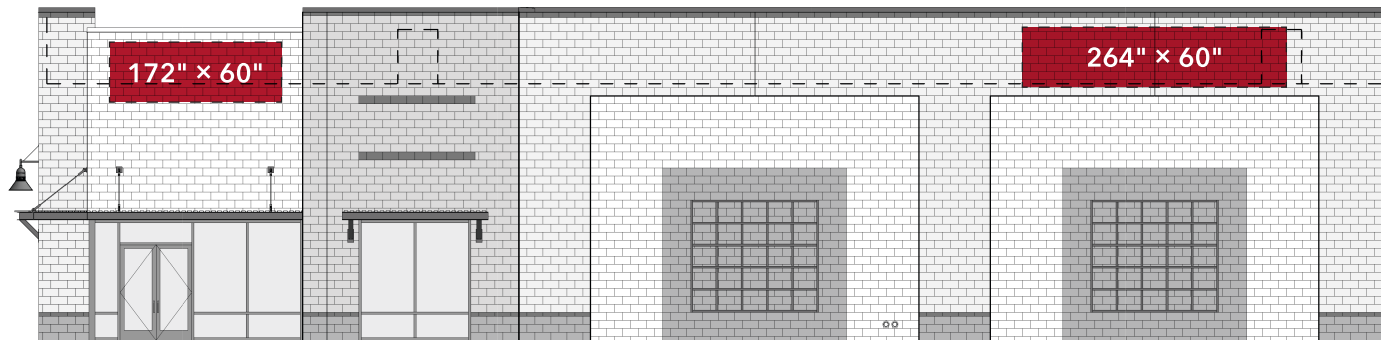
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POWER COMMERCE PARK

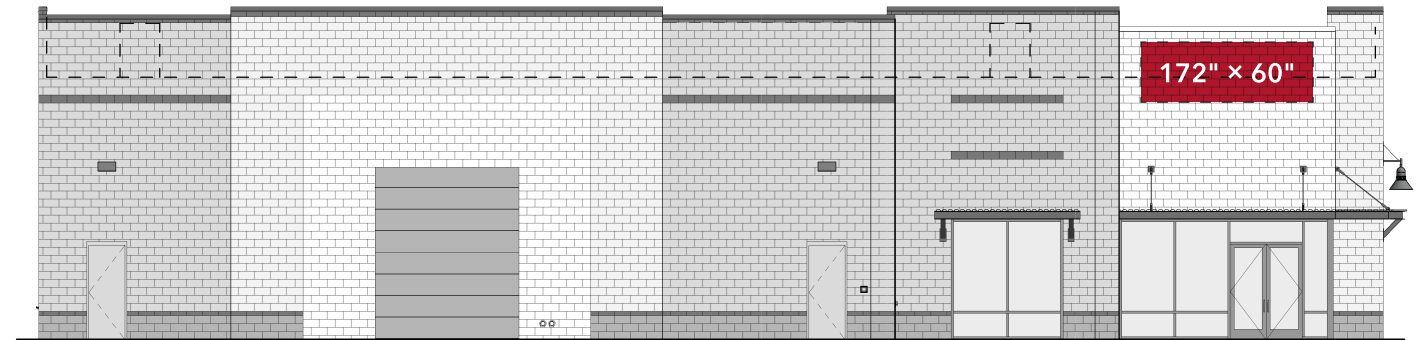
TENANT ID WALL SIGNAGE - BUILDING 3



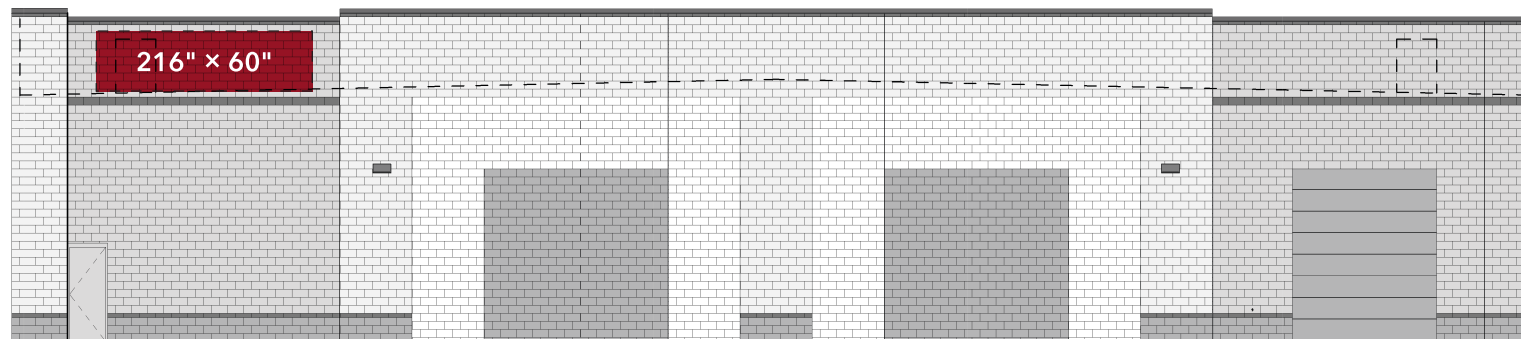
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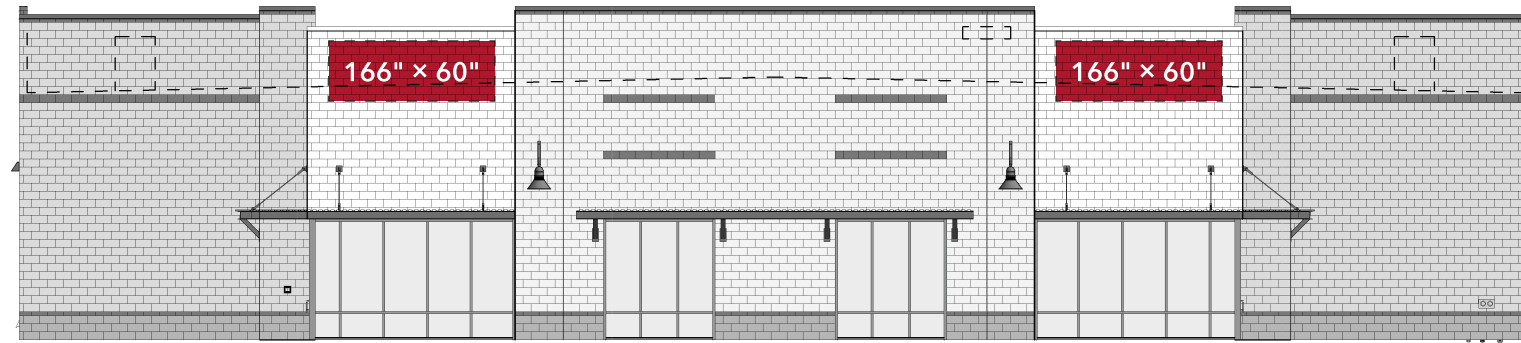
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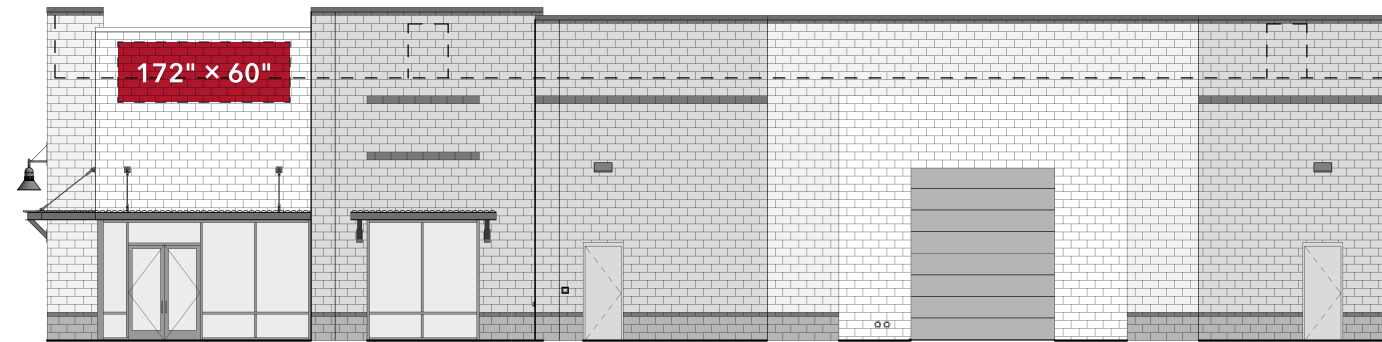
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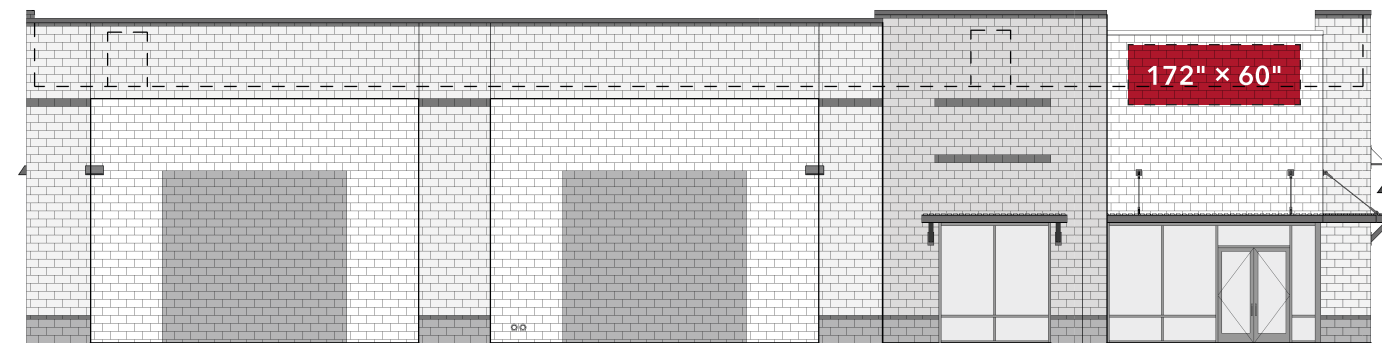
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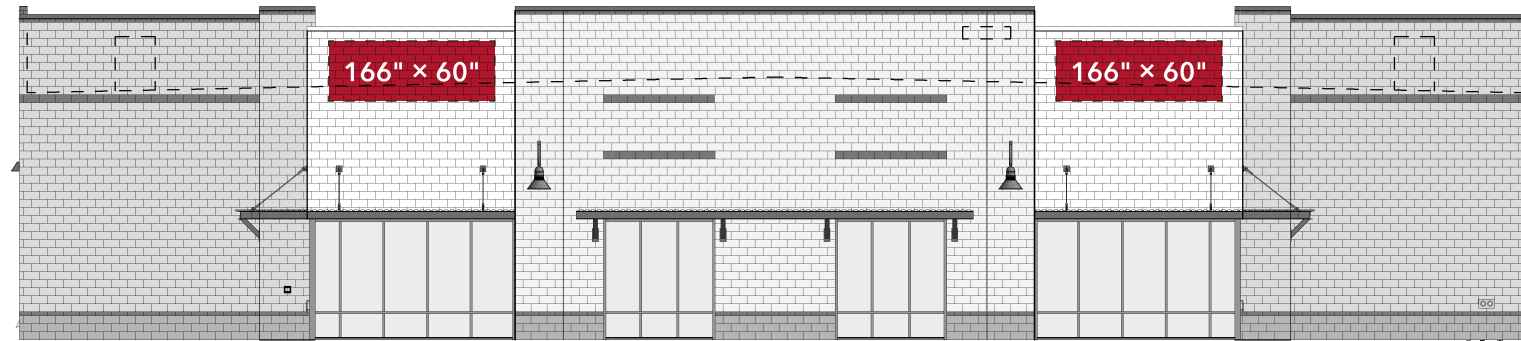
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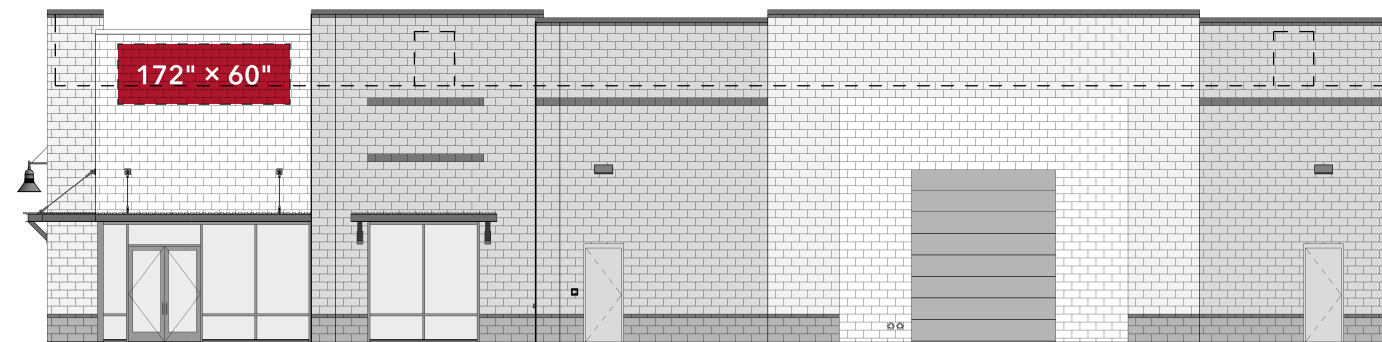
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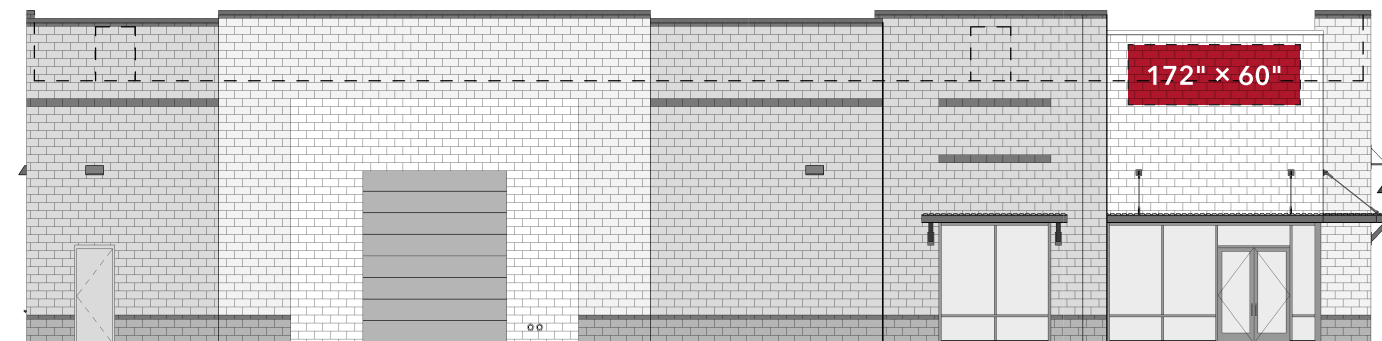
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1 South Elevation
SCALE: 1/16"=1'



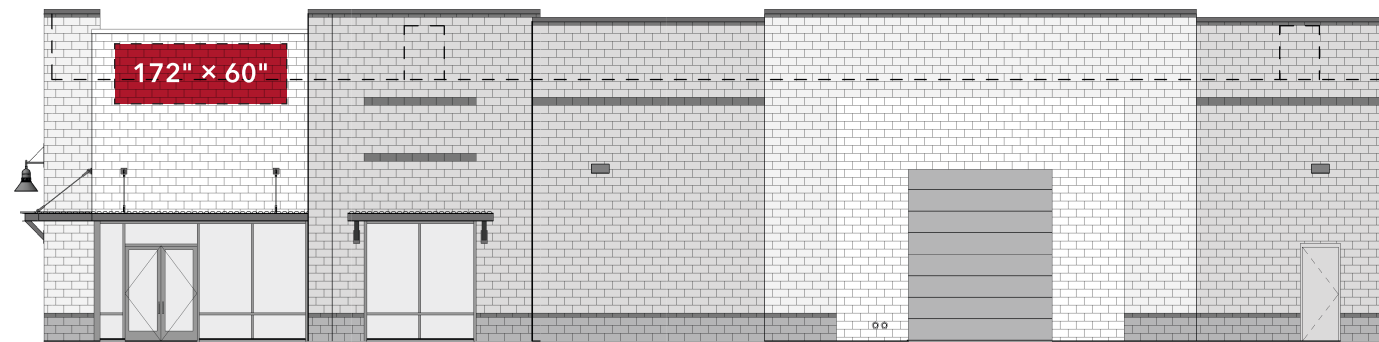
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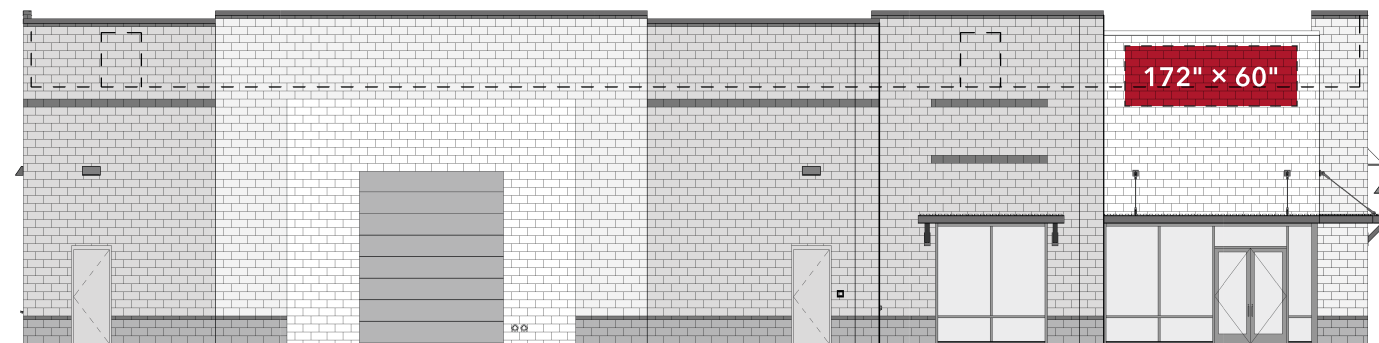
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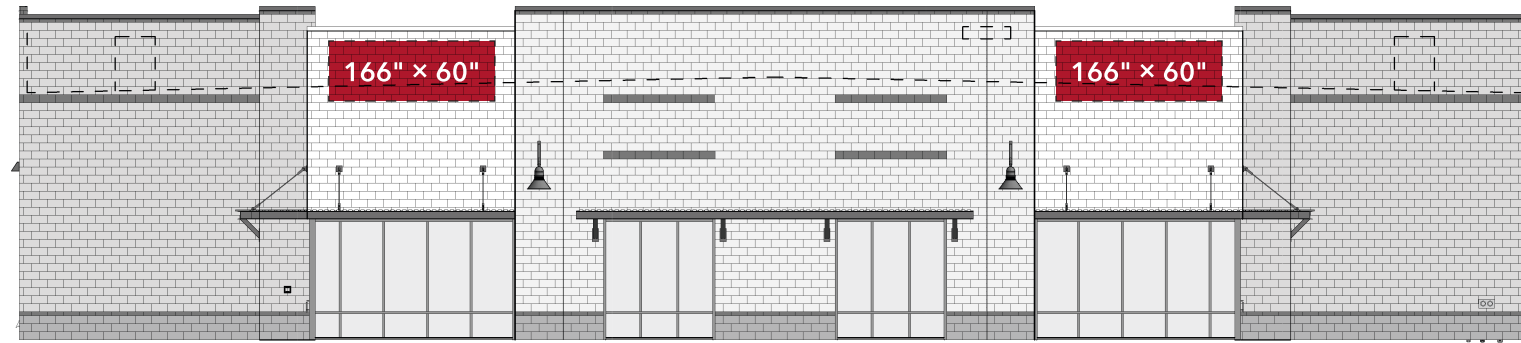
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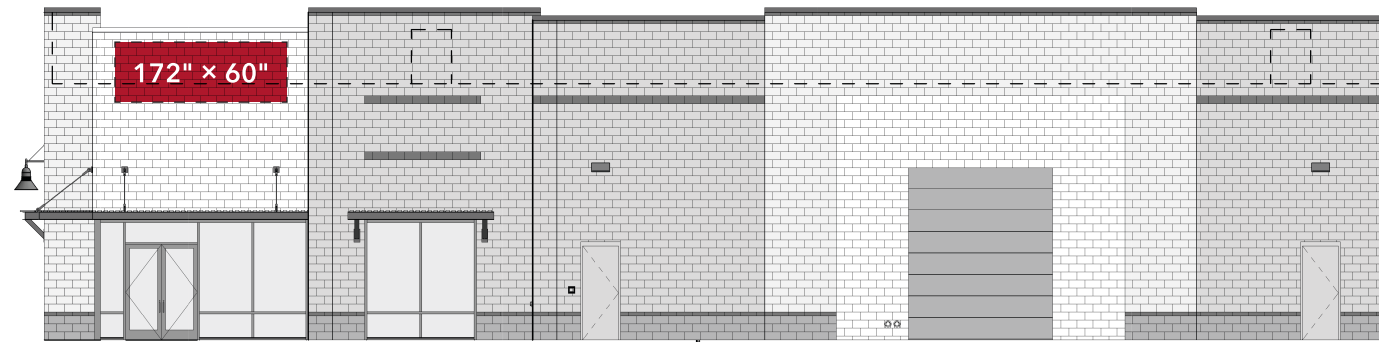
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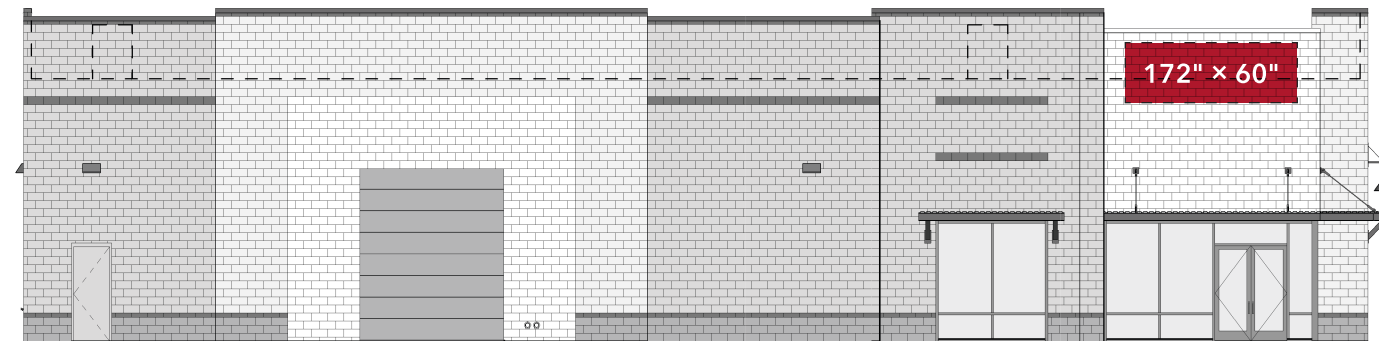
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1 South Elevation
SCALE: 1/16"=1'



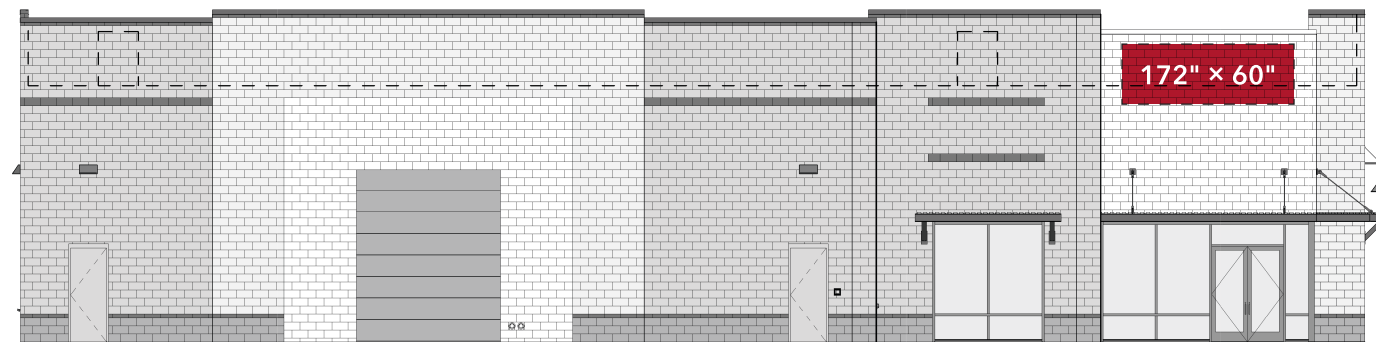
2 East Elevation
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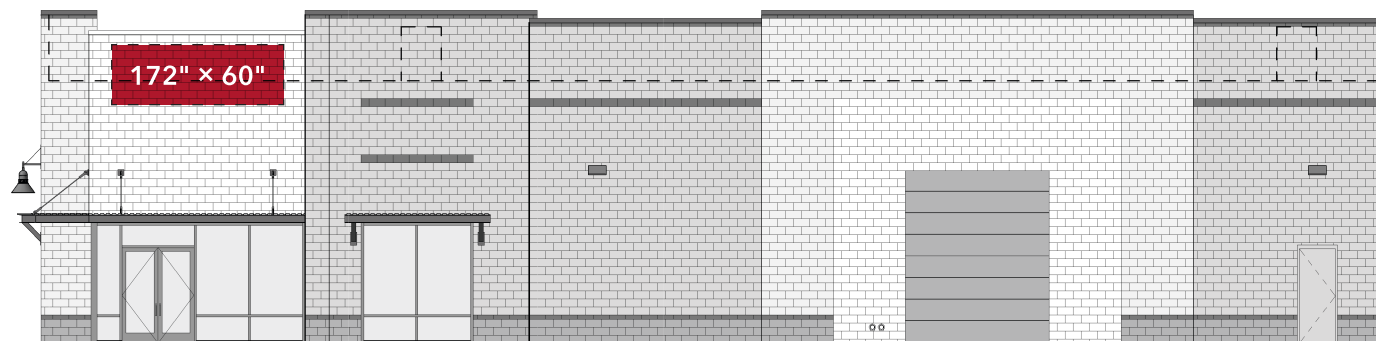
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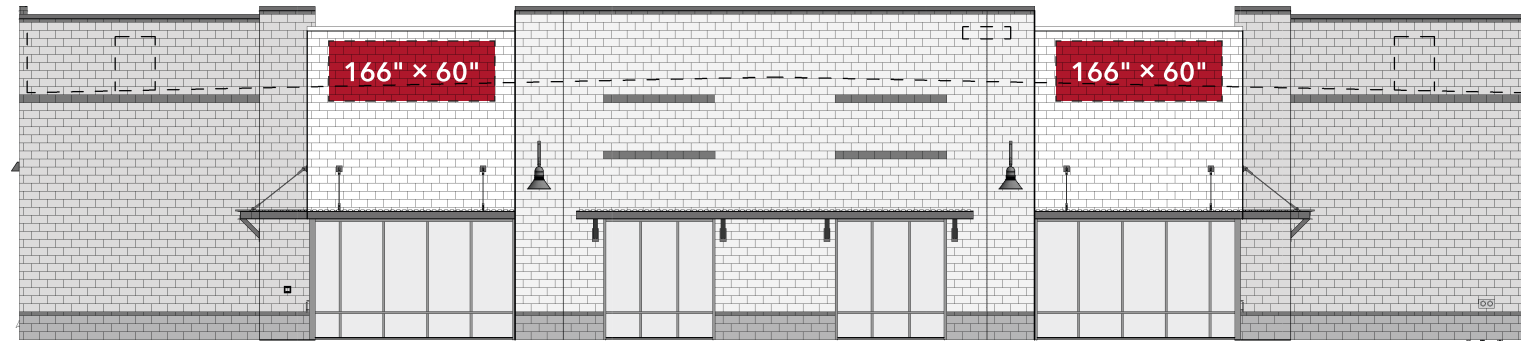
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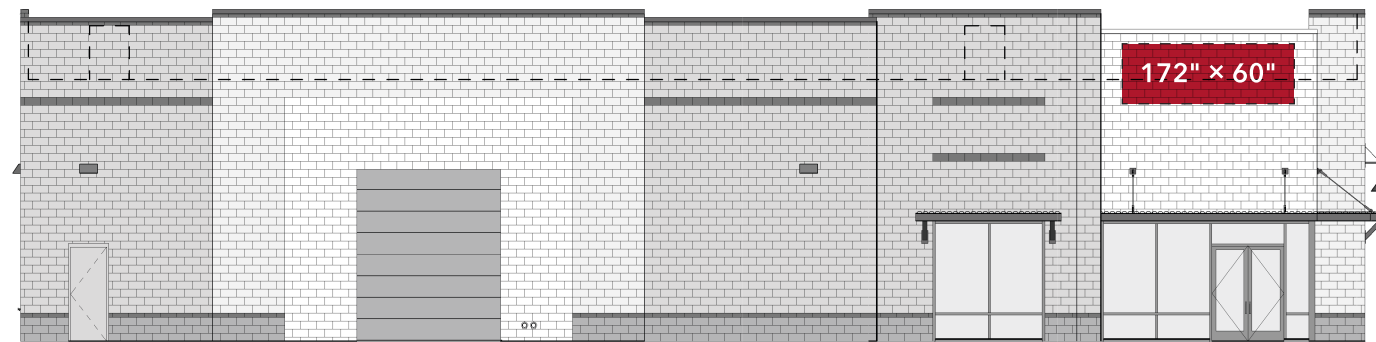
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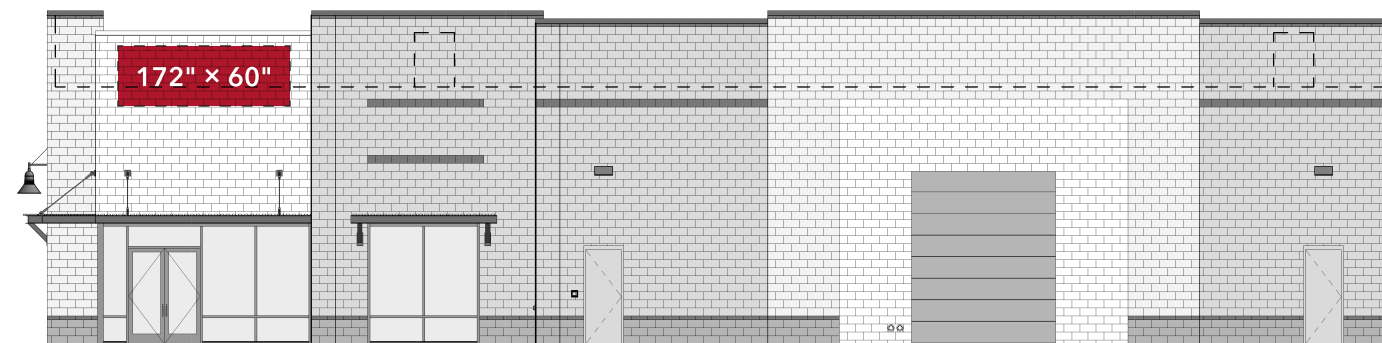
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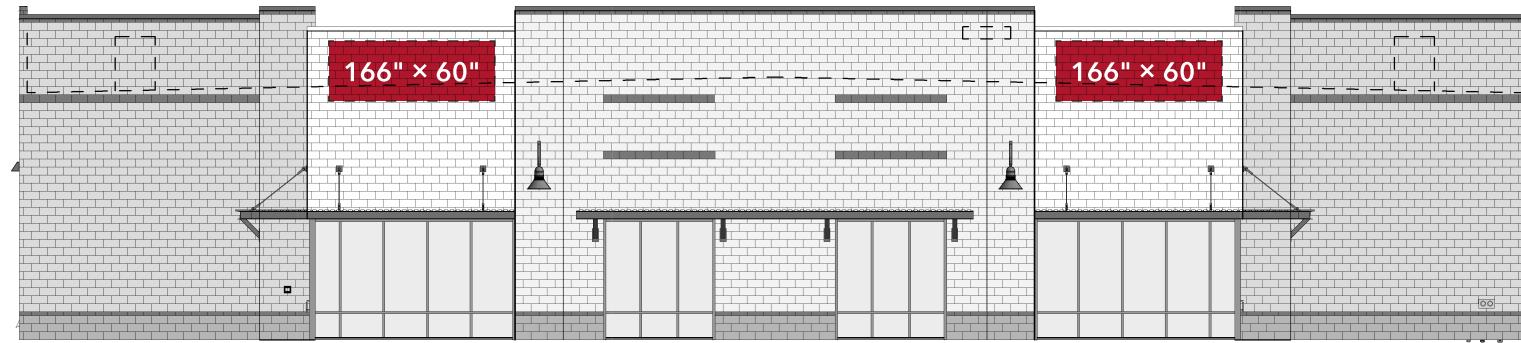
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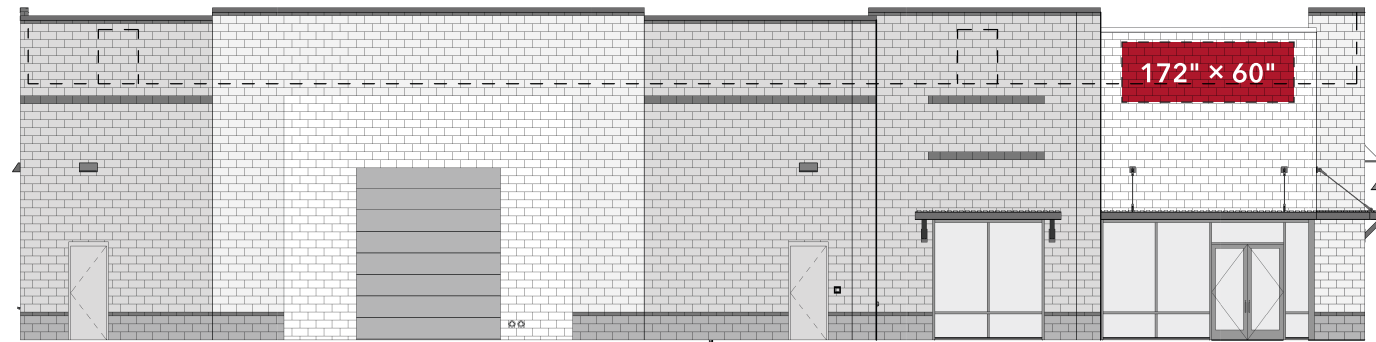
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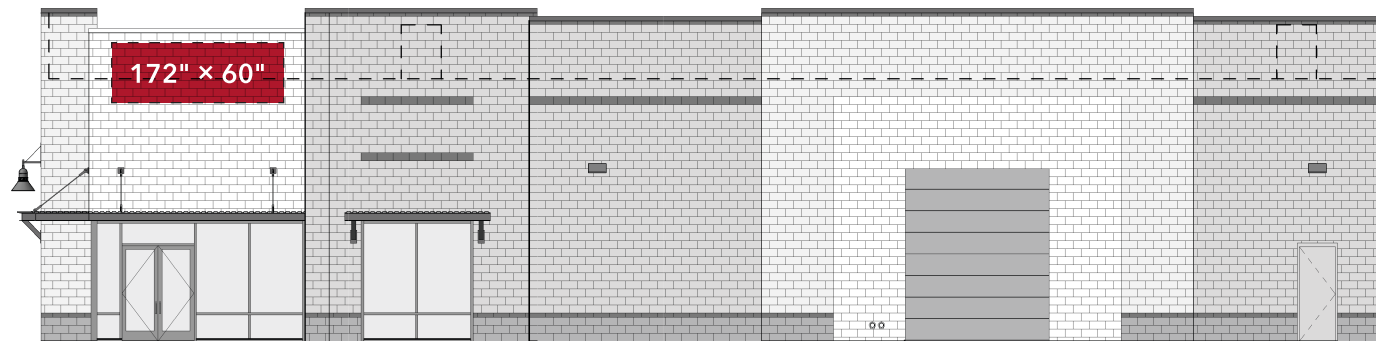
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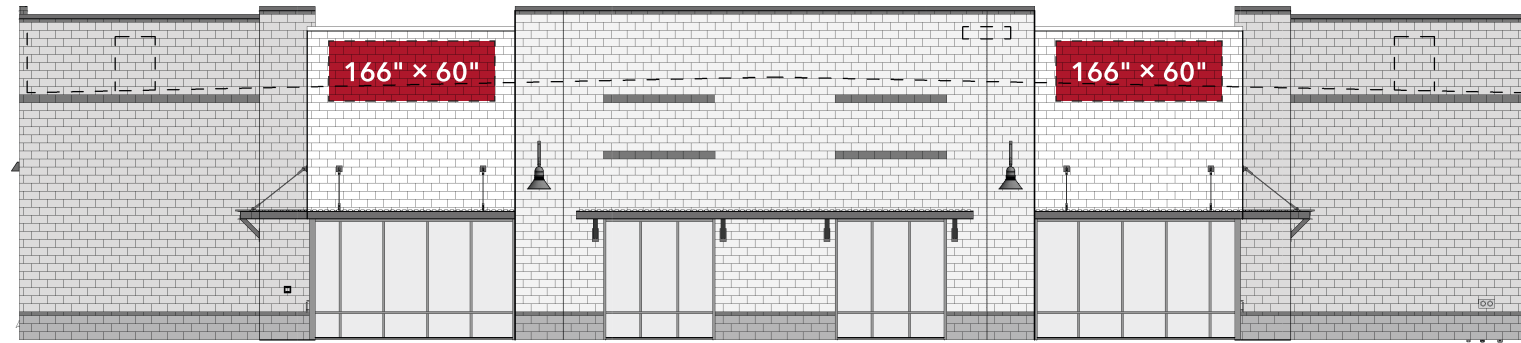
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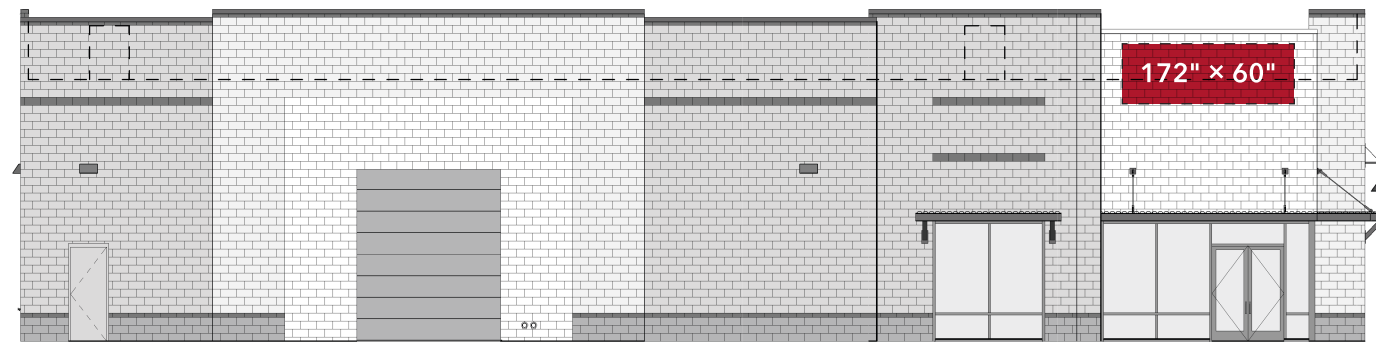
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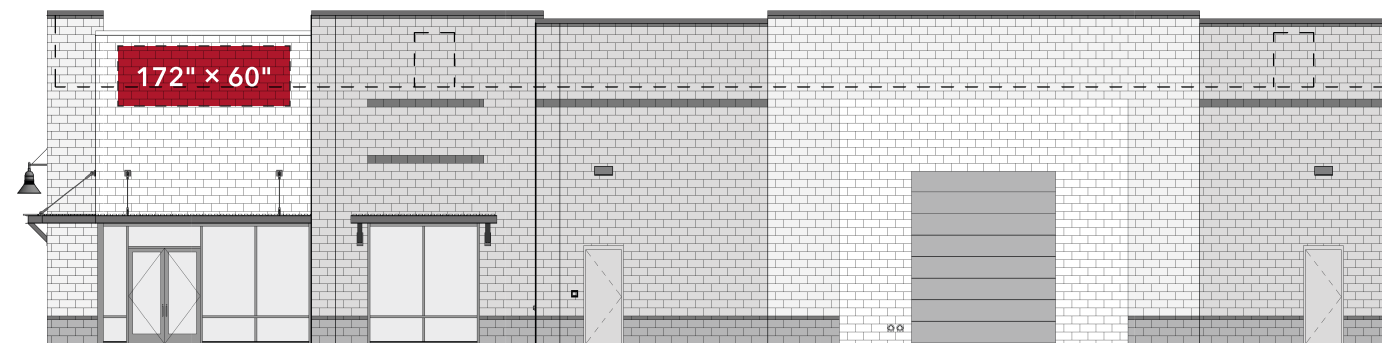
3 West Elevation
SCALE: 1/16"=1'



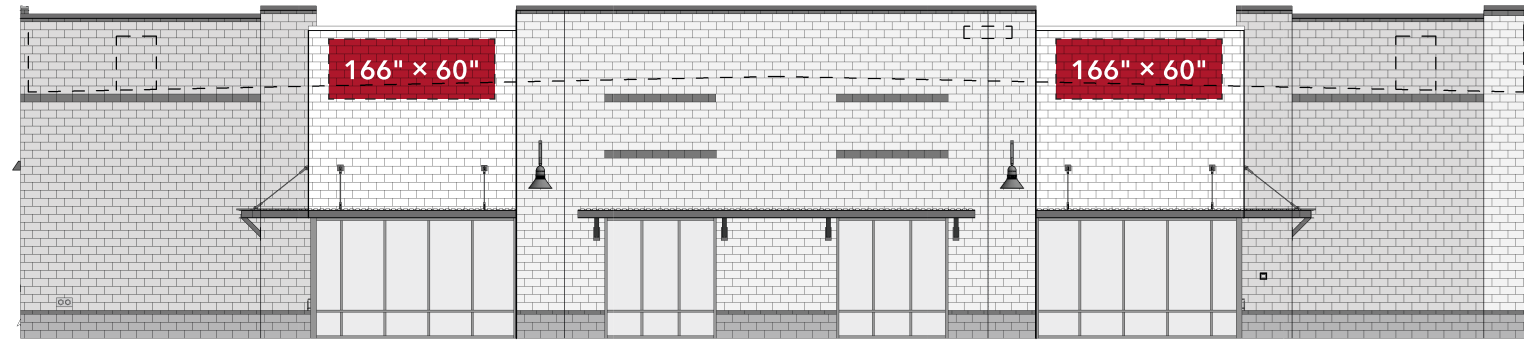
1 South Elevation
SCALE: 1/16"=1'



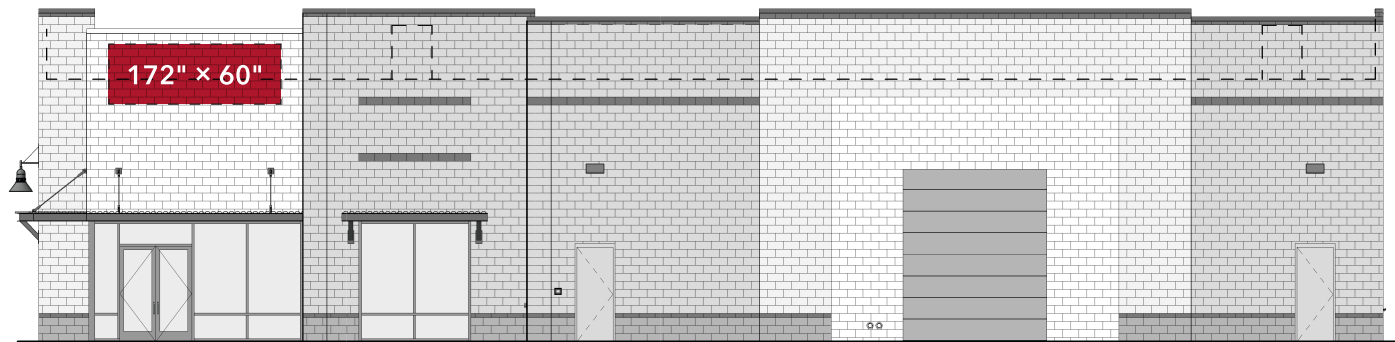
2 East Elevation
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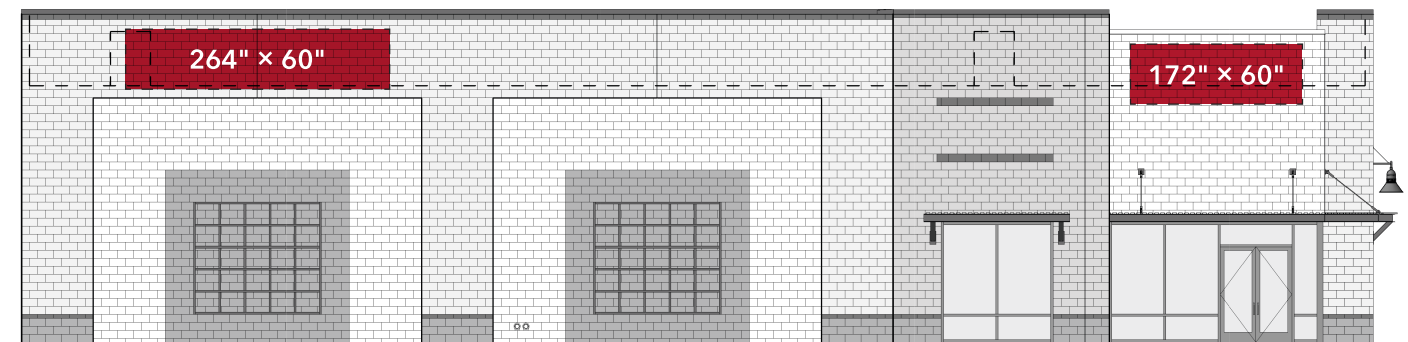
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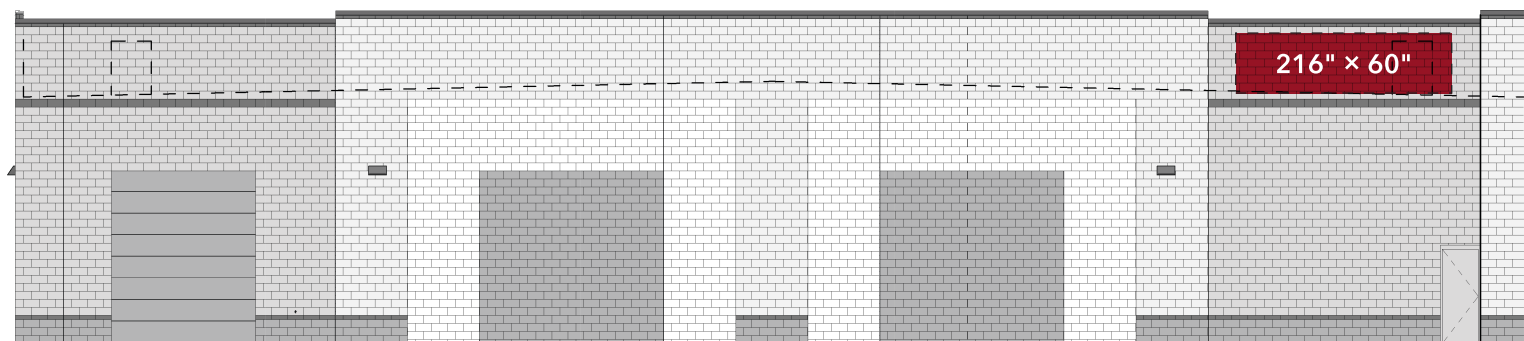
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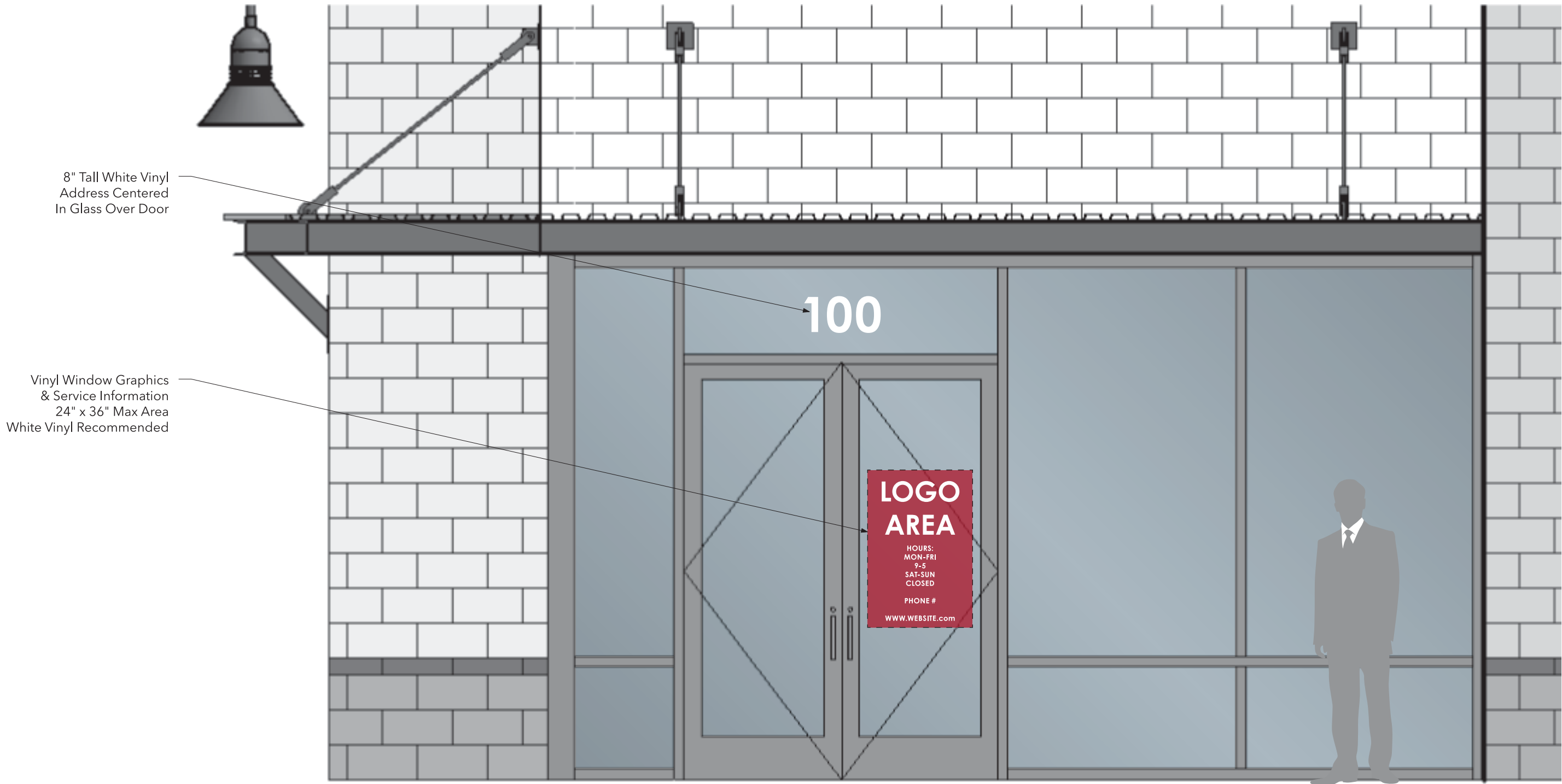
2 West Elevation
SCALE: 1/16"=1'



3 East Elevation
SCALE: 1/16"=1'



4 South Elevation
SCALE: 1/16"=1'



8" Tall White Vinyl Address Centered In Glass Over Door

Vinyl Window Graphics & Service Information 24" x 36" Max Area White Vinyl Recommended

● Suite Entry Window Detail
SCALE: 1/2"=1'

