

## Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: NOAH SCHUMERTH, PLANNER II *N.S.*  
(480) 503-6729, NOAH.SCHUMERTH@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *AM*  
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: MAY 3, 2023

SUBJECT: DR22-141: FAIRFIELD INN

**STRATEGIC INITIATIVE:** Exceptional Built Environment

Add additional guest rooms and hospitality to support Gilbert’s growing presence of employment and medical uses with a high degree of built quality.

### RECOMMENDED MOTION

Approve the Findings of Fact and approve DR22-141 Fairfield Inn: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.7 acres, generally located at the southeast corner of Market Street and Val Vista Drive and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay, subject to conditions.

**APPLICANT**

Company: PK Architects  
Name: Michael Porter  
Address: 4515 S McClintock Drive  
Tempe, AZ, 85252  
Phone: (602) 283-1620  
Email: michael@pkarchitects.net

**OWNER**

Company: KWB Hotels LLC  
Name: Danny Amundson  
Address: 1113 S Minnesota Avenue  
Sioux Falls, SD, 57105  
Phone: (605) 275-9499  
Email: damundson@kwblc.com

**BACKGROUND/DISCUSSION**

**History**

Date	Description
<i>September 28, 1999</i>	Town Council approved A99-09 (Ordinance No. 1207), an annexation of approximately 1340 acres between Williams Field Road, Germann Road, and Lindsay Road, to accommodate the Spectrum at Val Vista I development.
<i>September 28, 1999</i>	Town Council approved GP98-05 (Resolution No. 2088), amending the General Plan to adjust land uses to accommodate a large 1,160-acre mixed-use development known as Spectrum at Val Vista I.
<i>September 28, 1999</i>	Town Council approved Z99-06 (Ordinance No. 1209) to rezone approximately 1,160 acres of property from Maricopa County R-43 to R1-6, R1-7, R1-8, R1-10, R1-20 (Single-Family Residential), R-2 (Duplex), R-4 (Multi-Family Residential), C-1 (Neighborhood Commercial), C-2 (General Commercial), PF/OS (Public Facility/Open Space), and I-1 (Garden Industry) to accommodate a large 1,160-acre mixed-use development known as Spectrum at Val Vista I.
<i>August 16, 2012</i>	Town Council approved Z12-09 (Ordinance No. 2380) to rezone approximately 51 acres of property from Regional Commercial (RC) with a Planned Area Development (PAD) overlay to Regional Commercial (RC) with a new Planned Area Development (PAD) overlay to accommodate the new Val Vista Square PAD.
<i>July 10, 2014</i>	Design Review Board approved DR22-14 to approve design standards for the Val Vista Square development.
<i>November 2, 2016</i>	Planning Commission approved DR16-28, a design review approval for a Candlewood Suites hotel and a Master Site Plan with three lots for a future hotel site (subject site) and a retail/commercial site.

## Overview

The subject site is approximately 1.7 acres and located within an existing Master Site Plan zoned Regional Commercial (RC) at the southeast corner of Market Street and Val Vista Road. The applicant has proposed the construction of a hotel building with approximately 109 guestrooms under Fairfield Inn branding. The subject site will include a single amenitized hotel building, with an outdoor seating area/lounge. The proposed hotel building on the subject site will face east toward an existing hotel building (Home2 Suites). The subject site will share pedestrian and vehicle access with both the neighborhood hotel uses and a pair of pad sites to the west of the subject site which are currently under design review. Site access will be provided via shared access drives on Market Street and a private drive to the south of the subject site.

### Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial (RC)	Regional Commercial (RC)	Medical Office
South	Regional Commercial (RC)	Regional Commercial (RC)	Commercial
East	Regional Commercial (RC)	Regional Commercial (RC)	Hotel
West	General Commercial (GC)	General Commercial (GC)	Vacant
Site	Regional Commercial (RC)	Regional Commercial (RC)	Vacant

### Project Data Table:

Site Development Regulations	Standards per LDC	Proposed
Maximum Building Height (ft.)/(Stories)	55' (90'/150' VDOD 5)	72'
Minimum Building Setback (ft.)		
Front	25'	102'
Side (Non-Residential)	20'	28' 6"

Rear (Non-Residential)	20' (measured from private drive CL)	86'
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	25'
Side (Non-residential)	20'	0' (internal to Master Site Plan)
Rear (Non-Residential)	20' (measured from private drive CL)	20' (measured from private drive CL)
Landscaping	15% net area	23% net area
Off-Street Parking	120 spaces (1.1/guestroom for 109 spaces)	100 spaces (shared parking, see Site)

**DISCUSSION**

**Site**

The subject site is a 1.7-acre central parcel within an existing Master Site Plan. The applicant has proposed a five-story, 109-guestroom hotel under the Fairfield Inn brand. The building is centrally located within parking areas surrounding the hotel, designed to maximize parking access to the building. The site design closely follows the original plans for a five-story hotel building as a portion of “Phase II” of the Master Site Plan proposed in 2016 which includes the subject site (see DR16-28). Minor changes are proposed from the original site plan for the “Phase II” site plan, including a shift of the building to the west to accommodate a covered entrance and porte cochere on the eastern side of the building and the movement of a parking aisle from the west side of the building to the east. All other drive aisles and parking areas remain as originally proposed in 2016.

Parking for this site is shared between parcels within the Master Site Plan (see attachment with site plan from DR16-28). This shared parking arrangement was planned with the original Design Review submittal for this site (DR16-28), which established the Master Site Plan and the site details for the hotel to the east of the subject site. A greater number of spaces than required (133 provided, 118 required)

were constructed with the neighboring Home2 Suites hotel, which has access to the subject site via cross-access agreements and was originally planned to support parking for the “Phase II” hotel development. This hotel use requires 120 spaces to support 109 proposed guestrooms, and 94 spaces are included on the Phase II site. The Phase I site (current Home2 Suites) provides 15 additional spaces; these spaces are used to satisfy the required spaces for the proposed project site. Eleven additional spaces will be required from the Phase III pads being reviewed concurrently alongside this project (DR22-115). These parking spaces shall be provided, in addition to the full 26’ width of the adjoining access aisle, via a temporary construction easement. This easement is required to include stipulations for extinguishment with the completion of retention and parking facilities located on the neighboring site. A written agreement with all required owners is in place for this easement; the easement must be fully recorded and executed prior to building permit approval for the Fairfield Inn (see Condition #2).

Access will be provided at existing shared access drives at Market Street and the private drive to the south of the subject site. Upon the development of Phase III of the Master Site Plan, a third shared access drive will be provided in alignment with the existing drive to the south connecting to the neighboring Mountainside Fitness/Spectrum Commercial Core development. These improvements have been shown preliminarily on attached exhibits. The access drive to the west of the proposed Fairfield Inn structure shall be built to aerial apparatus standards (26’ with appropriate turn radii) with a temporary construction easement allowing for the completion of this drive aisle; this aisle will be integrated into the Phase III site to the west of the proposed hotel upon completion of the construction of the neighboring phase. A written agreement with all required owners is in place for this easement; the easement must be fully recorded and executed prior to building permit issuance for the Fairfield Inn (see Conditions 2 and 4). All off-site improvements and front setback landscaping improvements were developed with the original Design Review approval in 2016.

## **Landscape**

The subject site has landscaping which meets the provision of the Land Development Code and best practices for development in Gilbert. Approximately 20% of the net site area for “Phase II” of the Master Site Plan is dedicated to landscaping and open space, including existing landscaping provided along

Market Street with the original site improvements approved in 2016. The landscaping design for the site includes parking lot trees, additions to frontage landscaping on Market Street, and new frontage treatments. Live oak and mesquite trees are used for parking lot trees throughout the site, while a blend of mesquite, acacia and palo verde trees are used for landscape setbacks along Market Street and the internal private drive to the south of the development. All plants are included on the Arizona Department of Water Resources Low Water Use Plant List.

### **Grading and Drainage**

Retention for the subject site will be provided via three underground retention tanks, which provide sufficient storage capacity for anticipated runoff. An additional 12' Public Water Line easement is being provided through the drive aisle on the north side of the site to accommodate additional hydrants and public water access. All retention and utility improvements meet Town Engineering, Public Works, and Planning standards.

A temporary retention basin is provided to the west of the proposed drive aisle (in the lot area determined as "Phase III" in the Master Site Plan, see DR16-28). This temporary basin will accommodate runoff from the additional drive aisle and parking area within the temporary construction easement extending into the Phase III site to the west. A written agreement has been provided that the temporary retention easement will be created, with full recording and execution completed prior to building permit approval (see Condition #3). Upon completion of Phase III retention and parking facilities,, this retention basin will be removed and the temporary retention easement will be extinguished per the required stipulations of the construction easement.

### **Elevations, Colors and Materials, and Floor Plans**

The elevations of the Fairfield Inn are of sufficient design quality to meet the Town's Commercial Design Standards and to adequately complement the surrounding structures within the Val Vista Square development. The building relies primarily on an EIFS wall system with five different colors, which complement the desert tones utilized on the four closest structure to this site (Home2 Suites, Hyatt Place, Mountainside Fitness). The most saturated tones are similar to those used on the adjacent Home2 Suites hotel within the same Master Site Plan. In addition, the large

service towers on the east and west sides of the building are to be clad in a phenolic wall panel system in a dark brown tone. The base of the building will feature dark grey EIFS with stone veneer accents; the accents are heavily concentrated around the public-facing areas of the hotel, including the patio and the entry porte cochere. The top of the building features a white cornice, which follows across a varied roofline. The roofline has additional articulation on the side facing Market Street.

## Lighting

Lighting proposed on the site meets all Town standards. The site will rely upon three lighting styles: wall mounted sconce lighting, parking pole lighting, and recessed ceiling lighting. The wall lighting is distributed evenly around the perimeter of the building, and parking pole lighting is similar in design and distributed across parking islands on the site. Recessed lighting is used over the covered public-facing areas on the patio and under the porte cochere. Lighting impacts across property boundaries are minimized; the primary impacts across property lines fall into the adjacent parking area within Phase I site of the Master Site Plan, which this site will share to meet parking requirements. All fixtures are properly shielded and protected.

## Signage

Signage is not included in this approval. The Main Street Commons/Val Vista Square Master Sign Program (MSP) is approved and in place for the subject site (DR05-24-A, most recent amendment DR17-1115). Signage is required to conform with the MSP and may proceed directly to permitting if signage is in conformance with the MSP. If the applicant or successive tenant users wish to modify the existing MSP, this will require an Administrative Design Review application through the Planning Division prior to approval.

## PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Section 6.2.6.

Staff has not received any comment on this project.

## STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR22-141 Fairfield Inn: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.7 acres, generally located at the southeast corner of Market Street and Val Vista Drive and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay, subject to the following conditions:

1. A temporary construction easement shall be recorded and fully executed prior to the issuance of any building permit associated with this design review. The easement area shall include all proposed improvements encumbering Phase III of the Master Site Plan (APN: 304-53-520) as shown on Exhibit 5, Site Plan, including a partial shared access aisle (13'), eleven (11) parking spaces, and a temporary retention basin. This easement shall be in effect until retention and parking facilities for Phase III (APN: 304-53-520) as approved under DR22-115 are constructed and accepted by Town.
2. Prior to building permit issuance the applicant shall submit a copy of a recorded and fully executed shared access agreement with adjoining property to the west. The shared access agreement shall provide for access to any improvements for drive aisles, parking, and retention within the agreement area. The agreement area is to include a partial shared access aisle (13') and eleven (11) parking spaces needed to satisfy the parking requirement for the hotel site. The agreement shall run with the lifetime of the use as proposed.
3. Should construction of the shared parking spaces and shared drive aisle on the Phase III site (APN: 304-53-520, DR22-115) not be completed prior to



development of the subject site, the applicant shall be responsible for construction of at least a) eleven (11) additional parking spaces, b) a 13' addition to drive aisle pavement along the western property boundary of the site, and c) temporary retention facilities with capacity to provide runoff retention from all improvements outside of the boundaries of the subject site, pursuant to the recorded and fully executed temporary construction easement and shared access easement on neighboring Phase III parcel (APN: 304-53-520). Proposed parking, drive aisle, and retention basin improvements shall be identified on all construction documents in separate notation from other proposed improvements on Phase III site to the west of the subject site. With submittal of construction documents the applicant shall submit a revised grading and drainage plan indicating an additional fire hydrant connection on a landscape island northeast of the proposed building. The grading and drainage plan shall indicate public water line easements within which all looped water systems for fire hydrant systems are located.

4. An additional life safety plan document shall be provided at time of construction document submittal.
5. With submittal of construction documents, the applicant shall submit an updated site plan indicating the relocation of the FDC connection to the east elevation of the building and within 150' of a proposed fire hydrant.
6. All public water easements shall be 12' in width throughout the entire length of each easement located on the site.
7. With submittal of construction documents, a table indicating the number of parking spaces shared from each site within the master site plan (15 spaces from Phase I, 11 spaces from Phase III) shall be provided on all site plan drawings.
8. Construction of the project shall conform to the exhibits approved by the Planning Commission at the May 3, 2023 public hearing.

9. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
10. Signage is not included in this approval. Signage compliant with the Main Street Commons/Val Vista Square Master Sign Program may proceed directly to sign permitting. An Administrative Design Review approval amending the MSP is required prior to submitting for sign permits for any signage not in conformance with the Main Street Commons/Val Vista Square MSP.

Respectfully submitted,



Noah Schumerth  
Planner II

**Attachments and Enclosures:**

- 1) Findings of Fact
- 2) Notice of Public Hearing Exhibit
- 3) Parcel/Aerial Map
- 4) Applicant Narrative
- 5) Site Plan
- 6) Landscape Plans
- 7) Grading and Drainage Plans
- 8) Color and Material Board
- 9) Elevations
- 10) Floor Plans
- 11) Photometric Plans

## **FINDINGS OF FACT DR22-141 Fairfield Inn**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project as conditioned is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

# Notice of Public

**PLANNING COMMISSION DATE:**

Wednesday, May 3, 2022\* TIME: 6:00 PM

**LOCATION:** Council Chambers  
Municipal Building I  
50 East Civic Center Drive

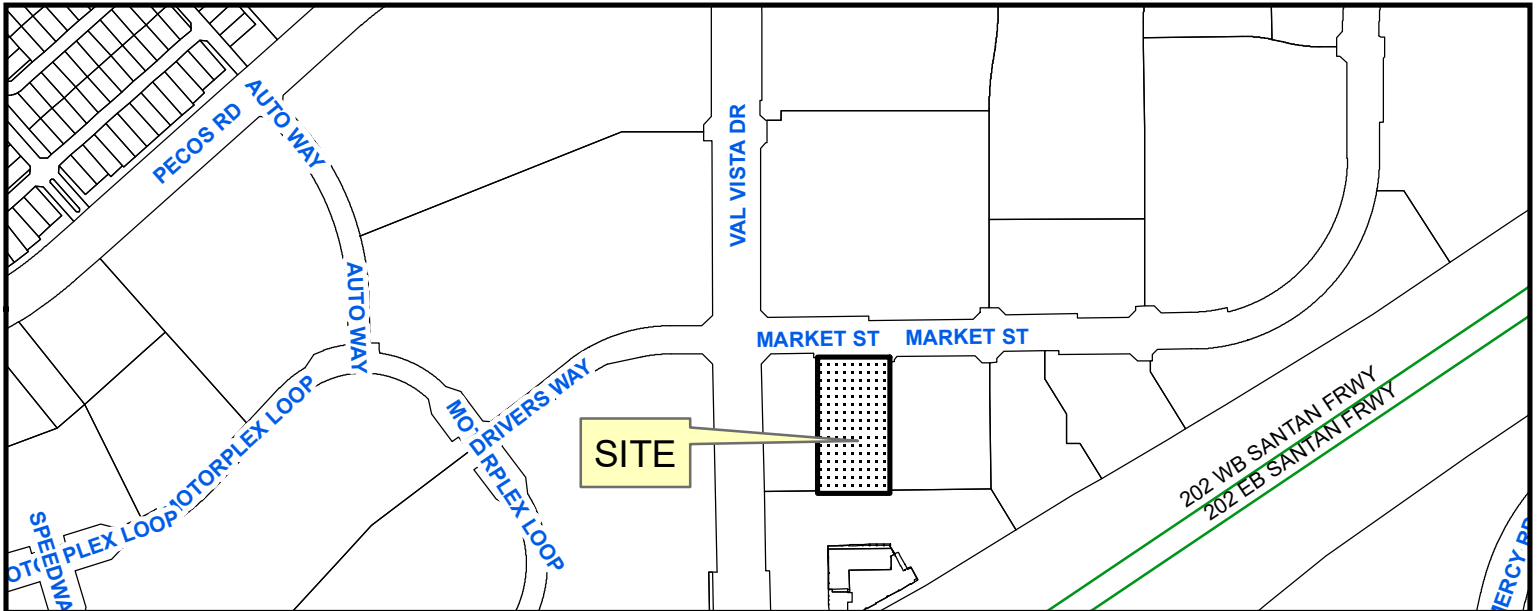
\*Call Planning Division to verify date and time: (480) 503-6729

The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at [www.gilbertaz.gov/departments/development-services/planning/planning-commission](http://www.gilbertaz.gov/departments/development-services/planning/planning-commission)

## REQUESTED ACTION:

**DR22-141 FAIRFIELD INN BY MARRIOTT:** Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.7 acres, generally located at the southeast corner of Market Street and Val Vista Drive and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay.

## SITE LOCATION:



0 185 370 740 Feet



**APPLICANT:** PK Architects, PC  
**CONTACT:** Michael Porter  
**ADDRESS:** 4515 S McClintock DR Unit: 206  
Tempe, AZ 85282

**TELEPHONE:** (602) 283-1620  
**E-MAIL:** michael@pkarchitects.net

# Map

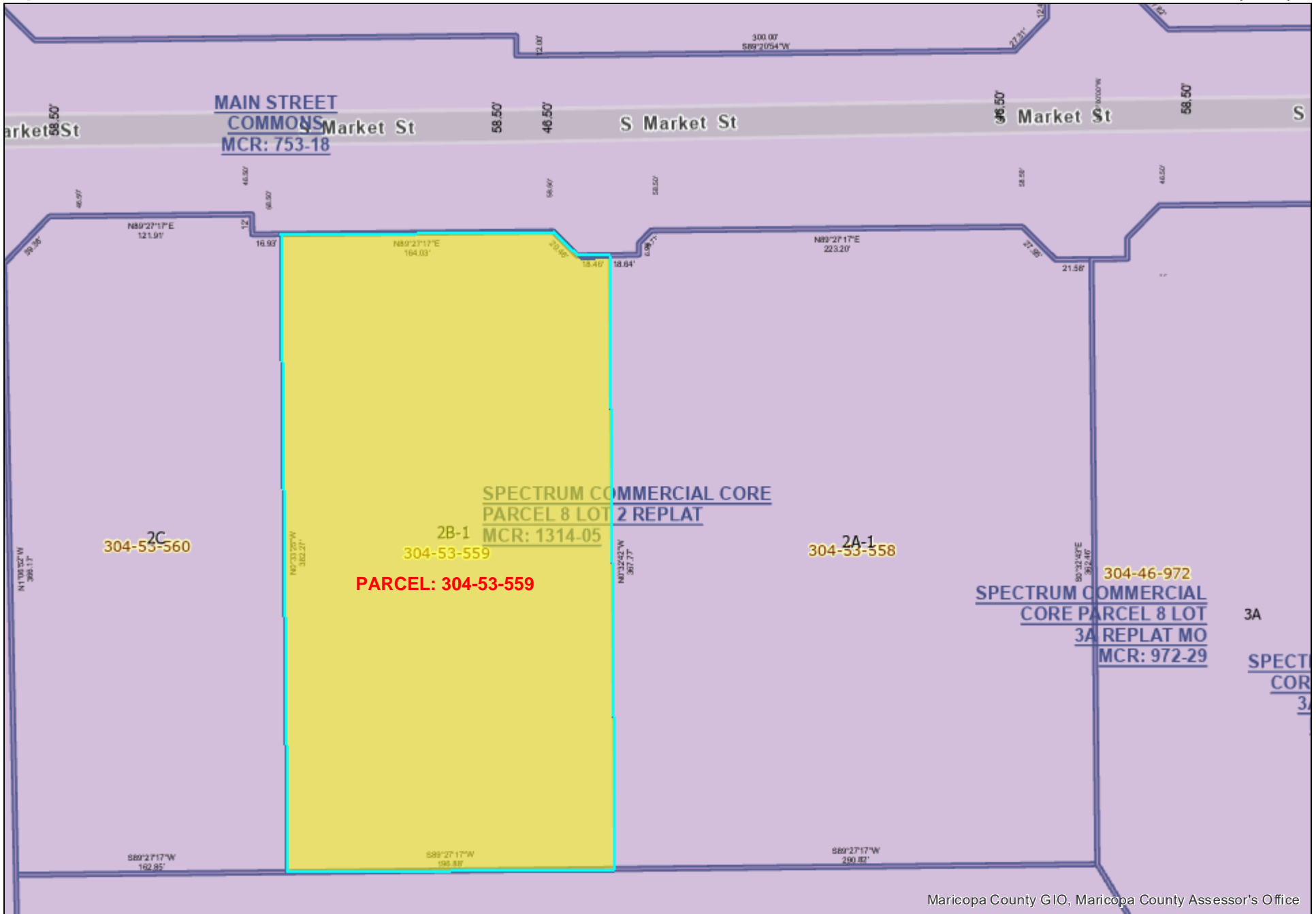


PARCEL: 304-53-559





# Map





Lic. #  
AZ 16677  
AZ 34271  
CA 14164  
CO 305674  
CO 305817  
NM 3723  
NV 5027  
TX 17282  
UT 7154034-0310  
WI 8990-005  
NCARB 89946

8/30/2022

Town of Gilbert  
Development Services (Planning)  
90 E. Civic Center Drive  
Gilbert, Arizona 85296

Re: Project Narrative for Fairfield by Marriott Hotel – Phase II Hotel Development

This application outlines the Phase II development of the Master Site Plan of approximately 1.71 acres of vacant land as part of the 5.72-acre development located at the SouthEast Corner of Val Vista Drive and Market Street in Gilbert Arizona. The use on the 1.71 acre parcel will be a ~109 Key Fairfield Hotel branded Marriott International.

**Proposed Project:**

**Fairfield by Marriott Hotel**

Fairfield's 30+ year legacy of performance offers owners and franchisees a highly efficient economic model that delivers strong results. The second largest Marriott International brand, Fairfield is a proven performer and is growing rapidly. The brand consistently exceeds goals across key metrics: guest satisfaction, RevPAR, Marriott channel contribution and owner satisfaction. The prototype was designed to deliver flexibility—whether the hotel is located in an urban, secondary or tertiary market. This innovative model enables owners to adapt to site requirements and local market needs. Considered the most efficient cost to build in the upper midscale tier, the new prototype emphasizes speed to market.

Fairfield warmly welcomes guests with friendly service and comfortable spaces - offering them the flexibility to work, rest and maintain their balance while on the road. Signature amenities include complimentary hot breakfast and coffee, plus fitness center and lobby market available 24/7. With a heritage from the Marriott family farm, Fairfield delivers the quality and reliability you expect - backed by the Fairfield Guarantee.

The Hotel will need to balance flagship standards with the architectural expression of other buildings on site. The Hotel will retain characteristics that associate them with brand standards to help retain identity. Flexibility within those standards will allow both materials and articulation to express a design that is complementary to the other buildings on site and its surroundings. Amenities include complimentary breakfast daily featuring hot items and

Fairfield by Marriott – Gilbert, AZ

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healthy options, a “Corner Market” offering grab and go food and beverages 24/7, a fitness room with state of the art equipment and hydration station, scalable meeting space options, and an outdoor lounge/seating area.

**Project Compliance:**

The overall Master Site Plan, previously approved, is zoned RC – Regional Commercial District within a PAD Overlay (Val Vista Commons) and included a 5 story hotel to be constructed as part of Phase II. The proposed project will be a 5 story hotel as described above.

Primary access for the property is from an existing driveway on Market Street, on the north side of the development. An additional driveway will be constructed to access the existing loop road on the southside of the site and will coordinate with Phase III development.

The landscape proposed for Phase II will include a palette consistent with the adjacent Home2 Suites develop that will compliment each adjacent development.

Standard requirements for onsite drainage and stormwater retention will be met and will meet local jurisdictions requirements. Given the constraints of the site, all retention shall be within an underground retention system.

The parking lot lighting shall be consistent with the Phase I development and shall meet the lighting requirements required by local jurisdiction.

The standard commercial design guidelines and commercial site plan notes have been incorporated into the Phase II development/design and meets General Plan.

While developing the schematic design for the site and elevations, techniques have been implemented to mitigate environmental impacts. Minimal export required from site will reduce the waste to local landfills. Maximizing shade at outdoor patios is another technique used. The hotel will use energy-efficient appliances and equipment and include occupancy sensing technology in guestrooms to reduce the overall energy consumption.

Respectfully,

Michael Porter, Project Manager  
**PK Architects, PC**  
4515 S. McClintock Drive - Suite 206  
Tempe, Arizona 85282  
602-283-1620  
[www.pkarchitects.net](http://www.pkarchitects.net)  
[Michael@pkarchitects.net](mailto:Michael@pkarchitects.net)

Northside SHS – Gilbert, AZ

PK Architects, PC • 4515 S. McClintock Drive, Suite 206 • Tempe, Arizona 85282 • 602-283-1620



**STANDARD FIRE DEPARTMENT NOTES:**

**GENERAL FIRE PLAN SUBMITTALS:**

- A. CONSTRUCTION WITHIN TH TOWN OF GILBERT SHALL COMPLY WITH THE 2012 INTERNATIONAL FIRE CODE (IFC) AS AMENDED AND ADOPTED BY FIRE CODE SUB-SECTIONS 10-37-1, 10-37-2, AND 2012 FIRE CODE INTERPRETATIONS & REGULATIONS
- B. THE APPLICATION IS RESPONSIBLE TO IDENTIFY AND COORDINATE DEFERRED SUBMITTALS.
- C. PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, AUTOMATIC FIRE EXTINGUISHING SYSTEMS, AND STANDPIPES SHALL BE SUBMITTED TO THE PERMITTING AND PLAN REVIEW DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- D. A KNOX BOX IS REQUIRED AT EVERY FIRE SPRINKLER RISER ROOM. WHEN RAPID ACCESS WOULD BE COMPROMISED BY LONG TRAVEL DISTANCES, KNOX BOXES SHALL BE REQUIRED AT OTHER LOCATIONS AT THE DISCRETION OF THE FIRE OFFICIAL. REFER TO 2012 FIRE CODE INTERPRETATIONS AND REGULATIONS 12-506.1 KEY BOXES.

**GENERAL FIRE DEPARTMENT ACCESS:**

- AA. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED WITHIN GILBERT'S JURISDICTION.
- BB. THE FIRE APPARATUS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THIS SECTION AND SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY. THE ROUTE IS TO BE MEASURED AROUND THE BUILDING AS THE FIRE HOSE WOULD BE LAID AND SHALL BE APPROVED BY THE FIRE PLANS EXAMINER.
- CC. APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20 FEET (FOC).
- DD. A MINIMUM VERTICAL CLEARANCE OF 13'-6" SHALL BE PROVIDED FOR THE APPARATUS ACCESS ROADS.
- EE. DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND. FIRE APPARATUS TURNING RADIUS IS 35 FEET INSIDE AND 55 FEET OUTSIDE (FOC).
- FF. FIRE LANES SHALL BE MARKED BY SIGNS PER TOG DETAIL #63 AND/OR CURB PAINTED RED AND LABELED "FIRE LANE NO PARKING". REFER TO 2012 FIRE CODE INTERPRETATIONS & REGULATIONS 12-0103.6.
- GG. FIRE APPARATUS ACCESS ROADS SHALL HAVE A MAXIMUM GRADE OF:
  - 0-6% GRADE ABC 6" 95% COMPACTION
  - 6-10% GRADE CONCRETE ASPHALT, 4" OR MORE
  - GRADES STEEPER THAN 10% SHALL BE APPROVED BY THE FIRE OFFICIAL

**FIRE HYDRANT REQUIREMENTS:**

- HH. THE MINIMUM NUMBER OF FIRE HYDRANTS SHALL NOT BE LESS THAN REQUIRED PER APPENDIX C IN THE IFC.
- II. A FIRE HYDRANT SHALL BE LOCATED WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION (FDC). THE ROUTE IS TO BE MEASURED AS THE FIRE HOSE WOULD BE LAID OUT AND SHALL BE APPROVED BY THE FIRE PLANS EXAMINER.
- JJ. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.

**GENERAL FIRE SPRINKLER REQUIREMENTS:**

- KK. PLANS AND SPECIFICATIONS FOR FIRE SPRINKLER SYSTEMS EXCEEDING 19 HEADS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE SPRINKLER DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW AND APPROVAL. AS-BUILT DRAWINGS WILL BE REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS. WHEN PIPING AND/OR SPRINKLER HEADS ARE ADDED TO INITIAL SPRINKLER SYSTEM INSTALLATIONS, UPDATED CALCULATIONS WILL BE REQUIRED.
- LL. FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT NFPA REFERENCED STANDARDS AND THE TOWN OF GILBERT SPRINKLER ORDINANCE.
- MM. THE FIRE SPRINKLER RISER ROOM SHALL COMPLY WITH TOWN OF GILBERT FIRE CODE AMENDED SECTION 901.4.6.
- NN. FIRE DEPARTMENT INLET CONNECTIONS (FDC) SHALL BE LOCATED ON THE ADDRESS SIDE OR NATURAL APPROACH OF THE BUILDING IT SERVES AND SHALL IDENTIFY THE BUILDING(S) SERVED WITH A PERMANENT SIGN.
- OO. FIRE HOSE THREADS AND FITTINGS USED IN CONNECTION WITH AUTOMATIC SPRINKLER SYSTEMS SHALL NATIONAL STANDARD THREAD.
- PP. CONTROL VALVES AND WATER FLOW SWITCHES FOR AUTOMATIC SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLER HEADS EXCEEDS 19, IFC SECTION 903.4.
- QQ. AN EXTERIOR FIRE SPRINKLER SYSTEM ALARM BELL SHALL BE MOUNTED ABOVE THE FIRE RISER ROOM DOOR.

**GENERAL FIRE ALARM REQUIREMENTS:**

- RR. PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE ALARM SYSTEM DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW AND APPROVAL. AS-BUILT DRAWINGS WILL BE REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS. WHEN ADDITIONAL WIRING AND DEVICES ARE ADDED TO FIRE ALARM SYSTEMS, UPDATED VOLTAGE DROP AND BATTERY CALCULATIONS WILL BE REQUIRED.
- SS. FIRE ALARM REQUIREMENTS FOR NON-SEPARATED MIXED OCCUPANCIES: OCCUPANCIES THAT DEPEND ON OCCUPANT LOAD CRITERIA TO DETERMINE WHEN A FIRE ALARM SYSTEM IS REQUIRED SHALL USE THE TOTAL BUILDING OCCUPANT LOAD USING THE MOST RESTRICTIVE OCCUPANCY CLASSIFICATION AND EXTEND THE FIRE ALARM SYSTEM TO ALL OCCUPIED AREAS OF THAT BUILDING IN ACCORDANCE WITH APPLICABLE CODE AND STANDARD. THE FIRE ALARM REQUIREMENTS SHALL BE BASED ON THE MOST RESTRICTIVE FIRE PROTECTION SYSTEM REQUIREMENT OF IFC CHAPTER 9.
- TT. ALARM INITIATING DEVICES, ALARM SIGNALING DEVICES AND OTHER FIRE ALARM SYSTEM COMPONENTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH 2012 IFC AND CURRENT NFPA REFERENCED STANDARDS.
- UU. DUCT SMOKE DETECTORS THAT ARE CONCEALED FROM VIEW, INSTALLED MORE THAN 10 FEET ABOVE FINISHED FLOOR OR IN ARRANGEMENTS WHERE THE DETECTORS ALARM INDICATOR IS NOT READILY VISIBLE TO RESPONDING PERSONNEL IT SHALL HAVE A VISIBLE AND AUDIBLE SUPERVISORY SIGNALING DEVICE AT THE CEILING LEVEL OR SIGHT OBSTRUCTION AT EACH DETECTOR. DUCT SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING'S FIRE ALARM CONTROL UNIT WHEN A FIRE ALARM SYSTEM IS REQUIRED.

**FIRE SAFETY DURING CONSTRUCTION:**

AN ALL-WEATHER ACCESS ROAD DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING UP TO 85,000 POUNDS SHALL BE INSTALLED AND MAINTAINED AT ALL TIMES. SITES SHALL HAVE TWO POINTS OF ACCESS OR AS INDICATED AT PLAN REVIEW OR BY THE FIRE INSPECTOR. UNPAVED SURFACES SHALL HAVE A MINIMUM ABC 6" DEPTH COMPACTION TO 95% AND 20" WIDE. NO VEHICLE PARKING OR BUILDING MATERIAL OFF-LOADING ALLOWED ON THE EMERGENCY ACCESS ROAD. FIRE LAND SIGNS ARE REQUIRED TO BE POSTED ALONG THE ROAD.

SIGNS SHALL BE POSTED AT EACH REQUIRED STREET ENTRANCE INDICATING EMERGENCY VEHICLE ENTRANCE, THE PROJECT NAME, THE PROJECT ADDRESS AND AN EMERGENCY CONTACT NUMBER OF A COMPANY REPRESENTATIVE.

THE SIGN SHALL BE A MINIMUM OF 24" HIGH X 36" WIDE WITH WHITE REFLECTIVE BACKGROUND AND 3" RED REFLECTIVE LETTERS.

ALL SITE HYDRANTS SHALL BE INSTALLED AND ACCEPTED BY THE TOWN ENGINEERING DEPARTMENT PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE CONSTRUCTION SITE.

TEMPORARY DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND.

FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE LOCATED ALONG THE FIRE APPARATUS ACCESS ROADWAY.

FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE PROTECTED FROM VEHICULAR DAMAGE.

**PROJECT DESCRIPTION:**

(1) ONE 5 STORY, 109 GUESTROOM, WOOD FRAMED HOTEL

**SITE DATA:**

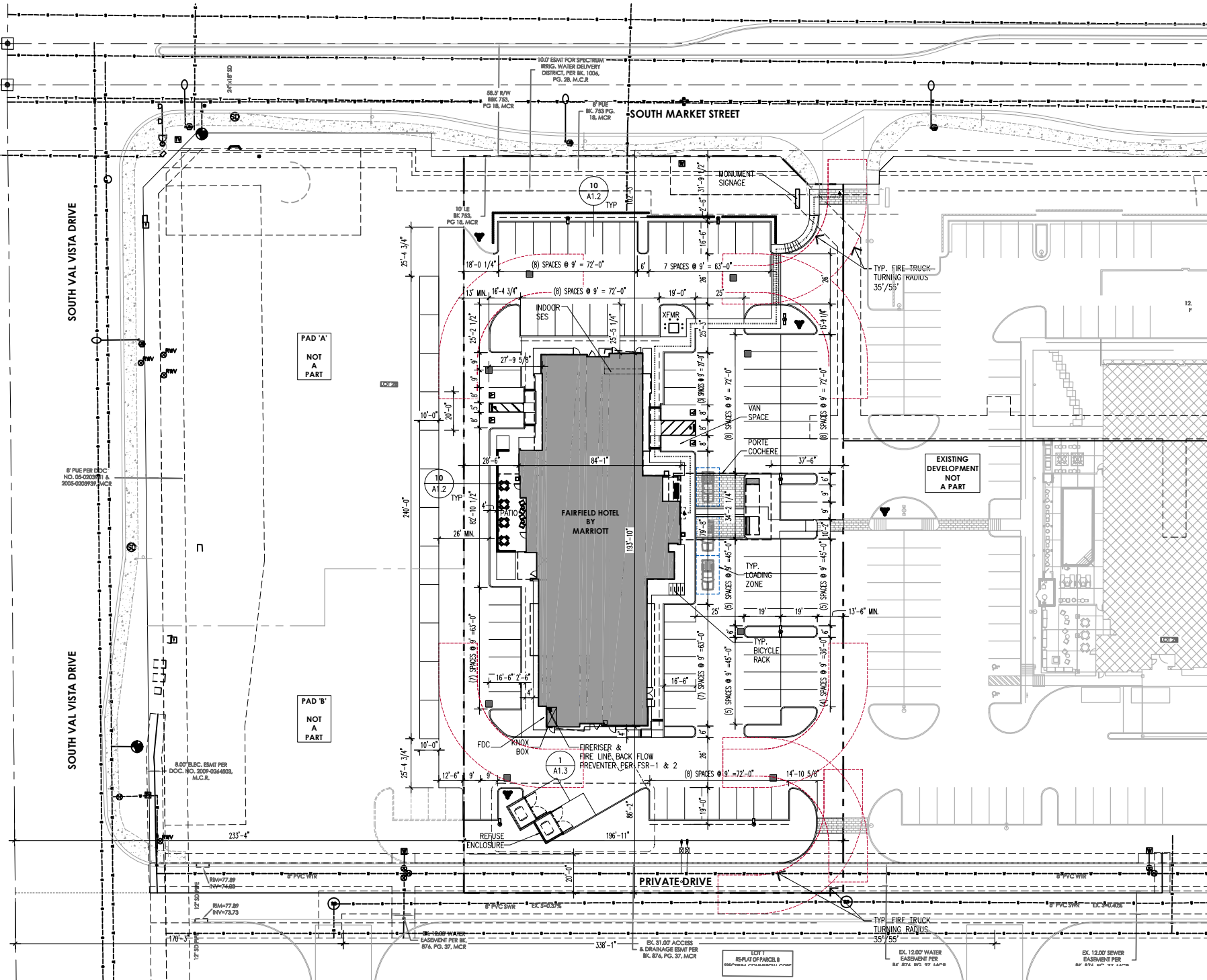
PARCEL: 304-53-559  
 CURRENT ZONING: RC (REGIONAL COMMERCIAL)  
 USE: HOTEL (109 GUESTROOMS)  
 GROSS SITE AREA: 1.7 ACRES (74,902 S.F.)  
 NET LOT AREA: 1.7 ACRES (74,902 S.F.)  
 TOTAL GROSS BUILDING AREA:  
 1ST FLOOR: 11,730 S.F.  
 2ND FLOOR: 12,090 S.F.  
 3RD FLOOR: 12,090 S.F.  
 4TH FLOOR: 12,090 S.F.  
 5TH FLOOR: 12,090 S.F.  
 TOTAL: 60,090 S.F.  
 MAXIMUM BUILDING HEIGHT: 6 STORY / 90 FT  
 LOT COVERAGE: 11,730 / 74,902 = 0.16%  
 FLOOR AREA RATIO: 60,090 / 74,902 = 0.80%  
 TOTAL ONSITE LANDSCAPE AREA: 12,703 S.F.  
 LANDSCAPE AREA COVERAGE: 12,703 / 74,902 = 0.17%  
 REFUSE: 109 G.R. x 1 DUMPSTER PER 75 KEYS = 2 REQ.  
 (NOTE: 2 REFUSE ENCLOSURES PROVIDED)

**PARKING REQUIREMENTS:**

TOTAL PARKING REQUIRED: 120  
 GUESTROOMS: 109 TUNITS (1.1 PER GUESTROOM = 119.9)  
 TOTAL PARKING PROVIDED: 100 ONSITE & 20 SHARED BETWEEN ADJACENT PARCEL TO THE EAST  
 STANDARD: .....96  
 HANDICAP: .....4  
 (TABLE 1106.1 & 208.2: 76 TO 100 = 4 REQ'D)  
 - STANDARD: 9'-0"x15'-6" + 2'-6" OVERHANG = 18FT  
 - STANDARD (END TO END): 9'-0"x18'-0"  
 - ACCESSIBLE: 8'-0"x18'-0"  
 - VAN: 11'-0"x18'-0"  
 - ACCESSIBLE AISLES: 5'-0" (8'-0" AT VAN)  
 BICYCLE PARKING REQUIRED: .....4 (4 REQ. OVER 40)  
 NOTE: 20 SHARED PARKING HAS BEEN ACCOUNTED FOR THROUGH MASTER SITE PLAN TOTAL SHARED PARKING AS CALCULATED.  
 Required / Provided  
 Phase 1 - 118 / 133 (15 extra)  
 Phase 2 - 120 / 94 (26 short)  
 Phase 3 -  
 Pad A: 16 / 40 (24 extra)  
 Pad B: 6 / 11 (5 extra)  
 Total: 259 / 284 (25 extra)

**GENERAL NOTES: STANDARD COMMERCIAL AND INDUSTRIAL SITE PLAN RULES MARCH 11, 2004:**

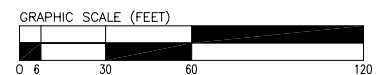
1. ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
2. ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
3. ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6" SMOOTH MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
4. S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
  - A. FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;
  - B. SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;
  - C. AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
5. THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
6. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
  - A. THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
  - B. BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
7. ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
8. GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
9. PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
  - A. ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
  - B. ROUTED UNDERGROUND.
10. ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
11. ALL FREESTANDING LIGHT POLES SHALL:
  - A. BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
  - B. HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
  - C. BE LOCATED TO AVOID CONFLICT WITH TREES.
12. SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
13. LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDING AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
14. COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
15. COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANTITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
16. CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
17. ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
18. EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.



**VICINITY MAP:**



**SITE PLAN**  
 SCALE: 1" = 30'-0"



**PK ARCHITECTS, P.C.**  
 4515 S. McCLINTOCK DRIVE, #206  
 TEMPE, ARIZONA 85282  
 PHONE: (602) 283-1620  
 FAX: (602) 283-1621

**Fairfield**  
 BY MARRIOTT  
 Val Vista Drive / Market Street  
 GILBERT, AZ

REVISION: DATE: COMMENTS:

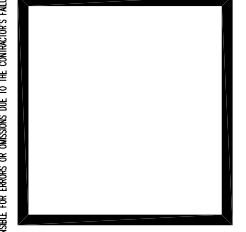
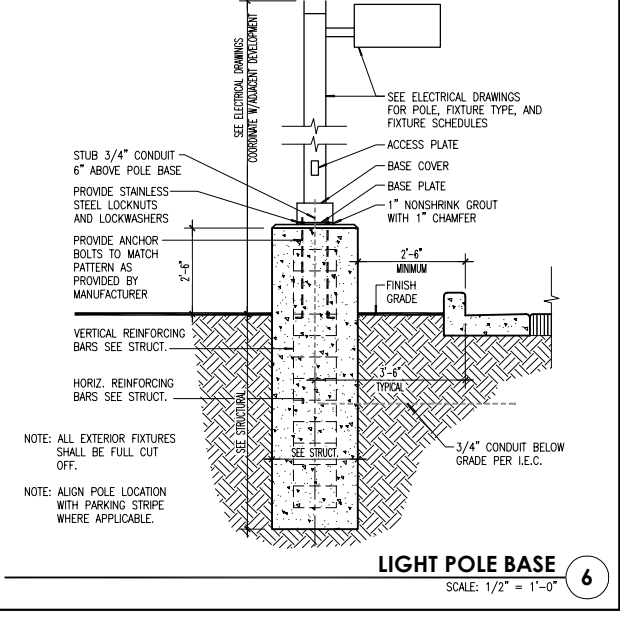
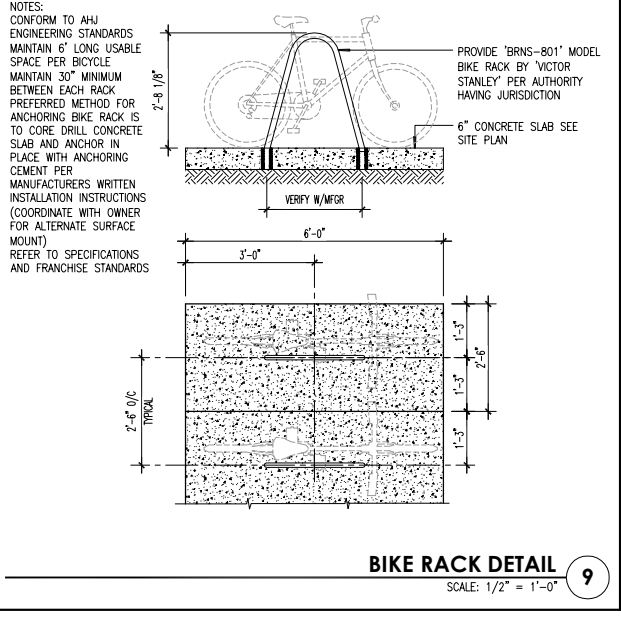
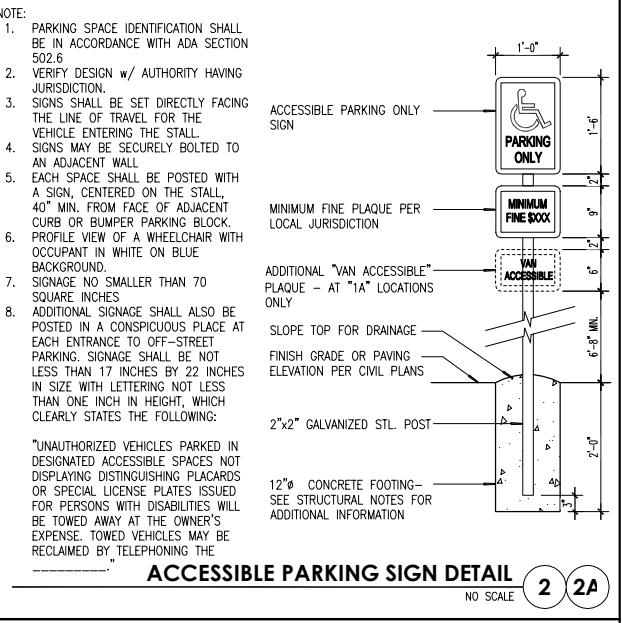
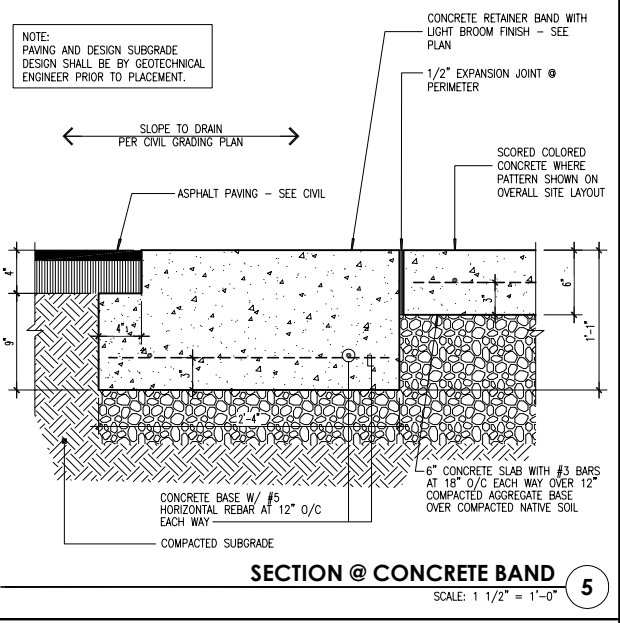
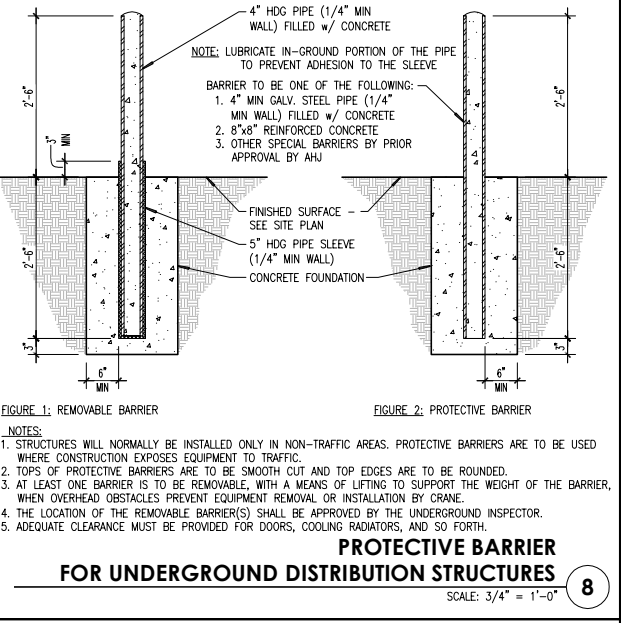
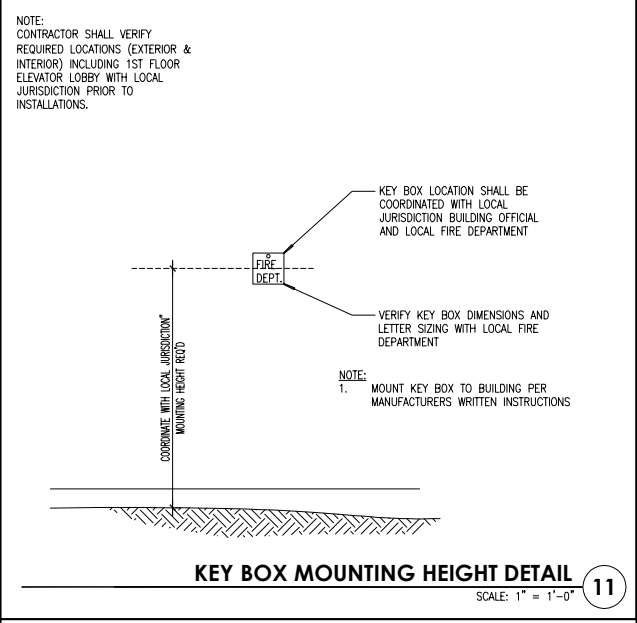
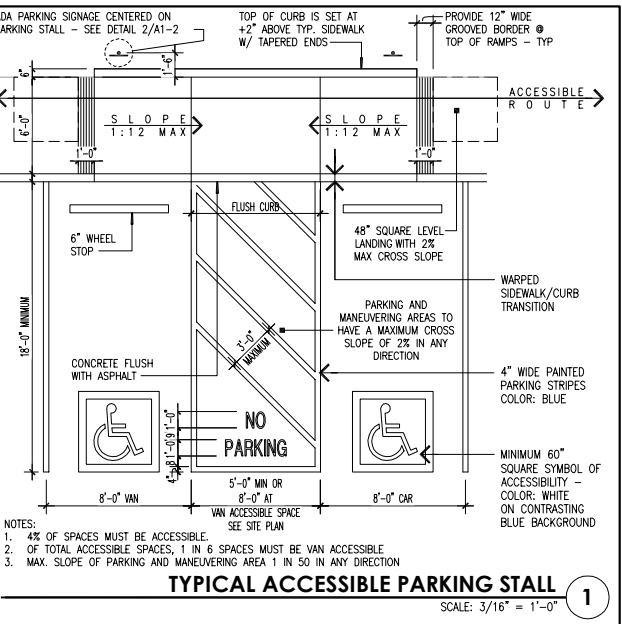
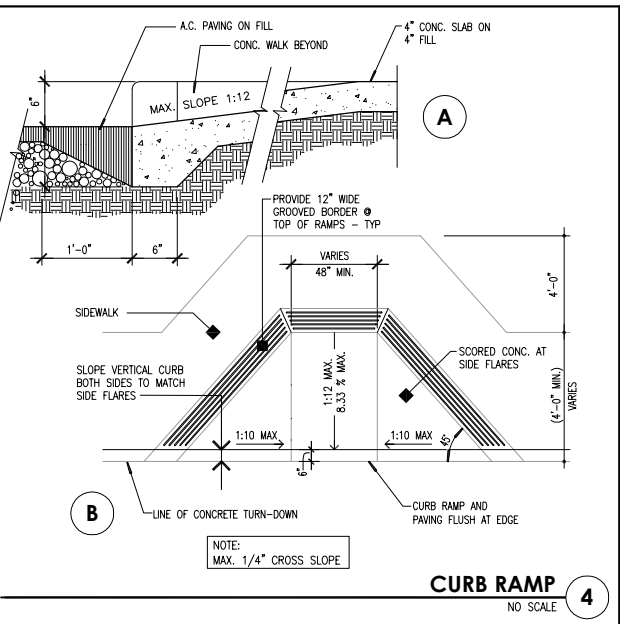
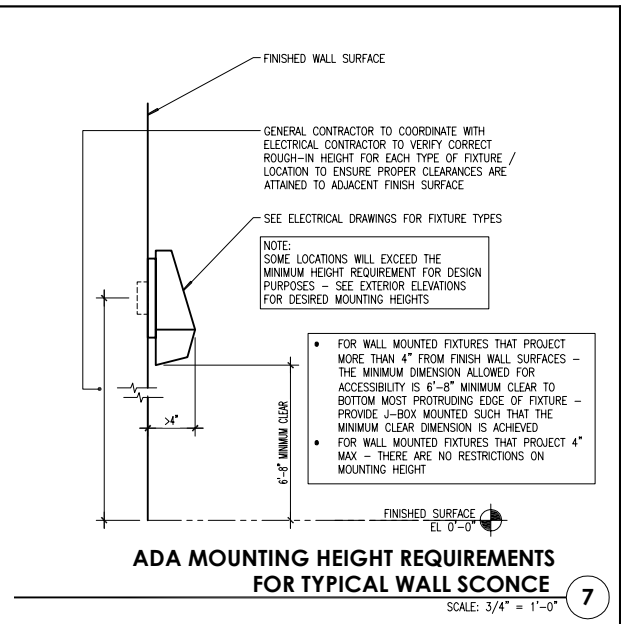
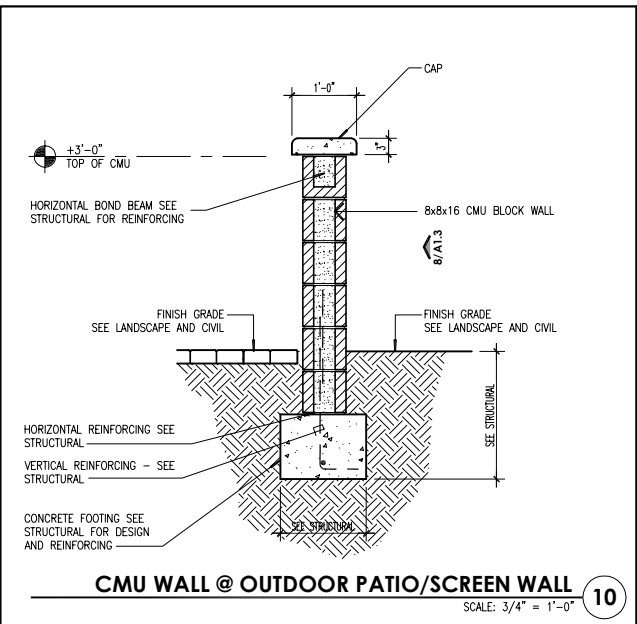
**PRINT DATE:**  
 04-26-2023

PROJECT NO: 22306  
 DATE: 04-12-2023  
 DRAWN BY: MP  
 CHECKED BY: SK/JP

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**A1.1**

THIS SET OF PLANS HAS BEEN PREPARED FOR REVIEW PURPOSES ONLY. THE SET OF PLANS SHOULD BE CONSIDERED PRELIMINARY IN NATURE AND NOT BE USED FOR CONSTRUCTION. THE SET OF PLANS SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF PK ARCHITECTS, P.C. NO PART OF THESE PLANS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF PK ARCHITECTS, P.C. PK ARCHITECTS, P.C. SHALL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS MADE BY THE CONTRACTOR'S FAILURE TO PROPERLY VERIFY THE INFORMATION SUBMITTED TO THIS OFFICE FOR APPROVAL. BEFORE THE SET OF PLANS IS USED FOR CONSTRUCTION, THE SET OF PLANS SHALL BE CHECKED FOR ANY CHANGES THAT MAY BE REQUIRED BY THE TOWN OF GILBERT. THE SET OF PLANS SHALL BE CHECKED FOR ANY CHANGES THAT MAY BE REQUIRED BY THE TOWN OF GILBERT. THE SET OF PLANS SHALL BE CHECKED FOR ANY CHANGES THAT MAY BE REQUIRED BY THE TOWN OF GILBERT.



REVISION DATE:	COMMENTS:

**PRINT DATE:**  
04-26-2023

PROJECT NO: 22306  
DATE: 04-12-2023  
DRAWN BY: -  
CHECKED BY: SK/JP

SHEET TITLE:  
**MISCELLANEOUS SITE DETAILS**

SHEET NUMBER:  
**A1.2**

BE ADVISED THAT THIS SET OF PLANS HAS BEEN PREPARED FOR BEARING AND OTHER PURPOSES ONLY. IN THE EVENT THAT THIS SET OF PLANS SHOULD BE CONSIDERED FOR ANY OTHER PURPOSES, THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECTS AND ENGINEERS SHALL NOT BE RESPONSIBLE FOR ANY SUCH USES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECTS AND ENGINEERS SHALL NOT BE RESPONSIBLE FOR ANY SUCH USES.



# Fairfield BY MARRIOTT

SAN TAN VILLAGE PKWY. + MARKET ST. | GILBERT | AZ | 85297

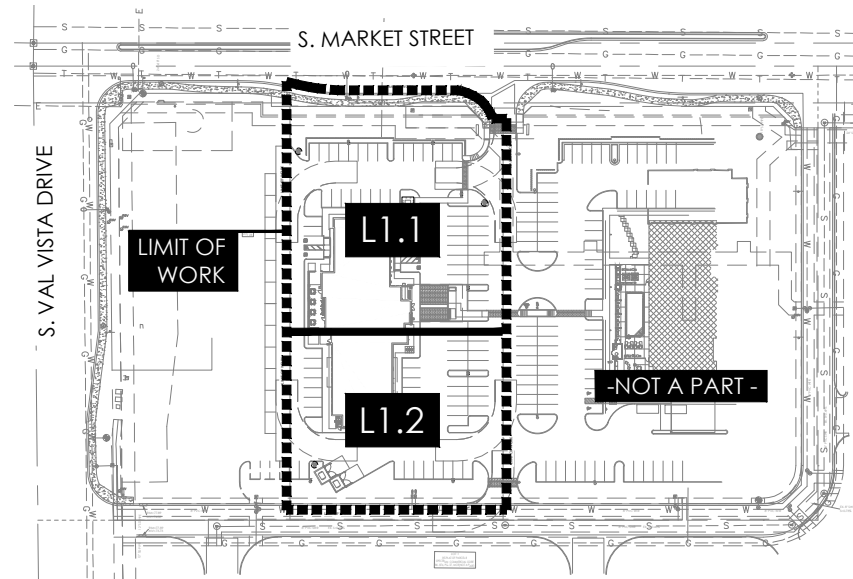
## PRELIMINARY LANDSCAPE PLAN

### PLANTING NOTES

- ALL PLANTING AREAS ARE TO HAVE DECOMPOSED GRANITE, COLOR AND SIZE AS SPECIFIED, 2" MIN DEPTH TYP. AMEND EXISTING AS REQUIRED.
- NO PLANT SUBSTITUTIONS ALLOWED UNLESS APPROVED IN WRITING BY LANDSCAPE ARCHITECT AND THE TOWN OF GILBERT.
- LANDSCAPE ARCHITECT IS TO APPROVE ALL PLANT MATERIAL PRIOR TO DELIVERY TO SITE. ONE WEEK MINIMUM NOTICE.
- ALL PLANT MATERIAL MUST MEET ANA SPECIFICATIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL CONDITIONS ON SITE PRIOR TO PROJECT START-UP.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REPAIR ANY DAMAGES MADE TO EXISTING LANDSCAPING, UNDERGROUND UTILITIES, IRRIGATION LINES, ELECTRICAL LINES, ETC., AT HIS EXPENSE.
- ALL PLANT MATERIAL THAT IS NOT LABELED "TO REMAIN" ARE TO BE RELOCATED PER PLANTING PLANS.
- ADJUST ALL NEW LANDSCAPING AS NECESSARY TO ACCOMMODATE EXISTING LANDSCAPE TO REMAIN.
- CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO ANY SITE WORK BEING EXECUTED.
- ALL AREAS DISTURBED DURING CONSTRUCTION ARE TO BE FINE GRADED AND TREATED TO BLEND EVENLY WITH ALL NEWLY CONSTRUCTED AREAS.
- LANDSCAPE ARCHITECT, OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL THAT IS DETERMINED TO NOT SATISFY THE DESIGN INTENT OF THE LANDSCAPE PLAN BASED ON SIZE, SHAPE, APPEARANCE, HEALTH, OR IMPROPER CARE.
- ROOF DRAIN SCUPPERS ARE TO HAVE 3x3', 3'-6" NATIVE STONE MATERIAL INSTALLED TO PREVENT EROSION WHERE REQUIRED.
- ALL BERM CONTOUR INTERVALS ARE AT 1'-0", SLOPES NOT TO EXCEED 4:1.
- CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- PLANTS TO BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY. DO NOT INSTALL PLANT MATERIAL IN ANY AREA WHICH WILL CAUSE HARM TO ADJACENT IMPROVEMENTS.
- VERIFY PLANT QUANTITIES PRIOR TO INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY, THE ACTUAL NUMBER OF SYMBOLS INDICATED ON THE PLANTING PLANS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED. NOTIFY THE LANDSCAPE ARCHITECT OF QUANTITY DISCREPANCIES IMMEDIATELY.
- PLANT TREES, SHRUBS, AND CACTI PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS OR VIEWS.
- NOTIFY OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHOULD SOIL CONDITIONS BE PRESENT WHICH WOULD PREVENT PROPER SOIL DRAINAGE AND ALLOW WATER TO STAND IN PLANTING PITS.
- LANDSCAPE CONTRACTOR TO PERFORM A SOILS TEST PRIOR TO LANDSCAPE CONSTRUCTION TO DETERMINE ANY NUTRIENT DEFICIENCIES. IF ANY DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL ACCORDINGLY.

### LANDSCAPE CONSTRUCTION GENERAL NOTES

- REFER TO PLANTING DETAILS. BACKFILL: NATIVE SOILS FREE OF CONTAMINATION AND ROCKS OVER 3 INCHES IN DIAMETER.
- COMPLETE ALL TRENCHING, LANDSCAPE GRADING, BERMING AND SWALES PRIOR TO START OF PLANTING.
- NOTE: SURFACE-FERTILIZE PLANTS AS PART OF COMMON-AREA MAINTENANCE CONTRACT.
- APPLY A SOLUTION OF "SUPERTHRIVE" COMBINED WITH LIQUID CHELATED IRON SUPPLEMENT AS PLANT IS BEING WATERED IN AT THE FOLLOWING RATES:  
-BASIC MIX: 1/4 TSP. (TEASPOON) SUPERTHRIVE AND 1 TSP. IRON SUPPLEMENT PER GALLON OF WATER.  
-TREES: APPLY 4 GALLONS OF BASIC MIX.  
-SHRUBS AND SUCCULENTS 1 GAL. AND 5 GAL.: APPLY 1 GALLON OF BASIC MIX.  
-SHRUBS AND SUCCULENTS 15 GAL.: APPLY 2 GALLONS OF BASIC MIX.
- REMOVE NURSERY PROVIDED STAKING AND TAPING FROM ALL PLANTS, IF APPLICABLE. STAKE NURSERY GROWN TREES AS DETAILED.
- WATER SUPPLY MUST BE OPERATIONAL PRIOR TO PLANT INSTALLATION.
- PRUNE DEAD OR DAMAGED BRANCHES AFTER PLANTING. PRUNE TREES OF LIVING BRANCHES, ONLY IF DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER, AFTER PLANTING.
- BEFORE PLANTING, STAKE OR FLAG THE LOCATION OF ALL PLANTS OR PLACE CONTAINERS UP TO 15 GAL. AT LOCATIONS SHOWN ON PLAN AND ARRANGE TO HAVE THE LANDSCAPE ARCHITECT REVIEW AND APPROVE THE LOCATIONS. LANDSCAPE ARCHITECT MAY REVISE LOCATIONS ONCE BEFORE PLANTING.
- REMOVE ALL WEED GROWTH FROM AREAS TO BE LANDSCAPED. IF WEED CONTROL IS NEEDED, USE CAREFULLY APPLIED CONTACT HERBICIDE, "ROUND-UP" OR EQUAL. APPLY BY HAND SPRAYER TO AVOID DAMAGE TO NEW PLANTS.
- ALL NEW LANDSCAPED AREAS SHALL RECEIVE 2" GRANITE MULCH AS NOTED BELOW PLANT LEGEND.
- WARRANTY ALL PLANT MATERIAL TO BE IN HEALTHY GROWTH FOR THE PERIODS OF: TREES: 365 DAYS SHRUBS, VINES AND GROUNDCOVERS: 90 DAYS, STARTING AT DATE OF FINAL ACCEPTANCE. REPLACE MATERIAL NOT SHOWING HEALTHY GROWTH WITHIN 10 WORKING DAYS OF NOTIFICATION BY OWNER.
- YDG DOES NOT WARRANT AVAILABILITY OF SPECIES OR SIZES OF PLANTS LISTED. "AVAILABLE" SHALL MEAN AVAILABLE IN A WHOLESALER NURSERY IN ARIZONA OR CALIFORNIA. NOTIFY OWNER AND YDG OF NON-AVAILABILITY FOR ISSUANCE OF SUBSTITUTION BY YDG.
- CITY APPROVAL OF THESE PLANS SHALL SIGNIFY AND CONFIRM OWNER'S CAREFUL REVIEW AND APPROVAL OF THESE PLANS, INCLUDING PLANT SPECIES AND SIZES LISTED. OWNER SHALL OBTAIN UNIT PLANT COSTS, INSTALLED & GUARANTEED.
- TYPICAL MINIMUM SETBACKS FROM EDGE OF WALKS, DRIVES AND BUILDINGS: TREES: 6 FT.; SHRUBS: 3 FT.; GROUNDCOVER: 2 FT.
- AREAS IN SIGHT TRIANGLES SHALL HAVE NO OBSTRUCTION GREATER THAN 2 FT. HT. AND TREES SHALL HAVE CANOPY HIGHER THAN 7 FT. AT TIME OF PLANTING.
- NOTE THAT NURSERY-GROWN TREES MUST HAVE TRUNK DIAMETER IN PROPORTION TO HEIGHT, AND THAT CONTRACTOR MUST INSPECT EACH TREE FOR ROOT-BINDING AND OTHER GROWTH DEFECTS, AND REMOVE DEFECTIVE PLANTS FROM THE SITE.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE HEADER INSTALLATION WITH
- GRADING CONTRACTOR. ANY LOCATIONS WHERE RIP-RAP SWALES ARE ADJACENT TO TURF AREAS, HEADER IS TO HAVE A DRAINAGE OUTLET (TURN-DOWN) FOR THE WIDTH OF THE RIP RAP AREA, TYP.
- TREES TO MEET LOCAL JURISDICTIONS ZONING SIZE REQUIREMENTS AT THE TIME OF PLANTING. TREES THAT DO NOT MEET MIN. REQUIREMENTS SHALL BE REPLACED IN KIND WITH TREE THAT MEETS REQUIREMENTS.
- ANY DISTURBED AREAS NOT INITIALLY BUILT UPON WILL NEED A COUNTY / CITY APPROVED DUST CONTROL MATERIAL INSTALLED.
- TREES THAT ARE PLANTED AS 24" BOX MUST HAVE 2" CALIPER AFTER FIRST YEAR OF GROWTH.
- LANDSCAPE ARCHITECT TO INSPECT TREES PRIOR TO PURCHASE.



OVERALL SITE PLAN

NOT TO SCALE

### TOWN OF GILBERT NOTES

- A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION SYSTEM. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD WITH PDF FORMAT RECORD DRAWINGS OF THE LANDSCAPE AND IRRIGATION PLANS ARE ALSO REQUIRED.
- BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED: THE DEVICE MUST BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND THE TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE A CURRENT LIST OF CERTIFIED TESTERS FROM WHICH TO SELECT. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.
- DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.
- NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.
- NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.
- ALL TREES, SHRUBS AND GROUNDCOVER SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS.
- CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

**MAINTENANCE NOTE:**  
ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

### SITE DATA

NET SITE AREA	(+/-) 74,904 S.F.
	(+/-) 1.72 AC
TOTAL LS AREA	(+/-) 15,059 S.F.
	(+/-) 0.35 AC
ON-SITE LS AREA	(+/-) 14,218 S.F.
R.O.W. LS AREA	(+/-) 841 S.F.

### EXISTING PLANT INFORMATION

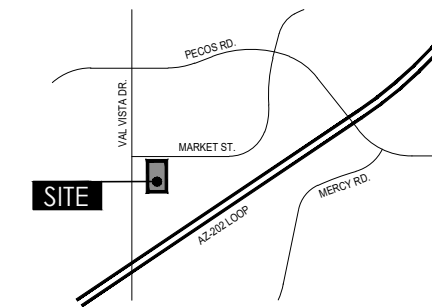
EXISTING TREES ARE PRESENT WITHIN CURRENT SITE IMPROVEMENT AREAS. ANY TREES THAT ARE ABLE TO REMAIN IN PLACE SHALL BE PRESERVED. ALL OTHER REMAINING TREES AND VEGETATION (IF DAMAGED OR DYING) SHALL BE REMOVED ACCORDINGLY.

### MISC. NOTES

- A MINIMUM OF 3' CLEARANCE SHALL BE MAINTAINED AROUND ALL FIRE HYDRANTS WHERE NOTHING WILL BE PLANTED OR WILL GROW.
- ALL TRANSFORMERS ARE TO HAVE A 3' CLEARANCE AROUND EDGES OF ALL TRANSFORMER PADS AND A CLEAR OPERATIONAL AREA THAT EXTENDS 12' IMMEDIATELY IN FRONT OF ALL TRANSFORMERS. REFER TO UTILITY COMPANY DETAILS FOR MORE INFORMATION.
- THERE ARE NO OVERHEAD ELECTRIC LINES CROSSING OVER THIS SITE / ADJACENT TO THIS SITE.

### VICINITY MAP

NOT TO SCALE



### PROJECT TEAM

#### OWNER:

KWB HOTELS  
1113 SOUTH MINNESOTA AVE.  
SIOUX FALLS, SD 57105  
PH: (605) 275-9499  
CONTACT: DANNY AMUNDSON  
damundson@kwblc.com

#### CIVIL ENGINEER:

ATWELL, LLC  
4700 EAST SOUTHERN AVE.  
MESA, AZ 85206  
PH: (480) 218-8831  
CONTACT: CASEY PENNINGTON  
cpennington@atwell-group.com

#### ARCHITECT:

PK ARCHITECTS, PC  
4515 S. MCCLINTOCK DR.  
SUITE # 206  
TEMPE, AZ 85282  
PH: (602) 283-1620  
CONTACT: MICHAEL PORTER  
michael@pkarchitects.net

#### LANDSCAPE ARCHITECT:

YOUNG DESIGN GROUP  
7234 EAST SHOEMAN LN.  
SUITE # 8  
SCOTTSDALE, AZ 85251  
PH: (480) 257-3312  
CONTACT: JOE YOUNG  
jyoung@youngdg.com

### SHEET INDEX

L0.1	COVER SHEET + NOTES
L1.1 THRU L1.2	PRELIMINARY LANDSCAPE PLAN

### PRELIMINARY APPROVAL:

DATE:	04/27/23
JOB NO:	2231
DRAWN BY:	YDG / CLF
CHECKED BY:	JMY
REVISIONS:	DATE:
SUBMITTED FOR:	
PRELIMINARY REVIEW	

ZONING: RC

Young | design | group  
Landscape Architecture  
+ Land Planning  
7234 east shoeman lane  
suite 8  
scottsdale, arizona 85251  
tel. 480.257.3312



SAN TAN VILLAGE PKWY. +  
MARKET ST. | GILBERT | AZ

# Fairfield BY MARRIOTT

DATE: 04/27/23  
JOB NO: 2231  
DRAWN BY: YDG / CLF  
CHECKED BY: JMY  
REVISIONS: DATE:

SUBMITTED FOR:  
PRELIMINARY REVIEW

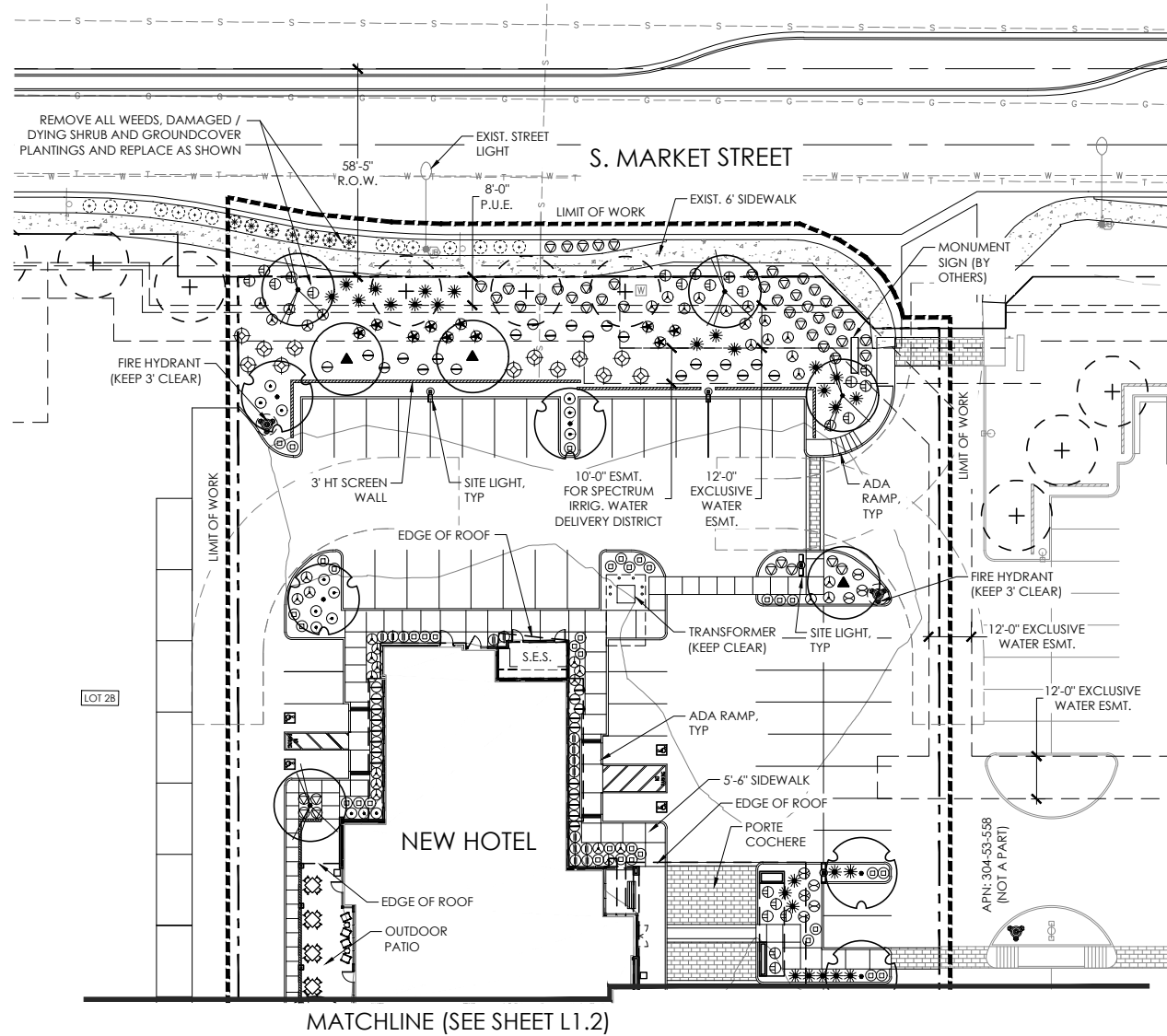
SHEET NO.

L0.1

1 OF 3

TRACKING NUMBERS:

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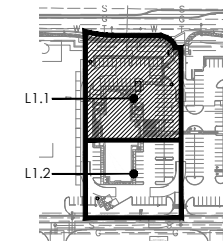


# PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 20'-0"

## PLANT SCHEDULE

EXISTING VEGETATION	SIZE / REMARKS	QTY
EXISTING TREE	PRESERVE IN PLACE	PER PLAN
EXISTING ACCENT	PRESERVE IN PLACE	PER PLAN
EXISTING SHRUB	PRESERVE IN PLACE	PER PLAN
TREES	SIZE / REMARKS	QTY
ACACIA ANEURA MULGA ACACIA	24" BOX, STANDARD TRUNK, MATCHED	3
CERCIDIUM HYBRID 'DESERT MUSEUM' PALO VERDE	24" BOX, MULTI-TRUNK, MATCHED	5
PROSOPIS SEEDLESS HYB 'AZT' SEEDLESS HYBRID MESQUITE	24" BOX, MULTI-TRUNK, MATCHED	6
QUERCUS VIRGINIANA LIVE OAK	36" BOX, STANDARD TRUNK, MATCHED	14
ACCENTS	SIZE	QTY
DASYLIRION WHEELERI DESERT SPOON	5 GAL	16
HESPERALOE PARVIFLORA RED YUCCA	5 GAL	72
MUHLENBERGIA RIGENS DEER GRASS	5 GAL	27
SHRUBS	SIZE	QTY
CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GAL	7
CALLIANDRA CALIFORNICA FAIRY DUSTER	5 GAL	19
RUSSELIA EQUITIFORMIS CORAL FOUNTAIN	5 GAL	17
LEUCOPHYLLUM LAEVIGATUM CHIHUAHUAN SAGE	5 GAL	62
NERIUM OLEANDER 'P. PINK' PETITE PINK OLEANDER	5 GAL	60
SIMMONDSIA CHINENSIS JOJOBA	5 GAL	18
EUONYMUS JAPONICUS GREEN SPIRE EUONYMUS	5 GAL	37
GROUNDCOVER	SIZE	QTY
CONVOLVULUS CNEORUM SILVER BUSH MORNING GLORY	5 GAL	25
LANTANA 'NEW GOLD' 'NEW GOLD' LANTANA	1 GAL	61
LANTANA MONTEVIDENSIS PURPLE TRAILING LANTANA	1 GAL	63
INERT MATERIALS	SIZE	QTY
D.G. DECOMPOSED GRANITE 'PAINTED DESERT' (ROCK PROS USA)	1/2" SCREENED, 2" MIN DEPTH	PER PLAN



SHEET KEY n.t.s.

young | design | group  
 Landscape Architecture  
 + Land Planning  
 7234 east shoeman lane  
 suite 8  
 scottsdale, arizona 85251  
 tel. 480.257.3312



**Fairfield**  
 BY MARRIOTT  
 SANTAN VILLAGE PKWY. +  
 MARKET ST. | GILBERT | AZ

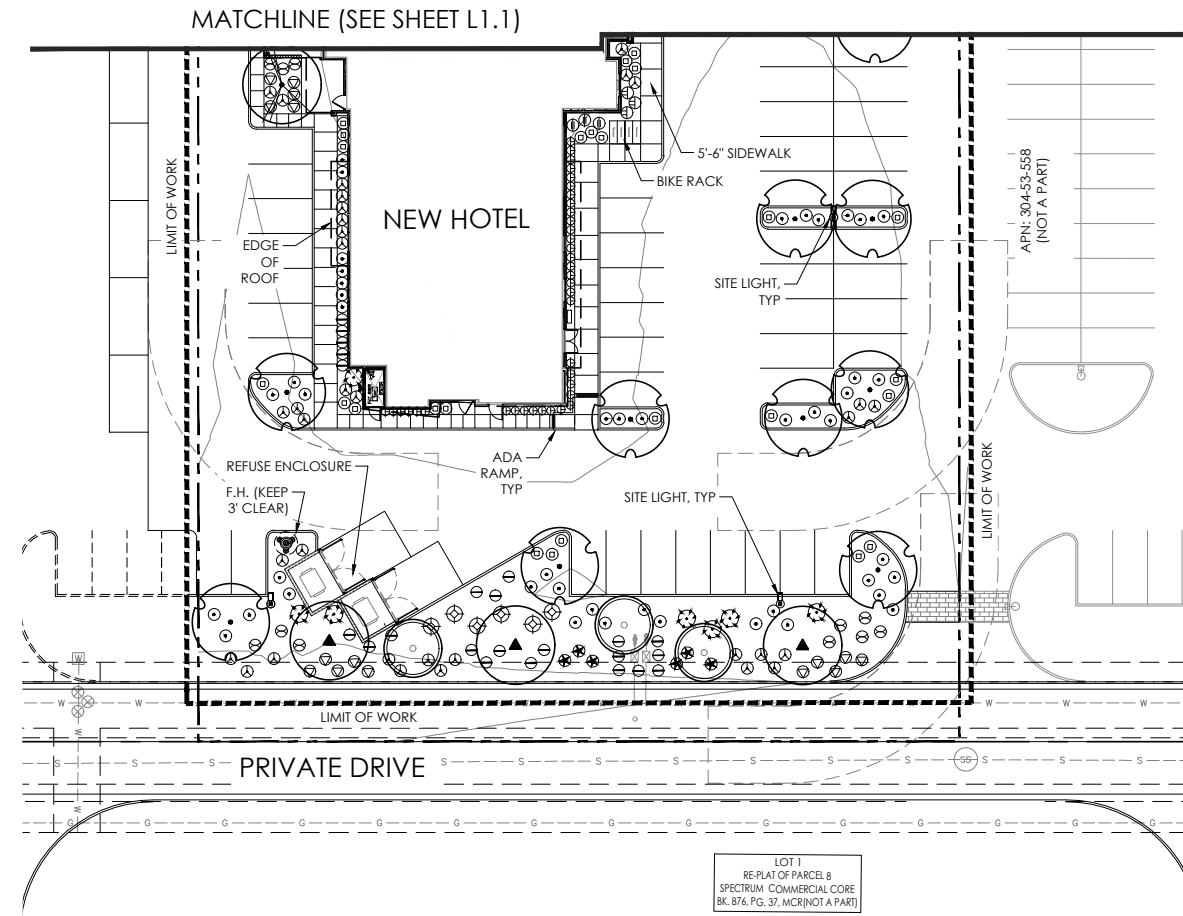
DATE: 04/27/23  
 JOB NO: 2231  
 DRAWN BY: YDG / CLF  
 CHECKED BY: JMY  
 REVISIONS: DATE:

SUBMITTED FOR:  
**PRELIMINARY REVIEW**

SHEET NO.  
**L1.1**  
 2 OF 3

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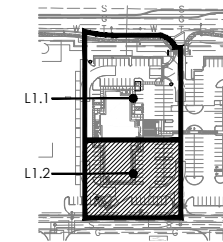
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SHEET KEY



Young Design Group  
Landscape Architecture  
+ Land Planning  
7234 East Shoeman Lane  
Suite 8  
Scottsdale, Arizona 85251  
Tel. 480.257.3312



SANTAN VILLAGE PKWY. +  
MARKET ST. | GILBERT | AZ

**Fairfield**  
BY MARIOTT

DATE: 04/27/23  
JOB NO: 2231  
DRAWN BY: YDG / CLF  
CHECKED BY: JMY  
REVISIONS: DATE:

SUBMITTED FOR:  
**PRELIMINARY REVIEW**

SHEET NO.

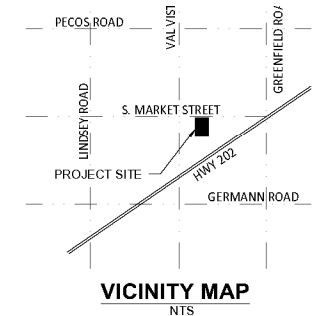
**L1.2**

3 OF 3

TRACKING NUMBERS:

# CONCEPTUAL GRADING & DRAINAGE PLAN

FOR  
FAIRFIELD BY MARRIOTT



REPRESENTATIVE THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

**DEVELOPER**  
KWB HOTELS  
1113 S. MINNESOTA AVENUE  
SIOUX FALLS, SD 57105  
CONTACT: DANNY AMUNDSON  
PHONE: (605) 275-9499

**ENGINEER**  
ATWELL  
4700 E. SOUTHERN AVE.  
MESA, ARIZONA 85208  
CONTACT: CASEY PENNINGTON  
PHONE: (480) 218-8831

**ARCHITECT**  
PK ARCHITECTS  
4700 E. SOUTHERN AVE.  
MESA, ARIZONA 85208  
CONTACT: MICHAEL PORTER  
PHONE: (602) 283-1620

**ZONING**  
REGIONAL COMMERCIAL (RC)  
**AREA**  
GROSS SITE AREA: 74,902 SF; 1.7 ACRES

**FLOODPLAIN DESIGNATION**  
THIS SITE IS LOCATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NFIP), FLOOD INSURANCE RATE MAPS (FIRM) NO. 04013C2742M, DATED NOVEMBER 4, 2015. THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X".

**STORM WATER RETENTION CALCULATIONS**

**VOLUME REQUIRED**  
DA-1 =  $0.95' \times 0.25' \times 35,967 \text{ SF} = \text{Vr} = 8,542 \text{ CF}$   
DA-2 =  $0.95' \times 0.25' \times 38,935 \text{ SF} = \text{Vr} = 9,247 \text{ CF}$   
TOTAL VOLUME REQUIRED = 17,789 CF

**VOLUME PROVIDED**  
DA-1 VP = 8,560 CF  
DA-2 VP = 9,247 CF  
TOTAL VOLUME PROVIDED = 17,807 CF

**TEMP VOLUME REQUIRED**  
DA-3 =  $(5197.5 + 4111.95) \times 0.25 = \text{Vr} = 1,626 \text{ CF}$

**TEMP VOLUME PROVIDED**  
DA-3 VP = 2,420 CF

**GENERAL NOTES**

- ALL GRADES SHOWN HEREON ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL DESIGN
- ALL ELEVATION SHOWN HEREON ARE RELATIVE TO FINISHED SURFACE UNLESS NOTED OTHERWISE
- ANY STORM APPURTENANCES, PIPING, CULVERTS, ETC. ARE SHOWN AND SIZED PRELIMINARILY ONLY AND SUBJECT TO FINAL DESIGN AND REVIEW.
- ROOF DRAINAGE IS ASSUMED TO BE PIPED TO UNDERGROUND RETENTION.
- EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY AND HAVE NOT BEEN FIELD VERIFIED BY THE ENGINEER.

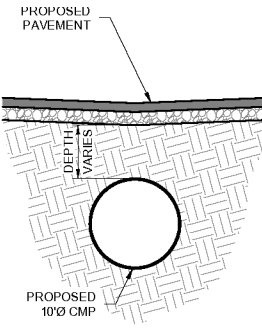
REVISIONS:

NO.	DATE	DESCRIPTION

PRELIMINARY  
NOT FOR  
CONSTRUCTION

PM, G. PENNINGTON
DR. Z GASE
JOB NO. 22003262
FILE NO. 22003262

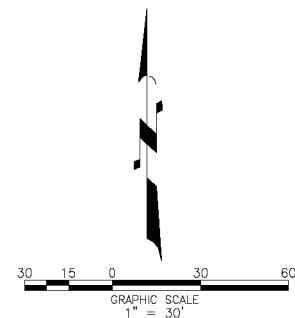
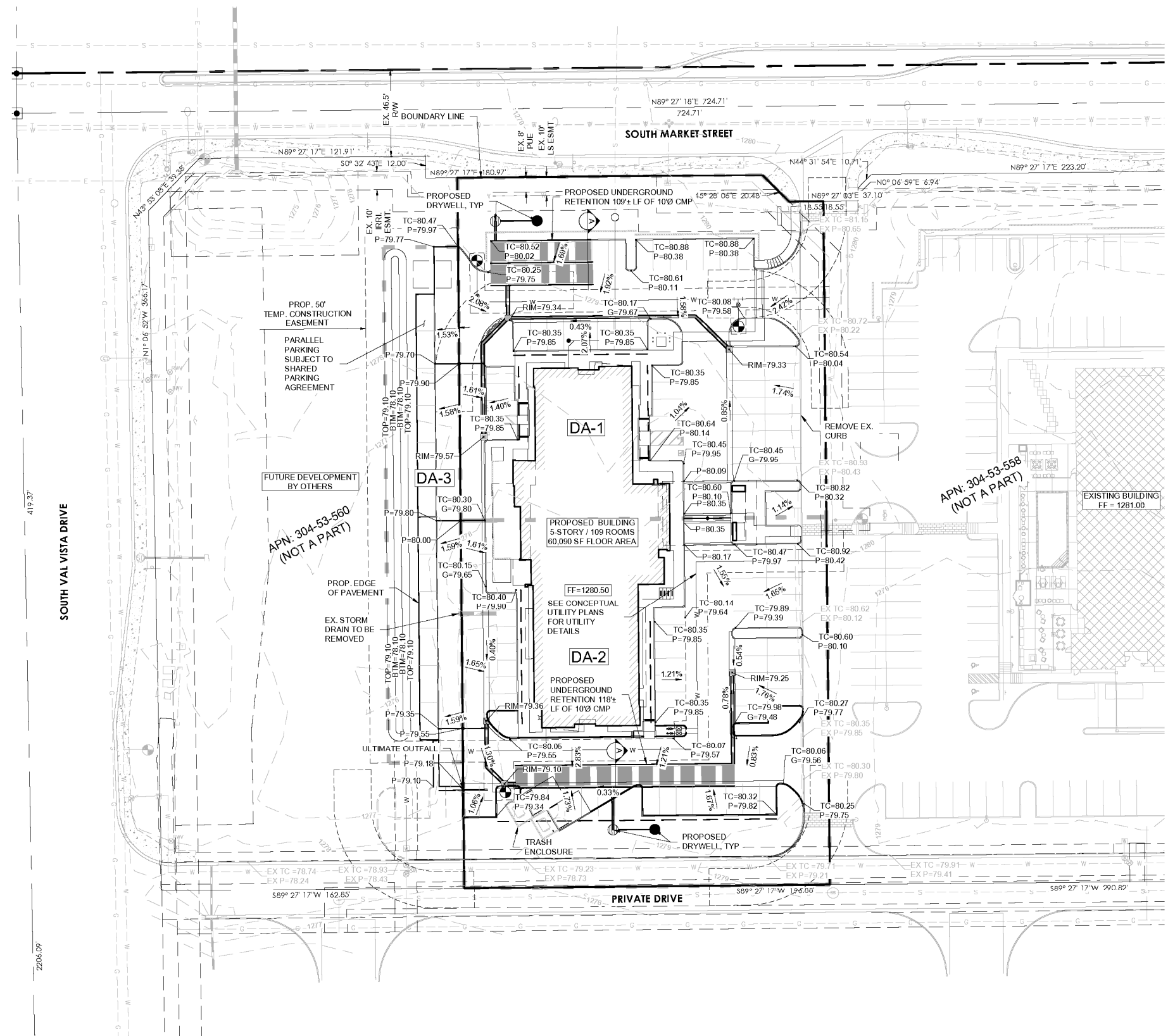
SHEET NO.  
**1 OF 1**



TYPICAL UNDERGROUND RETENTION SECTION A-A  
N.T.S.

**LEGEND**

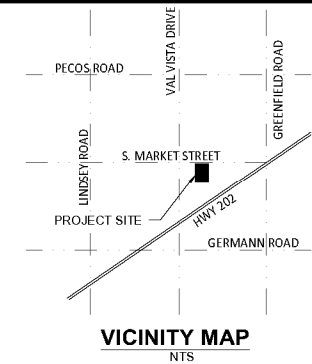
	BOUNDARY LINE
	EASEMENT
	DRYWELL
	STORM DRAIN
	STORM DRAIN CATCH BASIN
	FLOW LINE
	GRADE BREAK
	GRADE BREAK
	FLOW ARROW
	DA-2 DRAINAGE AREA



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# CONCEPTUAL UTILITY PLAN

FOR  
FAIRFIELD BY MARRIOTT



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

### DEVELOPER

KWB HOTELS  
1113 S. MINNESOTA AVENUE  
SIOUX FALLS, SD 57105  
CONTACT: DANNY AMUNDSON  
PHONE: (605) 275-9499

### ENGINEER

ATWELL  
4700 E. SOUTHERN AVE.  
MESA, ARIZONA 85208  
CONTACT: CASEY PENNINGTON  
PHONE: (480) 218-8831

### ARCHITECT

PK ARCHITECTS  
4700 E. SOUTHERN AVE.  
TEMPE, ARIZONA 85282  
CONTACT: MICHAEL PORTER  
PHONE: (602) 283-1620

### ZONING

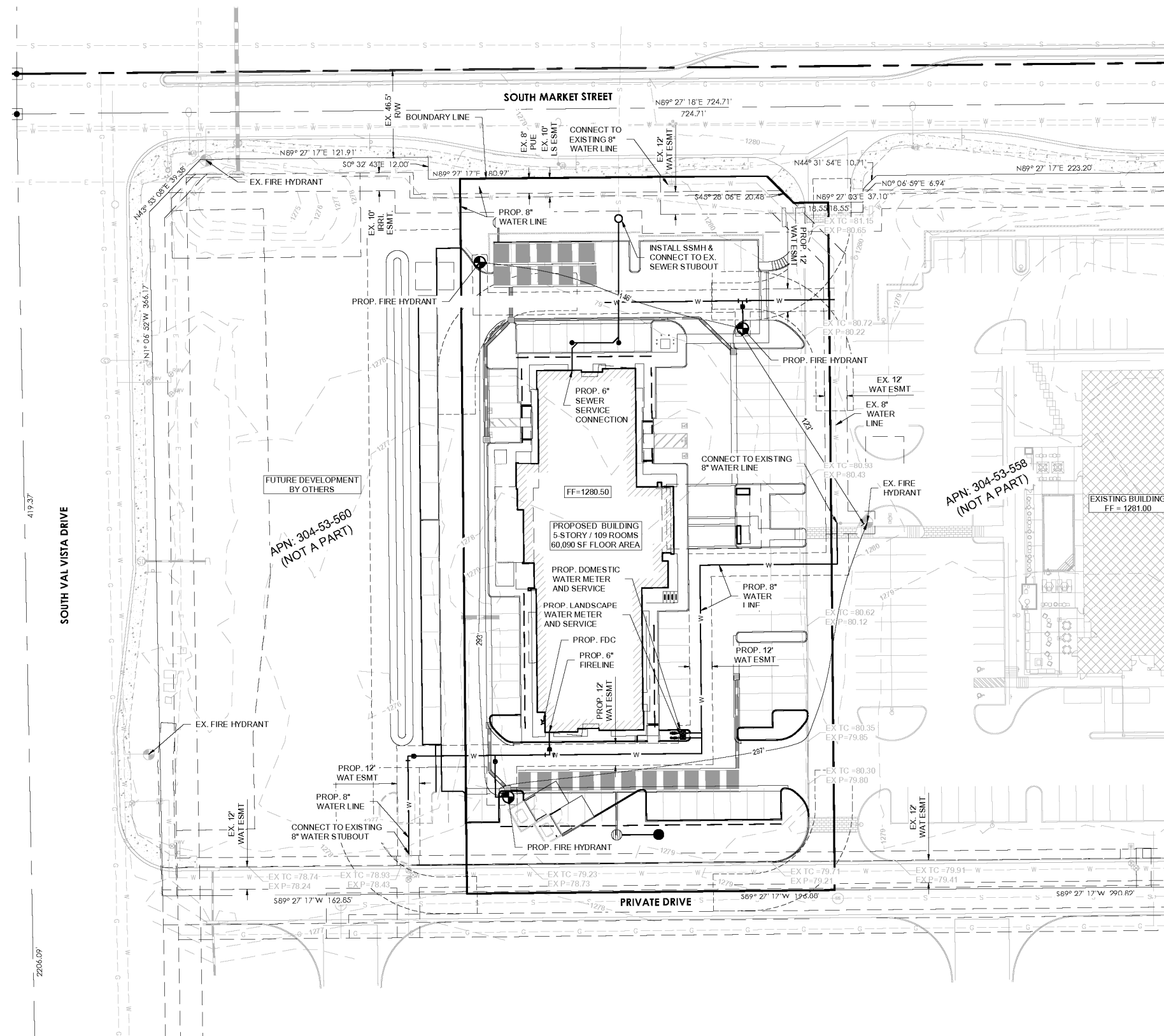
REGIONAL COMMERCIAL (RC)

### AREA

GROSS SITE AREA: 74,902 SF; 1.7 ACRES

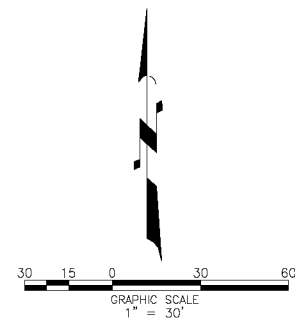
### FLOODPLAIN DESIGNATION

THIS SITE IS LOCATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) NATIONAL FLOOD INSURANCE PROGRAM (NIFP), FLOOD INSURANCE RATE MAPS (FIRM) NO. 04013C2742M, DATED NOVEMBER 4, 2015. THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X".



**LEGEND**

	BOUNDARY LINE
	EASEMENT
	DRYWELL
	STORM DRAIN
	STORM DRAIN CATCH BASIN
	FLOW LINE
	GRADE BREAK
	GRADE BREAK
	FLOW ARROW
	DRAINAGE AREA



CONCEPTUAL UTILITY PLAN  
FAIRFIELD BY MARRIOTT  
GILBERT, AZ



REVISIONS:


PRELIMINARY  
NOT FOR  
CONSTRUCTION

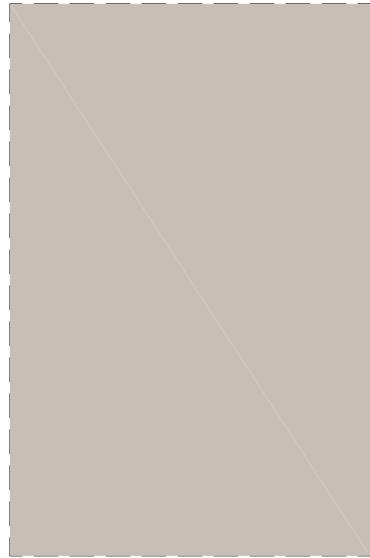
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DR. Z GASE
JOB NO. 22003262
FILE NO. 22003262

SHEET NO.  
1 OF 1

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## FAIRFIELD HOTEL - GILBERT, ARIZONA



**EF1**  
EIFS COLOR 1  
PAREX STOLIT LOUSAN FREEFORM SMOOTH  
COLOR: NAC 185223  
TWILIGHT GRAY



**EF2**  
EIFS COLOR 2  
PAREX SAND COURSE  
COLOR: NAC 186231  
BLACK BEAN SOUP



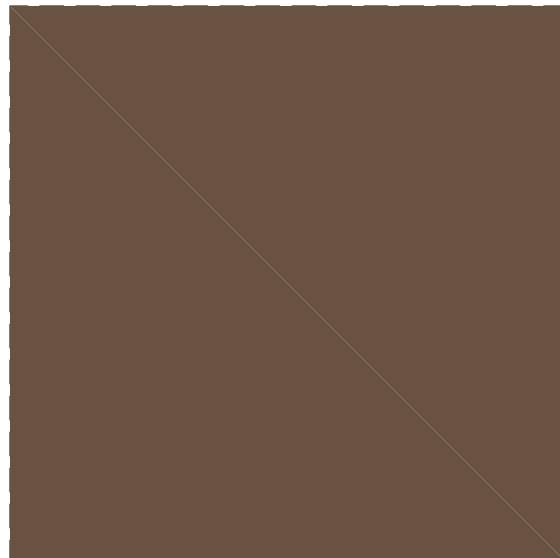
**EF3**  
EIFS COLOR 3  
PAREX SAND COURSE  
COLOR: NAC 186234  
COPPER MOUNTAIN



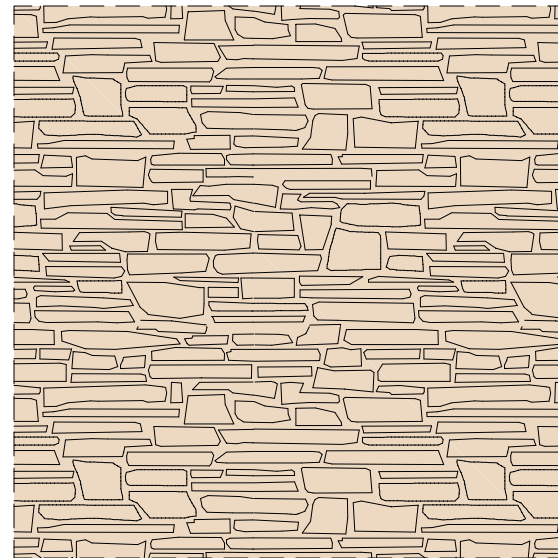
**EF4**  
EIFS COLOR 4  
PAREX SAND COURSE  
COLOR: NAC 186235  
ANJOU PEAR



**EF4a**  
EIFS COLOR 4a  
PAREX SAND COURSE  
COLOR: NAC 186236  
GOLDEN RULE



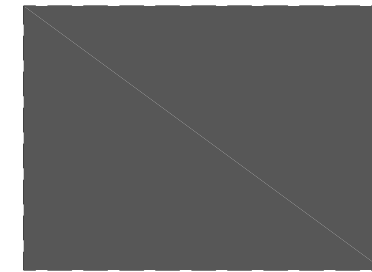
**SP1**  
PHENOLIC WALL PANELS  
METEON TRESPA (OR EQUAL) - "HARDENED BROWN"



**ST1**  
NATURAL CUT COURSE STONE  
ELDORADO STONE OR EQUAL - "OYSTER"



**PT1**  
EXPOSED STEEL - STRUCTURE  
COLOR: MATCH BONE WHITE (PVDF)  
(PPG#UC43350 OR EQUAL)



**PT2**  
FASCIAS/TRIM  
COLOR: PAINT TO MATCH NAC 186231  
BLACK BEAN SOUP

**COLOR & MATERIAL LEGEND:**

<b>EXTERIOR INSULATION FINISHING SYSTEM (EIFS)</b>		<b>SOLID PHENOLIC WALL PANELS</b>	
EF-1	EIFS PAREX STOLIT LOTUSAN FREEFORM SMOOTH COLOR: NAC 186223 TWILIGHT GRAY	SP-1	PHENOLIC WALL PANEL SYSTEM METEON TRESPA COLOR: NATURALS NM05 HARDENED BROWN
EF-2	EIFS PAREX SAND COURSE COLOR: NAC 186231 BLACK BEAN SOUP	<b>STONE</b>	
EF-3	EIFS PAREX SAND COURSE COLOR: NAC 186234 COPPER MOUNTAIN	ST-1	STONE ELDORADO STONE 'CUT COARSE' COLOR: OYSTER
EF-4	EIFS PAREX SAND COURSE COLOR: NAC 186235 ANJOU PEAR	<b>METALS/PAIN/MATCH</b>	
EF-4A	EIFS PAREX SAND COURSE COLOR: NAC 186236 GOLDEN RULE	PF-1	EXPOSED STEEL STRUCTURE COLOR: MATCH BONE WHITE (PVD) (PPG#UC43350)
		PF-2	FASCIAS/TRIM COLOR: PAINT TO MATCH NAC 186231 BLACK BEAN SOUP

**KEYNOTES:**

- 01 GENERAL DATA**  
1.01 PROPOSED HOTEL SIGNS ARE SHOWN FOR REFERENCE ONLY  
ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE APPLICATION AND PERMIT BY OWNER  
1.02 PROPOSED ADDRESSING ON BUILDING FRONT - COORDINATE LOCATION WITH OWNER/ADDRESSING/FIRE DEPARTMENT
- 05 METALS**  
5.01 LATTICE SHADE STRUCTURE
- 07 THERMAL & MOISTURE PROTECTION**  
7.01 EIFS EXTERIOR FINISH SYSTEM - SEE SPECIFICATIONS  
7.02 24 GAUGE ROLLFAB METAL CAP w/ KYNAR 500 FINISH MATCH ADJACENT SURFACES  
7.03 HIGH IMPACT RESISTANT EIFS AT FIRST LEVEL - FROM FINISHED FLOOR TO MIN. 8'-0" ABOVE FINISHED FLOOR
- 15 MECHANICAL**  
15.01 MECHANICAL UNIT BEYOND - COORDINATE PARAPET SCREENING W/ EQUIPMENT MANUFACTURER PRIOR TO CONSTRUCTION
- 16 ELECTRICAL**  
16.01 WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL

**GENERAL NOTES:**

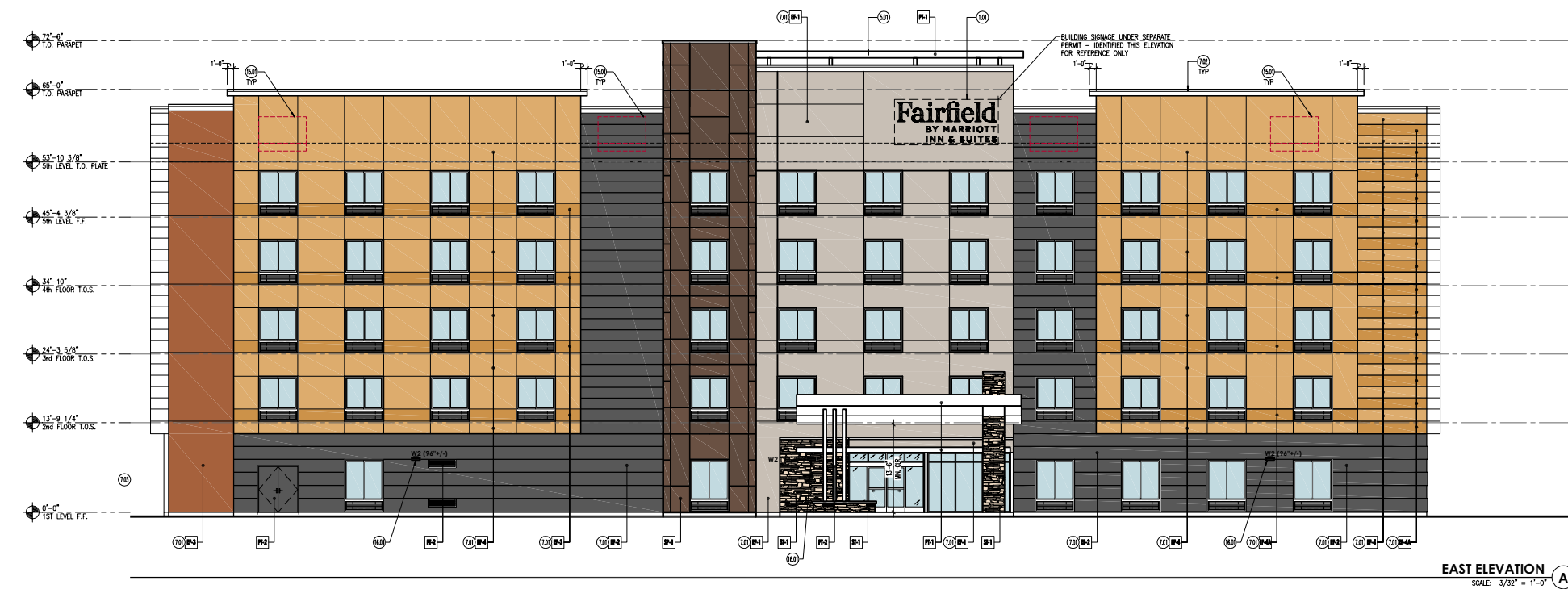
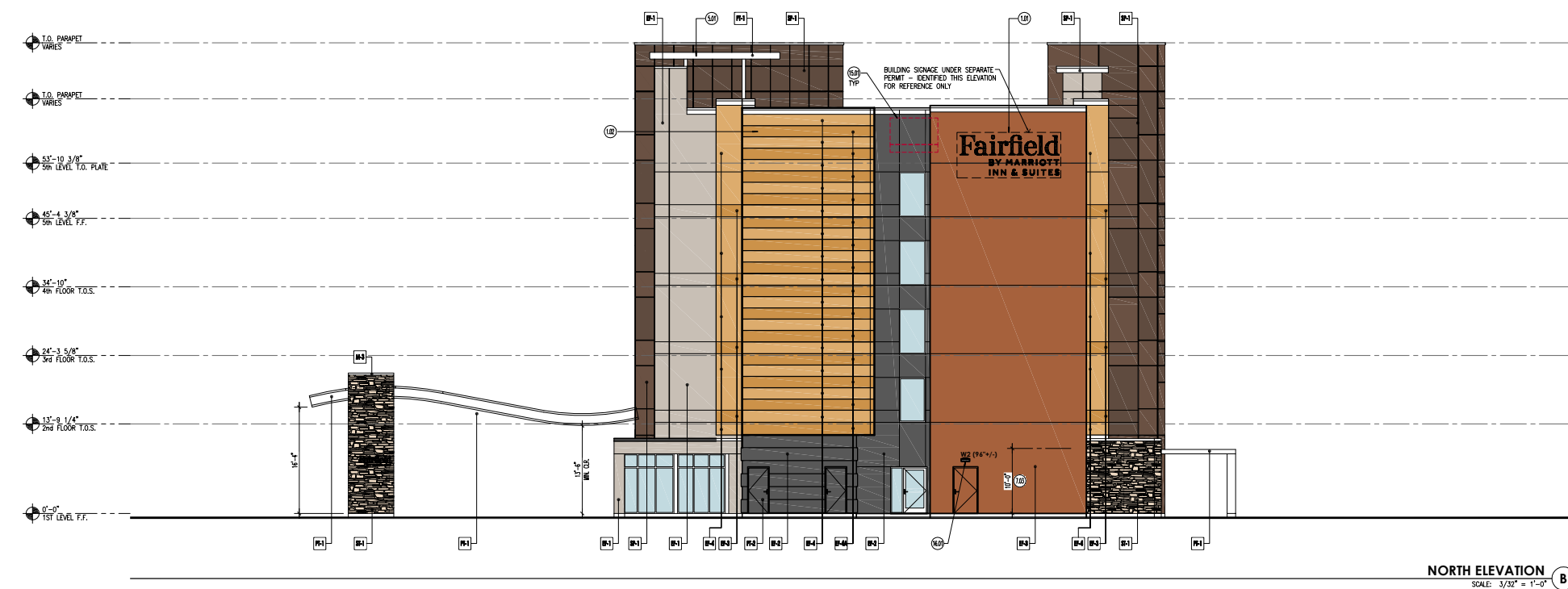
- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS. ALL GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.
  - SACK, PRIME AND PAINT EXPOSED CONCRETE STEM TYPICAL
  - ADD DIVERTER IN EIFS SYSTEM ABOVE ALL WINDOWS
  - WATERPROOF ALL PENETRATIONS TO BUILDING
- INDICATES MECHANICAL VENT TYPE

**EXTERIOR FINISH NOTES:**

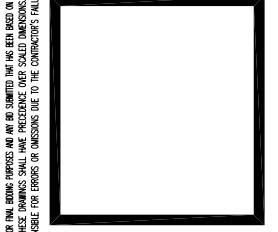
- WINDOWS AND ALUMINUM STOREFRONT COMPONENTS RECEIVE CLEAR ANODIC FINISH
- SQUARE ALL EIFS CORNERS AND PROVIDE CONTROL JOINTS AT MANUFACTURERS REQUIREMENTS
- FINISH JOINT PATTERNS TO BE ORIENTED PER ELEVATION AND SET PER MANUFACTURER STANDARDS AND DETAILS

**ROOF DRAINAGE METHOD:**

- ROOF DRAINS AND OVERFLOW ROOF DRAINS SHALL BE CENTRALLY LOCATED IN ROOF ABOVE CORRIDORS. ALL PIPING WILL BE ROUTED THROUGH THE CAVITY SPACE OF ROOF TRUSSES INTO FRAMED OUT CONSTRUCTION AND SHALL HAVE VERTICAL DROP TO SECOND FLOOR CEILING SPACE. AT SECOND FLOOR CEILING SPACE, HORIZONTAL PIPING SHALL CONTINUE TO EXTERIOR WALL, ROUTE DOWNWARD TO 1ST FLOOR LEVEL. OVERFLOW PIPE SHALL DISCHARGE TO DAYLIGHT. MAIN ROOF DRAIN SHALL EXTEND BELOW GRADE AND ROUTE TO STORM DRAIN TIE-INS PER CIVIL DOCUMENTS.



**PK ARCHITECTS, PC**  
45115 S. McCLINTOCK DRIVE, #206  
TEMPE, ARIZONA 85282  
PHONE: (602) 283-1620  
FAX: (602) 283-1621



**Fairfield BY MARRIOTT**  
Val Vista Drive / Market Street  
GILBERT, AZ

REVISION:	DATE:	COMMENTS:

**PRINT DATE:**  
04-26-2023

PROJECT NO:	22306
DATE:	04-12-2023
DRAWN BY:	MP
CHECKED BY:	SK/JP

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SHEET NUMBER:  
**A3.1**

BE ADVISED THIS SET OF PLANS HAS BEEN PREPARED FOR BUILDING PERMITS PURPOSES ONLY. ALL APPROVALS HAVE BEEN OBTAINED FROM ALL APPLICABLE AGENCIES. THIS SET OF PLANS SHALL NOT BE USED FOR OTHER PURPOSES. ANY CHANGES TO THESE PLANS SHALL BE MADE BY THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. SHOULD IT APPEAR THAT THE WORK COVERED BY THE CONTRACT DOCUMENTS IS NOT SUFFICIENTLY DETAILED, EXPANDED OR COMPLETED INFORMATION EXISTS, THE CONTRACTOR SHALL NOTIFY PK ARCHITECTS, P.C. IN WRITING. PK ARCHITECTS, P.C. SHALL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS DUE TO THE CONTRACTOR'S FAILURE TO PROPERLY VERIFY DIMENSIONS, SHOP DETAILS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING.

**COLOR & MATERIAL LEGEND:**

**EXTERIOR INSULATION FINISHING SYSTEM (EIFS)**

- EF-1 EIFS PAREX STOLIT LOTUSAN FREEFORM SMOOTH  
COLOR: NAC 185223 TWILIGHT GRAY
- EF-2 EIFS PAREX SAND COURSE  
COLOR: NAC 186231 BLACK BEAN SOUP
- EF-3 EIFS PAREX SAND COURSE  
COLOR: NAC 186234 COPPER MOUNTAIN
- EF-4 EIFS PAREX SAND COURSE  
COLOR: NAC 186235 ANJOU PEAR
- EF-4M EIFS PAREX SAND COURSE  
COLOR: NAC 186236 GOLDEN RULE

**SOLID PHENOLIC WALL PANELS**

- SP-1 PHENOLIC WALL PANEL SYSTEM  
METEON TRESPA  
COLOR: NATURALS NM05 HARDENED BROWN

**STONE**

- ST-1 STONE  
ELDORADO STONE 'CUT COARSE'  
COLOR: OYSTER

**METALS/PAINT/MATCH**

- PF-1 EXPOSED STEEL STRUCTURE  
COLOR: MATCH BONE WHITE (PVD)  
(PPG#UC43350)
- PF-2 FASCIAS/TRIM  
COLOR: PAINT TO MATCH NAC 186231  
BLACK BEAN SOUP

**KEYNOTES:**

- 01 GENERAL DATA**  
1.01 PROPOSED HOTEL SIGNS ARE SHOWN FOR REFERENCE ONLY  
ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER  
SEPARATE APPLICATION AND PERMIT BY OWNER  
1.02 PROPOSED ADDRESSING ON BUILDING FRONT – COORDINATE  
LOCATION WITH OWNER/ADDRESSING/FIRE DEPARTMENT
- 05 METALS**  
5.01 LATTICE SHADE STRUCTURE
- 07 THERMAL & MOISTURE PROTECTION**  
7.01 EIFS EXTERIOR FINISH SYSTEM – SEE SPECIFICATIONS  
7.02 24 GAUGE ROLLFAB METAL CAP w/ KYNAR 500 FINISH MATCH  
ADJACENT SURFACES  
7.03 HIGH IMPACT RESISTANT EIFS AT FIRST LEVEL – FROM FINISHED  
FLOOR TO MIN. 8'-0" ABOVE FINISHED FLOOR
- 15 MECHANICAL**  
15.01 MECHANICAL UNIT BEYOND – COORDINATE PARAPET SCREENING  
W/ EQUIPMENT MANUFACTURER PRIOR TO CONSTRUCTION
- 16 ELECTRICAL**  
16.01 WALL MOUNTED LIGHT FIXTURE – SEE ELECTRICAL

**GENERAL NOTES:**

- ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY  
SCREENED BY PARAPET WALLS. ALL GROUND MOUNTED MECHANICAL  
EQUIPMENT SHALL BE SCREENED BY SOLID MASONRY WALLS AND  
GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE  
MECHANICAL EQUIPMENT.
- SACK, PRIME AND PAINT EXPOSED CONCRETE STEM TYPICAL
- ADD DIVERTER IN EIFS SYSTEM ABOVE ALL WINDOWS
- WATERPROOF ALL PENETRATIONS TO BUILDING

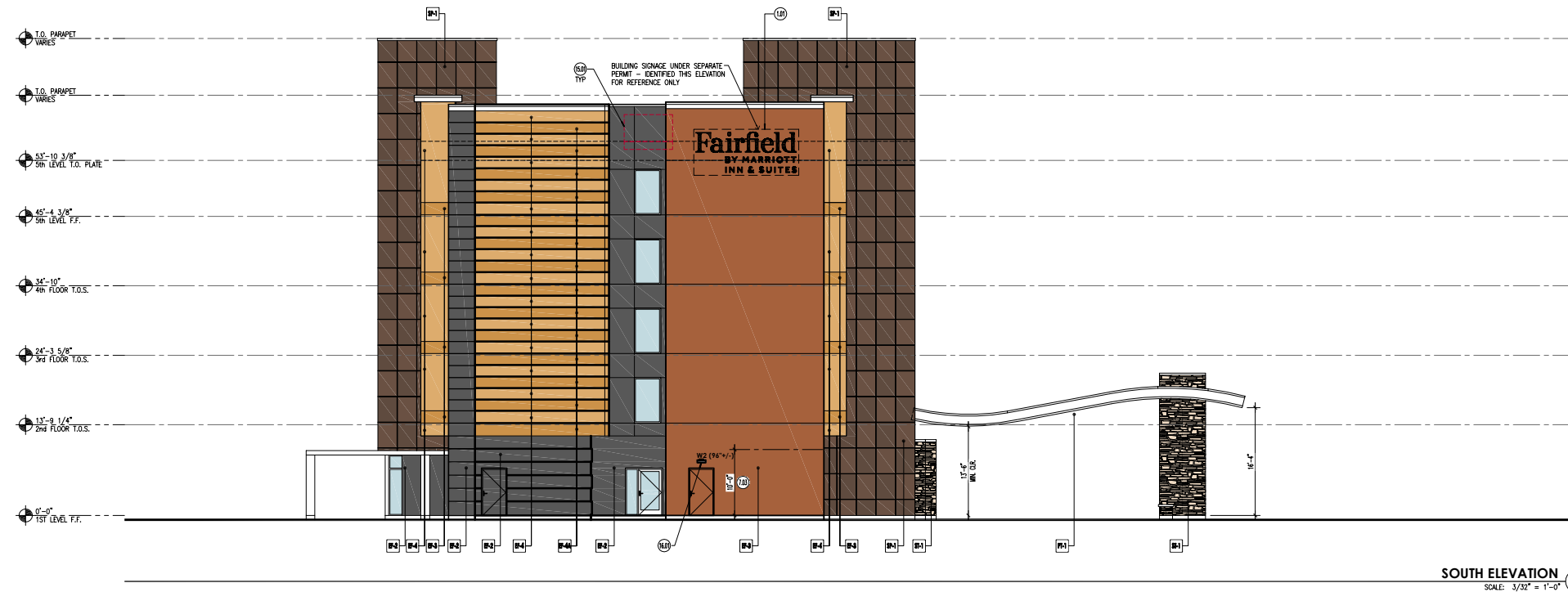
○ INDICATES MECHANICAL VENT TYPE

**EXTERIOR FINISH NOTES:**

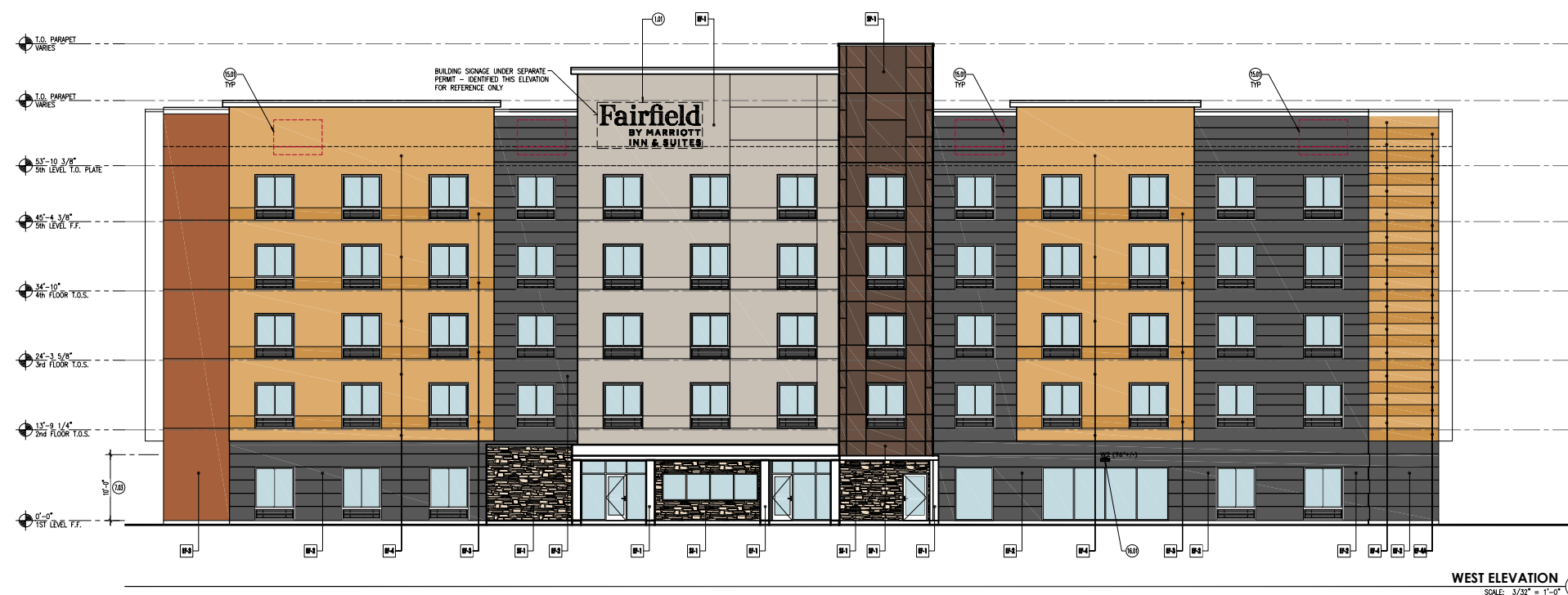
- WINDOWS AND ALUMINUM STOREFRONT COMPONENTS RECEIVE CLEAR  
ANODIC FINISH
- SQUARE ALL EIFS CORNERS AND PROVIDE CONTROL JOINTS AT  
MANUFACTURERS REQUIREMENTS
- FINISH JOINT PATTERNS TO BE ORIENTED PER ELEVATION AND SET  
PER MANUFACTURER STANDARDS AND DETAILS

**ROOF DRAINAGE METHOD:**

- ROOF DRAINS AND OVERFLOW ROOF DRAINS SHALL BE CENTRALLY  
LOCATED IN ROOF ABOVE CORRIDORS. ALL PIPING WILL BE ROUTED  
THROUGH THE CAVITY SPACE OF ROOF TRUSSES INTO FRAMED OUT  
CONSTRUCTION AND SHALL HAVE VERTICAL DROP TO SECOND FLOOR  
CEILING SPACE. AT SECOND FLOOR CEILING SPACE, HORIZONTAL  
PIPING SHALL CONTINUE TO EXTERIOR WALL, ROUTE DOWNWARD TO  
1ST FLOOR LEVEL. OVERFLOW PIPE SHALL DISCHARGE TO DAYLIGHT.  
MAIN ROOF DRAIN SHALL EXTEND BELOW GRADE AND ROUTE TO  
STORM DRAIN TIE-INS PER CIVIL DOCUMENTS.



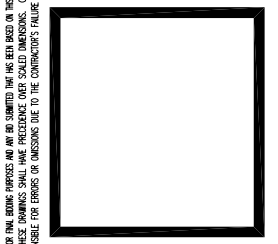
**SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**PK ARCHITECTS, P.C.**  
45115 S. McCLINTOCK DRIVE, #206  
TEMPE, ARIZONA 85282  
PHONE: (602) 283-1620  
FAX: (602) 283-1621



**Fairfield**  
BY MARRIOTT  
Val Vista Drive / Market Street  
GILBERT, AZ

REVISION:	DATE:	COMMENTS:

**PRINT DATE:**  
04-26-2023

PROJECT NO:	22306
DATE:	04-12-2023
DRAWN BY:	MP
CHECKED BY:	SK/JP

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SHEET NUMBER:  
**A3.2**

BE ADVISED THIS SET OF PLANS HAS BEEN PREPARED FOR BUILDING PERMITS PURPOSES ONLY. AT THE TIME THIS SET OF PLANS WAS PREPARED, THE SET OF PLANS SHOULD BE CONSIDERED PRELIMINARY IN NATURE AND NOT FOR CONSTRUCTION. THIS SET OF PLANS SHALL NOT BE USED FOR FINANCING PURPOSES, AND ANY BE OBTAINED THAT HAS BEEN OBTAINED FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. SHOULD IT APPEAR THAT THE WORK COVERED BY THE CONTRACT DOCUMENTS IS NOT SUFFICIENTLY DETAILED, EXPANDED OR COMPLETING INFORMATION EXISTS, THE CONTRACTOR SHALL NOTIFY PK ARCHITECTS, P.C. IN WRITING. PK ARCHITECTS, P.C. SHALL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS MADE TO THE CONTRACTOR'S FAILURE TO PROPERLY VERIFY CONTRACT DOCUMENTS, SHOP DETAILS SHALL BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING.

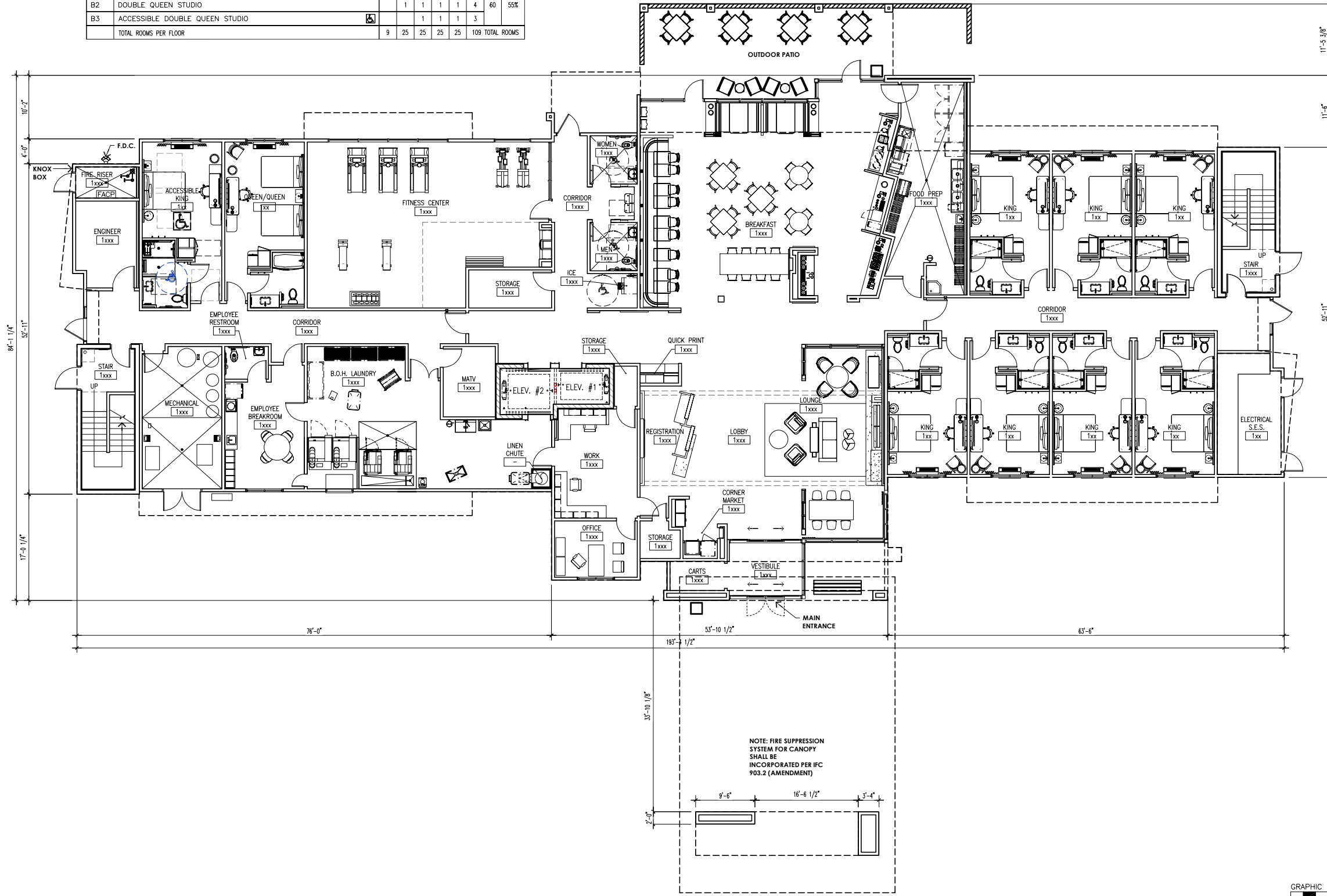
**GUESTROOM MATRIX**

ACCESSIBLE ROOMS: (7) REQUIRED: [(5) GUESTROOMS WITH ACCESSIBLE TUBS + (2) GUESTROOMS WITH ROLL-IN SHOWERS PROVIDED]  
(PER TABLE 224.2 GUESTROOMS WITH MOBILITY FEATURES)  
HEARING IMPAIRED ROOMS: 12 REQUIRED (11) PROVIDED + (1) AS PART OF ACCESSIBLE ROOMS  
(NOT MORE THAN 10% PER SECTION 224.5 OF ADA) = (12) HEARING IMPAIRED ROOMS

TYPE	DESCRIPTION	1ST	2ND	3RD	4TH	5TH	TOTAL	TOTAL TYPE	% OF TOTAL
A1	KING	7	2	2	2	2	15		
A1a	KING		1	1	1	1	4		
A1b	KING		1	1	1	1	4		
A3	ACCESSIBLE KING		1				1	49	45%
A4	KING STUDIO		6	5	5	5	21		
A5	ACCESSIBLE KING SUITE		1	1	1		3		
A6	KING					1	1		
B1	DOUBLE QUEEN STUDIO	1	13	13	13	13	53		
B2	DOUBLE QUEEN STUDIO		1	1	1	1	4	60	55%
B3	ACCESSIBLE DOUBLE QUEEN STUDIO			1	1	1	3		
TOTAL ROOMS PER FLOOR		9	25	25	25	25	109	TOTAL ROOMS	

**GENERAL NOTES:**

- ALL WALLS ARE TO BE 2x6 WOOD CONSTRUCTION UNLESS NOTED OTHERWISE - SEE STRUCTURAL PLANS.
- ENTIRE EXTERIOR TO BE SHEATHED WITH OSB - SEE STRUCTURAL FOR SHEAR REQUIREMENTS - SEE WALL TYPE ASSEMBLIES FOR ADDITIONAL INFORMATION.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD, OR FACE OF MASONRY ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING - SEE EXTERIOR WALL TYPE ASSEMBLIES.
- CONTRACTOR TO COORDINATE WITH OWNER FOR ALL LOW VOLTAGE SYSTEMS AND REQUIRED CONDUIT PLACEMENT PRIOR TO POURING CONCRETE.
- ALL DECORATIVE MATERIALS ARE REQUIRED TO BE MAINTAINED IN FLAME-RETARDANT CONDITIONS PER INTERNATIONAL FIRE CODE.
- AN "IN FIRE EMERGENCY" SIGN MUST BE DISPLAYED ABOVE EACH ELEVATOR CALL BUTTON AND INSIDE EACH ELEVATOR CAB. SEE THE FRANCHISE STANDARDS GUIDE FOR DESIGN SPECIFICATIONS.
- DIRECTIONAL SIGNAGE - DISPLAY IN ALL HALLWAYS AND WALKWAYS PROFESSIONALLY PRODUCED DIRECTIONAL SIGNAGE TO GUESTROOMS, MEETING ROOMS, SWIMMING POOL, PUBLIC RESTROOMS, FITNESS CENTER AND ELEVATORS ON THAT FLOOR AND REFER TO FRANCHISE STANDARDS FOR SIGNAGE REQUIREMENTS
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- COORDINATE WITH OWNER IN AGREED UPON MOCK UP ROOMS FOR BLUE TAPE ROUGH IN LAYOUT AND INSPECTION PRIOR TO INSTALLATION IN ADDITIONAL ROOMS.
- ALL FINISHES TO BE PER BRAND STANDARD/INTERIOR DESIGN DOCUMENTS.
- WASHER AND DRYER CONTROLS SHALL COMPLY ACCESSIBILITY GUIDELINES.
- GENERAL CONTRACTOR TO COORDINATE AND PROVIDE ALL NECESSARY MECHANICAL, PLUMBING, AND ELECTRICAL CONNECTIONS AND REQUIRED STRUCTURAL SUPPORT NECESSARY TO INSTALL AND OPERATE ANY AND ALL EQUIPMENT SHOWN INCLUDING ITEMS MARKED (N.C.)
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- FLOOR CLEAN-OUTS ARE TO BE LOCATED IN INCONSPICUOUS LOCATIONS AND SHALL NOT BE WITHIN GUESTROOMS. NO CLEAN-OUTS WILL BE PERMITTED IN CARPETED AREAS.
- SMOKE ALARMS SHALL BE INTERCONNECTED (CONNECTED UNITS ONLY) TO COMPLY PER SECTION 907 I.F.C. (INCLUDING LOCAL AMENDMENTS)
- ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. PROVIDE A SIGN ON OR NEAR THE EXIT DOOR, READING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED" AT MAIN EXIT ONLY PER SECTION 1010.1.9.4
- A TACTILE SIGN (DEFERRED SUBMITTAL) STATING "EXIT" AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN EXIT STAIRWAY, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE PER SECTION 1013.4



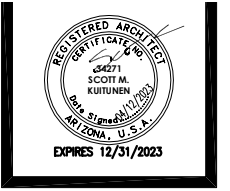
NOTE: FIRE SUPPRESSION SYSTEM FOR CANOPY SHALL BE INCORPORATED PER IFC 903.2 (AMENDMENT)

**BUILDING DATA:**  
TOTAL GROSS BUILDING AREA:  
1ST FLOOR: 11,730 S.F.  
2ND FLOOR: 12,090 S.F.  
3RD FLOOR: 12,090 S.F.  
4TH FLOOR: 12,090 S.F.  
5TH FLOOR: 12,090 S.F.  
TOTAL: 60,090 S.F.

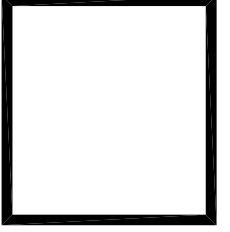
**1st FLOOR - FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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**Fairfield BY MARRIOTT**  
San Tan Village Parkway / Market Street  
GILBERT, AZ

REVISION:	DATE:	COMMENTS:

**PRINT DATE:**  
04-12-2023

PROJECT NO: 22306  
DATE: 04-12-2023  
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CHECKED BY: SK/JP

SHEET TITLE:  
**1ST FLOOR FLOOR PLAN**

SHEET NUMBER:  
**A2.1**

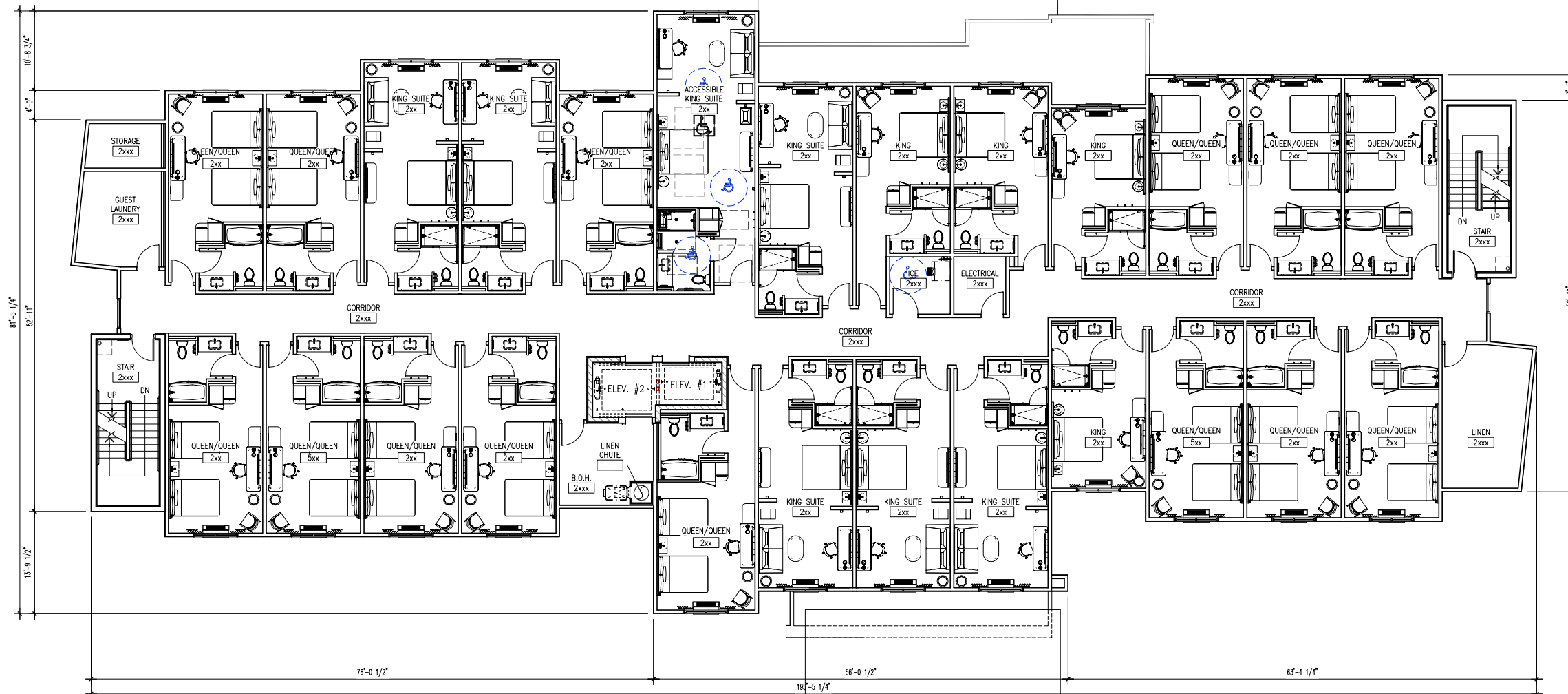
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 (NOT MORE THAN 10% PER SECTION 224.5 OF ADA) = (12) HEARING IMPAIRED ROOMS

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A4	KING STUDIO		6	5	5	5	21		
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A6	KING					1	1		
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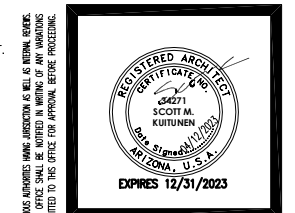
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 5TH FLOOR: 12,090 S.F.  
 TOTAL: 60,090 S.F.

**2nd FLOOR - FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**PK ARCHITECTS, P.C.**  
 4515 S. McCLINTOCK DRIVE, #206  
 TEMPE, ARIZONA 85282  
 PHONE: (602) 283-1620  
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**Fairfield**  
 BY MARRIOTT  
 Sun Tan Village Parkway / Market Street  
 GILBERT, AZ

REVISION:	DATE:	COMMENTS:

**PRINT DATE:**  
 04-12-2023

PROJECT NO: 22306  
 DATE: 04-12-2023  
 DRAWN BY: MP  
 CHECKED BY: SK/JP

SHEET TITLE:  
**2ND FLOOR FLOOR PLAN**

SHEET NUMBER:  
**A2.2**

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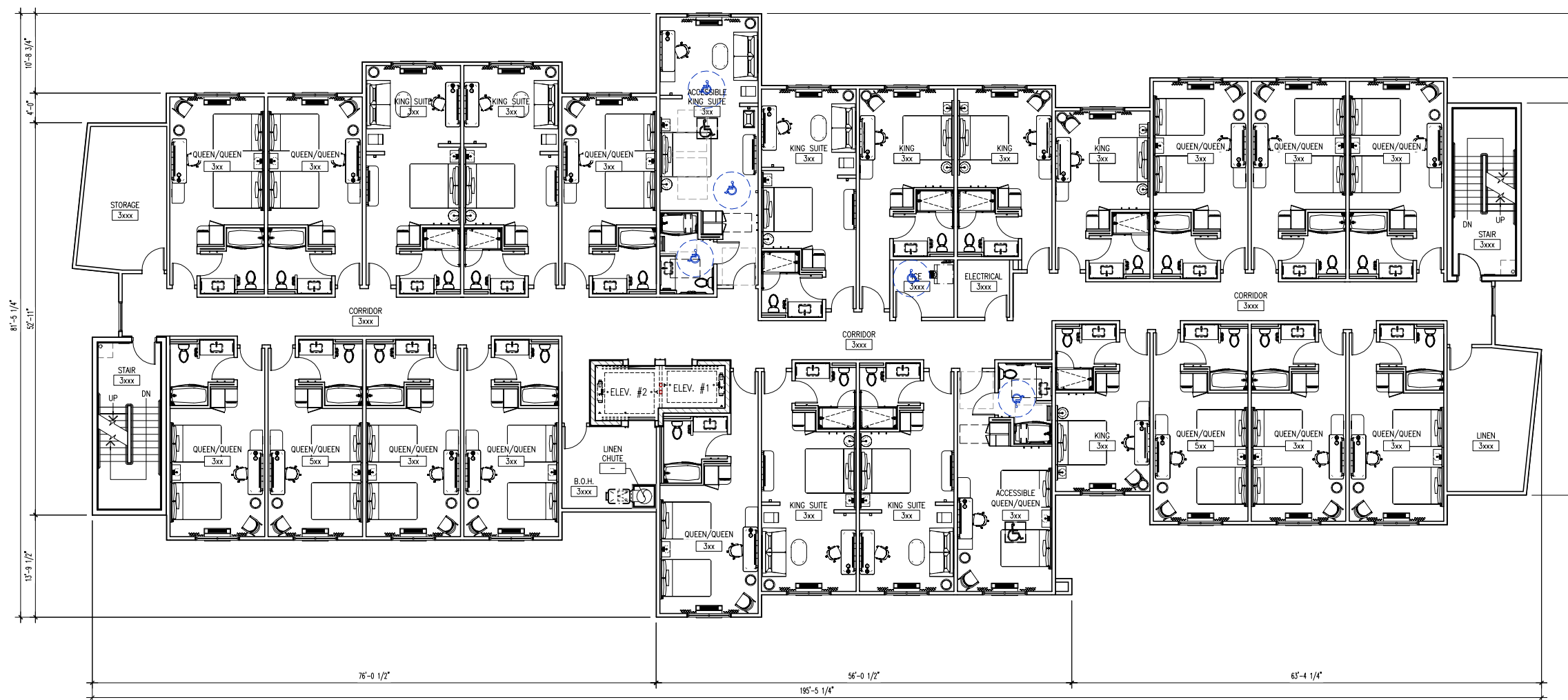
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### BUILDING DATA:

TOTAL GROSS BUILDING AREA:  
 1ST FLOOR: 11,730 S.F.  
 2ND FLOOR: 12,090 S.F.  
 3RD FLOOR: 12,090 S.F.  
 4TH FLOOR: 12,090 S.F.  
 5TH FLOOR: 12,090 S.F.  
 TOTAL: 60,090 S.F.

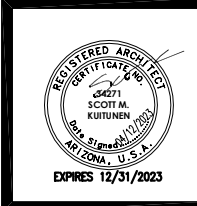
### 3rd FLOOR - FLOOR PLAN

SCALE: 1/8" = 1'-0"

GRAPHIC SCALE (FEET)



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 4515 S. McCLINTOCK DRIVE, #206  
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 PHONE: (602) 283-1620  
 FAX: (602) 283-1621

**Fairfield**  
 BY MARRIOTT  
 Sun Tan Village Parkway / Market Street  
 GILBERT, AZ

REVISION: DATE: COMMENTS:

PRINT DATE:  
 04-12-2023

PROJECT NO: 22306  
 DATE: 04-12-2023  
 DRAWN BY: MP  
 CHECKED BY: SK/JP

SHEET TITLE:  
**3RD FLOOR FLOOR PLAN**

SHEET NUMBER:  
**A2.3**

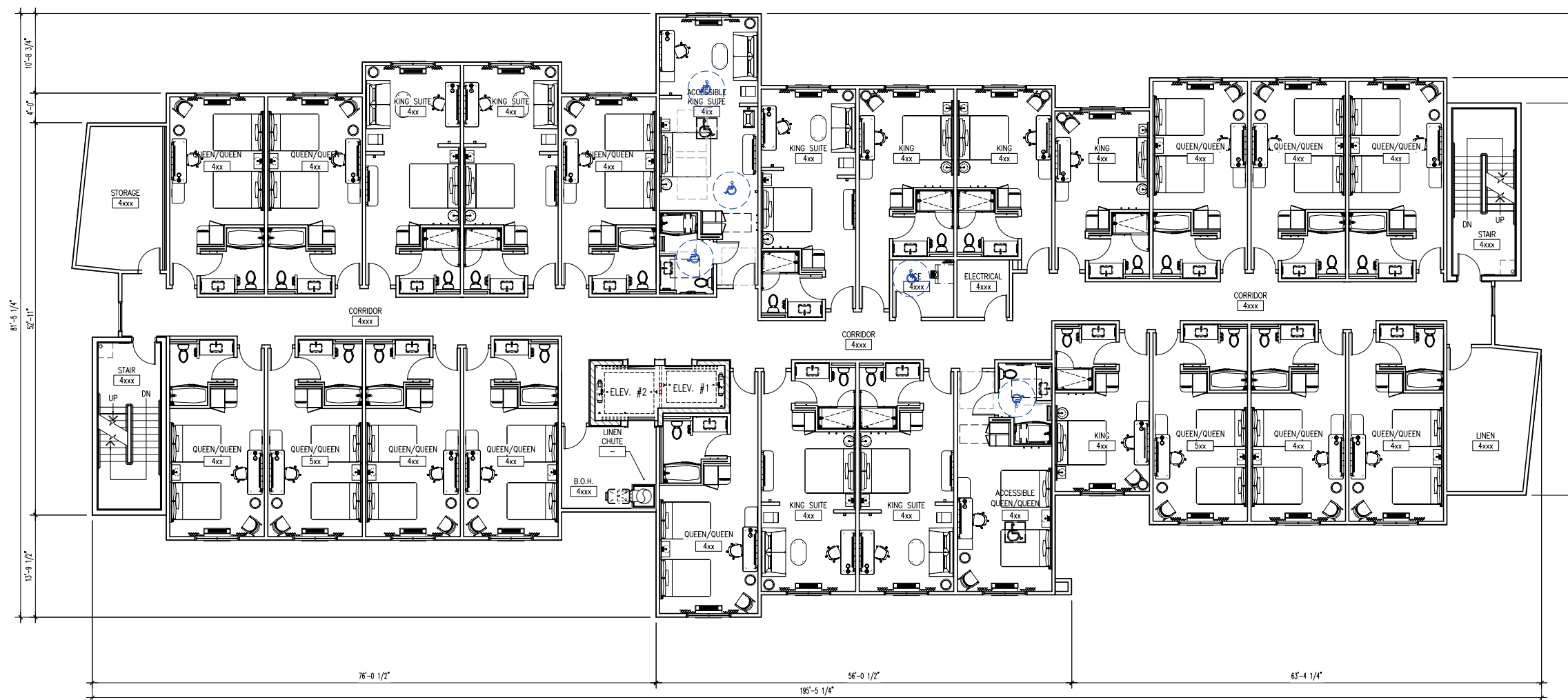
# GUESTROOM MATRIX

ACCESSIBLE ROOMS: (7) REQUIRED: [(5) GUESTROOMS WITH ACCESSIBLE TUBS + (2) GUESTROOMS WITH ROLL-IN SHOWERS PROVIDED] (PER TABLE 224.2 GUESTROOMS WITH MOBILITY FEATURES)  
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TYPE	DESCRIPTION	1ST	2ND	3RD	4TH	5TH	TOTAL	TOTAL TYPE	% OF TOTAL
A1	KING	7	2	2	2	2	15		
A1a	KING		1	1	1	1	4		
A1b	KING		1	1	1	1	4		
A3	ACCESSIBLE KING		1				1	49	45%
A4	KING STUDIO		6	5	5	5	21		
A5	ACCESSIBLE KING SUITE		1	1	1		3		
A6	KING					1	1		
B1	DOUBLE QUEEN STUDIO	1	13	13	13	13	53		
B2	DOUBLE QUEEN STUDIO		1	1	1	1	4	60	55%
B3	ACCESSIBLE DOUBLE QUEEN STUDIO			1	1	1	3		
TOTAL ROOMS PER FLOOR		9	25	25	25	25	109	TOTAL ROOMS	

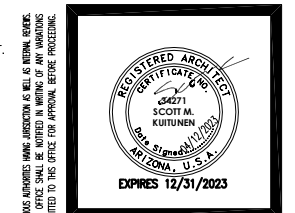
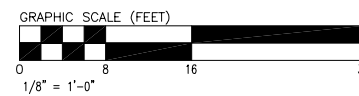
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- ALL FINISHES TO BE PER BRAND STANDARD/INTERIOR DESIGN DOCUMENTS.
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**4th FLOOR - FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



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 PHONE: (602) 283-1620  
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**Fairfield**  
 BY MARRIOTT  
 Sun Tan Village Parkway / Market Street  
 GILBERT, AZ

REVISION: DATE:	COMMENTS:
PRINT DATE:	04-12-2023
PROJECT NO:	22306
DATE:	04-12-2023
DRAWN BY:	MP
CHECKED BY:	SK/JP

SHEET TITLE:  
**4TH FLOOR FLOOR PLAN**

SHEET NUMBER:  
**A2.4**

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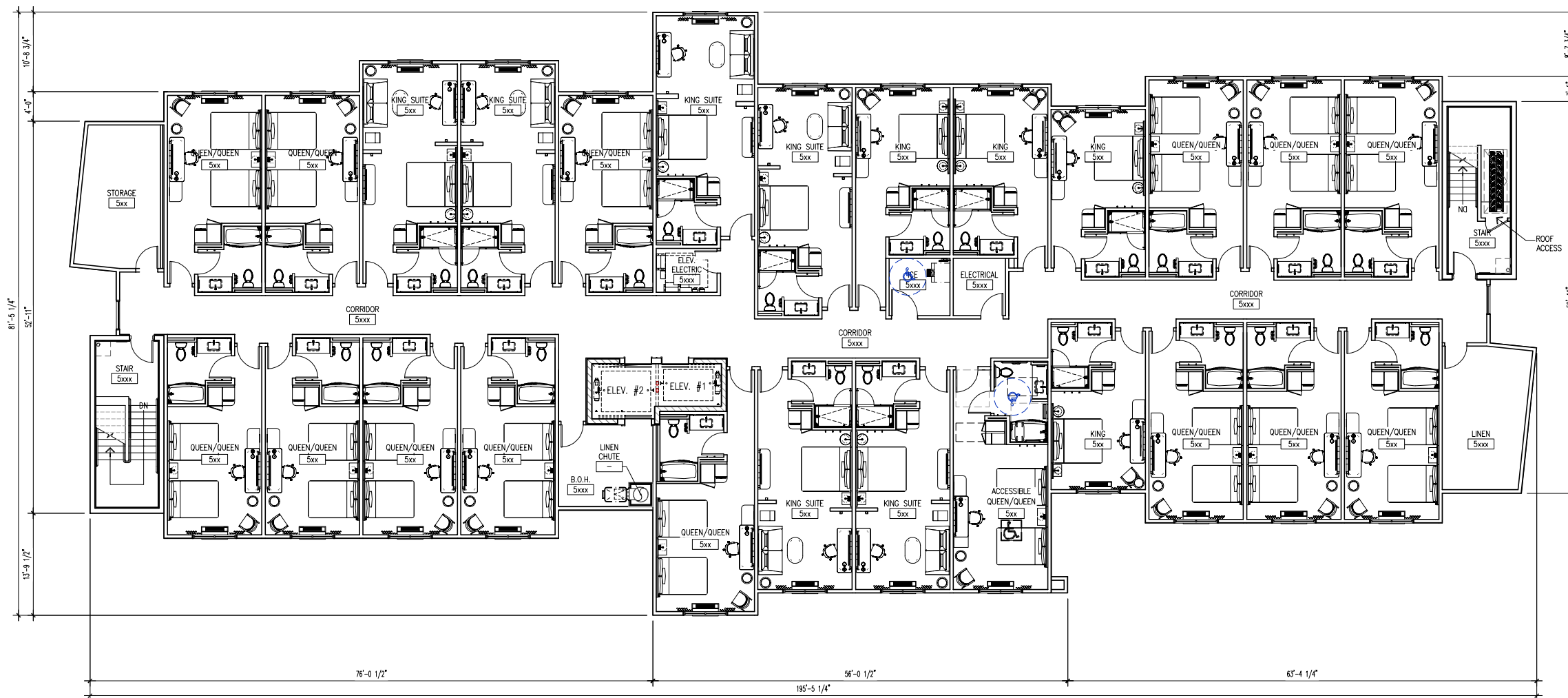
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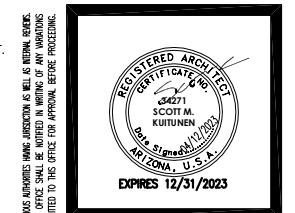
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 5TH FLOOR: 12,090 S.F.  
 TOTAL: 60,090 S.F.

**5th FLOOR - FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"



**PK ARCHITECTS, PC**  
 4515 S. McCLINTOCK DRIVE, #206  
 TEMPE, ARIZONA 85282  
 PHONE: (602) 283-1620  
 FAX: (602) 283-1621

**Fairfield**  
 BY MARRIOTT  
 Sun Tan Village Parkway / Market Street  
 GILBERT, AZ

REVISION: DATE: COMMENTS:

**PRINT DATE:**  
 04-12-2023

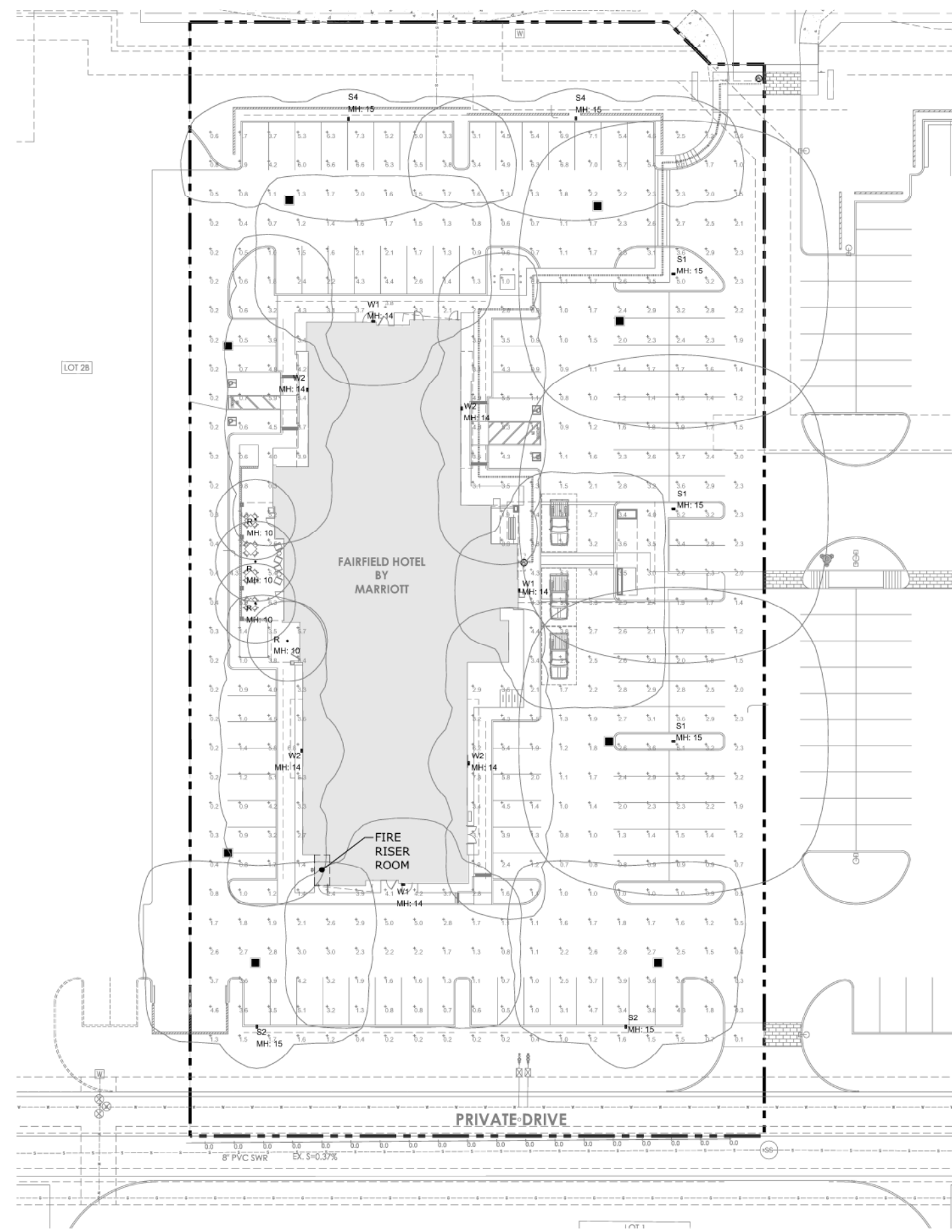
PROJECT NO: 22306  
 DATE: 04-12-2023  
 DRAWN BY: MP  
 CHECKED BY: SK/JP

SHEET TITLE:  
**5TH FLOOR FLOOR PLAN**

SHEET NUMBER:  
**A2.5**

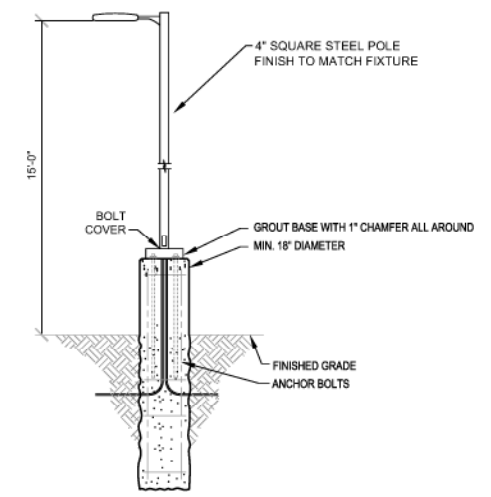
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Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	(MARR)
⊙	4	R	Single	1HC15001614HM00055640-61MDW	0.900	1545	14	HALO
⊙	3	S1	Single	3GALN-SA2C-740-U-1-WG	0.900	14787	158	MCGR
⊙	2	S2	Single	3GALN-SA2C-740-U-1-FT-HSS	0.900	10181	108	MCGR
⊙	2	S4	Single	3GALN-SA2C-740-U-SL2-HSS	0.900	11571	108	MCGR
⊙	3	W1	Single	3GWC-4F-02-LED-E1-74FT-800	0.900	8422	66	MCGR
⊙	4	W2	Single	3GWC-4F-02-LED-E1-SL2-600	0.900	6202	66	MCGR

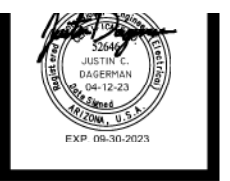
Location	CalcType	Units	Avg	Max	Min	AvgMin	MaxMin
PROPERTY LINE AT S' AFG	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
PROPERTY LINE AT S' AFG_1	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
SITE	Illuminance	Fc	2.37	7.3	0.1	25.70	73.00



**A** PHOTOMETRIC SITE PLAN  
E100 1" = 20'-0"  
0' 5' 10' 20' 40'  
NORTH

**B** LIGHT POLE - MOUNTING DIAGRAM  
E100 NTS

BE ADVISED THAT THE SET OF THESE PLANS HAS BEEN PREPARED FOR THE CONSTRUCTION OF THE PROJECT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE SET OF THESE PLANS HAS BEEN PREPARED BY THE ARCHITECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN THEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN THEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN THEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION SHOWN THEREON.



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**Fairfield BY MARRIOTT**  
San Tan Village Parkway / Market Street  
GILBERT, AZ

REVISION:	DATE:	COMMENTS:

**PRINT DATE:**  
04-12-2022

PROJECT NO:	22306
DATE:	04-12-2023
DRAWN BY:	IMEG
CHECKED BY:	IMEG

SHEET TITLE:  
**PHOTOMETRIC SITE PLAN**

SHEET NUMBER:  
**E100**

Project	Fairfield by Marriott Gilbert, Arizona	Catalog #		Type	W1, W2
Prepared by		Notes		Date	



### McGraw-Edison GWC Galleon Wall

Wall Mount Luminaire

**Typical Applications**  
Exterior Wall • Walkway

#### Product Certifications



#### Connected Systems

- WaveLinX
- Enlighted

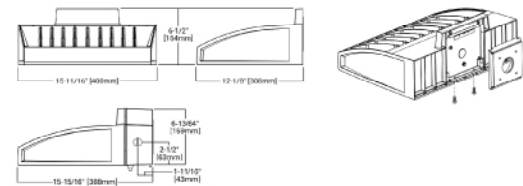
#### Interactive Menu

- Ordering Information page 2
- Product Specifications page 2
- Optical Configurations page 3
- Energy and Performance Data page 4
- Control Options page 5

#### Quick Facts

- Choice of thirteen high-efficiency, patented AccuLED Optics™
- Downward and inverted wall mounting configurations
- Eight lumen packages from 3,215 up to 17,056
- Efficacies up to 154 lumens per watt

#### Dimensional Details



PSS000462N page 1  
April 9, 2022 12:40 PM

Project	Fairfield by Marriott Gilbert, Arizona	Catalog #		Type	S1, S2, S4
Prepared by		Notes		Date	



### McGraw-Edison GLEON Galleon

Area / Site Luminaire

#### Product Features



#### Product Certifications



#### Connected Systems

- WaveLinX
- Enlighted

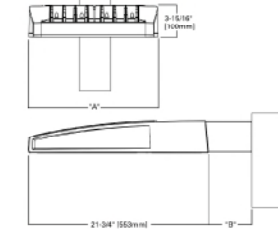
#### Interactive Menu

- Ordering Information page 2
- Mounting Details page 3
- Optical Distributions page 4
- Product Specifications page 4
- Energy and Performance Data page 4
- Control Options page 5

#### Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 lumens per watt
- Options to meet Buy American and other domestic preference requirements

#### Dimensional Details



NOTES:  
1. See Accessories, Details and Options for complete specifications. Not all product variations are BIC certified.  
2. See Accessories, Details and Options for complete specifications.



PSS170162N page 1  
June 14, 2022 8:49 PM

Project	Fairfield by Marriott Gilbert, Arizona	Catalog #		Type	R
Prepared by		Notes		Date	



### HALO Commercial HC6 | HM6 | 61 | 61PS

6-inch LED downlight and wall wash

#### Typical Applications

Office • Healthcare • Hospitality • Institutional • Mixed-Use/Retail

#### Product Certification



#### Product Features



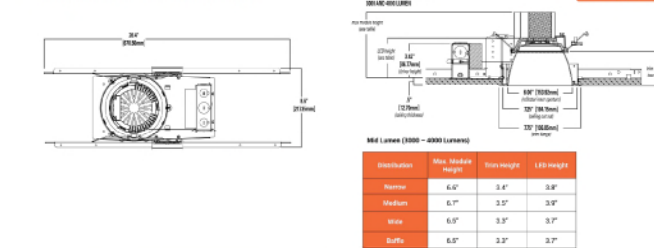
#### Interactive Menu

- Order Information page 2
- Product Specifications page 4
- Photometric Data page 5
- Energy & Performance Data page 6
- Connected Systems page 9
- Product Warranty

#### Top Product Features

- New construction/remodel series; 500 to 6,000 lumens
- Narrow, Medium and Wide distributions; Wall wash with rotatable linear spread lens
- 2700K, 3000K, 3500K, 4000K, 5000K CCT; 80 or 90 CRI
- Universal voltage 120V-277V; Standard 0-10V driver dims to 1%
- Mounting frame converts to remodel that installs from below the ceiling

#### Dimensional and Mounting Details



PSS170162N page 1  
June 20, 2022 1:40 PM

**PK ARCHITECTS**  
ARCHITECTS

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PROJECT NO: 22306  
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DRAWN BY: IMEG  
CHECKED BY: IMEG

SHEET TITLE:  
**LIGHTING  
FIXTURE DATA  
SHEETS**

SHEET NUMBER:  
**E200**

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