



2

## Planning Commission Study Session

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** SAMANTHA NOVOTNY, PLANNER I *SN*  
(480) 503-6602, SAMANTHA.NOVOTNY@GILBERTAZ.GOV

**THROUGH:** ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*  
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

**MEETING DATE:** MAY 3, 2023

**SUBJECT:** DR23-17 ARBY'S

**STRATEGIC INITIATIVE:** Exceptional Built Environment  
To develop a fast-food restaurant on a vacant parcel in the Power Ranch Planned Area Development.

### REQUEST

DR23-17 Arby's: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.88 acres, generally located west of the northwest corner of Power Road and Germann Road and zoned General Commercial (GC) within the Power Ranch Planned Area Development (PAD) overlay.

### RECOMMENDED MOTION

Request for input only. No motion required.

### APPLICANT

Company: Beck Consulting  
Name: Mark Beck  
Address: 2941 N 24<sup>th</sup> St. #114  
Phoenix, AZ 85016

### OWNER

Company: DBS Properties  
Address: 110 E Missouri Ave. #700  
Phoenix, AZ 85014

Phone: (602) 943-6200  
 Email: mark.beck@beckcon.com

**BACKGROUND/DISCUSSION**

**History**

Date	Description
January 21, 2003	Town Council adopted Ordinance No. 1450 (Z02-21), an amendment to the Power Ranch PAD to codify and clarify previously approved ordinances related to the Power Ranch PAD and the subject site, which was zoned C-2 General Commercial PAD overlay.
March 3, 2005	Town Council adopted Ordinance No. 1625 (Z01-09), a revised Zoning Map and Land Development Code (LDC), reclassifying the property from C-2 to General Commercial with a PAD overlay.
May 21, 2020	Staff reviewed and administratively approved DR13-23-S-A, a Comprehensive Sign Program (CSP) for this commercial center, which includes monument signage and locations.

**Overview**

The proposal includes development of a 1.06-acre portion of a vacant 1.88-acre parcel located just west of the northwest corner of Power and Germann Roads. The proposed development is for an Arby’s restaurant, which is classified as a *limited-service restaurant* in the Land Development Code (LDC). The building includes a dual drive-through lane and interior seating. The remainder of the parcel will be vacant and is shown with conceptual improvements on the site plan exhibit; a future design review will be required for this portion of the site.

The applicant has requested to submit construction documents (CD) at-risk. A submittal of CD’s at-risk would be supported only if the applicant is able to address all 1st and 2nd review comments and Planning Commission feedback to the satisfaction of review staff.

**Surrounding Land Use & Zoning Designations**

	Existing Land Use Classification	Existing Zoning	Existing Use
North	General Commercial (GC)	General Commercial (GC)	EOS Fitness
South	General Commercial (GC)	General Commercial (GC)	Germann Road, then a commercial center

East	General Commercial (GC)	General Commercial (GC)	Dignity Health medical facility
West	Multi-Family/Medium (MF/M)	Residential > 14-25 dwelling units/acre	Sky View Apartments
Site	General Commercial (GC)	General Commercial (GC)	Vacant parcel

### Project Data Table

Site Development Regulations	Regulations per Power Ranch PAD (Ordinance No. 1450) and LDC	Proposed
Maximum Building Height (ft.)	30	20 (top of parapet)
Minimum Building Setback (ft.)		
Front	25	83
Side (Non-Residential)	20	0 (internal to site)
Side (Residential)	75	81
Rear (Non-Residential)	20	0 (internal to site)
Separation between Buildings (ft.)		
Single-Story	15	15
Minimum Required Perimeter Landscape Area (ft.)		
Front	25	25
Side (Non-Residential)	20	0 (internal to site)
Side (Residential)	40	40
Rear (Non-Residential)	20	0 (internal to site)
Landscaping (% of net lot area)	15	TBD
Parking (1 space per 100 sf.; plus 1 space per 400 sf. of outdoor dining area)	26 spaces	31 spaces 2 ADA spaces 33 total spaces
Bicycle Parking	4 bicycle spaces per building	4 bicycle spaces per building

## DISCUSSION

As of the writing of this staff report, the project is between 1st and 2nd review. Any feedback provided by the Planning Commission during the study session meeting will be taken into account as the review moves forward.

Following the return of 1st review comments, the applicant has indicated they are considering shifting the trash enclosure out of the landscape setback and locating it elsewhere on site, and also changing the parking to angled parking.

### **Site Plan**

The proposal includes developing a site plan for one building: (1) a 2,579-square foot (SF) building for an Arby's user on the west portion of a vacant parcel. The east portion of the parcel is shown conceptually on the site plan and is proposed to be split into two lots. The entire parcel is approximately 1.88 acres of vacant land within the Power Ranch PAD Development Plan. No master site plan exists, and the subject site is expected to develop with the Arby's as the initial phase and the eastern portion as a future phase. Due to being part of the Power Ranch PAD Development Plan, the subject site and the existing adjoining developments benefit from reductions of the internal setbacks in conformance with LDC 2.4.5.C. The Arby's drive-through entry is on the north side of the parcel and includes two separate lanes that merge into a single lane. Arby's is considered a *limited-service restaurant* and meets the required drive-through stacking spaces of two per lane. The applicant is intending to relocate the trash enclosure as it cannot be placed in the landscape setback. Staff provided feedback to also incorporate better pedestrian connections as it relates to the EOS Fitness to the north, and the future pad to the east.

There are two existing ingress/egress drives along Germann Road that will continue to be shared with the subject site and the adjoining uses. The westernmost drive has full-motion access, and the easternmost drive operates by right-in/right-out motion only. There are existing internal circulation drives and a cross-access agreement for vehicular and pedestrian access for the entirety of the commercial center. Although the access drives and circulation are shared, the subject site is able to self-park and meets the LDC parking requirements for the proposed uses.

### **Landscape**

A minimum of 15% of the net site area must be developed with landscaping; the applicant has not shown this percentage in the first review, and a comprehensive landscaping review is forthcoming in the second submittal. In addition to the LDC landscape standards, landscaping must comply with the Power Ranch PAD provisions, which dictate theming along arterial streets and entry points.

### **Grading and Drainage**

Retention is provided in the form of an aboveground retention basin along the western boundary and shared retention with the other adjoining uses. During the first review, Development Engineering provided comments on the Grading and Drainage plan that must be addressed prior to allowance of applying for CD's at-risk. The comments include showing retention along the south perimeter, submitting a preliminary drainage report, and a notation regarding a minor land division and cross-access agreement.

### **Elevations, Floor Plan, Colors and Materials**

The building is oriented with the south elevation being the front, east and west elevations being the sides, and north elevation being the rear. The floor plan shows an interior dining area in the south portion of the building, the cooking and refrigeration rooms in the north portion, and the drive-through with a full canopy on the west side of the building.

The modern architecture reflects the Arby's corporate identity by utilizing the red color 'Stop' on the canopy and stucco horizontal banding. Building materials include stucco on the main body and a 3-foot wide strip of brick veneer along the base of the building. Staff is working with the applicant to clarify the materials used for the brown wall system on the south, east, and west elevations. The building utilizes all parapet rooflines, while the buildings to the east and across Germann utilize some gabled rooflines and a tower entry element with building colors and materials of tan and gray stucco with stone veneer wainscoting, and metal accent canopies and roofing materials. The Salad and Go and EOS Fitness also utilize modern parapet rooflines, however, as each pad site has undergone design review, they have borrowed colors/materials from other users in the commercial center to ensure the center exudes a cohesive feel while maintaining user uniqueness.

Staff requests Planning Commission input regarding the proposed building elevations. Staff completed 1st review and does have some concerns that the proposed corporate identity and colors/materials schemes may not be coordinated enough with the surrounding buildings.

Since the site is within the Power Ranch PAD development, the applicant will need to demonstrate that there is no property owner's association or Power Ranch architectural review committee that reviews commercial development.

## PUBLIC NOTIFICATION AND INPUT

The proposed project will require public notice as specified under LDC Section 6.2.6. If after study session, the project has addressed all review comments and those brought forth by the Planning Commission, the project may apply for a CD's at-risk submittal.

## REQUESTED INPUT

1. Architecture and cohesion with the existing buildings and recently approved buildings.
2. General site layout of the current phase and future phase.
3. Specific feedback regarding angled parking and trash enclosure location.
4. General feedback in advance of CD's at-risk submittal.

Respectfully submitted,



Samantha Novotny  
Planner I

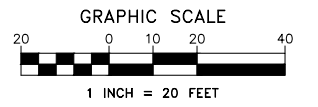
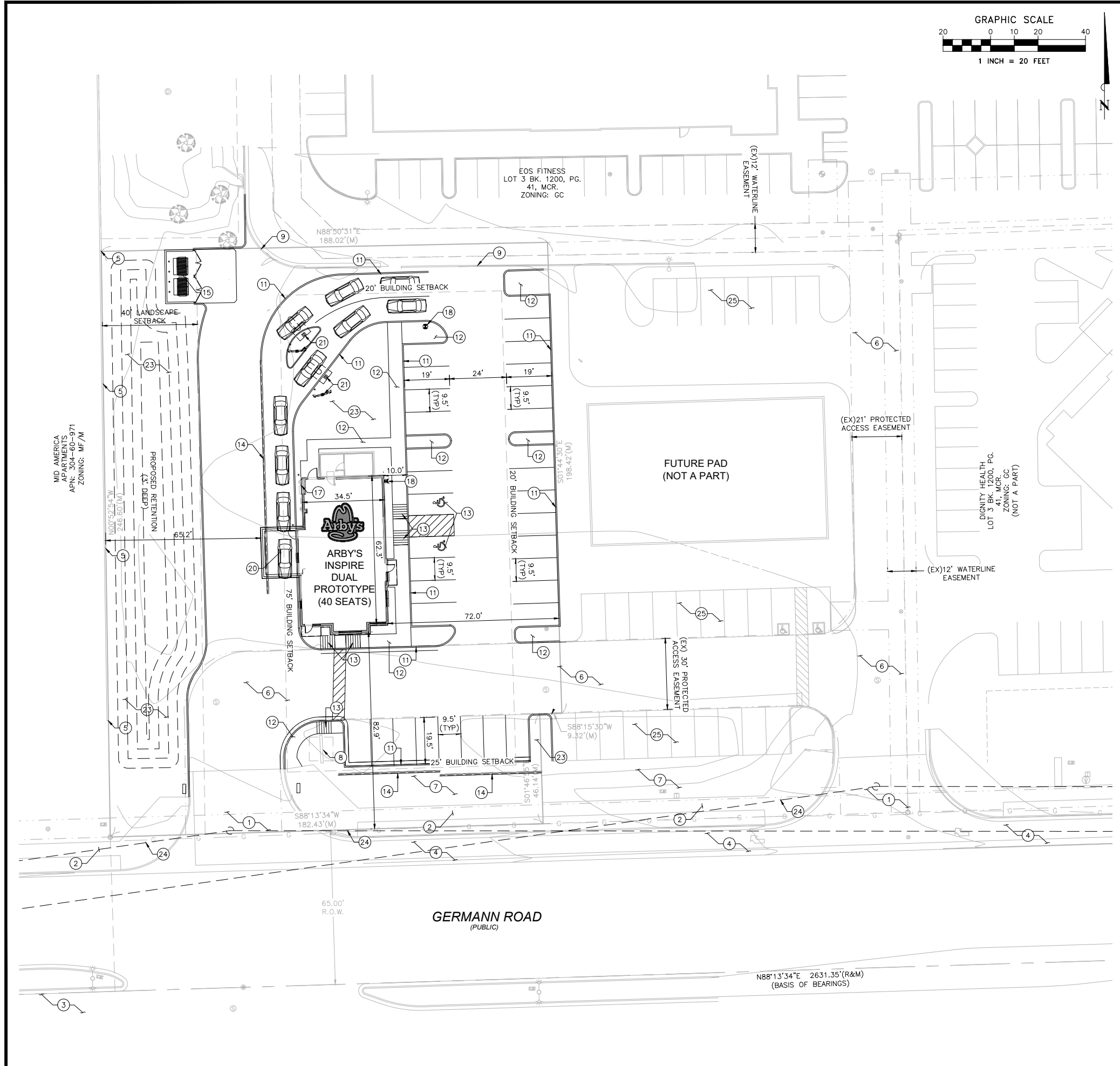
### **Attachments and Enclosures:**

- 1) Aerial Photo
- 2) Site Plan
- 3) Grading and Drainage Plan
- 4) Elevations
- 5) Colors and Materials
- 6) Floor Plan
- 7) Applicant's Narrative



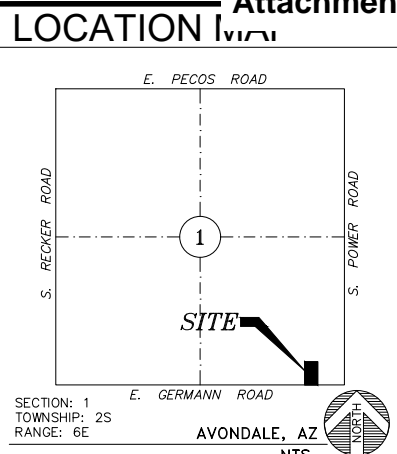
# Map





**REFERENCE CODES**

2018	INTERNATIONAL BUILDING CODE (IBC)
2018	INTERNATIONAL MECHANICAL CODE (IMC)
2018	INTERNATIONAL PLUMBING CODE (IPC)
2018	INTERNATIONAL ENERGY CODE (IEC)
2018	INTERNATIONAL FIRE CODE (IFC)
2017	NATIONAL ELECTRIC CODE (NEC)
AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADA)	
MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) SPECIFICATIONS AND DETAILS	
ARIZONA ADMINISTRATIVE CODE TITLE 18, CH. 9, DATED SEPT. 30, 2005.	
ADEQ ENGINEERING BULLETIN NO. 11, JULY 1978	



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SUITE #114  
PHOENIX, AZ 85016  
PHONE: (602) 943-621  
FAX: (602) 943-6201

**beck**  
consulting engineers

**PROJECT TEAM**

**OWNER:**  
**QUICK SERVICE REALCO, LLC**  
C/O KBP BRANDS  
10950 GRANDVIEW DRIVE  
Overland Park, KS 66210  
CONTACT: ALAN OKON  
PH: (734) 787.2212

**CIVIL ENGINEER:**  
**BECK CONSULTING ENGINEERS, INC.**  
2942 NORTH 24TH STREET, SUITE 114  
PHOENIX, AZ 850196  
CONTACT: MARK BECK, P.E.  
PH: (602) 502.8499

**LANDSCAPE ARCHITECT:**  
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GILBERT, AZ 85299  
CONTACT: TIM DAUGHERTY, PLA  
PH: (602) 586.6606

**ARCHITECT:**  
**RED ARCHITECTURE + PLANNING**  
589 W. NATIONWIDE BLVD., STE. B  
COLUMBUS, OH 43215  
CONTACT: MARK THOMSON  
PH: (614) 487.8770

SCALE (H): 1"=20'  
SCALE (V):  
DESIGNED BY: BCE  
DRAWN BY: BCE  
CHECKED BY: BCE  
DATE: 12-3-22

**SITE & BUILDING DATA**

Existing Zoning:	GENERAL COMMERCIAL (GC)
APN(S) #:	PORTION OF 304-87-923B
Lot # / Plat:	LOT 3 "SWC 107TH AVE AND MCDOWELL RD"
Net Site Area:	46,194 S.F. (1.06 AC.)
Building Area:	2,579 S.F.
Building Lot Coverage:	6%
Building Height Provided:	20' - 2-1/2" (to parapet)
Construction Type	V-B

Parking:	Spaces Required	Spaces Provided
Restaurant (1 Space per 100 S.F.):	26	33
ADA Parking:	2	2

<b>Landscape:</b>	
On-site landscape area:	13,164 Sq. Ft.
Off-site landscape area:	1,045 Sq. Ft.
Total landscape area:	14,209 Sq. Ft.
% Open space:	30.8 %

**SITE PLAN**  
**ARBY'S RESTAURANT**  
4740 EAST GERMAN ROAD  
GILBERT, ARIZONA

**KEY NOTES**

- EXISTING ACCESS DRIVE TO REMAIN.
- EXISTING 6' WIDE CONCRETE SIDEWALK TO REMAIN.
- EXISTING LEFT TURN LANE.
- EXISTING RIGHT TURN LANE.
- EXISTING SITE WALL.
- EXISTING CONCRETE SHARED ACCESS DRIVE TO REMAIN. PROTECTED ACCESS UNDER EASEMENT PER DOC. NO. 2013-1083891, MCR.
- EXISTING LANDSCAPE TO REMAIN.
- EXISTING SIGN TO REMAIN.
- EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED.
- PROPOSED ASPHALT PAVEMENT.
- PROPOSED CONCRETE CURB.
- PROPOSED CONCRETE SIDEWALK.
- PROPOSED ADA ACCESSIBLE CURB RAMP.
- PROPOSED 36" HIGH SCREEN WALL.
- PROPOSED REFUSE ENCLOSURE PER DTLs. ON SP.2.
- PROPOSED FDC.
- PROPOSED SES.
- PROPOSED FIRE HYDRANT.
- PROPOSED ACCESSIBLE PARKING SPACE(S).
- PROPOSED CANOPY.
- PROPOSED READER BOARD WITH CANOPY.
- PROPOSED PROTECTED ACCESS DRIVE.
- SIGHT VISIBILITY TRIANGLE.
- FUTURE PARKING AREA (NOT A PART).

**SHEET INDEX**

SP.1	SITE PLAN
SP.2	SITE DETAILS

**LEGEND**

- ACCESSIBLE PATH TO R/W
- PR. BACKFLOW PREVENTER
- FDC
- PR. FIRE HYDRANT
- EASEMENT LINE
- PROPERTY LINE
- RIGHT OF WAY LINE

**PLAN REVISIONS**

NO.	DATE	DESCRIPTION



PROJECT NO.  
226002

*Mark Beck*

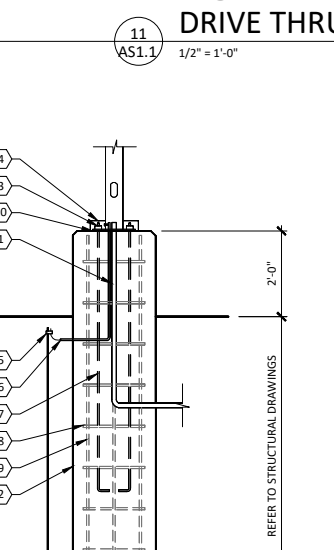
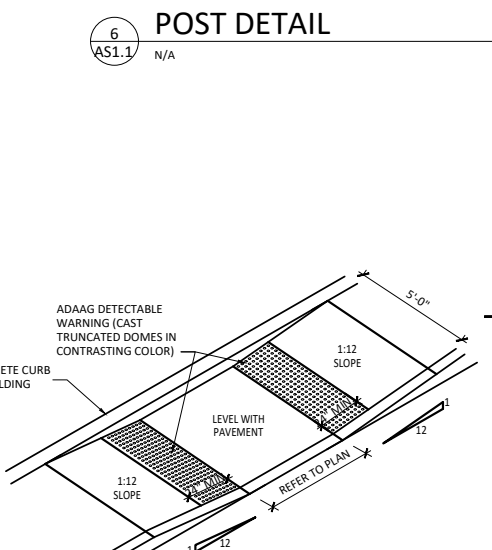
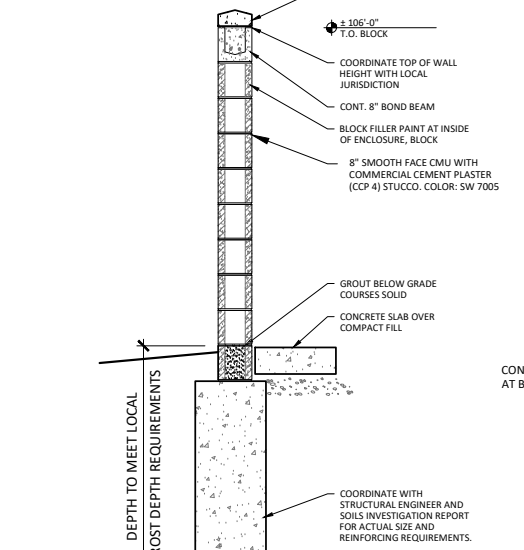
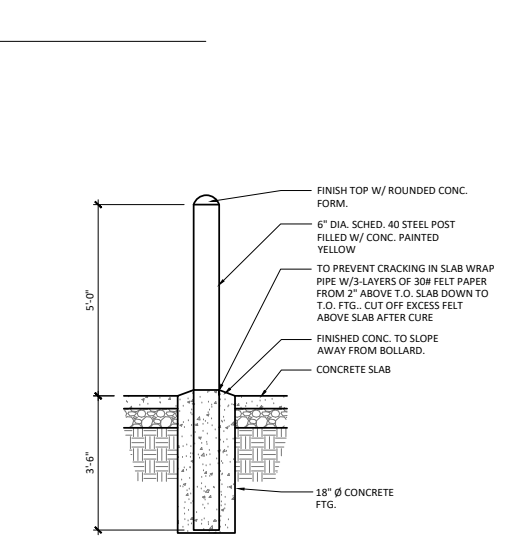
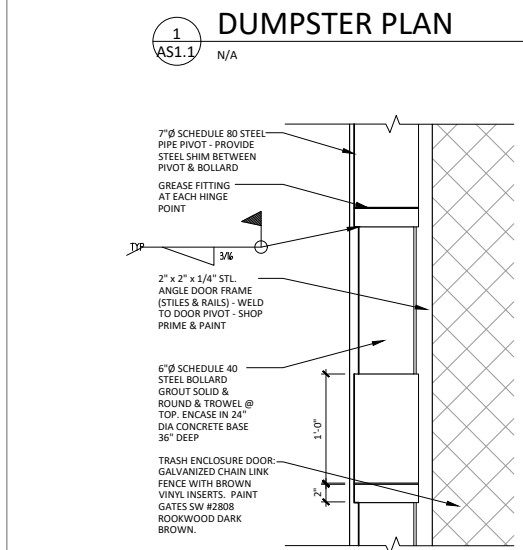
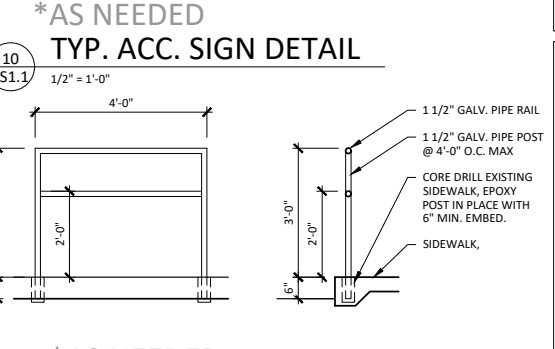
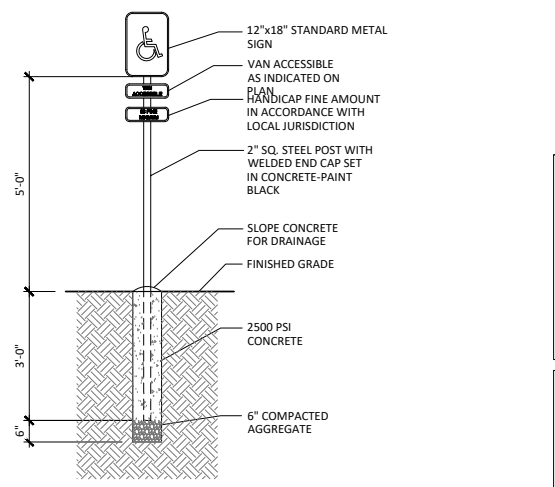
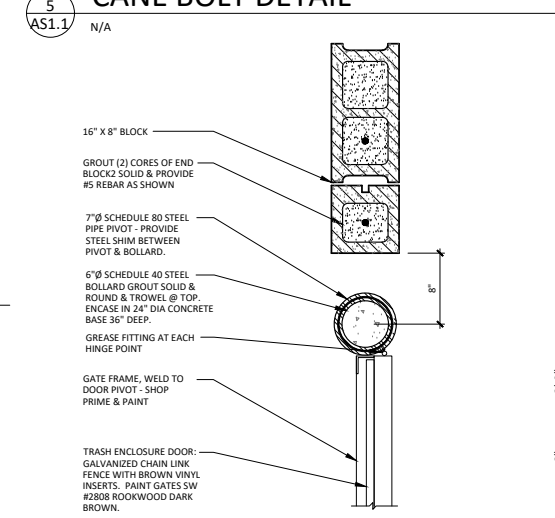
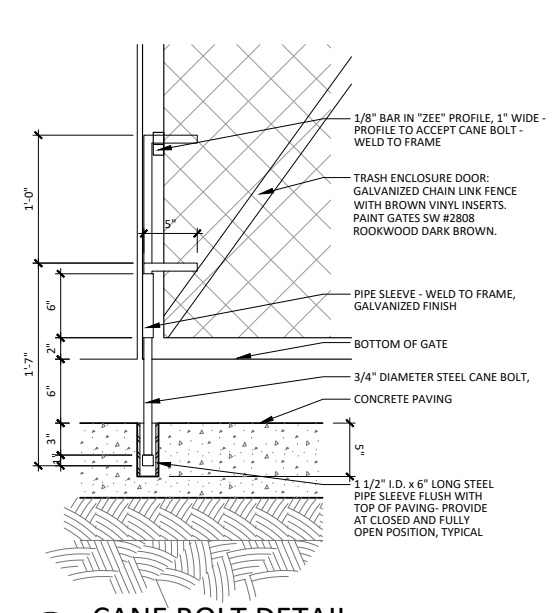
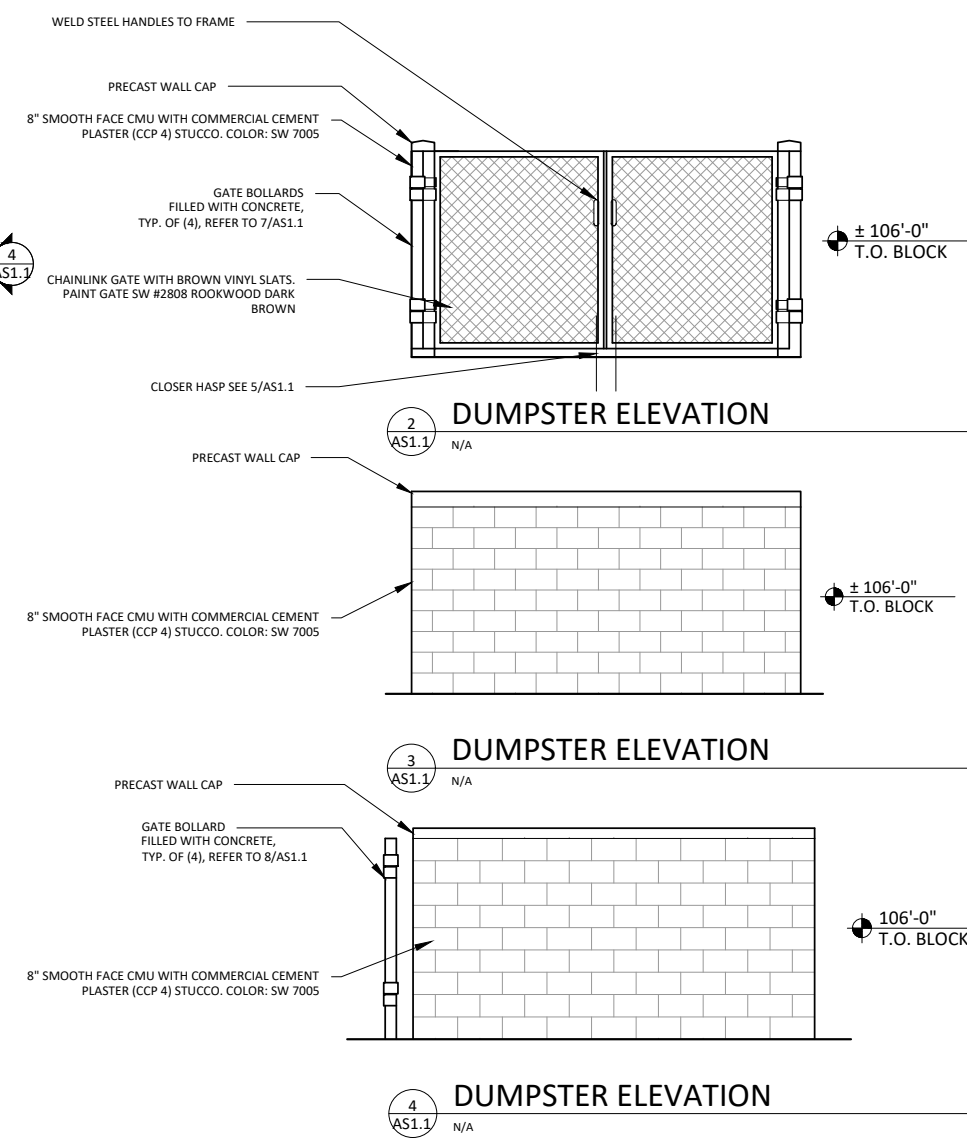
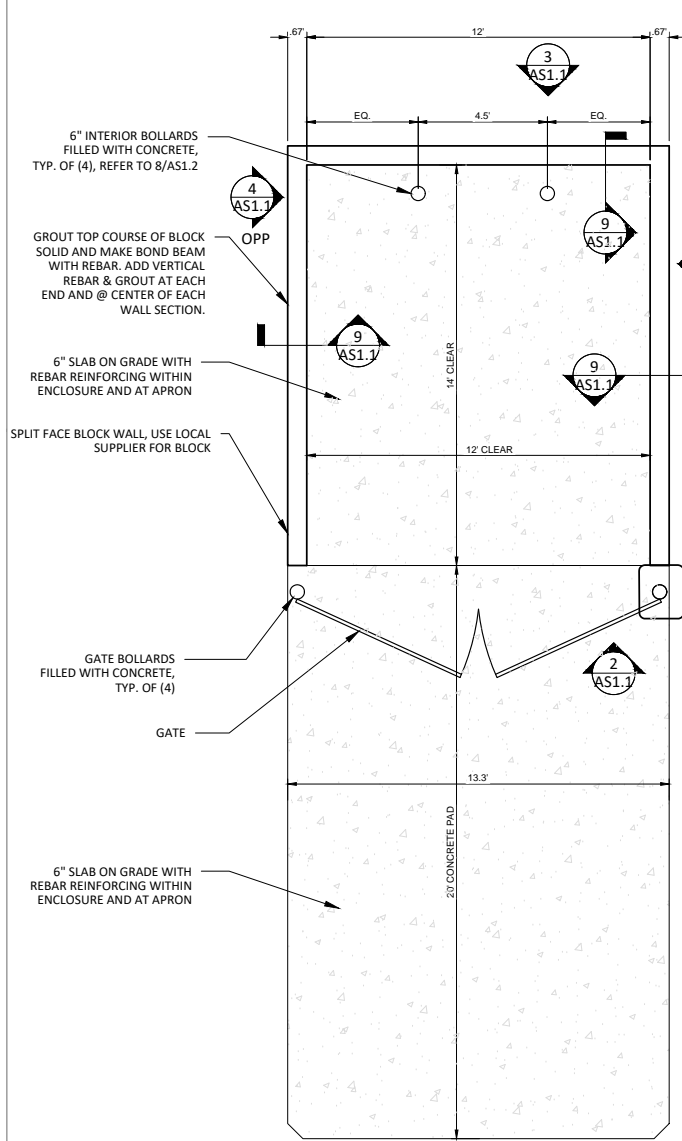


**GENERAL NOTES**

A. THESE ARE TYPICAL SITE DETAILS. ALL PROJECT SPECIFIC INFORMATION NEEDS TO BE COORDINATED WITH THE G.C., CIVIL ENGINEER, OWNER AND THE SOILS INVESTIGATION REPORT.

B. DUMPSTER DETAILS ARE INTENDED FOR REFERENCE ONLY. CIVIL ENGINEER TO SHOW DUMPSTER LOCATION WITH ALL NECESSARY DIMENSIONS AND DETAILS ON THEIR RESPECTIVE SHEETS.

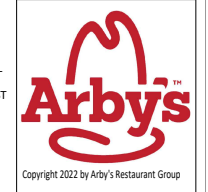
**red**  
architecture + planning  
589 w nationwide blvd  
columbus, ohio 43215  
tel: 614.487.8770  
fax: 614.487.8777



**POLE BASE NOTES**

- ELECTRICAL CONDUIT, REFER TO ELECTRICAL DRAWINGS.
- CONCRETE PIER, REFER TO STRUCTURAL DRAWINGS.
- PROVIDE GROUND LUG IN BASE BOLTED TO BASE PLATE. REFER TO STRUCTURAL DRAWINGS.
- BASE COVER OVER GALVANIZED WASHERS, NUTS AND LOCKNUTS. REFER TO STRUCTURAL DRAWINGS.
- GROUND CLAMP, REFER TO ELECTRICAL DRAWINGS.
- GROUND WIRE, REFER TO ELECTRICAL DRAWINGS.
- GALVANIZED ANCHOR BOLTS, REFER TO STRUCTURAL DRAWINGS.
- TIE LOOPS, REFER TO STRUCTURAL DRAWINGS.
- VERTICAL REBAR, REFER TO STRUCTURAL DRAWINGS.
- NON-SHRINK GROUT, REFER TO STRUCTURAL DRAWINGS.

PROPRIETARY INFORMATION NOTICE:  
THESE PROTOTYPICAL DOCUMENTS MAY REQUIRE REVISIONS TO CONFORM TO LOCAL, STATE, AND FEDERAL CODES, ORDINANCES, OR OTHER CONDITIONS. THE DESIGN CONCEPTS EMBODIED IN THESE DOCUMENTS ARE SPECIFICALLY FOR THIS PROJECT. INFORMATION CONTAINED HEREIN REMAINS THE SOLE PROPERTY OF ARBY'S RESTAURANT GROUP. IT IS CONFIDENTIAL AND PROPRIETARY AND IS NOT TO BE COPIED, REPRODUCED, DISCLOSED OR OTHERWISE TRANSFERRED TO OTHER PARTIES IN ANY FORM WHATSOEVER WITHOUT THE EXPRESS WRITTEN CONSENT OF ARBY'S RESTAURANT GROUP.

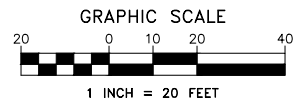


ARBY'S RESTAURANT GROUP  
INSPIRE DUAL REGULAR 40 - STANDARD 2021 - v1.0  
SVC OF MCDOWELL RD. AND 107TH AVE.  
AVONDALE, AZ  
FOR  
KBP BRANDS  
10950 GRANDVIEW DR #300, OVERLAND PARK, KS 66210

PROJECT NUMBER: ARF269

ISSUE	DATE
SD	DEC 9, 2022
BID	
REVISION	

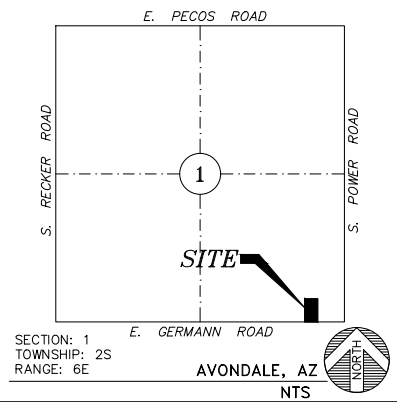
SITE DETAILS  
SHEET:  
**SP.2 OF 2**  
AS1.1  
Lx-xP-xF-xx-xxx



### LEGEND

- EX. STORM DRAIN
- PR. STORM DRAIN / TANK
- EASEMENT LINE
- CENTERLINE
- PROPERTY LINE
- RIGHT OF WAY LINE
- EXISTING CONTOUR LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING MANHOLES, VAULTS AND BOXES
- GRADE BREAK
- FLOW ARROW
- PROPOSED ELEVATION
- EXISTING ELEVATION
- DRAINAGE AREA "DA1"
- DUAL CHAMBER DRYWELL

### LOCATION MAP



### PROJECT TEAM

**OWNER:**  
**QUICK SERVICE REALCO, LLC**  
 C/O KBP BRANDS  
 10950 GRANDVIEW DRIVE  
 Overland Park, KS 66210  
 CONTACT: ALAN OKON  
 PH: (734) 787.2212

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 COLUMBUS, OH 43215  
 CONTACT: MARK THOMSON  
 PH: (614) 487.8770

### CONSTRUCTION KEY NOTES

1. EXISTING ACCESS DRIVE TO REMAIN.
2. EXISTING 6" WIDE CONCRETE SIDEWALK TO REMAIN.
3. EXISTING LEFT TURN LANE.
4. EXISTING RIGHT TURN LANE.
5. EXISTING SITE WALL.
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13. PROPOSED ADA ACCESSIBLE CURB RAMP.
14. PROPOSED 36" HIGH SCREEN WALL.
15. PROPOSED REFUSE ENCLOSURE.
16. PROPOSED FIRE HYDRANT.
17. PROPOSED ACCESSIBLE PARKING SPACE(S).
18. CURB OPENING.

### RETENTION CALCULATIONS

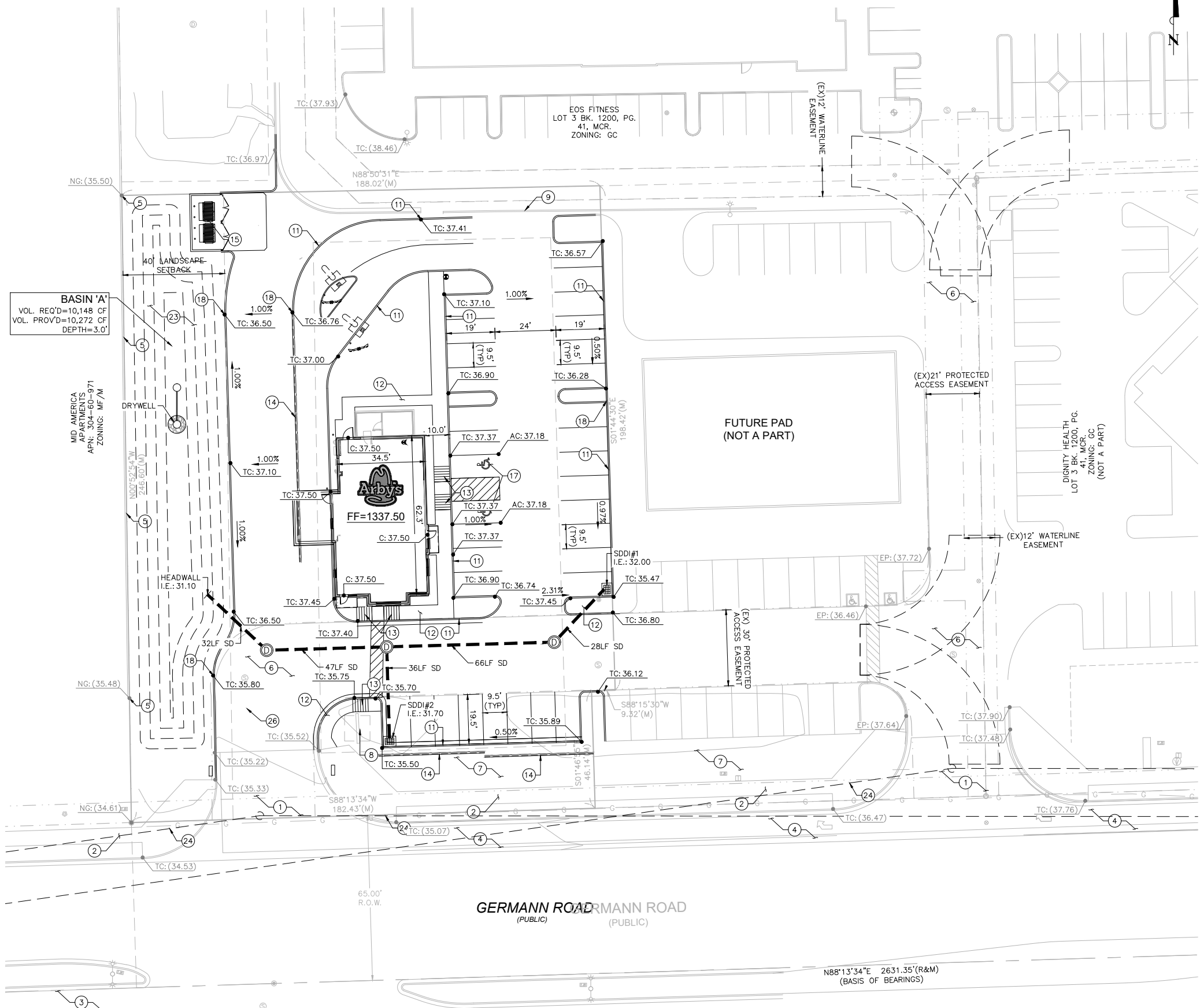
100-YR, 2-HR Retention Calcs

Drainage Area ID	Bains ID	Runoff Coefficient	Drainage Area (sf)	Volume Required (CF)	Volume Provided (CF)	Volume Surplus (CF)
DA1	A	0.88	46,194	10,148	10,272	124

**Retention Volume Required Equation**

$$V_{50yr} = D \cdot A \cdot C$$

V = runoff volume from the drainage area to be retained (CF)  
 C<sub>w</sub> = (Weighted Runoff Coefficient "C" Per Table 3.2 of the FCDMC DDM)  
 D<sub>50</sub> = 0.25 feet  
 A = drainage area in (SF)



**BASIN 'A'**  
 VOL. REQ'D=10,148 CF  
 VOL. PROV'D=10,272 CF  
 DEPTH=3.0'

MID AMERICA APARTMENTS  
 APN: 304-60-971  
 ZONING: MF/M

EOS FITNESS  
 LOT 3 BK. 1200, PG. 41, MCR.  
 ZONING: GC

FUTURE PAD  
 (NOT A PART)

DIGNITY HEALTH  
 LOT 3 BK. 1200, PG. 41, MCR.  
 ZONING: GC  
 (NOT A PART)

GERMANN ROAD  
 (PUBLIC)

N88°13'34"E 2631.35'(R&M)  
 (BASIS OF BEARINGS)

SCALE (H): 1"=20'  
 SCALE (V):  
 DESIGNED BY: BCE  
 DRAWN BY: BCE  
 CHECKED BY: BCE  
 DATE: 12-3-22

PRELIMINARY GRADING PLAN  
**ARBY'S RESTAURANT**  
 4740 EAST GERMANN ROAD  
 GILBERT, ARIZONA

PLAN REVISIONS

NO.	DATE	DESCRIPTION



PROJECT NO.  
226002

- ### CODED NOTES (X) (ALL CODED NOTES MAY NOT BE USED)
- PRE-FINISHED METAL COPING.
  - PRE-FABRICATED METAL CANOPY/ACCENT BAND.
  - CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
  - PRE-FABRICATED METAL POST FOR CANOPY.
  - ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.
  - PAINT DOOR AND FRAME.
  - NEW EIFS WALL SYSTEM.
  - EIFS CORNICE.
  - EIFS WALL SYSTEM WITH 4" O.C. V-GROOVE REVEALS.
  - PAINTED ACCENT BAND, ALIGN WITH METAL ACCENT BAND.
  - DRIVE THRU WINDOW.
  - WALL MOUNTED LIGHT FIXTURE.
  - PAINT BOLLARD.
  - NOT USED.
  - ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K"
  - BRICK VENEER.
  - BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS & JAMBS. REFER TO DETAIL 3/A2.1.
  - NOT USED.
  - ELECTRICAL EQUIPMENT.
  - GAS METER.
  - GREASE OUTLET.
  - Co2 HOOKUP.
  - COOLER/FREEZER. PRE-FINISHED TO MATCH PAINT "K".
  - ALUMINUM STOREFRONT.
  - PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 7/A1.3.
  - CONTINUE BRICK VENEER BEHIND ELECTRIC EQUIPMENT. COORDINATE SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND ELECTRICAL EQUIPMENT.
  - ARBY'S HAT SIGNAGE. MOUNT ON BRICK WALL. REFER TO SIGNAGE VENDOR'S DRAWINGS.
  - COORDINATE TURNBUCKLE LOCATION TO AVOID CLERESTORY WINDOW.

### FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
<b>FINISHES</b>			
A1	DRYVIT	EIFS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N ALT GROUT: ARGOS CANYON BROWN
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH
<b>METALS</b>			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING BONE WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
B	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING MIDNIGHT BRONZE/ DURO-LAST #SR.26/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---

A. PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.

B. PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.

C. PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.

D. TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.

E. MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.

F. REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.

G. ALUMINUM STOREFRONT TO BE DARK BRONZE.

H. ALL GLAZING TO BE 1" INSULATED GLAZING.

I. BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.

J. SIGNAGE IS SHOWN FOR REFERENCE ONLY. FINAL SIZE, LOCATION AND QUANTITY TO BE DETERMINED BY SIGNAGE VENDOR. SIGNAGE VENDOR SHALL PERMIT ALL SIGNS UNDER SEPARATE COVER.

K. REFER TO ELECTRICAL DRAWINGS FOR EXTERIOR LIGHTING SPECIFICATIONS.

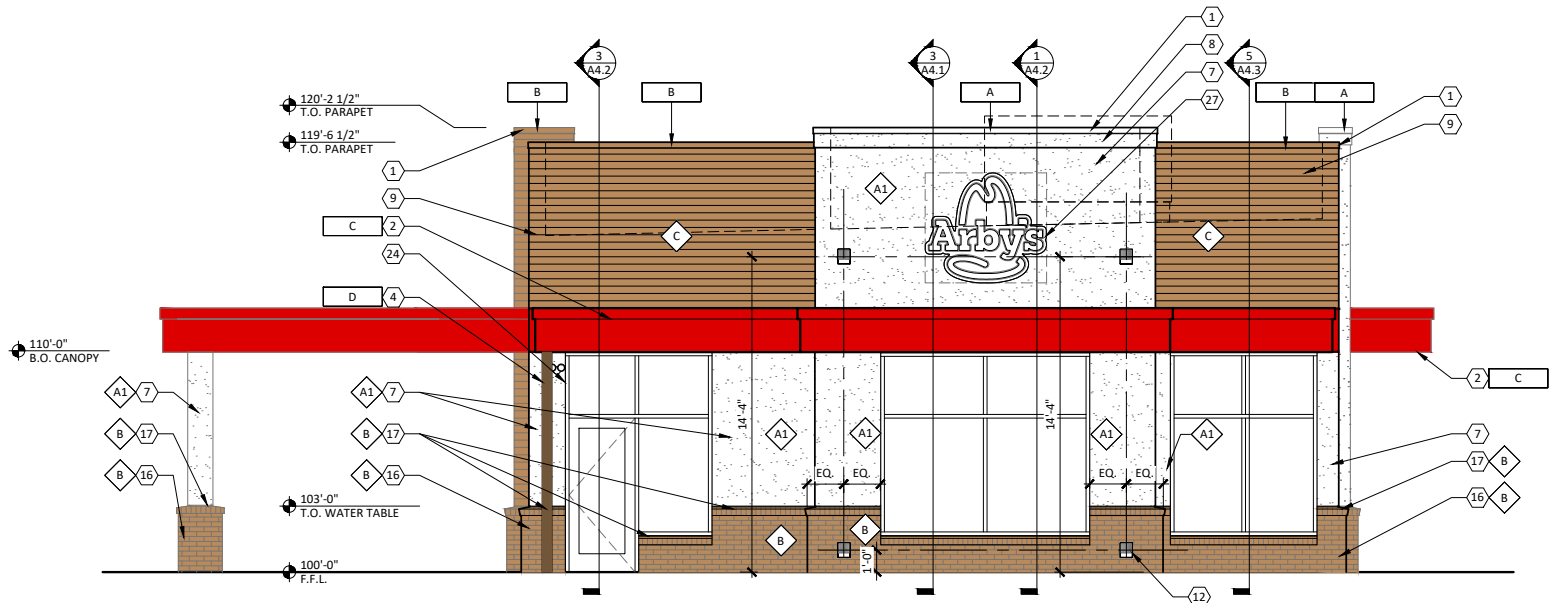
L. PAINT ALL EXPOSED BRICK LINTELS TO MATCH ADJACENT BRICK.

M. ALL WALL MOUNTED LIGHT FIXTURES TO BE SET IN CONTINUOUS BED OF CAULK AND THEN SHALL BE SEALED TO WALL WITH SEPARATE BEAD OF CAULK. CAULK TO MATCH ADJACENT SURFACE.

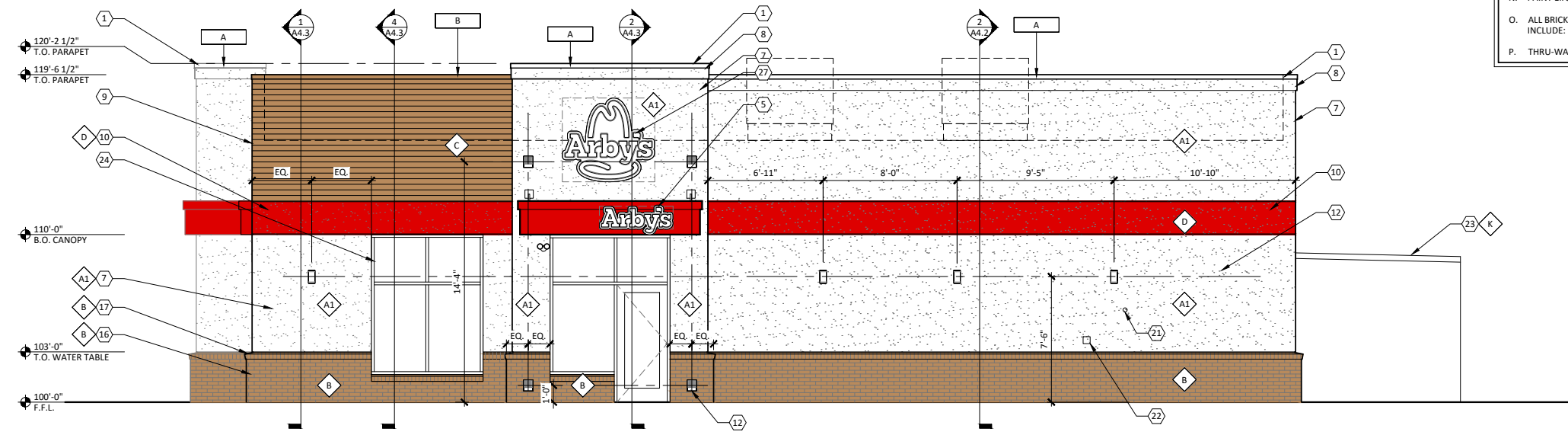
N. PAINT EIFS WALL BEHIND ACCENT BAND RED. EXPOSED EIFS EDGE BELOW ACCENT BAND TO MATCH METAL.

O. ALL BRICK VENEER SHALL BE A RUNNING BOND, U.N.O. ALL BRICK SHALL BE INSTALLED FLUSH. U.N.O. (EXCEPTIONS INCLUDE: ROWLOCK SILL, SOLDIER COURSE HEADER AT DRIVE THRU WINDOW AND BRICK CORNICE)

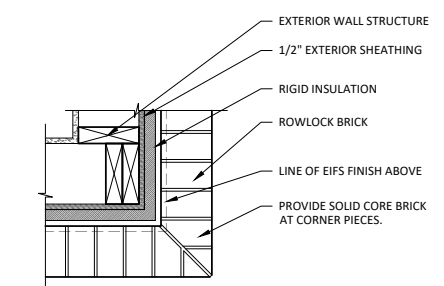
P. THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).



1 FRONT ELEVATION  
A2.1 1/4" = 1'-0"



2 SIDE ELEVATION  
A2.1 1/4" = 1'-0"



3 DETAIL @ BRICK CORNER  
A2.1 1 1/2" = 1'-0"

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ARBY'S RESTAURANT GROUP  
INSPIRE DUAL REGULAR 40 - STANDARD  
2021 - v1.0  
FOR GILBERT, AZ  
NEW BRANDS  
10950 GRANVIEW DR #800, OVERLAND PARK, KS 66210

PROJECT NUMBER: ARF260

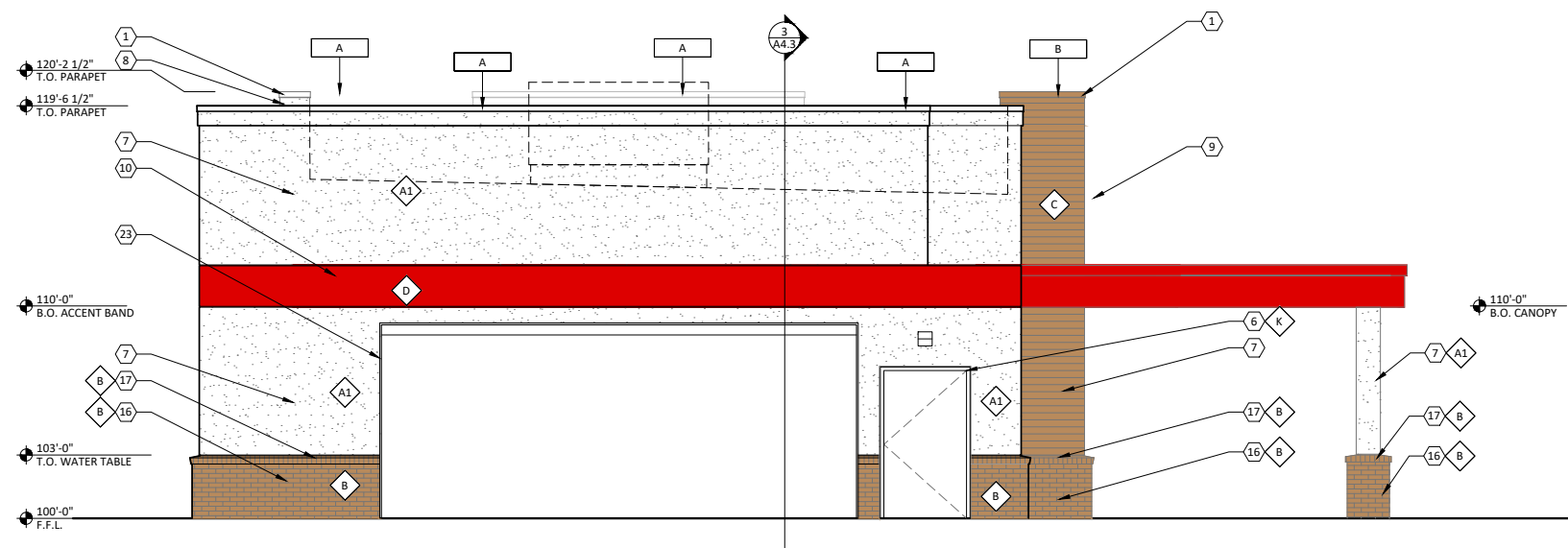
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REVISION	

EXTERIOR ELEVATIONS

SHEET:

A2.1  
Lx-RP-SF-40-Std





- ### CODED NOTES (X) (ALL CODED NOTES MAY NOT BE USED)
- PRE-FINISHED METAL COPING.
  - PRE-FABRICATED METAL CANOPY/ACCENT BAND.
  - CENTER DRIVE THRU CANOPY ON DRIVE THRU WINDOW.
  - PRE-FABRICATED METAL POST FOR CANOPY.
  - ARBY'S SIGNAGE, MOUNT ON CANOPY/ACCENT BAND. REFER TO SIGNAGE VENDOR DRAWINGS.
  - PAINT DOOR AND FRAME.
  - NEW EIFS WALL SYSTEM.
  - EIFS CORNICE.
  - EIFS WALL SYSTEM WITH 4" O.C. V-GROOVE REVEALS.
  - PAINTED ACCENT BAND, ALIGN WITH METAL ACCENT BAND.
  - DRIVE THRU WINDOW.
  - WALL MOUNTED LIGHT FIXTURE.
  - PAINT BOLLARD.
  - NOT USED.
  - ROOF LADDER, MOUNT DIRECTLY TO SHEATHING. PAINT "K"
  - BRICK VENEER.
  - BRICK ROWLOCK SILL. USE SOLID BRICK @ OUTSIDE CORNERS & JAMBS. REFER TO DETAIL 3/A2.1.
  - NOT USED.
  - ELECTRICAL EQUIPMENT.
  - GAS METER.
  - GREASE OUTLET.
  - Co2 HOOKUP.
  - COOLER/FREEZER. PRE-FINISHED TO MATCH PAINT "K".
  - ALUMINUM STOREFRONT.
  - PREFABRICATED SCUPPER. MATCH COLOR TO ADJACENT WALL COLOR. REFER TO DETAIL 7/A1.3.
  - CONTINUE BRICK VENEER BEHIND ELECTRIC EQUIPMENT. COORDINATE SIZE WITH ELECTRICIAN. DO NOT INSTALL ROWLOCK BEHIND ELECTRICAL EQUIPMENT.
  - ARBY'S HAT SIGNAGE. MOUNT ON BRICK WALL. REFER TO SIGNAGE VENDOR'S DRAWINGS.
  - COORDINATE TURNBUCKLE LOCATION TO AVOID CLERESTORY WINDOW.

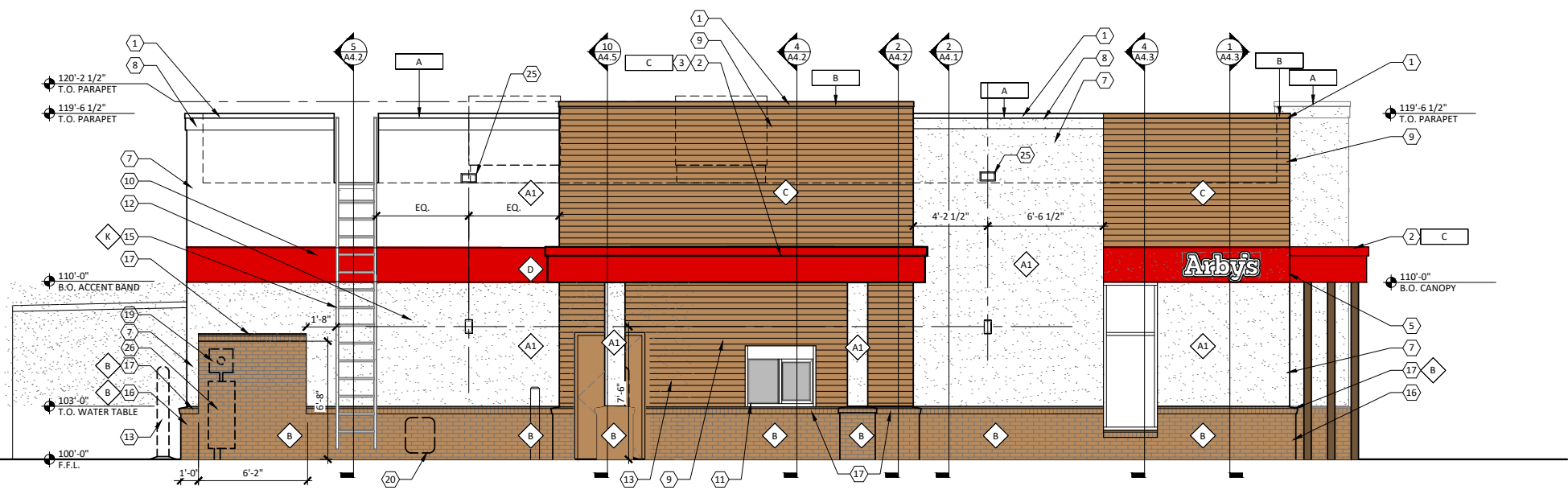
\*DESIGN NOTE:  
#28 IS ONLY USED IN HIGH PARAPET OPTIONS. REVISE TO NOT USED IF REGULAR PARAPET IS USED IN PROJECT.

### FINISH SCHEDULE

MARK	MANUFACTURER	DESCRIPTION	NOTES
<b>FINISHES</b>			
A1	DRYVIT	EIFS WALL SYSTEM	COLOR: ARBY081030 TEXTURE: STANDARD
A2	NOT USED	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N ALT GROUT: ARGOS CANYON BROWN
C	DRYVIT	EIFS WALL SYSTEM WITH V-GROOVE REVEALS	COLOR: ARBY131030 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
H	NOT USED	---	---
J	NOT USED	---	---
K	SHERWIN WILLIAMS	SW #7005 PURE WHITE	SATIN FINISH
<b>METALS</b>			
A	EXCEPTIONAL METALS/ DURO-LAST	TWO-PIECE SNAP-ON METAL COPING BONE WHITE/ DURO-LAST #SR.70/TE.87	FOR USE WITH DURO-LAST ROOFING SYSTEM DETAIL FA3110
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C	PRE-FABRICATED CANOPY/BAND	PRODUCT CODE: 9940-30198R PRODUCT NAME: FC SD RAL 3000 FLAME RED	---
D	PRE-FABRICATED POST	PRODUCT CODE: 9840-80957R PRODUCT NAME: FC SD RAL 8017 CHOC. BROWN	---

- PAINT ALL EXPOSED GAS PIPE, ROOF ACCESS LADDER, ETC. TO MATCH ADJACENT EXTERIOR WALL SURFACE. DO NOT PAINT ELECTRIC OR GAS SERVICE EQUIPMENT.
- PROVIDE TEMPORARY MASKING OF EXPOSED STAINLESS STEEL DURING ACID WASHING OF MASONRY.
- PROVIDE SOLID MASONRY UNITS AT THE ENDS OF JAMBS, SILLS, ETC.
- TO HELP PREVENT EFFLORESCENCE ALL MASONRY UNITS ARE TO BE MANUFACTURED WITH INTEGRAL WATER REPELLANT. WATER REPELLANT ADMIXTURE IS TO BE MIXED IN AND PRE-WASHED SAND IS TO BE USED IN ALL MORTAR MIXES.
- MAKE SURE THAT WALL WEEPS AND FLASHING ARE INSTALLED CORRECTLY. DO NOT BLOCK WEEPS.
- REFER TO SHEET A8.2 FOR TEMPERED GLASS LOCATIONS.
- ALUMINUM STOREFRONT TO BE DARK BRONZE.
- ALL GLAZING TO BE 1" INSULATED GLAZING.
- BASIS OF DESIGN FOR THE EIFS WALL SYSTEM IS DRYVIT OUTSULATION PLUS MD. EIFS WALL SYSTEM IS 2" THICK UNLESS NOTED OTHERWISE. INSTALL EIFS PRODUCT IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND DETAILS.
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- THRU-WALL FLASHING SHALL BE PRE-FINISHED TO MATCH STOREFRONT (DARK BRONZE).

1  
A2.2  
1/4" = 1'-0"



2  
A2.2  
1/4" = 1'-0"

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ARBY'S RESTAURANT GROUP  
INSPIRE DUAL REGULAR 40 - STANDARD  
2021 - v1.0  
FOR  
GILBERT, AZ  
NEW BRANDS  
10950 GRANVIEW DR #800, OVERLAND PARK, KS 66210

PROJECT NUMBER: ARF260

ISSUE	DATE
PRELIMINARY	
PERMIT	
BID	
REVISION	

EXTERIOR ELEVATIONS

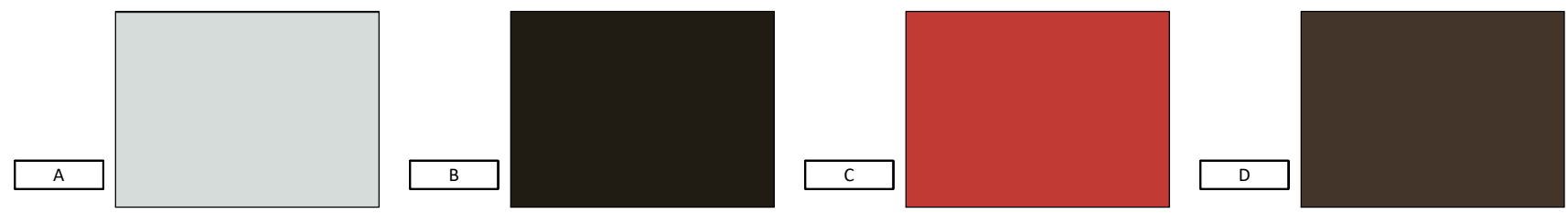
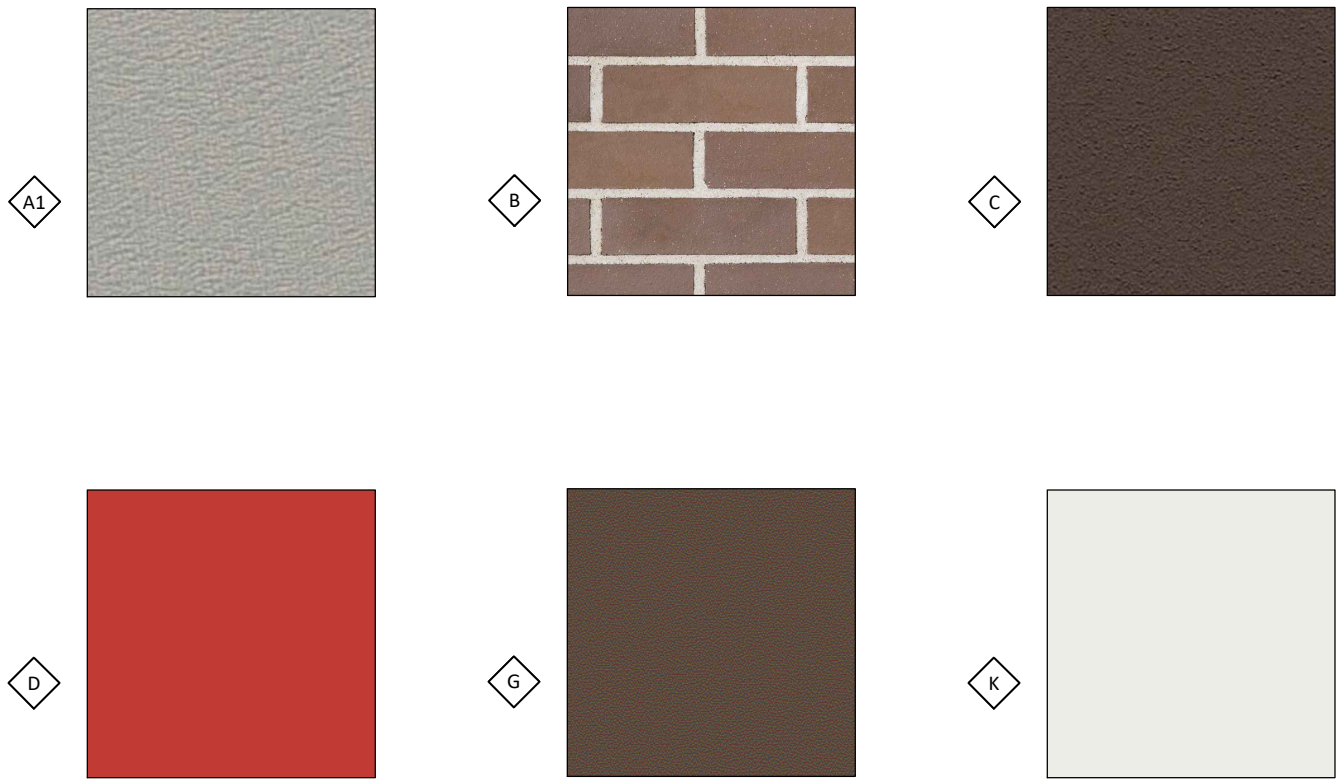
SHEET:

A2.2

Lx-RP-SF-40-Std

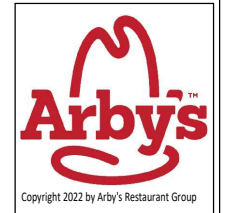


FINISH SCHEDULE			
MARK	MANUFACTURER	DESCRIPTION	NOTES
FINISHES			
A1	DRYVIT	COMMERCIAL CEMENT PLASTER (CCP 4) STUCCO	COLOR: PAINT SW#7005 TEXTURE: STANDARD
A2	NOT USED	---	---
B	BELDEN BRICK	8601 DARK	TEXTURE: SMOOTH GROUT: CEMEX 36-A MOCHA, TYPE N OR APPROVED EQUAL SUBMIT FOR APPROVAL
C	DRYVIT	COMMERCIAL CEMENT PLASTER (CCP 4) STUCCO	COLOR: PAINT SW#2808 TEXTURE: STANDARD
D	SHERWIN WILLIAMS	SW #6869 STOP	SATIN FINISH
E	NOT USED	---	---
F	NOT USED	---	---
G	SHERWIN WILLIAMS	SW #2808 ROOKWOOD DARK BROWN	SATIN FINISH
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**r e d**  
 architecture + planning  
 589 w nationwide blvd  
 suite b  
 columbus, ohio 43215  
 tel: 614.487.8770  
 fax: 614.487.8777

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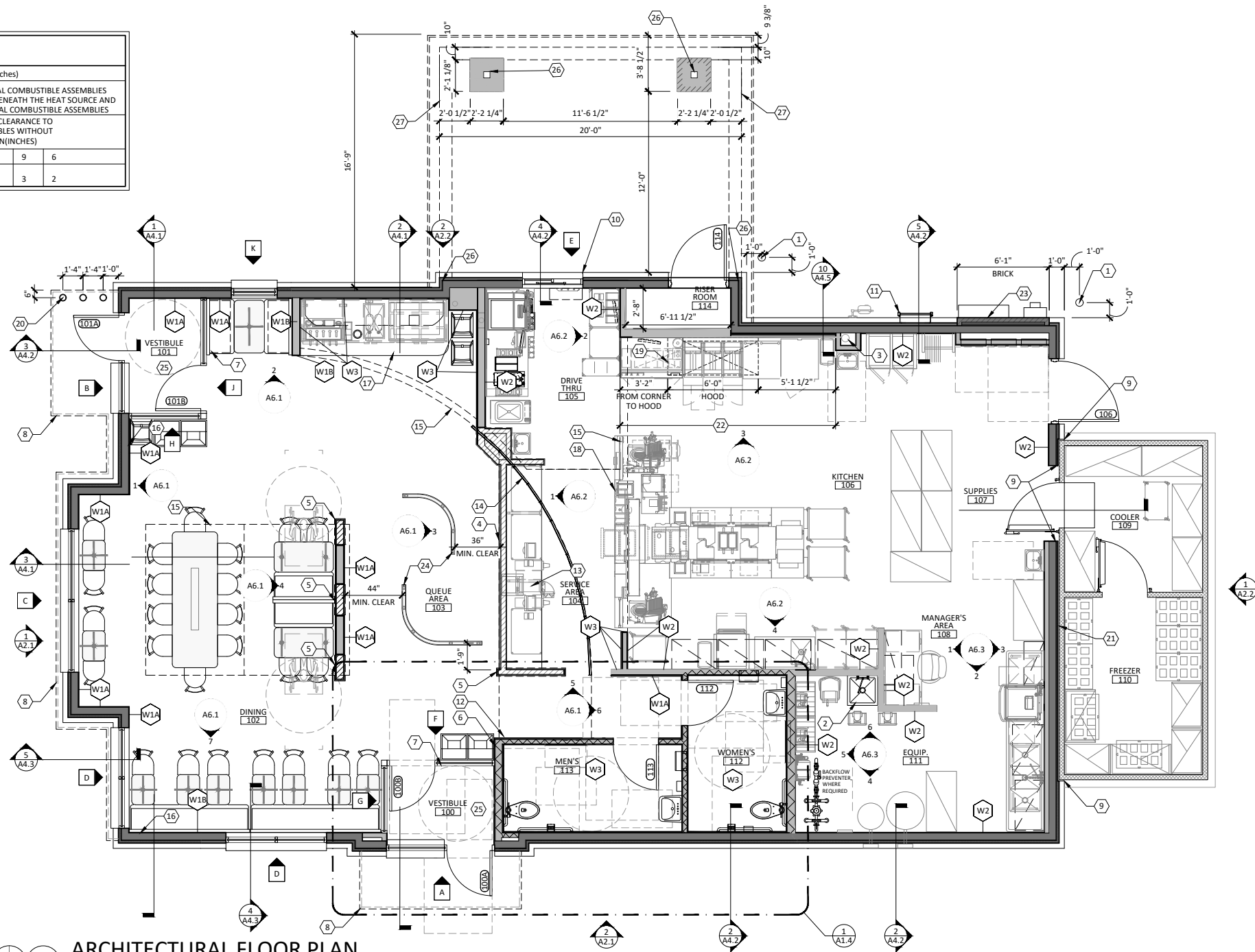


ARBY'S RESTAURANT GROUP  
 INSPIRE DUAL REGULAR 40 - STANDARD 2021 - v1.0  
 FOR  
 KRP BRANDS  
 10950 GRANDVIEW DR #300, OVERLAND PARK, KS 66210

PROJECT NUMBER:  
ARF266

ISSUE	DATE
SD	DEC 8, 2022
BID	
REVISION	

TYPE OF PROTECTIVE ASSEMBLY	REDUCED CLEARANCE WITH PROTECTION (inches)							
	HORIZONTAL COMBUSTIBLE ASSEMBLIES LOCATED ABOVE THE HEAT SOURCE				HORIZONTAL COMBUSTIBLE ASSEMBLIES LOCATED BENEATH THE HEAT SOURCE AND ALL VERTICAL COMBUSTIBLE ASSEMBLIES			
	REQUIRED CLEARANCE TO COMBUSTIBLES WITHOUT PROTECTION (INCHES)				REQUIRED CLEARANCE TO COMBUSTIBLES WITH PROTECTION (INCHES)			
GALVANIZED SHEET STEEL, HAVING A MINIMUM THICKNESS OF 0.0236 INCH (NO. 24 GAGE), SPACED 1 INCH OFF THE COMBUSTIBLE ASSEMBLY	36	18	9	6	36	18	9	6
	18	9	5	3	12	6	3	2



ARCHITECTURAL FLOOR PLAN  
1/4" = 1'-0"

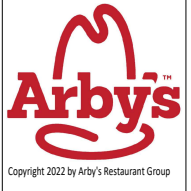
OWNER FURNISHED ITEM LIST		
THE FOLLOWING ITEMS MAY OR MAY NOT BE SUPPLIED BY THE OWNER/FRANCHISEE. G.C. IS TO CONFIRM WITH OWNER THAT THESE ITEMS ARE BEING SUPPLIED AND/OR INSTALLED BY OWNER. PLEASE CONTACT OWNER IF YOU HAVE ANY QUESTIONS ABOUT THIS LIST. ON SHEET SP.1 IN THE ARCHITECTURAL SPECIFICATIONS THERE IS ALSO A LIST THAT OUTLINES SEVERAL OWNER SUPPLIED ITEMS THAT ARE INCLUDED IN THIS LIST, THE SAME INSTRUCTIONS APPLY TO THAT LIST.		
A. DRIVE-THRU WINDOW	J. DRINK SYSTEM	Q. MAX. OCCUPANCY SIGNAGE
B. DRIVE-THRU MUSIC SYSTEM	K. DRINK EQUIPMENT INSTALLATION	R. CUSTOMER BELL
C. HVAC UNITS	L. INTERIOR MENU BOARD	S. STORE SIGNAGE
D. KITCHEN EQUIPMENT	M. EXTERIOR MENU BOARD	T. LOT LIGHTING
E. SMALLWARES	N. MENU BOARD CANOPY	U. FIRE EXTINGUISHERS
F. ATS CASH MACHINE	O. CANOPIES/ACCENT BAND	
G. REGISTERS	P. DECOR PACKAGE	
H. HOOD SYSTEM	a. DECOR LIGHTING	
I. BULK CO2	b. SEATING	
	c. WALL COVERINGS	
	d. FLOORING	

SYMBOL LEGEND	
(7)	FLOOR PLAN CODED NOTE (SEE SCHEDULE ON THIS SHEET)
###	DOOR TAG (SEE SCHEDULE ON SHEET A8.1)
X	WINDOW TAG (SEE ELEVATIONS ON SHEET A8.2)
X-X	WALL TYPE TAG (SEE SCHEDULE ON SHEET A0.1)

WALL LEGEND	
[Symbol]	WALL/PARTITION
[Symbol]	WALL WITH SOUND BATT
[Symbol]	PARTIAL HEIGHT WALL
[Symbol]	SHEAR WALL

- | CODED NOTES  |   |  |
|--|---|--|
| 1. 6" Ø STEEL BOLLARD, CENTER ON FACE OF BUILDING, REFER TO DETAIL 8/AS1.1   | 12. INSTALL OWNER FURNISHED "CUSTOMER BELL" AT 54" A.F.F.   | 22. PROVIDE STAINLESS STEEL SHEET OVER 1/2" CEMENT BOARD ON METAL STUD FURRING BEHIND HOOD. EXTEND STAINLESS STEEL SHEET FROM CORNER TO CORNER, FROM SLAB TO T.O. WALL. PROVIDE 1/2" CEMENT BOARD ON METAL STUD FRAMING IN EXTERIOR WALL BEHIND HOOD. REFER TO STRUCTURAL DRAWINGS FOR EXTERIOR METAL STUD FRAMING INFORMATION. REFER TO 8/A4.5 FOR FURRING WALL CONSTRUCTION BEHIND HOOD. REFER TO TABLE 308.4.2 ON THIS SHEET. |
| 2. MOP SINK, REFER TO PLUMBING DRAWINGS. REFER TO 10/A6.3  | 13. COORDINATE THE LOCATION OF THE SECURING BOLTS FOR THE SAFE WITH THE MANUFACTURER'S REQUIREMENTS.  | 23. EXTEND BRICK ABOVE WATER TABLE TO PROVIDE FLUSH CONDITIONS FOR ELECTRICAL EQUIPMENT INSTALLATION. REFER TO EXTERIOR ELEVATIONS.  |
| 3. INTERIOR ROOF DRAIN IN WALL, REFER TO PLUMBING DRAWINGS. PROVIDE ACCESS PANEL.  | 14. MENU BOARD ABOVE, REFER TO CEILING PLAN.  | 24. QUEUE LINE RAIL. REFER TO DECOR DRAWINGS FOR EXACT DIMENSIONS. VERIFY EXACT DIMENSIONS FOR CORE DRILLING WITH DECOR DRAWINGS PRIOR TO INSTALLATION. MAINTAIN 36" CLEAR FROM SERVICE COUNTER & DECOR WALL.  |
| 4. SERVICE COUNTER. SET AT 34" A.F.F. MAX. REFER TO DETAIL 5/A0.1.   | 15. LINE OF SOFFIT ABOVE, REFER TO CEILING PLAN.  | 25. VESTIBULE IS OPTIONAL BASED ON CLIMATE ZONE. VERIFY/COORDINATE WITH ARBY'S CONSTRUCTION MANAGER.   |
| 5. PARTIAL HEIGHT WALL. REFER TO DECOR DRAWINGS.   | 16. INSTALL TELEVISION AND MOUNTING BRACKET. PROVIDE IN-WALL BLOCKING. REFER TO ELECTRICAL DRAWINGS FOR RECEPTACLE LOCATION. TV TO CONCEAL RECEPTACLES. COORDINATE FINAL LOCATION WITH DECOR. | 26. 6" STEEL COLUMN, REFER TO STRUCTURAL FOR MORE INFORMATION.   |
| 6. INSTALL MAXIMUM OCCUPANCY SIGNAGE (WHERE REQUIRED). SIGNAGE SHALL BE INSTALLED AT 60" A.F.F. THE G.C. IS TO VERIFY THE SIZE, QUANTITY AND LOCATION(S) OF SIGNAGE WITH LOCAL FIRE MARSHAL PRIOR TO INSTALLATION. (G.C. TO CONFIRM WITH OWNER THAT THIS ITEM IS TO BE PROVIDED BY OWNER.) | 17. SELF SERVE DRINK STATION AND CONDIMENT BAR. TOP OF COUNTER TO BE SET AT 34" A.F.F. MAX. REFER TO ELECTRICAL AND PLUMBING DRAWINGS.  | 27. LINE OF DRIVE THRU PORTE COCHERE ABOVE.  |
| 7. PROVIDE TACTILE EXIT SIGN ON LATCH SIDE OF DOOR.  | 18. PRODUCTION COUNTER. REFER TO ELECTRICAL DRAWINGS.   |  |
| 8. LINE OF CANOPY/ACCENT BAND ABOVE.   | 19. HOOD ABOVE, REFER TO MECHANICAL DRAWINGS. ANSUL CABINET TO ALWAYS BE LOCATED TOWARDS THE FRONT OF THE STORE.  |  |
| 9. STAINLESS STEEL CLOSURE PIECE PROVIDED BY COOLER MANUFACTURER. INSTALLED BY G.C. CAULK TO ADJACENT SURFACE.   | 20. CANOPY POST, BY OWNER. TYP. OF (3).   |  |
| 10. INSTALL OWNER FURNISHED DRIVE-THRU WINDOW, REFER TO EQUIPMENT PLAN AND SCHEDULE.   | 21. DO NOT INSTALL BRICK BEHIND COOLER, PROVIDE 1" RIGID INSULATION ON WALL BEHIND COOLER. HOLD COOLER OFF INSULATION 1"  |  |
| 11. ROOF ACCESS LADDER.  |   |  |

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ARBY'S RESTAURANT GROUP  
INSPIRE DUAL REGULAR 40 - STANDARD  
2021 - v1.0  
FOR GILBERT, AZ  
10950 GRANVIEW DR #300, OVERLAND PARK, KS 66220

PROJECT NUMBER: ARF260	
ISSUE	DATE
PRELIMINARY	
PERMIT	
BID	
REVISION	

ARCHITECTURAL FLOOR PLAN

SHEET:  
**A1.1**  
LD-xP-SF-40-Std

NOT FOR CONSTRUCTION, FOR REFERENCE ONLY



**Memorandum**

Date: August 22, 2022  
To: City of Gilbert  
From: Mark Beck, P.E.  
mark.beck@beckcon.com  
(602) 502-8499  
Re: **Arby's – Germann and Power**

---

Please find attached documents for review as a part of the preapplication submittal:

- Property Owner Authorization
- Project Narrative
- Preliminary Site Plan
- Elevations

The proposed development is generally located at the NWC of East Germann Road and South Power Road in the Town of Gilbert.

APN: 304-87-923C (a portion)  
Existing Zoning: GC  
Proposed Zoning: GC

Development Summary: Development of a 2,579 square foot, quick serve restaurant with drive-thru.

Site Area: 46,209 square feet or 1.06 acres

Minor Land Division: A Minor Land Division of Lot 2C is anticipated to create the 1.06 acre parcel from the existing 1.89 acre parcel.

Grading and Drainage: Surface retention will be provided in the west portion of the project site for the 100-year, 2-hour storm.

Utilities: Water and sanitary sewer are provided through the project site and connections are anticipated to be provided to these existing, on-site utilities.

Traffic: No off-site improvements are anticipated. There are two (2) existing drive connections to East Germann Road. The west drive is full access with existing left- and right-turn lanes. The east drive is right in/right out access only with existing right-turn lane.

Site access drive is existing through the project site. The existing access drive is under easement and provides connection to existing drives and to existing Lot 2B.



I appreciate your time with regards to this project. If you have any questions or need additional information please do not hesitate to contact me.