



NOTICE OF DECISION

January 4, 2023

Andrew Chi
Andrew Chi Planning
7807 E Vernon Avenue
Scottsdale, Arizona, 85257
(602) 299-6148
andrew@andrewchiplanning.com

RE: PDR-2022-00111: LINDSAY CROSSING COMPREHENSIVE SIGN PROGRAM

Dear Applicant:

Staff has reviewed the final set of revised drawings received for Administrative Design Review regarding DR22-111, Lindsay Crossing Comprehensive Sign Program. This project is to be applied to an approved Master Site Plan at 2833 E Baseline Road and zoned General Commercial (GC).

In general, this project will achieve the following:

- Create a Comprehensive Sign Program (CSP) determine allowable sign type and sign placement for the two approved buildings within the Lindsay Crossing Master Site Plan (approved as DR22-28)
- Set standards for sign placement, size, maximum sign area, and other sign properties which are shared between the two buildings to ensure cohesion between two distinct buildings within the same Master Site Plan.

This project meets the following requirements and can be considered administratively without elevation to the Design Review Board:

- Comprehensive Sign Programs are eligible for Administrative Design Review by Planning Manager per Land Development Code 6.6.2.B.

Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design does not adversely affect the safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:

1. Construction of the project shall conform to the exhibits approved administratively by Development Services staff with required markups addressed and final documents signed off by assigned planner on January 4, 2023.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. Comments provided by the Town of Gilbert Engineering Division noted on the approved plans shall be addressed at time of Construction Drawings.

If you have any questions regarding the approval stated above, please contact me at (480) 503-6729 or Noah.Schumerth@gilbertaz.gov.

Sincerely,



Noah Schumerth
Planner II

Approved Attachments:

1. *Lindsay Crossing Comprehensive Sign Program Booklet*

APPROVED
Administrative Design Review
Case # **DR22-111**
Date **01/04/2023**

LINDSAY CROSSING

COMPREHENSIVE SIGN PROGRAM

SEC OF NORTH LINDSAY ROAD & EAST BASELINE ROAD

GILBERT, ARIZONA

DECEMBER 2022

TOWN OF GILBERT CASE NUMBER PDR-2022-00111

CSP PREPARED FOR:
Glenwood Commercial Real Estate



CSP PREPARED BY:
Andrew Chi Planning



TABLE OF CONTENTS & PROJECT INFORMATION

TABLE OF CONTENTS

| | |
|------|--|
| 2 | PROJECT INFORMATION |
| 3 | NARRATIVE, VICINITY MAP, PARCEL MAP & AERIAL PHOTO |
| 4-5 | PERFORMANCE STANDARDS & GENERAL SIGN REQUIREMENTS |
| 6 | SITE PLAN |
| 7 | MONUMENT SIGN STANDARDS |
| 8 | TRAFFIC DIRECTIONAL SIGN STANDARDS |
| 9-16 | BUILDING SIGN STANDARDS |
| 17 | PAD A - BUILDING ELEVATIONS & SIGN ENVELOPES |
| 18 | PAD B - BUILDING ELEVATIONS & SIGN ENVELOPES |

SITE INFORMATION

PROJECT

Lindsay Crossing
SEC of N. Lindsay Road & E. Baseline Road
Gilbert, Arizona

JURISDICTION



Town of Gilbert, Arizona

TOWN OF GILBERT CASE NUMBERS:

PPA-2021-00112
PDR-2022-00028
PDR-2022-00111

ASSIGNED ADDRESSES

2833 E. Baseline Road
Gilbert, Arizona 85234

PARCEL NUMBERS

APN 304-10-955A (Current)

SUBDIVISION

TBD

TOTAL AREA

Pad A: 35,996.91 Net Square Feet (0.826 Net Acres)
Pad B: 52,703.77 Net Square Feet (1.209 Net Acres)
Total: 88,700.68 Square Feet (2.035 Net Acres)

TOWN OF GILBERT ZONING

GC (General Commercial District)

OWNER INFORMATION



Glenwood Commercial Real Estate
4360 E. Brown Rd. Suite 106
Mesa, Arizona 85205

Contact: Travis Carter
Phone: 480.775.4650
Email: travis@glenwood.com

SIGNAGE CONSULTANTS



Andrew Chi Planning
7807 E. Vernon Ave.
Scottsdale, Arizona 85257

Contact: Andrew Chi
Phone: 602.299.6148
Email: andrew@andrewchiplanning.com



Arizona Commercial Signs
3006 N. Maple St.
Mesa, Arizona 85215

Contact: Glenn Probert
Phone: 480.341.1407
Email: gprobert@arizonacommercialsign.com

Date of CSP Production: December 20, 2022

APPROVED
Administrative Design Review
Case # DR22-111
Date 01/04/2023

NARRATIVE & REQUEST

Date: December 20, 2022

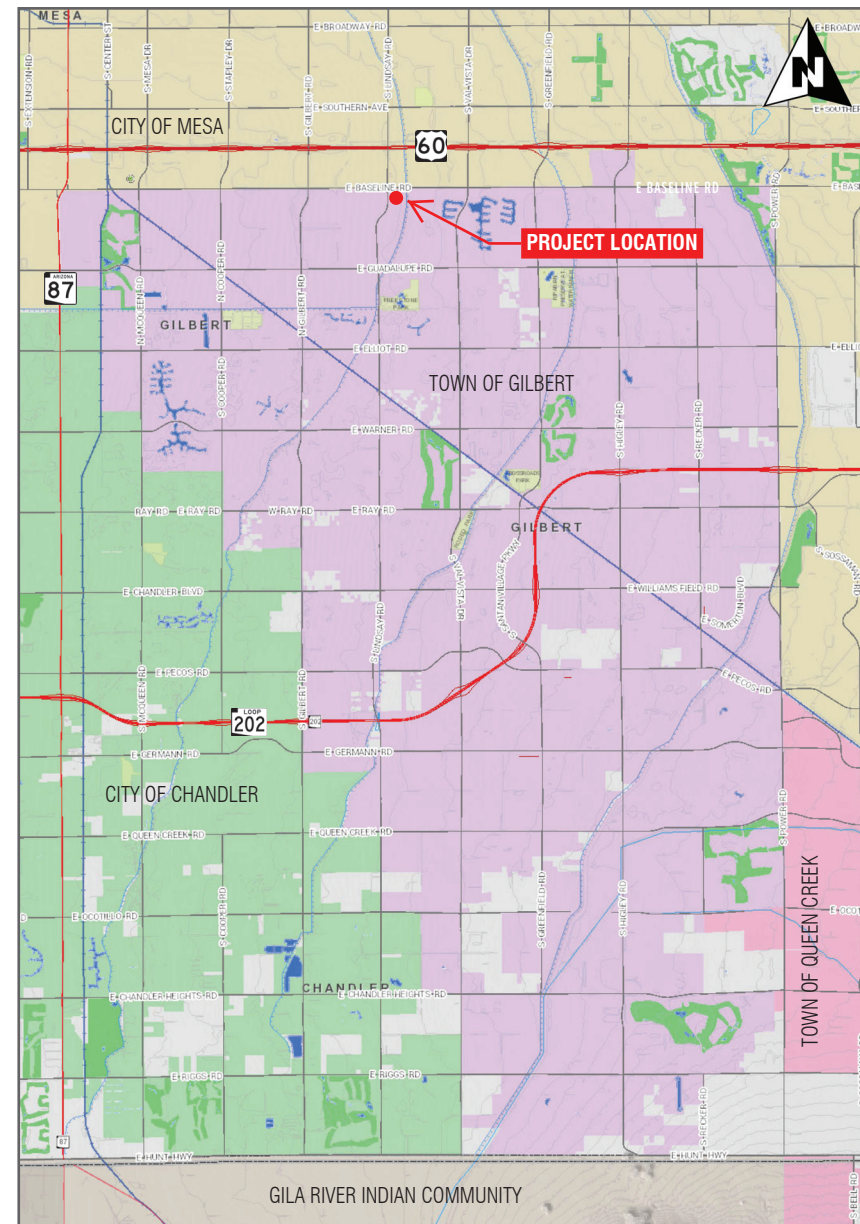
Lindsay Crossing is a planned 88,700 square foot (2.035 acre) multi-tenant commercial development in Gilbert, Arizona, with General Commercial (GC) zoning and located at the southeastern corner of S. Lindsay Road and E. Baseline Road. The site consist of two (2) pad buildings (Pad A and Pad B), with each building located on its own parcel. Pad A is a restaurant use with drive-thru service, and Pad B is an automotive service facility use that includes three (3) service bays. The development will be divided into two (2) parcels with shared parking, access, drainage and landscaping provided between the parcels. New access driveways will be provided on both Lindsay Road and Baseline Road, with a new deceleration right turn lane provided on Baseline Road. Pedestrian access into the site will be provided from Baseline Road and Lindsay Road, and pedestrian access will be provided between the two (2) pad buildings within the site.

The purpose of this new Comprehensive Sign Program is to incorporate new sign design standards and guidelines to provide design compatibility for freestanding and building signs, and coordinate the locations of freestanding and building signs.

Andrew Chi Planning, on behalf of Glenwood Commercial Real Estate, is pleased to submit this Comprehensive Sign Program in support of an Administrative Design Review application by the Town of Gilbert Planning Department. The proposed CSP will be a positive addition to the Gilbert community by establishing a unique, high quality sign program that will benefit Lindsay Crossing and its various tenants.

The Lindsay Crossing Comprehensive Sign Program will ensure an attractive signage environment that includes beautifully designed freestanding signs and strategically placed building signs to promote economic development and safe wayfinding. In conclusion, the Lindsay Crossing Comprehensive Sign Program will protect the interests and goals of the Town of Gilbert and Glenwood Commercial Real Estate, while promoting economic vitality for the businesses within the development.

VICINITY MAP



MARICOPA COUNTY ASSESSOR PARCEL MAP

PARCEL MAP & AERIAL PHOTO



MARICOPA COUNTY ASSESSOR PARCEL MAP & AERIAL (2022)

PERFORMANCE STANDARDS & GENERAL SIGN REQUIREMENTS

These criteria have been developed to ensure design compatibility among all signs at Lindsay Crossing. These criteria exist to maintain a continuity of quality and aesthetics throughout the development for the mutual benefit of all tenants, and to comply with the regulations of the local municipal sign and electrical codes. Conformance to these criteria will be strictly enforced. Any sign installed that is non-conforming to these criteria not approved by Landlord must be removed or brought into conformance by the Tenant and/or its sign contractor.

Landlord shall approve all signs, in writing, prior to installation. Approval shall be for appearance only and not for code compliance. Sign permits must be obtained from the Town of Gilbert prior to the installation of any sign.

I. PERFORMANCE STANDARDS

1. The Landlord shall review the detailed signage shop drawings electronically, with the drawings indicating the sign location, size, layout, design color, illumination materials and method of attachment. The Landlord shall then electronically return the drawings back to the Tenant marked as either "Approved", "Approved as Noted", or "Revise and Re-Submit".
2. "Revise and Re-Submit" drawings will be returned to the Tenant with comments. These drawings shall be revised by Tenant and resubmitted to Landlord for its approval.
3. Upon receipt of Landlord approval, Tenant shall proceed with the Town of Gilbert permit process. No sign shall be installed prior to Town approval.
4. No signs, advertisements, notices, or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of Landlord.
5. Tenant and/or its representatives shall obtain all permits for its exterior signs and their installation. Tenant shall be responsible for all requirements, specifications, and costs.
6. Tenant shall have the sole responsibility for compliance with all applicable codes, ordinances, or other regulations for all work performed on the premises by or on behalf of the Tenant.
7. The Landlord's approval of Tenant's plans, specifications, calculations, or work shall not constitute an implication, representation, or certification by Landlord that said items are following applicable codes, ordinances, or other regulations.

II. GENERAL SIGN REQUIREMENTS

1. All signage is subject to Town of Gilbert approval and this comprehensive sign program. Landlord will support all applications for signs in compliance with this sign program but cannot guarantee Town approval.
2. All signage shall be constructed and installed at Tenant's expense.
3. Tenant and the Tenant's contractor shall be responsible for the repair of any damage caused by installation or removal of any sign.
4. Temporary advertising devices such as attraction boards, posters, banners, and flags shall be permitted.
5. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
6. All signs shall be fabricated using full welded construction.
7. All penetrations of the building structure required for sign installation shall be neatly sealed in a water tight condition.
8. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
9. All exposed metals shall be painted to render them inconspicuous.
10. No exposed raceways, crossovers, tubing, or conduit will be permitted. All conductors, transformers, and other equipment shall be concealed.
11. All electrical signs shall bear the UL label.
12. All signs shall conform to International Building Code Standards.
13. All electrical signs shall conform to National Electrical Code Standards.
14. Tenant shall be liable for the operation of their sign contractor. Tenant shall be responsible for selecting a sign company that carries workers' compensation and commercial general liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs with limits of liability satisfying the requirements of the Lease.
15. Flashing, moving, or audible signs will not be permitted.
16. Tenant logo styled letters may be used. With the exception of the Major Tenant, copy content of the signage shall not include the product sold without prior approval of Landlord.

III. WALL SIGNS

1. Unless otherwise stated in this Sign Criteria, all Wall Signs shall conform to the Sign Regulations of the Town of Gilbert Land Development Code.
2. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Landlord.
3. Wall signs shall consist of individual LED or neon illuminated or non-illuminated pan channel or reverse pan channel letters with 3" to 5" Deep returns. Flat cut out (FCO) aluminum may be used for smaller letters if necessary.
4. Custom Cabinet Signs that adheres to the tenant's corporate design standards may be used provided that they are approved by Landlord and comply with the Sign Regulations of the Town of Gilbert Land Development Code.
5. Suspended (Blade) Signs that adheres to the tenant's corporate design standards may be used provided that they are approved by Landlord and comply with the Sign Regulations of the Town of Gilbert Land Development Code.
6. Projecting Signs that adheres to the tenant's corporate design standards may be used provided that they are approved by Landlord and comply with the Sign Regulations of the Town of Gilbert Land Development Code.
7. All sign materials shall be quality in nature and include Aluminum, Steel, Stainless Steel, Acrylic, and Polycarbonate.
8. Corporate Letterstyles, Logotype, Logo, and Colors may be used per Landlord Approval. In instances where a Tenant has no corporate color or identity, text is to be in a color that contrasts the face of the monument sign panel.
9. Height and Length. The height of a Wall Sign shall not exceed eighty (80) percent of the vertical dimension of the sign band or wall space on which the sign is placed. The length of a Wall Sign shall not exceed eighty (80) percent of the horizontal length of the exterior building elevation of the tenant suite.
10. Placement. Wall Signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character. Top floor signage located on multi-story buildings may span floor plates.
11. All Tenant Wall Signs must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

IV. STOREFRONT GRAPHICS (WINDOW SIGNS)

1. Unless otherwise stated in this Sign Criteria, Storefront Graphics, also known as Window Signs, shall comply with the Town of Gilbert Land Development Code, Sign Regulations.

2. Storefront Graphics not to exceed 25% of each window area.
3. Standard white vinyl die cut copy may be used to display hours of business, emergency numbers, etc. All window graphics and displays shall be subject to the approval of the Landlord prior to fabrication or implementation.
4. Corporate Letterstyles, Logotype, Logo, and Colors may be used with Landlord Approval.
5. All Store Front Graphics are to be installed 1st surface to Tenant frontage windows/doors.

V. MONUMENT SIGNS

1. Unless otherwise stated in this Sign Criteria, all Monument Signs shall conform to the Sign Regulations of the Town of Gilbert Land Development Code.
2. Two (2) Double-Faced Freestanding Multi-Tenant Monument Signs are allowed for the development.
3. The Monument Signs shall display the name of the development and up to two (2) tenant names per face.
4. Monument Sign Tenant Panels are to be fabricated of routed aluminum, with 1-inch-deep clear acrylic push-thru copy and with 1st surface translucent full color digital printed with UV vinyl graphic.
5. All Tenant Panel faces are to be painted the same beige color to match the color found on the buildings for architectural compatibility.
6. Corporate Letterstyles, Logotype, Logo, and Colors may be used. In instances where a Tenant has no corporate color or identity, text is to be in a color that contrasts the face of the Monument Sign panel.
7. All Multi-Tenant Monument Sign Tenant Panels must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

VI. ON-SITE TRAFFIC DIRECTIONAL SIGNS

1. Unless otherwise stated in this Sign Criteria, all On-Site Traffic Directional Signs shall conform to the Sign Regulations of the Town of Gilbert Land Development Code.
2. The design and placement of On-Site Traffic Directional Signs shall conform to this Comprehensive Sign Program.
3. If any Tenant wishes to utilize corporate-style designs of an On-Site Traffic Directional Sign, Landlord Approval shall be required.

APPROVED

Administrative Design Review

Case # DR22-111

Date 01/04/2023

PERFORMANCE STANDARDS & GENERAL SIGN REQUIREMENTS

4. All On-Site Traffic Directional Signs must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

VII. DRIVE-THROUGH SIGNS

1. The design and placement of Drive-Through Signs shall conform to the design standards of the Tenant with Landlord Approval.
2. All Drive-Through Signs must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

VIII. STREET ADDRESS SIGNS

1. Street Address Signs for commercial buildings and units are required to clearly be identified by, and associated with, a street address for public safety first responders, mail delivery, and official government notification.
2. Street Address Signs shall conform to the Sign Regulations of the Town of Gilbert Land Development Code.

IX. TEMPORARY SIGNS

1. Unless otherwise stated in this Sign Criteria, all Temporary Signs shall conform to the Sign Regulations of the Town of Gilbert Land Development Code.
2. Temporary Signs are intended to be utilized by businesses as a short-term advertisement of special events (e.g., grand opening, going out of business), sales, and new products or services.
3. General Standards. Unless otherwise modified by this Section or by the Temporary Sign Regulations of the Town of Gilbert Land Development Code, the following standards apply to all Temporary Signs:
 - a. Not become a safety hazard to vehicular and pedestrian traffic.
 - b. Not allowed within a Sight Visibility Triangle.
 - c. Not allowed on Public Sidewalk or right-of-way.
 - d. No lighting or illumination is allowed on temporary signage.
4. A-Frame Signs, T-Frame Signs & Flying Banners
 - a. All A-Frame Signs, T-Frame Signs, and Flying Banners shall conform to the Temporary Sign Regulations of the Town of Gilbert Land Development Code.

- b. A permit is not required for A-Frame Signs, T-Frame Signs, and Flying Banners per the Town of Gilbert Sign Regulations.
 - c. Landlord Approval shall be required to allow the display of A-Frame Signs, T-Frame Signs, and Flying Banners. The Landlord has the right to deny the display of any A-Frame Signs, T-Frame Signs, or Flying Banners.
5. Banners.
 - a. All Banner Signs shall conform to the Temporary Sign Regulations of the Town of Gilbert Land Development Code.
 - b. Landlord Approval shall be required to allow the display of Banners. The Landlord has the right to deny the display of any A-Frame Signs, T-Frame Signs, or Flying Banners.
 - c. A Banner Permit from the Town of Gilbert is required.
 6. Miscellaneous Signs. Sign Walkers, Flags, and Umbrella Signs shall conform to the Sign Regulations of the Town of Gilbert Land Development Code.

SITE PLAN

SITE DATA

ASSIGNED ADDRESSES

2833 E. Baseline Road
Gilbert, Arizona 85234

PARCEL NUMBERS

APN 304-10-955A (Current)

SUBDIVISION

TBD

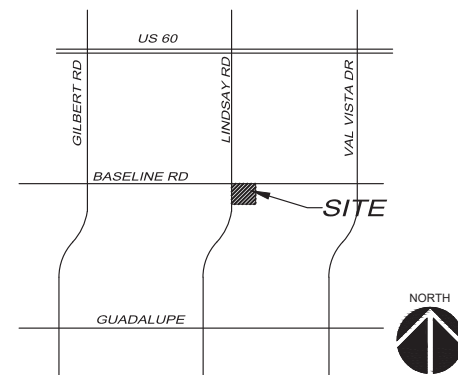
TOTAL AREA

Pad A: 35,996.91 Net Square Feet (0.826 Net Acres)
Pad B: 52,703.77 Net Square Feet (1.209 Net Acres)
Total: 88,700.68 Square Feet (2.035 Net Acres)

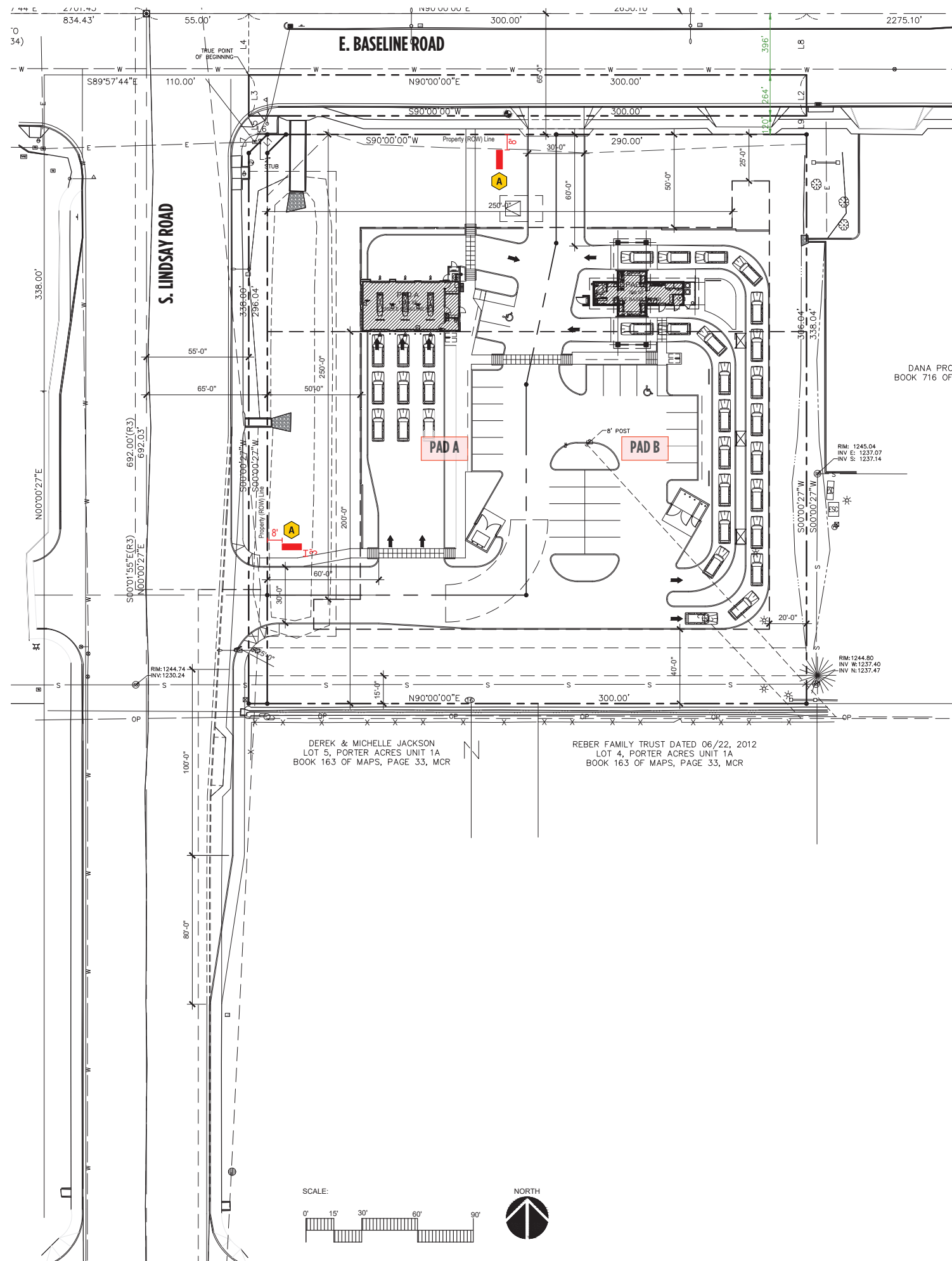
TOWN OF GILBERT ZONING

GC (General Commercial District)

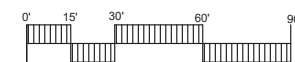
VICINITY MAP



SITE PLAN PRODUCED BY:



SCALE:



NORTH



LINDSAY CROSSING
COMPREHENSIVE SIGN PROGRAM

KEY



MONUMENT SIGN

NOTE: The general location and allowed placement of Monument Signs are shown on this Site Plan. The final and exact locations of all Monument Signs shall be provided during the sign permit application review process with the Town of Gilbert prior to permitting. Monument Signs shall have a minimum setback of three (8) feet from the property (ROW) line to avoid being located within a dedicated public utility easement (PUE) and shall not obstruct any sight visibility triangle.



TRAFFIC DIRECTIONAL SIGN

NOTE: The exact locations of Traffic Directional Signs on this Site Plan are not shown, however, Traffic Directional Signs are allowed within the site and shall comply with General Sign Standards Section VI of this Comprehensive Sign Program, and comply with the applicable provisions of the Town of Gilbert Land Development Code, Sign Regulations. Tenants of Lindsay Crossing that require Traffic Directional Signs for vehicular and pedestrian movement control, including drive-through lanes, shall finalize the exact location and quantity of Traffic Directional Signs with the Landlord, and provide the exact and final locations and quantity during the sign permit application review process with the Town of Gilbert prior to permitting.

KEYNOTES:

- 1 EXISTING CURB TO REMAIN
- 2 EXISTING SIDEWALK TO REMAIN
- 3 EXISTING STREET
- 4 EXISTING DRIVEWAY TO BE REMOVED
- 5 NEW FIRE HYDRANT
- 6 NEW ASPHALT PAVING
- 7 NEW 6" HIGH CONCRETE CURB
- 8 NEW 5'-0" WIDE CONCRETE SIDEWALK
- 9 NEW ADA RAMP
- 10 TRASH ENCLOSURE
- 11 3'-0" TALL CMU SCREEN WALL
- 12 NEW DRIVEWAY PER T.O.G. STANDARDS
- 13 NEW DECELERATION LANE
- 14 BICYCLE RACK
- 15 LANDSCAPE AREA
- 16 ADA PARKING AND SIGNAGE
- 17 SES LOCATION FULLY SCREENED
- 18 NEW ELECTRICAL TRANSFORMER
- 19 NEW 6'-0" TALL CMU SCREEN WALL
- 20 FIRE TRUCK TURNING RADIUS. 35' INSIDE/55' OUTSIDE
- 21 PROPOSED NEW PARCEL LINE

APPROVED

Administrative Design Review

Case # DR22-111

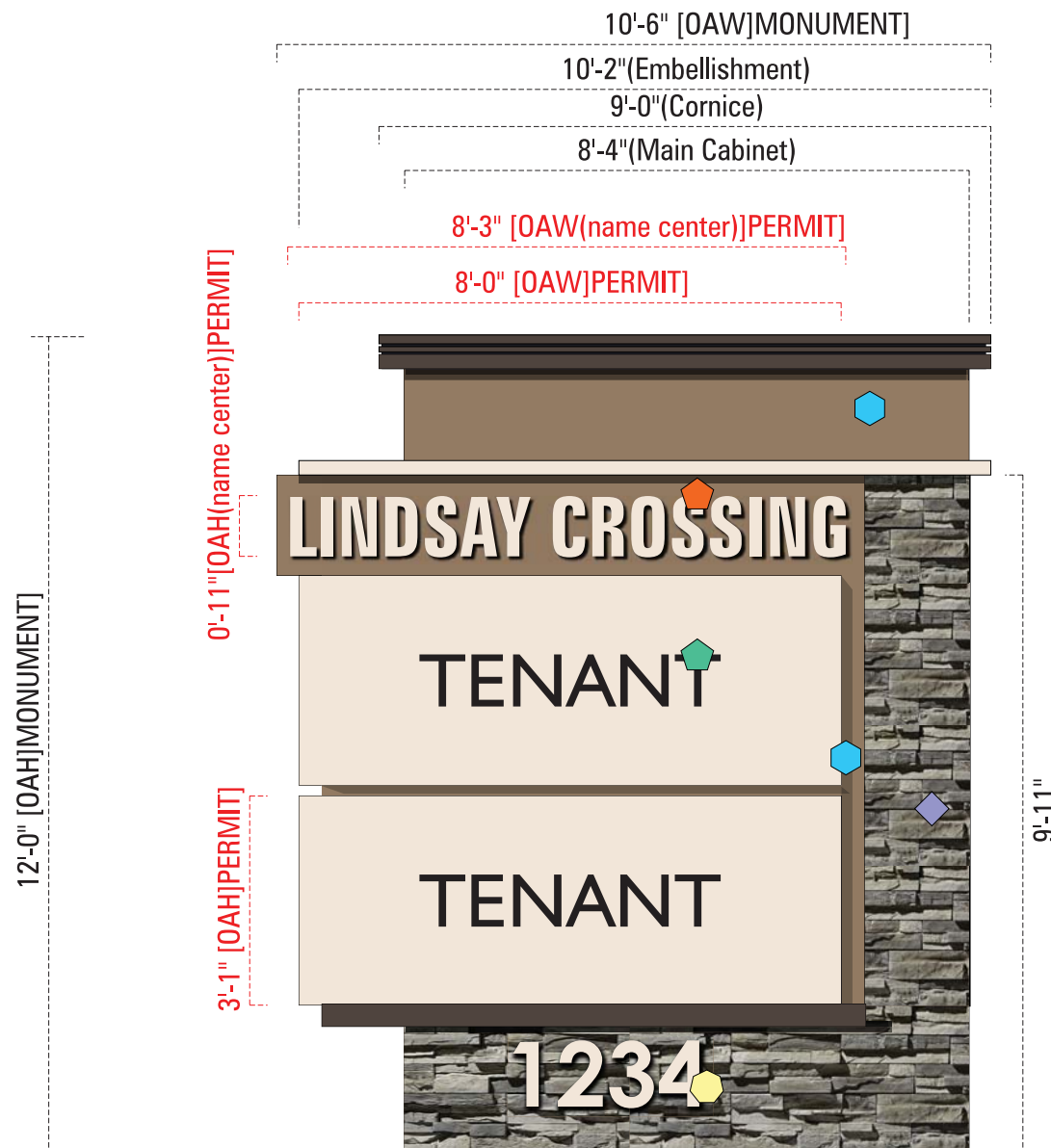
Date 01/04/2023

A MONUMENT SIGN

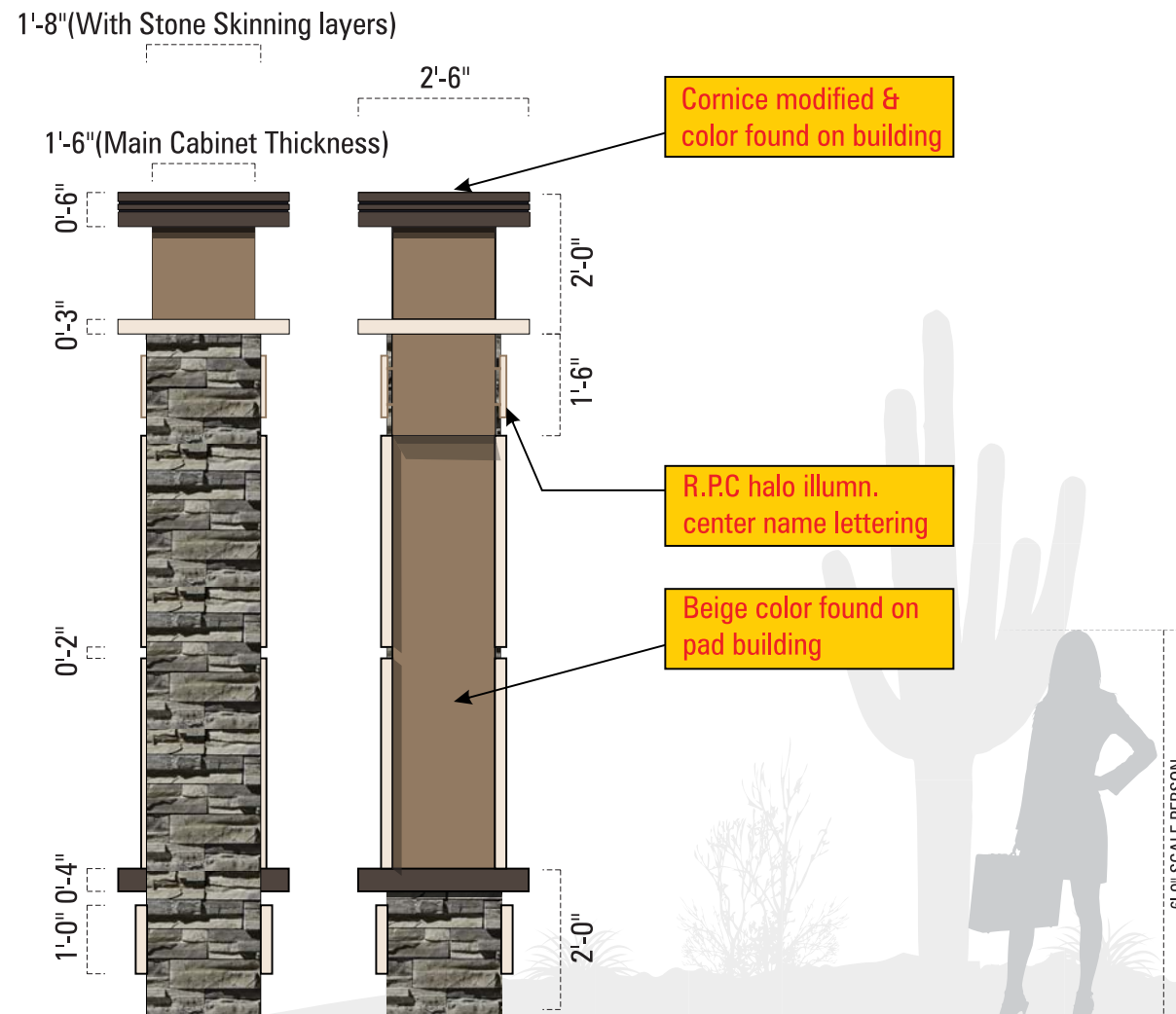
ELEVATIONS & DETAILS

57 SF TOTAL

PRE A.S.A. ENGINEERING FOR QUOTATION ONLY
 [6'-0"] [72"] [H]
 [12'-0"] [OAH] x [10'-6"] [OAW] ÷ 144 = [126SF] [H]
 [PILE/FOOTING] [9] [2.5'DIA] x 8' DEPTH
 [PIPE] [7] [6"DIA] [0.280TINSEL]



FRONT VIEW



SIDE VIEW

MANUFACTURE AND INSTALL, (2) **TWO TOTAL**;
 DOUBLE-FACED UL LISTED WHITE L.E.D. TECH.
 INTERNALLY-ILLUMINATED FREE-STANDING
 ALUMINUM CONSTRUCTED MONUMENT I.D.
 STRUCTURE AS FOLLOWS:

- ◆ (.090) GRADE ALUMINUM CONSTRUCTION MAIN CABINET WITH REVERSE-ROUT COPY PAN(S) PAINTED TO MATCH COMPLEX BRAND MOTIF COLORATION(S) WITH PAINTED CAP EMBELLISHMENT
- ◆ (1") DEEP CLEAR ACRYLIC PUSH-THRU COPY & WITH (1ST) SURFACE 3M SCOTCHCAL TRANSLUCENT FULL COLOR DIGITAL PRINT WITH UV VINYL GRAPHIC OVERLAY(S)
- ◆ DISTRESSED BRICK/STONE MASONRY CONSTRUCTED PILLAR & BASE STRUCTURE TO MATCH PROPERTY PERIMETER WALL PILLARS
- ◆ (.090) GRADE ALUMINUM CONSTRUCTION (3") DEEP PAINTED SATIN FINISH RETURNS & FACES TO SPEC'S. BACK WITH (3/16") THICK GLOSS CLEAR LEXAN POLYCARBONATE
- ◆ (2") DEEP ACRYLIC FLAT CUT OUT COPY & ADDRESS NUMERALING

FLUSH MOUNTED TO GRADE AS DEMONSTRATED.

*** REQUIRES ONSITE SAKRETE CONCRETE FOOTING POUR AND PIPE SETTING. REQUIRES A.S.A. SIGN ENGINEERING FOR WIND LOAD & TINSEL STRENGTH. REQUIRES LANDLORD APPROVAL ON LAYOUT, COLOR(S) & LOCATION. REQUIRES CITY/COUNTY DESIGN REVIEW & PERMITTING.

SPEC PLAN

SCALE: 3/8" = 1'-0"



REQUIRES FIELD SURVEY FOR PRODUCTION MEASUREMENTS
 RETURN TO ART DEPARTMENT FOR PRODUCTION FILE CREATION

DRAWING PREPARED BY:

APPROVED

Administrative Design Review

Case # DR22-111

Date 01/04/2023



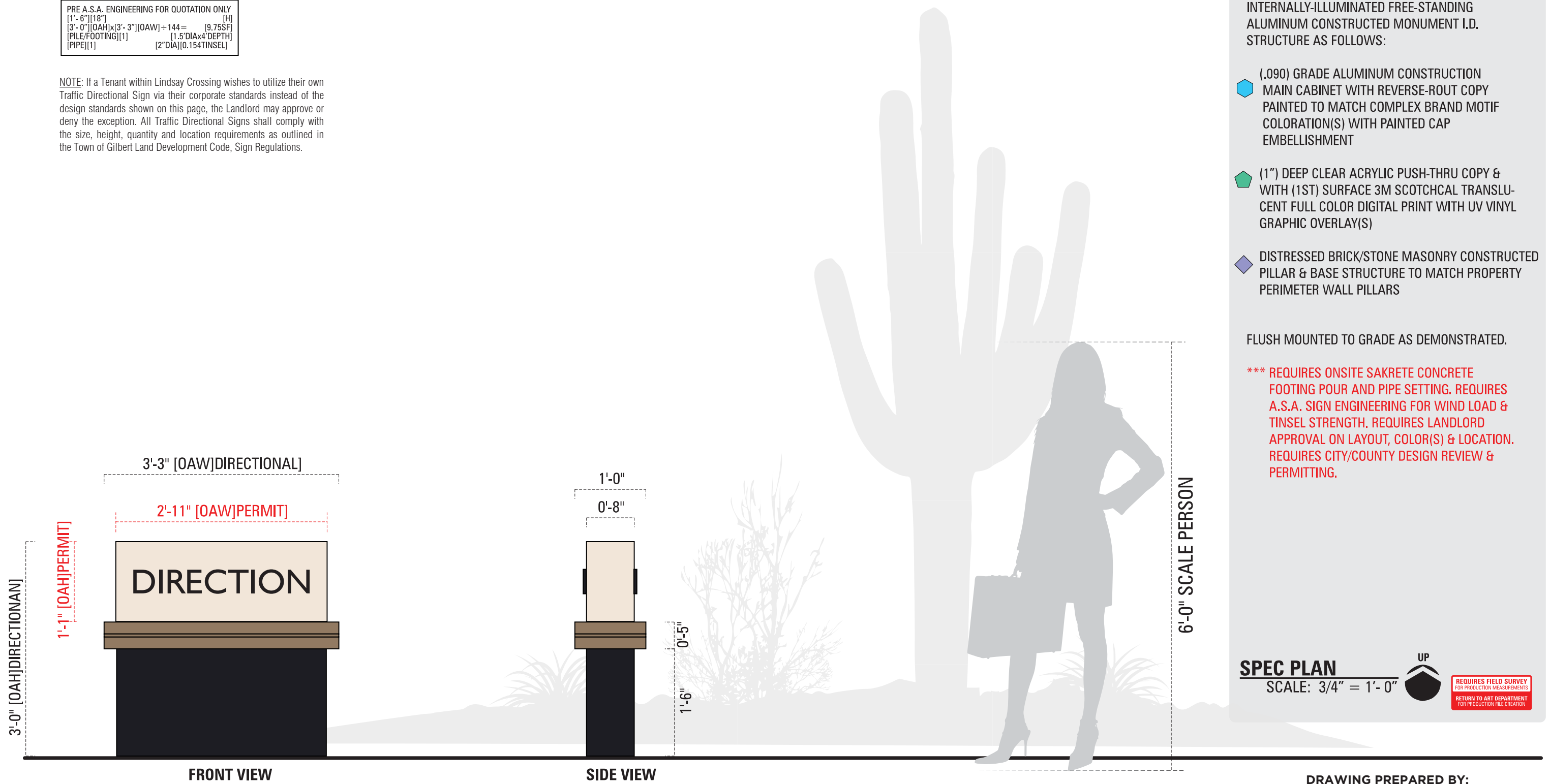
B TRAFFIC DIRECTIONAL SIGN

ELEVATIONS & DETAILS

3 SF TOTAL

| | |
|---|------------------------|
| PRE A.S.A. ENGINEERING FOR QUOTATION ONLY | |
| [1'-6"] [18"] | [H] |
| [3'-0"] [OAH] x [3'-3"] [OAW] ÷ 144 = | [9.75SF] |
| [PILE/FOOTING] [1] | [1.5'DIA x 4'DEPH] |
| [PIPE] [1] | [2"DIA] [0.154 TINSEL] |

NOTE: If a Tenant within Lindsay Crossing wishes to utilize their own Traffic Directional Sign via their corporate standards instead of the design standards shown on this page, the Landlord may approve or deny the exception. All Traffic Directional Signs shall comply with the size, height, quantity and location requirements as outlined in the Town of Gilbert Land Development Code, Sign Regulations.




MANUFACTURE AND INSTALL, (2) **TWO TOTAL**;
 DOUBLE-FACED UL LISTED WHITE L.E.D. TECH.
 INTERNALLY-ILLUMINATED FREE-STANDING
 ALUMINUM CONSTRUCTED MONUMENT I.D.
 STRUCTURE AS FOLLOWS:

- ◈ (.090) GRADE ALUMINUM CONSTRUCTION
- ◈ MAIN CABINET WITH REVERSE-ROUT COPY PAINTED TO MATCH COMPLEX BRAND MOTIF COLORATION(S) WITH PAINTED CAP EMBELLISHMENT
- ◈ (1") DEEP CLEAR ACRYLIC PUSH-THRU COPY & WITH (1ST) SURFACE 3M SCOTCHCAL TRANSLUCENT FULL COLOR DIGITAL PRINT WITH UV VINYL GRAPHIC OVERLAY(S)
- ◈ DISTRESSED BRICK/STONE MASONRY CONSTRUCTED PILLAR & BASE STRUCTURE TO MATCH PROPERTY PERIMETER WALL PILLARS

FLUSH MOUNTED TO GRADE AS DEMONSTRATED.

*** REQUIRES ONSITE SAKRETE CONCRETE FOOTING POUR AND PIPE SETTING. REQUIRES A.S.A. SIGN ENGINEERING FOR WIND LOAD & TINSEL STRENGTH. REQUIRES LANDLORD APPROVAL ON LAYOUT, COLOR(S) & LOCATION. REQUIRES CITY/COUNTY DESIGN REVIEW & PERMITTING.

SPEC PLAN
 SCALE: 3/4" = 1'-0" 
 REQUIRES FIELD SURVEY FOR PRODUCTION MEASUREMENTS
 RETURN TO ART DEPARTMENT FOR PRODUCTION FILE CREATION

DRAWING PREPARED BY:

APPROVED
 Administrative Design Review
 Case # DR22-111
 Date 01/04/2023



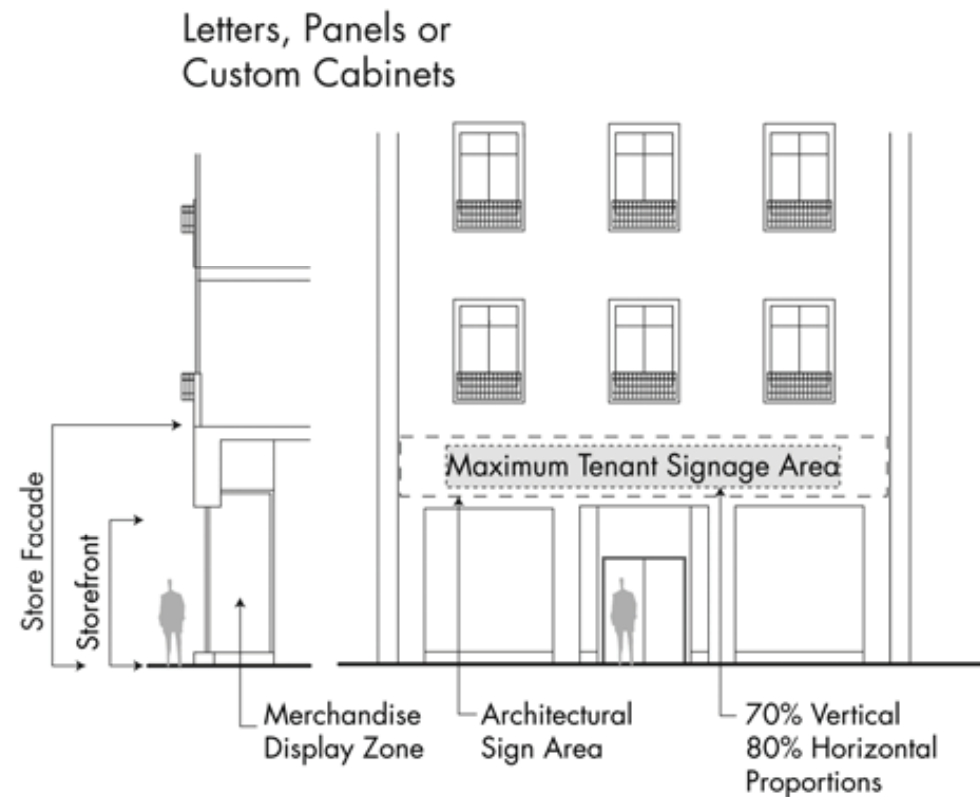
TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

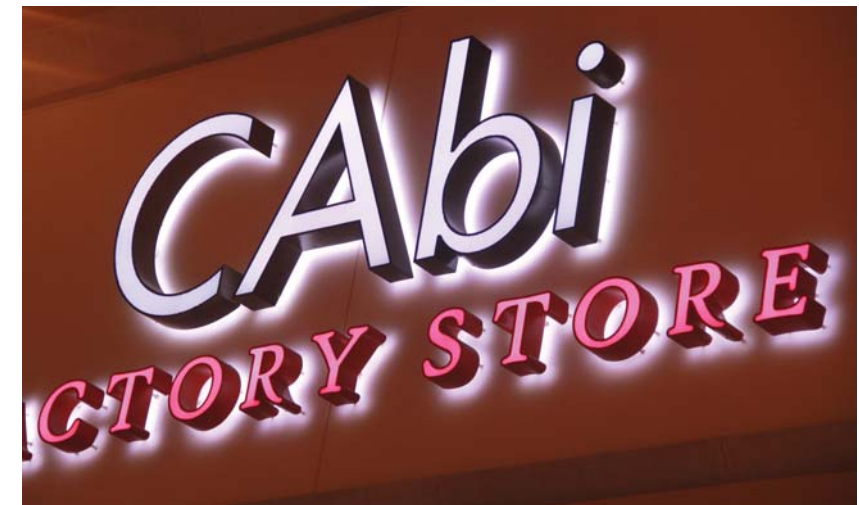
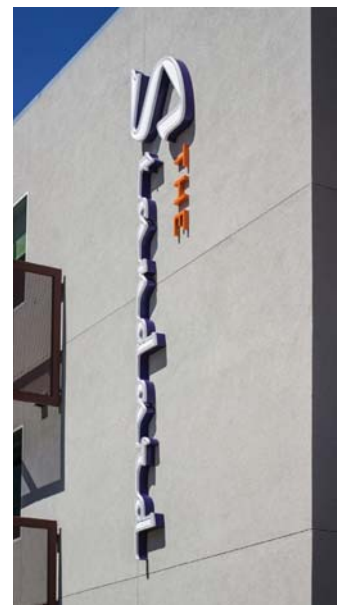
WALL MOUNTED SIGNS

A wall mounted sign is any sign mounted flat against and projecting less than fifteen (15) inches from, or painted on the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall. This does not include window signs. All signs shall fit appropriately into architectural sign areas as depicted below – Wall Signs with a maximum proportion of seventy (70) percent of the vertical height and eighty (80) percent of the horizontal length. Margins left by the sign should be in balance around the sign. Color breaks, control joints, high variation in surface texture or other obvious architectural delineation of spaces shall define the architectural sign area. Architecturally integrated signs may use a face material or cabinet which fills the entire sign area as background material. See Next Page for Cabinet Details.

Each tenant or user suite shall be limited to Wall Sign with a Sign Area no greater than the total Sign Allowance Area defined below for (a) the longest building elevation of the tenant or user suite facing the street, or (b) the length of the building elevation of the tenant or user suite where its principal entrance is located. and that sign allowance area under this subsection shall mean “for buildings set back seventy-five (75) feet or less from the right-of-way, one (1) square foot of Sign Area for each (1) one lineal foot of the building elevation adjacent to the suite. and for “buildings set back more than 75 feet, one and one half (1-1/2) square feet of Sign Area for each one (1) lineal foot of building elevation adjacent to the suite.”



TENANT WALL MOUNTED SIGN PLACEMENT EXAMPLE



WALL MOUNTED SIGNS PHOTOGRAPHIC EXAMPLES

TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

CABINET SIGNS

A cabinet sign is a sign that contains all the text and/or logo symbols within a single enclosed case. Cabinet signs that are wall mounted must comply with the wall mounted sign requirements of this section (See previous page 'Wall Mounted Signs').

Cabinet signs shall be stylized in shape, rather than rectangular, to reflect the shape of the image printed on the Sign Face or the molded Sign Face, with embossed copy, Flat Cut-Out copy, Channel Letter copy, or sign copy in relief. Copy may be a separate Letterset of Flat Cut-Out or Channel Letters not affixed to Cabinet as well.



CABINET SIGNS PHOTOGRAPHIC EXAMPLES

MURALS

A mural is painting or pictorial representation applied to or incorporated into a structure or wall, which can be viewed from public places, service lanes and ROW. Murals shall not display any form of advertising.



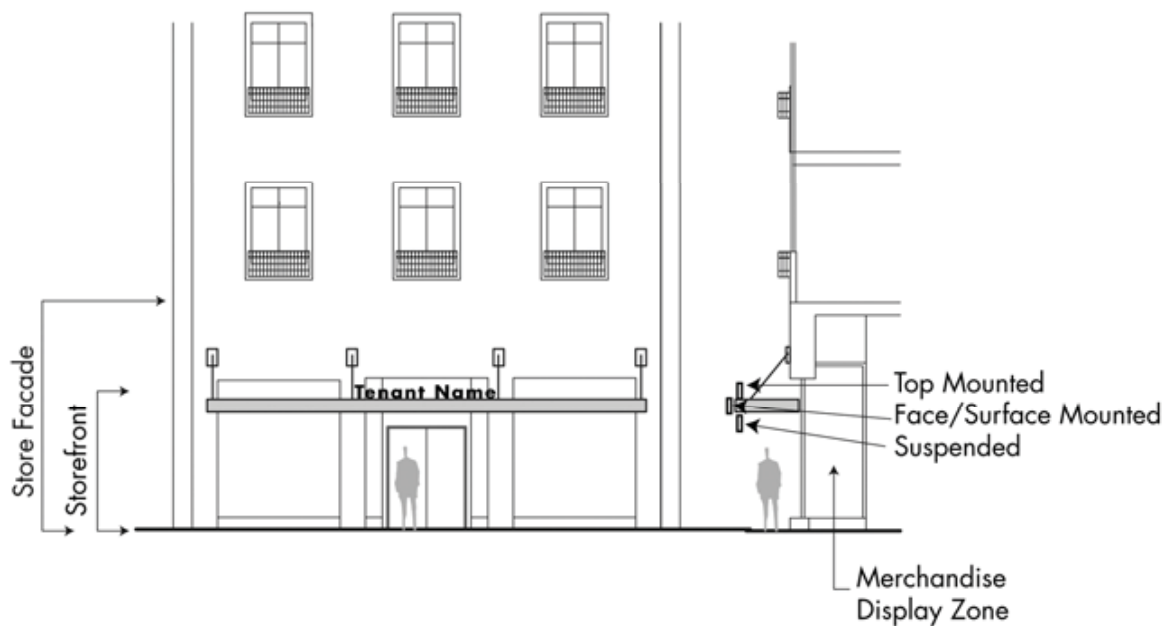
MURAL SIGNS PHOTOGRAPHIC EXAMPLES

TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

BUILDING CANOPY SIGNS

A Building Canopy Sign is a sign placed on, affixed to, or incorporated into the surface of a canopy (typically rigid structures, or structures with vertical supports) or similar device. Signage may be mounted over, suspended under or face-mounted to the front edge or sides of a canopy. The canopy and associated signage must be at least eight (8) feet above any walkway surfaces. Canopies over four (4) feet deep may be required to provide indirect illumination of the walkway below, this shall not be considered signage illumination. No raceway can be visible from any and all views of the sign (raceways must be concealed). Refer to the example illustrations.



BUILDING CANOPY SIGN PLACEMENT EXAMPLES



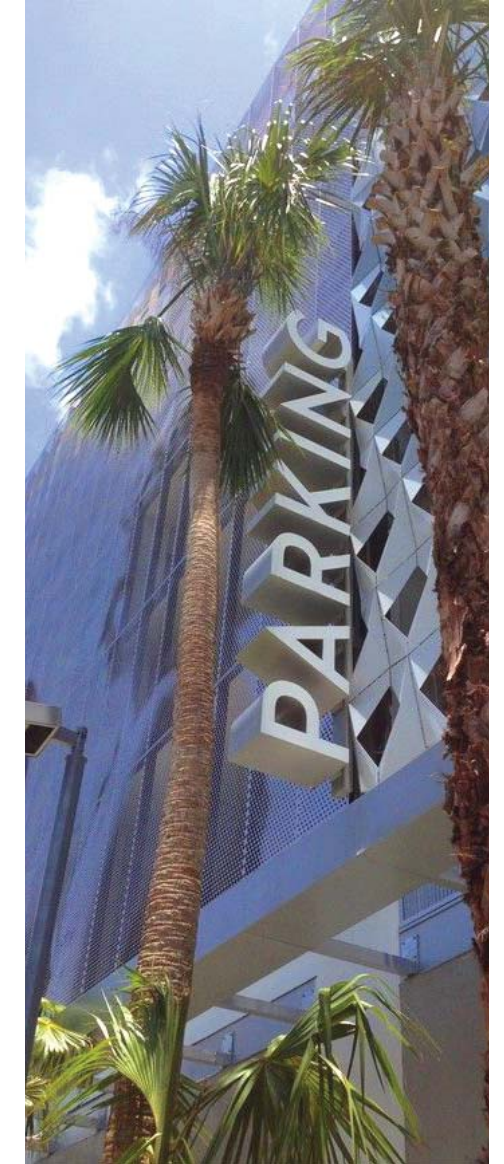
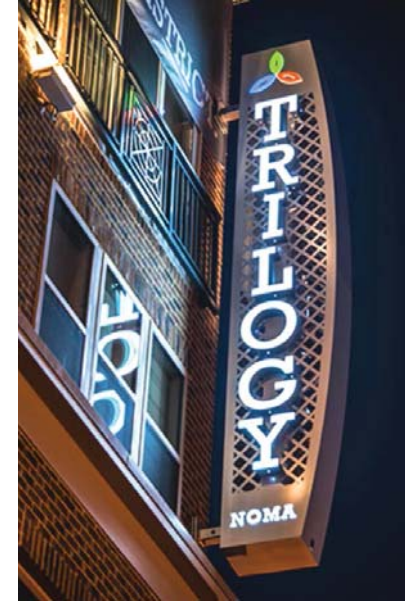
CANOPY SIGNS PHOTOGRAPHIC EXAMPLES

TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

BLADE / PROJECTING SIGNS

A blade or projecting sign shall be a sign attached to a building or other structure and extending in whole or in part more than fifteen (15) inches beyond the building. The blade or projecting sign must be at least eight (8) feet above any walkway surfaces. Maximum projection from the building shall not exceed four (4) feet. Mounting brackets must be decorative elements, compatible with the architecture of the base building.

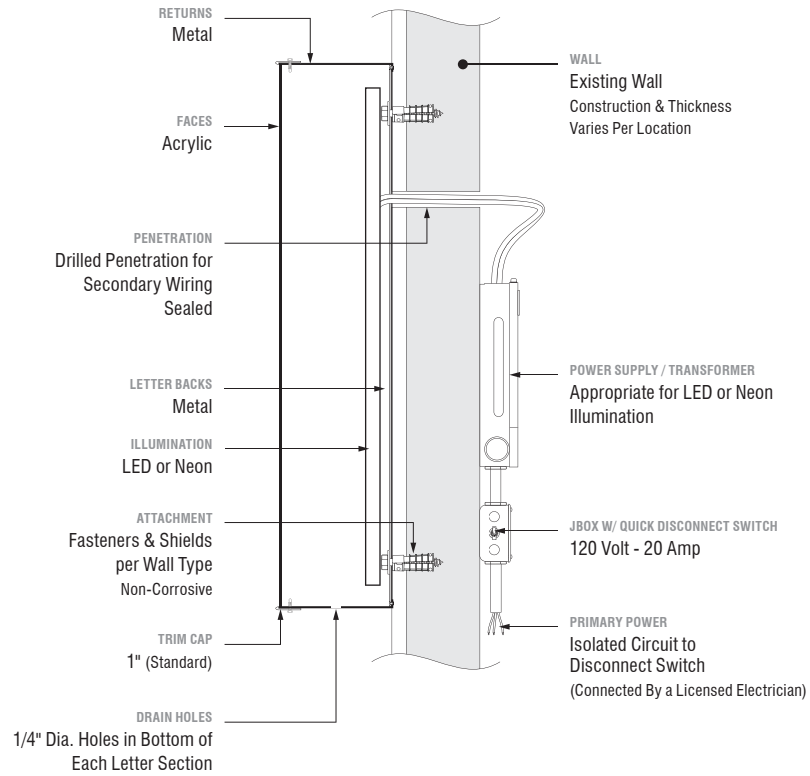


BLADE / PROJECTING SIGNS PHOTOGRAPHIC EXAMPLES

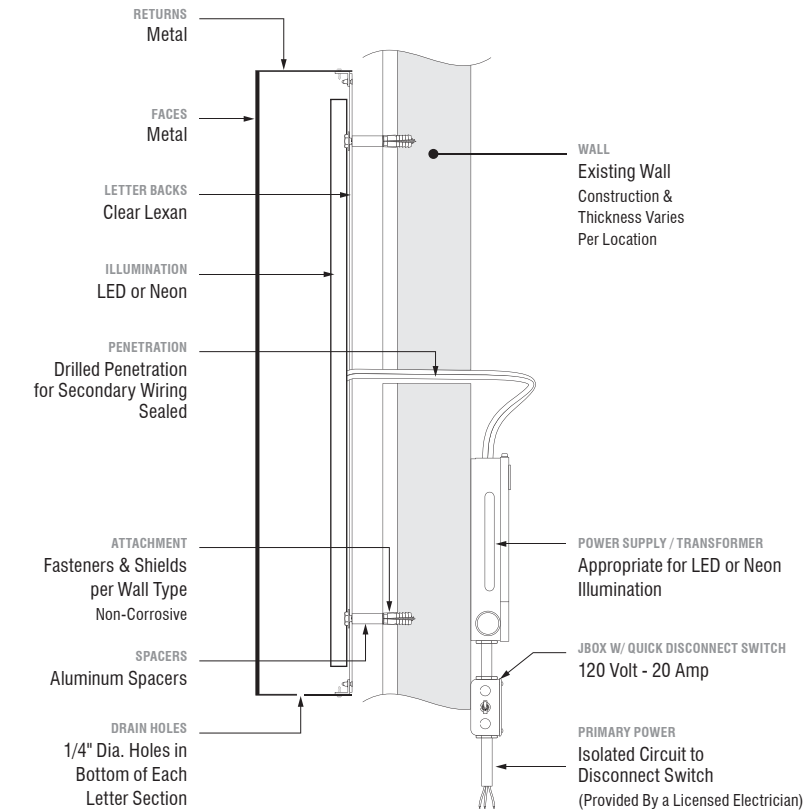
TENANT WALL SIGNS

Any sign which is fastened, attached, connected or supported in whole or in part by a building

SAMPLE SECTION DETAILS - RECOMMENDED SIGNAGE



Pan Channel Letter Internally Illuminated

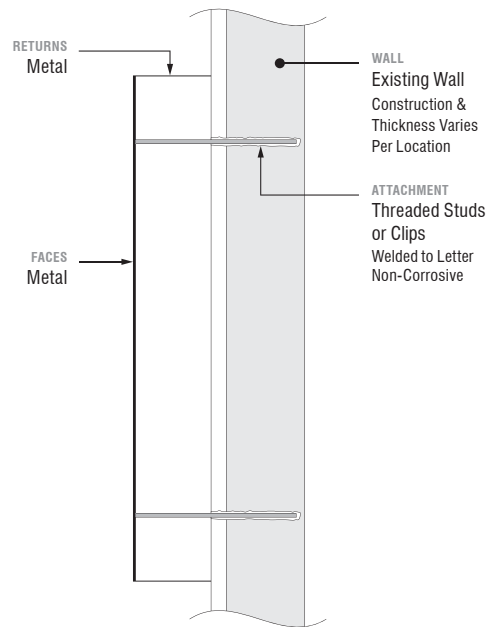


Reverse Pan Channel Letter Halo-Illuminated

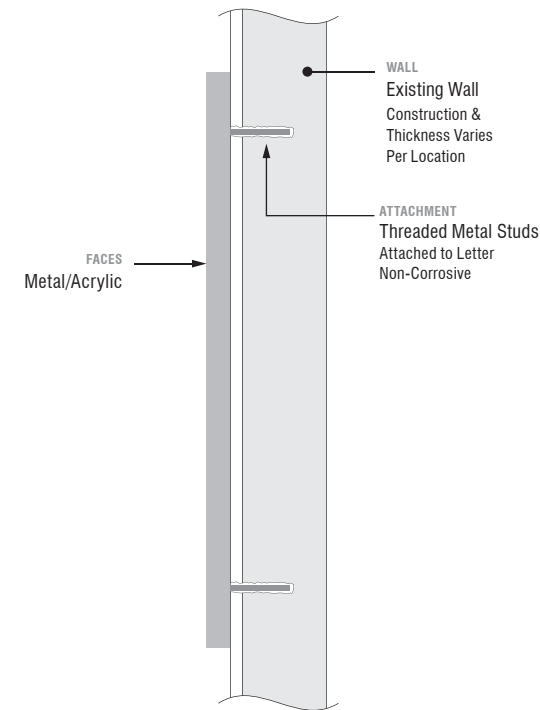
NOTE: Back-Plate for Halo Illumination May be Required on Signs Installed on Awnings.

A Section Detail - Typical
Pan Channel Letter / LED Internally Illuminated / Flush Mounted

B Section Detail - Typical
Reverse Pan Channel Letter / LED Halo-Illuminated / Mounted Off Wall



Reverse Pan Channel Letter Non-Illuminated



Flat Cut Out Letter Non-Illuminated

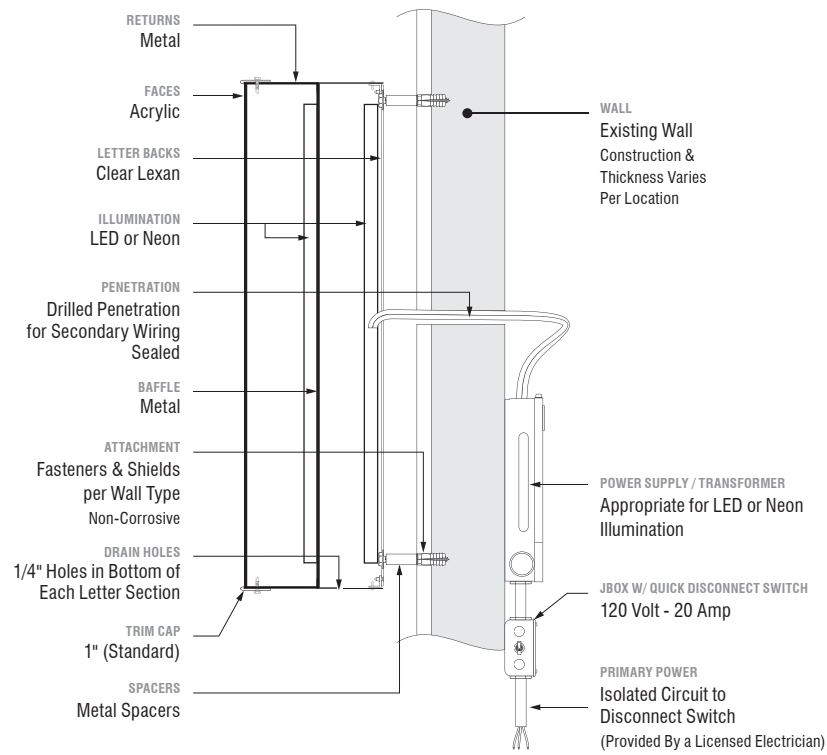
C Section Detail - Typical
Reverse Pan Channel Letter / Non-Illuminated / Flush Mounted

D Section Detail - Typical
Flat Cut Out Letter / Non-Illuminated / Flush Mounted

TENANT WALL SIGNS

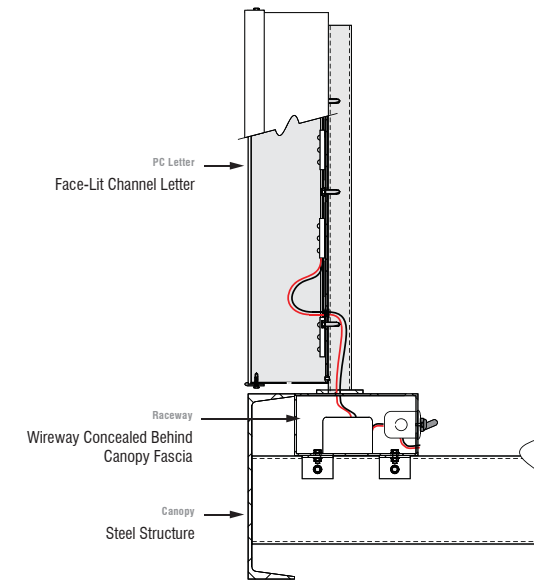
Any sign which is fastened, attached, connected or supported in whole or in part by a building

SAMPLE SECTION DETAILS - RECOMMENDED SIGNAGE



Channel Letter
Face and Halo Illuminated

NOTE: Back-Plate for Halo Illumination May be Required on Signs Installed on Awnings.

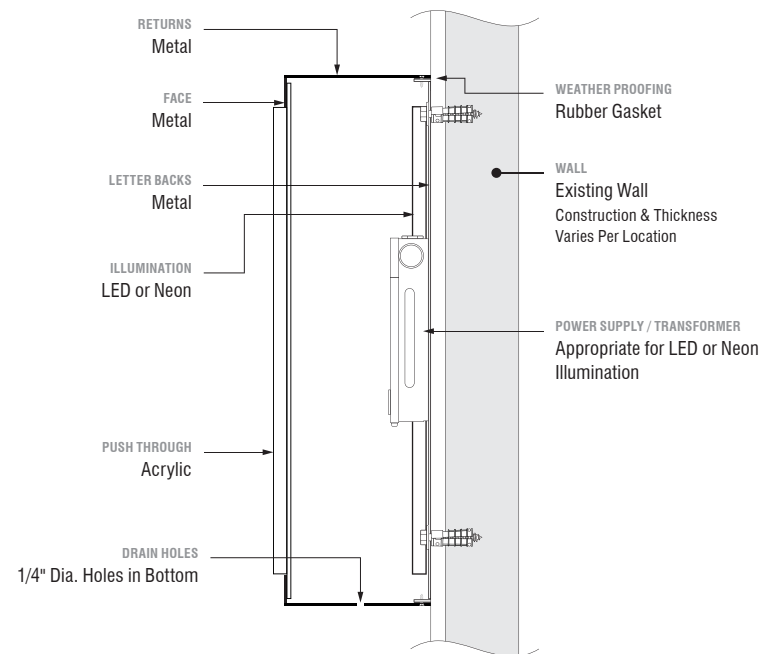


Channel Letter Mounted on Canopy
Face OR Halo Illuminated with Hidden Raceway

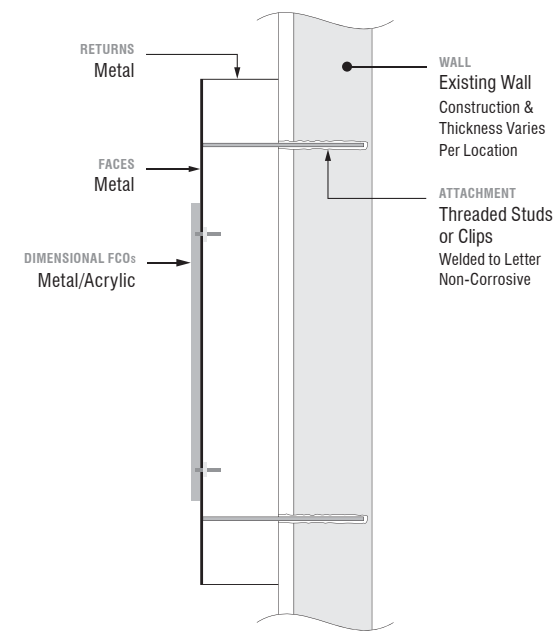
NOTE: Back-Plate for Halo Illumination May be Required on Signs Installed on Canopy.

E Section Detail - Typical
Channel Letter / Face and Halo Illuminated

F Section Detail - Typical
Canopy Sign / LED Internally & Face Illuminated / Concealed Wireway



Cabinet w/ Push Through Acrylic Face
Internally Illuminated



Reverse Pan Channel Cabinet with Dimensional Lettering
Non-Illuminated

G Section Detail - Typical
Cabinet / Internally Illuminated / Push-Thru Acrylic Face

H Section Detail - Typical
Reverse Pan Channel Letter / Non-Illuminated / Flush Mounted

MISCELLANEOUS TENANT ID SIGNS

MENU SIGN / BOARD / CABINET

A menu sign is a sign used to inform the public of the list of entrees, dishes, foods and entertainment available. A menu board is permanently mounted external sign displaying the bill of fare. A menu cabinet is a permanently mounted cabinet with front of glass or other glazing in which a menu sign may be displayed and changed often. Menu signs, boards or cabinets shall be mounted flat against and projecting less than fifteen (15) inches from, or painted on the wall of a building or structure with the exposed face of the sign in a plan parallel to the face of the wall. Menu signs, boards or cabinets must be decorative elements, compatible with the architecture of the base building the plaques are attached to. All menu signs shall comply with the applicable provisions of the Town of Gilbert Land Development Code, Sign Regulations.



MENU SIGN / BOARD / CABINET PHOTOGRAPHIC EXAMPLES

INCIDENTAL SIGNAGE

Incidental signage shall not be limited by the City Code. Text and logos shall be no more than two (2) inches in height. Incidental signage may include the following information that is typically provided for commercial establishments:

- a. The name of the establishment
- b. Hours of operation
- c. Suite numbers
- d. Modifiers of the products sold
- e. Logos and other graphic elements
- f. Credit cards accepted decal
- g. Chamber of commerce membership decal
- h. Open/Closed sign less than one-half (1/2) square foot, not permanently attached to the Storefront glazing
- i. No smoking decals less than one-half (1/2) square foot
- j. Other decals required by Law



INCIDENTAL SIGNAGE PHOTOGRAPHIC EXAMPLES

APPROVED

Administrative Design Review

Case # DR22-111

Date 01/04/2023

MISCELLANEOUS TENANT ID SIGNS

WINDOW SIGNS (STOREFRONT GRAPHICS)

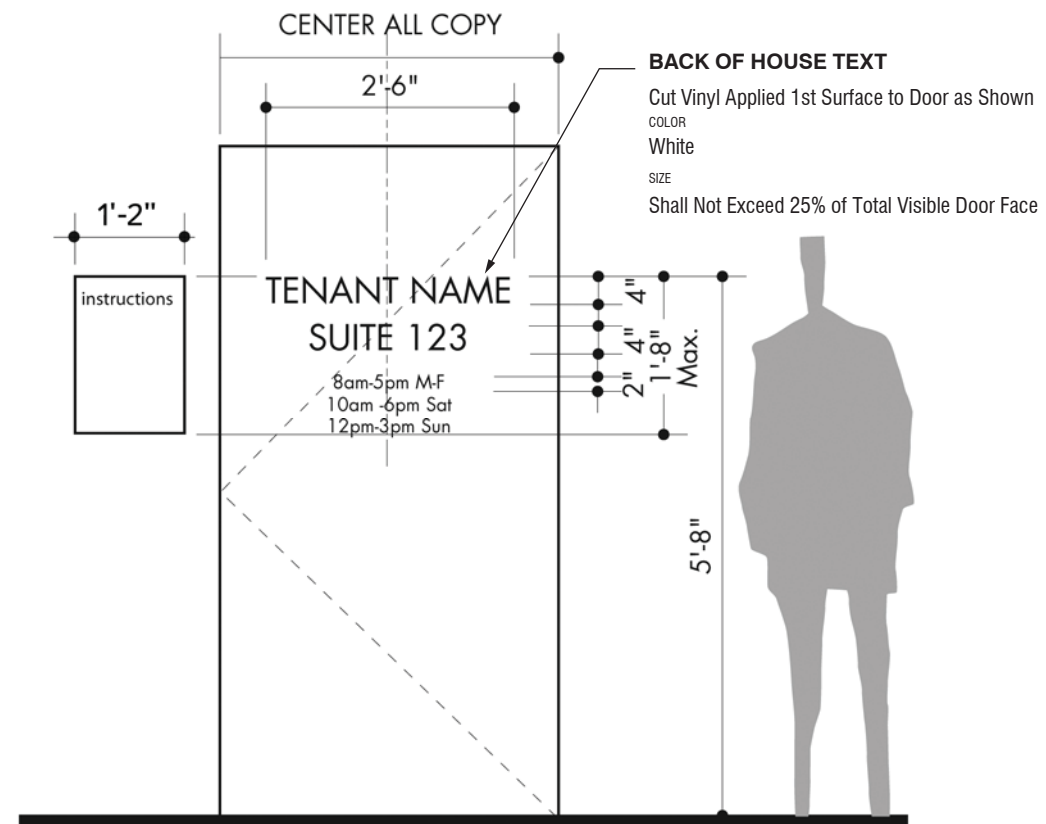
Window signs or applied graphics shall be any sign placed on, affixed to, painted on, sandblasted on, or located within the casement or sill area of a mineral glass window or other glazing. Dimensional letters attached to the glazing must have matching dimensional letters on each side of the glazing or a consistent and permanent opaque finish. Window sign area shall not exceed 25% of each window area.



WINDOW SIGNS PHOTOGRAPHIC EXAMPLES

BACK OF HOUSE SIGNS

Shop Tenants: Back of house signs shall include signage located in and around a back door entrance to a building and shall be permitted as shown at right, without counting against the maximum sign area. Back of house signs shall not exceed 25% of the total visible door face.



PAD A - SIGN BAND ELEVATIONS

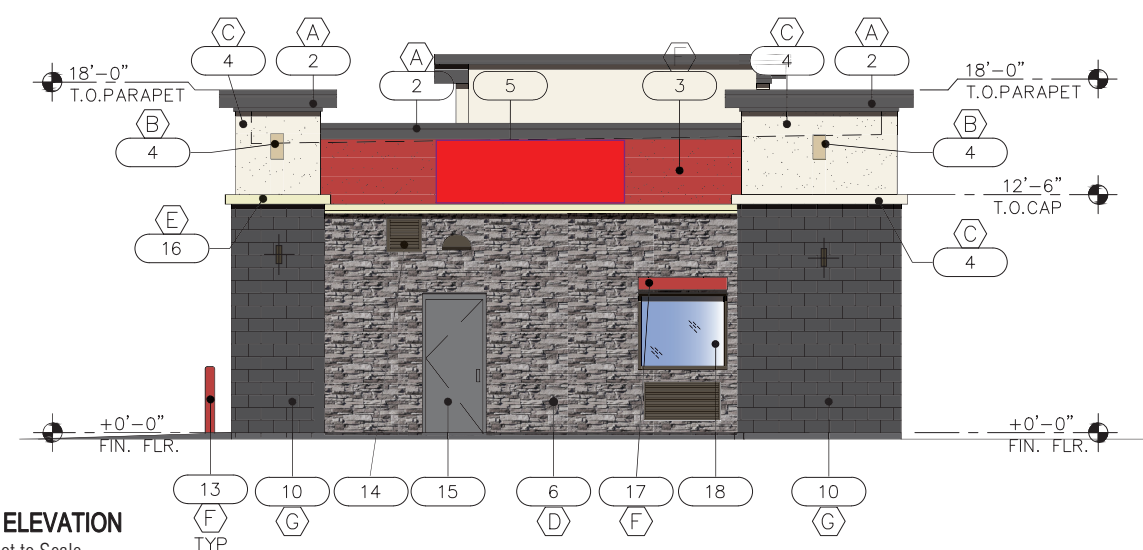
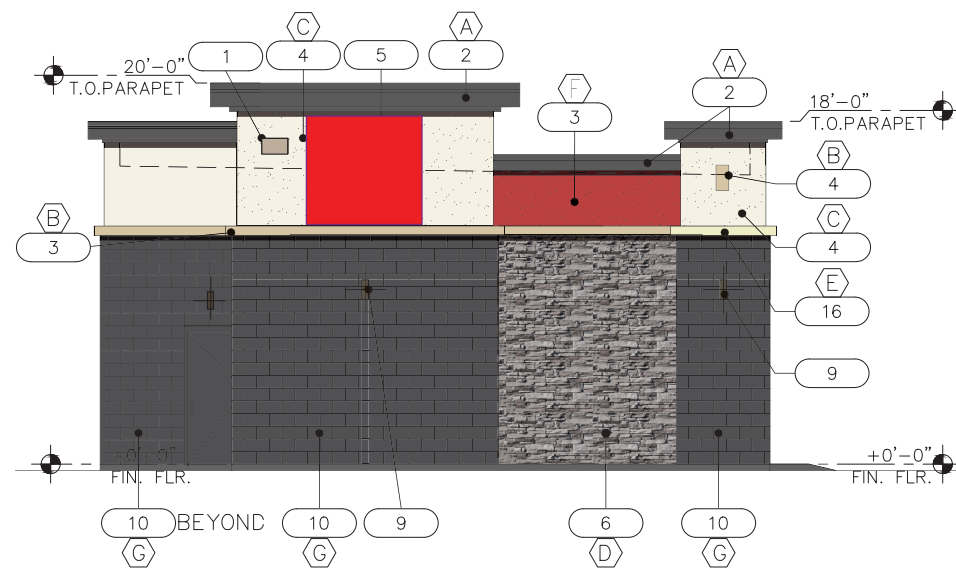
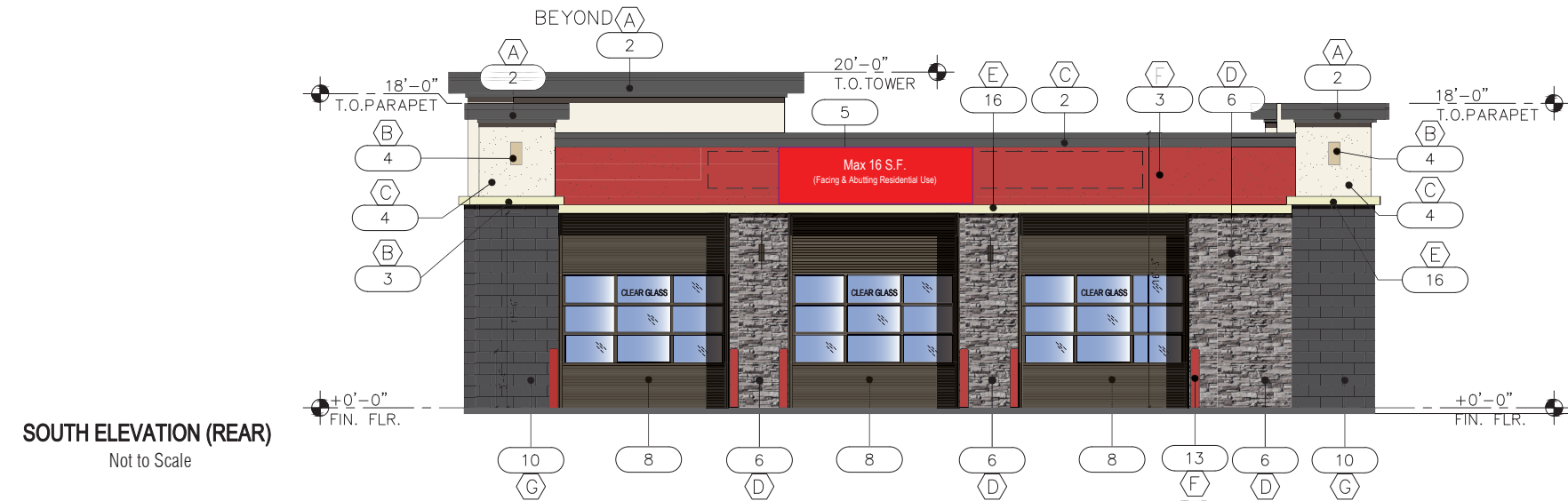
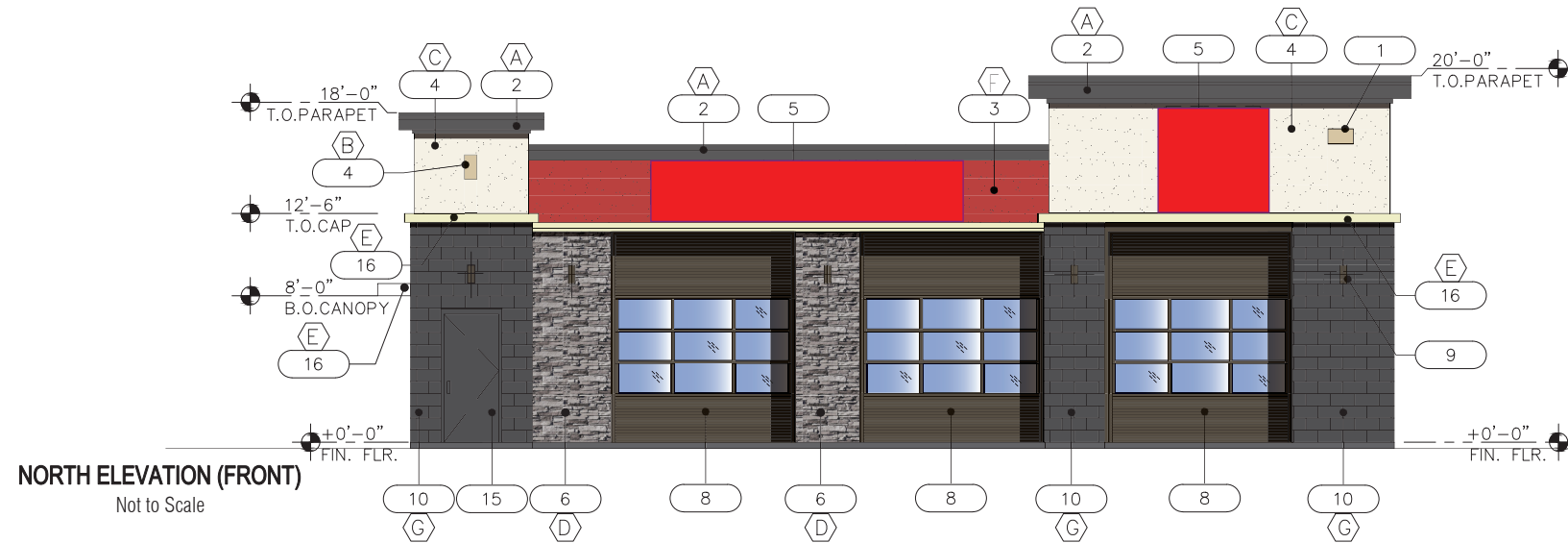
Building Elevations With Sign Envelopes

Key



NOTES:

1. Sign Envelopes shown on these elevations are general locations where a Building Wall Sign can be displayed, subject to Landlord Approval and subject to the requirements of the Town of Gilbert Land Development Code, Sign Regulations. The final precise location of any Building Wall Sign shall be determined and approved under the Town of Gilbert sign permit application process.
2. Multiple lines of copy are permitted.
3. Building Wall Signs shall not be located closer to the eave or top of parapet than half (1/2) the vertical dimension of the largest letter or character.
4. The maximum sign allowance area for a double frontage building shall be permitted double (x2) the Sign Allowance Area (the Sign Allowance Area is the length of the longest building elevation x 1). The Sign Allowance Area is cumulative for all elevations.
5. On building walls that are facing or abutting property designated for residential use in the General Plan shall not exceed 16 square feet per sign and shall not exceed a maximum height of 14 feet from grade to the top of the sign.
6. All signs shall comply with the Sign Regulations of the Town of Gilbert Land Development Code.



ELEVATION KEY NOTES

- 1 BUILDING ADDRESS - MIN 6" LETTERS W/CONTRASTING BACKGROUND
- 2 PRE-FINISHED METAL COPING-24GA GALVALUME
- 3 STUCCO SYSTEM MAIN BUILDING - PAINTED
- 4 STUCCO PAINTED ACCENT
- 5 SIGNAGE SHOWN FOR REF - UNDER SEPARATE PERMIT
- 6 STONE VENEER
- 7 ELECTRICAL ROOM
- 8 OVERHEAD ROLL UP DOOR PRE-FINISHED DARK BRONZE
- 9 BUILDING MOUNTED WALL SCONCE - DARK BRONZE
- 10 MASONRY SMOOTH VENEER - SUPERLITE PAINTED
- 11 STUCCO REVEAL
- 12 ROOF MTD UNITS - FULLY SCREENED
- 13 6" PIPE BOLLARD - PAINTED
- 14 VENT GRILLES - PREFINISHED DARK BRONZE
- 15 HM METAL DOOR - PAINTED TO MATCH ADJACENT WALL
- 16 STUCCO TRIM CAP - PAINTED
- 17 STEEL CANOPY - PAINTED
- 18 DARK BRONZE ALUM STOREFRONT SYSTEM

MATERIAL & COLOR LEGEND

- METAL COPING (PRE-FINISHED)-SW#7678 "IRON MOUNTAIN"
- STUCCO SYSTEM-MAIN BUILDING COLOR SW#7693 "STONEBRIAR"
- STUCCO ACCENT-SW#7566 "WESTHIGHLAND WHITE"
- STONE VENEER MONTANA CUT LIMESTONE "GRAVITY COFFEE"
- STUCCO TRIM CAP-SW#7678 "COTTAGE CREAM"
- BOLLARDS/CANOPY/ACCENT SW#6871 "POSITIVE RED"
- SMOOTH MASONRY VENEER- SUPERLITE PAINTED "CHARCOAL"



ELEVATIONS
PREPARED BY:



WEST ELEVATION
Not to Scale

EAST ELEVATION
Not to Scale

APPROVED
Administrative Design Review
Case # DR22-111
Date 01/04/2023

LINDSAY CROSSING
COMPREHENSIVE SIGN PROGRAM

PAD B - SIGN BAND ELEVATIONS

Building Elevations With Sign Envelopes

Key



Wall Sign Envelope
(Not to Scale)



Suspended Sign Envelope
(Not to Scale)

NOTE: Each Suspended Sign Envelope shown each elevation is assigned to one (1) sign per elevation.

NOTES:

1. Sign Envelopes shown on these elevations are general locations where a Building Wall Sign can be displayed, subject to Landlord Approval and subject to the requirements of the Town of Gilbert Land Development Code, Sign Regulations. The final precise location of any Building Wall Sign shall be determined and approved under the Town of Gilbert sign permit application process.
2. Multiple lines of copy are permitted.
3. Building Wall Signs shall not be located closer to the eave or top of parapet than half (1/2) the vertical dimension of the largest letter or character.
4. The maximum sign allowance area for a building that is greater than 75 feet from the ROW shall be the length of the longest building elevation or where the primary entrance is located x 1.5. The Sign Allowance Area is cumulative for all elevations.
5. On building walls that are facing or abutting property designated for residential use in the General Plan shall not exceed 16 square feet per sign and shall not exceed a maximum height of 14 feet from grade to the top of the sign.
6. All signs shall comply with the Sign Regulations of the Town of Gilbert Land Development Code.

ELEVATIONS
PREPARED BY:



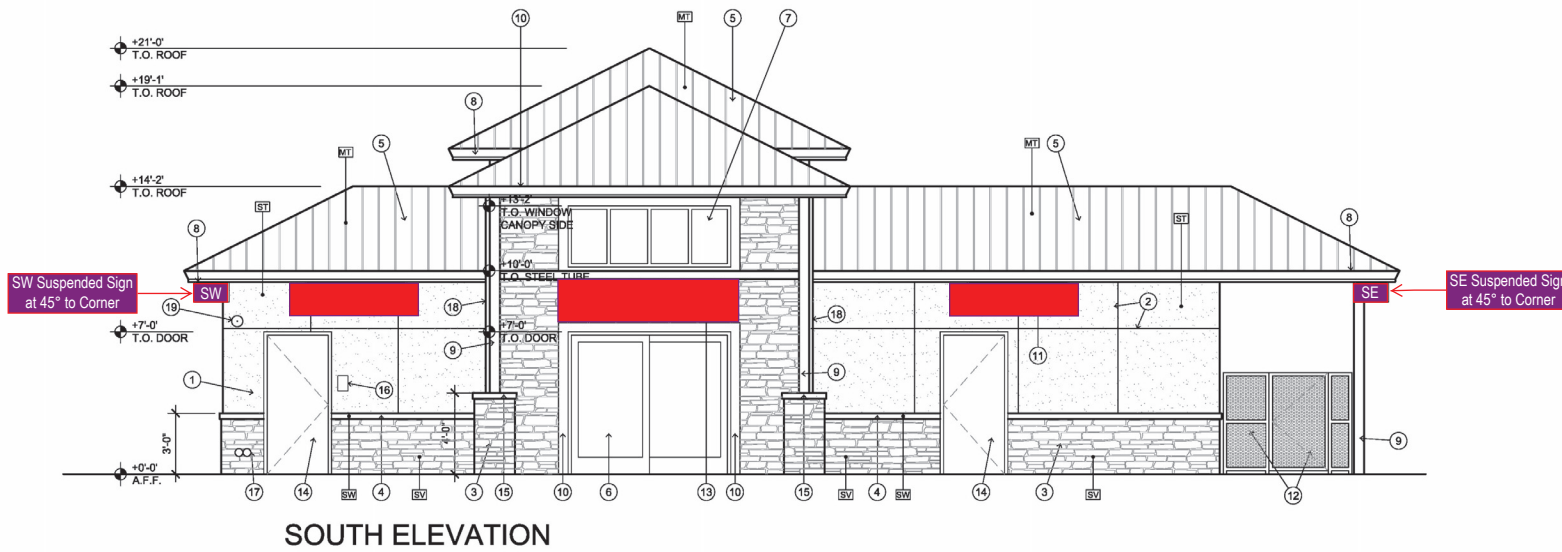
ARCHICON
Architecture & Interiors, L.C.

APPROVED

Administrative Design Review

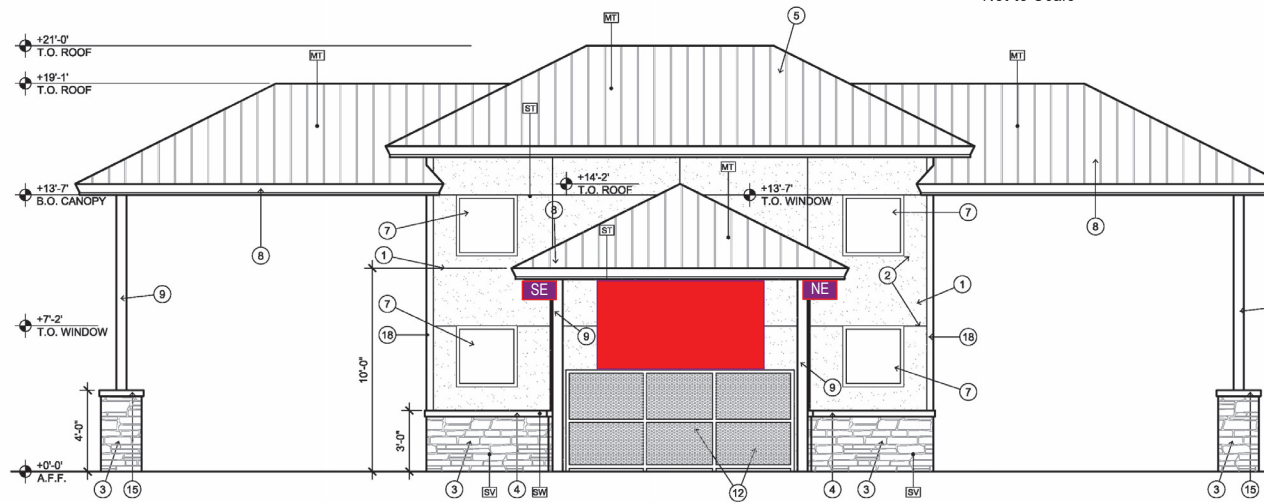
Case # DR22-111

Date 01/04/2023



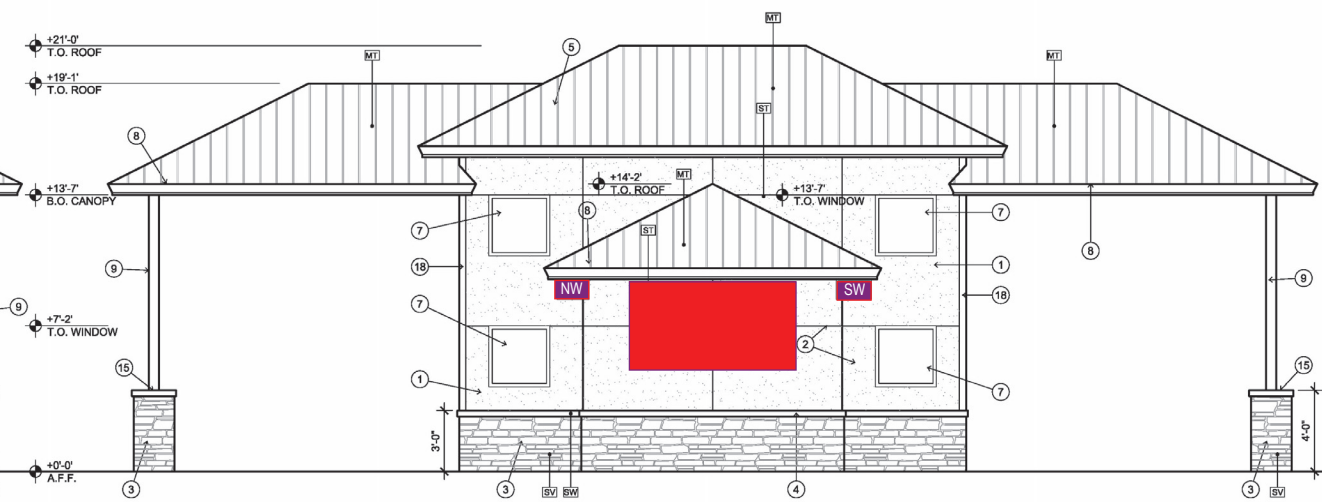
SOUTH ELEVATION

Not to Scale



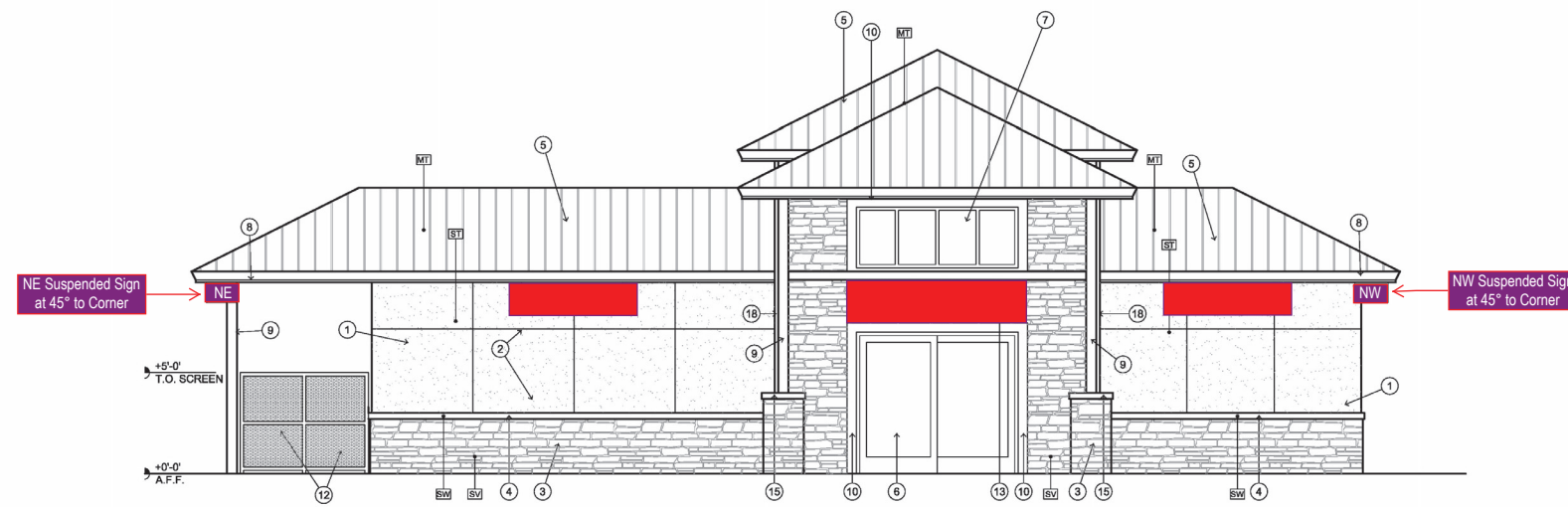
EAST ELEVATION

Not to Scale



WEST ELEVATION

Not to Scale



NORTH ELEVATION

Not to Scale



MATERIAL SPECIFICATIONS

| | | |
|------------------------------|---|---|
| STUCCO: (ST) | MANUFACTURER TYPE | WESTERN 1-KOTE FIBER REINFORCED PORTLAND CEMENT EXTERIOR PLASTER |
| | FINISH COLOR | PREMIUM ACRYLIC FINISH INTEGRAL COLOR - PROPER GRAY, SHERWIN WILLIAMS SW 6003 |
| | | INSTALL PER ICC-ES AC11, ER 382 |
| STONE VENEER: (SV) | MANUFACTURER TYPE COLOR | EL DORADO STONE STACKED STONE SILVER LINING |
| | | PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT |
| | | INSTALL PER ICC-ES EVALUATION REPORT ESR-1215 |
| STONE WAINSCOT: (SW) | MANUFACTURER TYPE CAP COLOR | EL DORADO STONE STACKED STONE SNAPPED EDGE WAINSCOT CAP PEWTER |
| | | PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT |
| ROOFING: (MT) | STANDING SEAM METAL ROOFING PAC-CLAD, SNAP-CLAD 16" COVERAGE OR EQUAL COLOR: BLACK FINISH | |
| | | INSTALL PER ICC-ES EVALUATION REPORT ESR-4173 |
| ALUMINUM STOREFRONT: (AL) | DARK BRONZE ANODIZED ALUMINUM FINISH | |
| GLAZING: | SOLARBAN 70XL SHGG: 0.27, U-VALUE: 0.24, VLT 64% | |

KEYNOTES

- 1 STUCCO WITH SYNTHETIC FINISH AND INTEGRAL COLOR
- 2 STUCCO JOINT (TYP.)
- 3 STONE VENEER (ESR-1215)
- 4 STONE WAINSCOT CAP (SNAPPED EDGE) "PEWTER"
- 5 STANDING SEAM BLACK METAL ROOFING (ESR-4173)
- 6 ALUMINUM SLIDING GLASS WINDOW WITH INSULATED GLAZING
- 7 ALUMINUM STOREFRONT WINDOW WITH INSULATED GLAZING
- 8 FASCIA BOARD COVERED WITH BLACK METAL TO MATCH ROOFING
- 9 STEEL COLUMN, PAINTED SW6258 "TRICORN BLACK"
- 10 RIGID FOAM WITH STUCCO FINISH AROUND WINDOWS, 6" WIDE. STUCCO TO MATCH MAIN BUILDING COLOR
- 11 SIGNAGE LOCATION (UNDER SEPARATE PERMIT)
- 12 METAL TUBE FENCING WITH PERFORATED METAL PANEL INSERTS PAINTED SW6258 "TRICORN BLACK". SEE DETAIL 7 SHEET A500
- 13 STEEL TUBE PAINTED SW6258 "TRICORN BLACK"
- 14 HOLLOW METAL DOOR AND FRAME, PAINTED SW6258 "TRICORN BLACK"
- 15 PRECAST CONCRETE CAP, PROVIDE SEALER
- 16 KNOX BOX PER JURISDICTION FIRE DEPARTMENT REQUIREMENTS
- 17 FIRE DEPARTMENT CONNECTION, PAINT TO MATCH EXTERIOR BUILDING COLOR
- 18 ALUMINUM CORNER TRIM, ANODIZED BLACK
- 19 FIRE BELL
- 20 TOWN OF GILBERT PREMISE IDENTIFICATION PER REGULATION 12-505.1 8" HIGH NUMBER WITH 1 IN. STROKE - CONTRASTING BACKGROUND