



3

## Planning Commission Study Session

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** NOAH SCHUMERTH, PLANNER II *N.S.*  
(480) 503-6729, NOAH.SCHUMERTH@GILBERTAZ.GOV

**THROUGH:** EVA CUTRO, AICP, PLANNING MANAGER *EC*  
(480) 503-6782, EVA.CUTRO@GILBERTAZ.GOV

**MEETING DATE:** JANUARY 4, 2022

**SUBJECT:** DR22-168: HILTON GARDEN INN

**STRATEGIC INITIATIVE:** Exceptional Built Environment

Add additional guest rooms and hospitality to support Gilbert's growing presence of employment and medical uses with a high degree of built quality.

### RECOMMENDED MOTION

No motion required; input requested on the following matters:

- Elevation design
- Color and material use
- Compatibility with surrounding structures

**APPLICANT**

Company: FFKR Architects  
Name: Rosa Pritchett  
Address: 1355 N Scottsdale Road  
Scottsdale, AZ, 85257  
Phone: (602) 469-7120  
Email: rpritchett@ffkr.com

**APPLICANT**

Company: FFKR Architects  
Name: Jake Bodell  
Address: 1355 N Scottsdale Road  
Scottsdale, AZ, 85257  
Phone: (602) 469-7120  
Email: jbodell@ffkr.com

**OWNER**

Company: Manchester United Group  
Address: 3611 Manchester Drive  
Powell, Ohio, 43065

**BACKGROUND/DISCUSSION**

**History**

Date	Description
February 16, 1982	Town Council approved A82-01 (Ordinance No. 314), an annexation of approximately 184 acres north of Baseline Road, colloquially known as the “Kachina Mall annexation.”
July 10, 2008	Design Review Board approved DR08-25, approving a Master Site Plan for a series of commercial sites at the northeastern corner of Baseline and Higley Roads. The hotel site was identified as “Phase II” of the development.

**Overview**

The subject site is approximately 3.19 acres and located within an existing commercial Master Site Plan at the northeastern corner of Higley and Baseline Roads. The applicant has proposed the construction of a single structure, a hotel building with approximately 146 guestrooms under Hilton Garden Inn branding. The proposed site will include an outdoor pool and spa area on the southern side of the hotel building, with an additional plaza and pet area on the north side of the building. The proposed hotel building will face Higley Road and the entrance to the broader commercial development within which the subject site was platted.

**Surrounding Land Use & Zoning Designations:**

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial (RC)	Regional Commercial (RC)	Commercial
South	Regional Commercial (RC)	Regional Commercial (RC)	Commercial
East	Residential > 25-50 DU/Acre	Multi-Family/High (MF/H)	Multi-family residential
West	Regional Commercial (RC)	Regional Commercial (RC)	Commercial
Site	Regional Commercial (RC)	Regional Commercial (RC)	Vacant

**Project Data Table:**

Site Development Regulations	Required per LDC	Proposed
Maximum Building Height (ft.)/(Stories)	55' (90' VDOD 1)	62' (see <i>Elevations</i> )
Minimum Building Setback (ft.)		
Front	25'	62'
Side (Street)	20'	81'
Side (Non-Residential)	20'	62'
Rear (Residential)	75'	73' (see <i>Site Introduction</i> )
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	25'
Side (Street)	20'	25'
Side (Non-residential)	20'	10' (see <i>Site Introduction</i> )
Rear (Residential)	40'	10' (see <i>Site Introduction</i> )
Landscaping	15% net area	23% net area
Off-Street Parking	161 spaces (1.1 spaces/guestroom)	172 spaces

## DISCUSSION

### **Site Introduction**

The subject site is a 3.19-acre site within a large commercial Master Site Plan, zoned Regional Commercial (RC) for high-intensity commercial development. The proposal includes a single five-story hotel building, with 146 guestrooms under Hilton Garden Inn branding. The building includes an outdoor pool and spa on the southern side of the building and an additional plaza for pedestrians and pets on the northern side of the building. The site includes a single row of parking with 172 stalls surrounding the proposed building on four sides and connects to access drives to the south and west of the site within the Master Site Plan area.

The proposal includes unique landscape areas, featuring boulders and desert plantings. The applicant will need to continue to work with Town staff regarding problems with landscape setbacks and the alignment of the site with Regional Commercial (RC) requirements when sites are adjacent to multi-family residential developments. These concerns will be addressed by Town staff directly.

### **Elevations, Colors and Materials, and Floor Plans**

The elevations of the 146-guestroom hotel are clad in a high-contrast color palette, including tan, dark grey-blue, black, and copper colors. This contrasting color palette is created with a variety of materials, including stucco, “nichiha” fiber cement boards, and metal paneling. The base color and material pairing is tan stucco, with grey-blue stucco, black nichiha, and copper metal paneling

The building is rectangular and has slight movement across the primary mass of the building. At its tallest, the building reaches 62’ at its parapet, which is allowed due to the hotel’s location within the Vertical Development Overlay District Area 1, which allows sites with Regional Commercial (RC) zoning to include buildings up to 90’ with base zoning and 150’ with bonus zoning when certain conditions are met. Staff provides greater design scrutiny for structures utilizing the Vertical Development Overlay District height allowances, given the higher visibility of structures (especially areas above the base zoning district height allowed) and the status of the VDOD as an overlay which can be opted into.

Staff seeks input on a variety of topics related to elevation design, including:

- Staff has expressed concerns about the level of integration between the main structure and the accent masses on the sides of the building. As highlighted in Figure A, the accent masses are extruded out from the side of the building, but when reaching the parapet and building roofline, the masses do not extend any further back into the building, revealing the appearance or what



has been colloquially known as “stick-on architecture,” where building elements do not blend with the larger structure. Staff has asked for input about whether the rooflines of these masses can be adjusted to provide greater integration with the building. Staff also seeks additional input about the design of accent masses, both in material choice and the level of variation and relief used on each mass.

- The parapets of the structure are thinner than what is required by the LDC and commercial design guidelines. However, Town staff seeks input on the overall roofline design and whether any of the following are to be requested to be added to provide greater design quality:
  - o Greater vertical relief between sections of the building, given the building has up to 90’ of height allowed
  - o The addition of roof cornices or other features to avoid the “flat box effect” created on unarticulated rooflines
  - o Increased depth of parapets, or the redesign of the roof area to ensure that changes in height on elevations appear as though the entire building is moving in height, rather than just an exterior treatment (see Figure B).
  
- Staff seeks general input regarding the general compatibility of the design of the structure with the surrounding commercial Master Site Plan (see Figure C).



**Figure A:** A rendering illustration inset demonstrating how accent masses (dark grey-blue) relate to the rest of the structure. Note how rooflines of accent masses do not return into the main building. See comments above.



**Figure B:** The neighboring hotel structure within the same commercial development area. This image is used to illustrate the request of Town staff to consider how varied masses on the proposed Hilton Garden Inn structure can be integrated together beyond merely applying exterior treatments. This image may also be used to evaluate compatibility of the proposed structure with surrounding existing structures.



**Figure C:** The street scene in front of the proposed hotel structure on Higley Road. The hotel will be located behind the commercial structure in the foreground.

## **PUBLIC NOTIFICATION AND INPUT**

An official notice will be posted in all the required public places within the Town and neighborhood notice provided per the requirements of the Land Development Code (LDC) Article 5.205. No public notice was required for this Study Session item.

## STAFF RECOMMENDATION

No motion required; input requested on the following matters:

- Elevation design
- Color and material use
- Compatibility with surrounding structures

Respectfully submitted,



Noah Schumerth  
Planner II

### **Attachments and Enclosures:**

- 1) Applicant Narrative
- 2) Site Plan
- 3) Elevations
- 4) Renderings
- 5) Color and Material Board



HILTON GARDEN INN  
1707 N. Higley Road, Gilbert, Arizona 85234  
APN 140-69-372

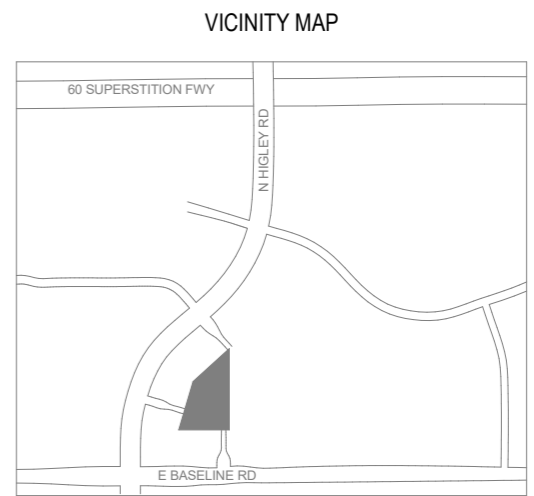
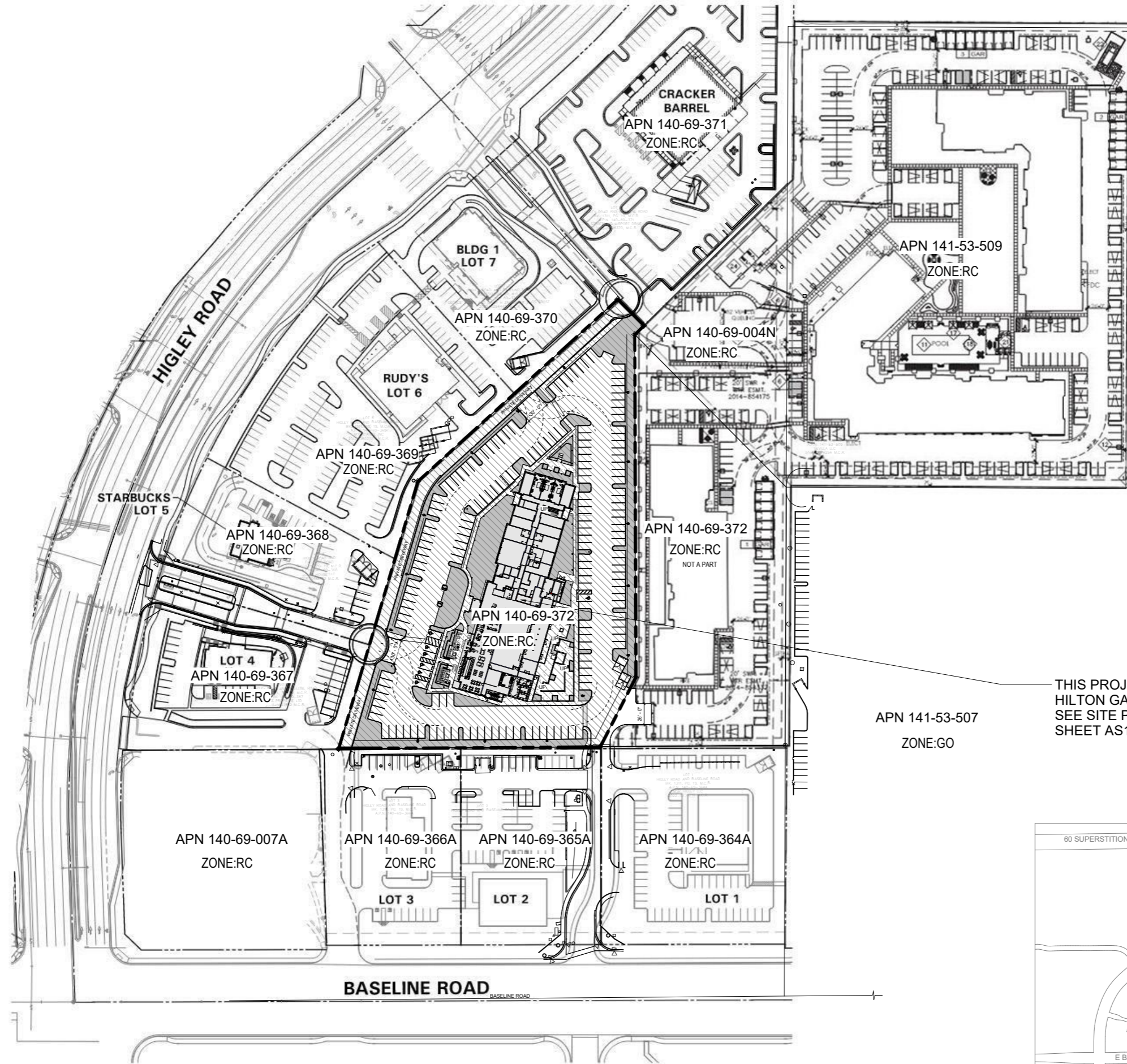
### PROJECT NARRATIVE

The Manchester United Group LLC proposes the development of a 5-story Hilton Garden Inn, total gross building area of 96,405 square foot with 146 guestrooms and supporting amenities. These amenities include a bar, conference room, fitness center, outdoor pool and spa, and outdoor patios. Included in the development on the 5<sup>th</sup> floor is approx. 2,800sqft of office space. Located North of Baseline Road and East of Higley Road, the project sits on 2.69 acres, zoned RC and is surrounded by small retail shops and restaurants. The main occupancy will be R-1, Hotel-transient and will be fully sprinklered.

The exterior hotel walls will be built using foam forms with a concrete core for thermal and sound properties. Exterior finishes will include a combination of painted EIFS, Nichiha Fiber Cement Panels and architectural copper metal panels. Architectural elements will be used to indicate entries and to define patio areas.

The site will be fully landscaped, providing water-wise planting and desert trees to provide shade throughout the site and around parking areas. The parking aisles will allow for a full loop for fire truck access.





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0 601.527.6186 - FFKR.COM

**GILBERT HILTON GARDEN INN**  
1707 N. HIGLEY RD, GILBERT, AZ 85234  
MANCHESTER UNITED GROUP LLC  
DESIGN REVIEW - 10/06/2022



DATE	REVISION

PROJECT NUMBER 21142

**MASTER SITE PLAN - FOR REFERENCE**

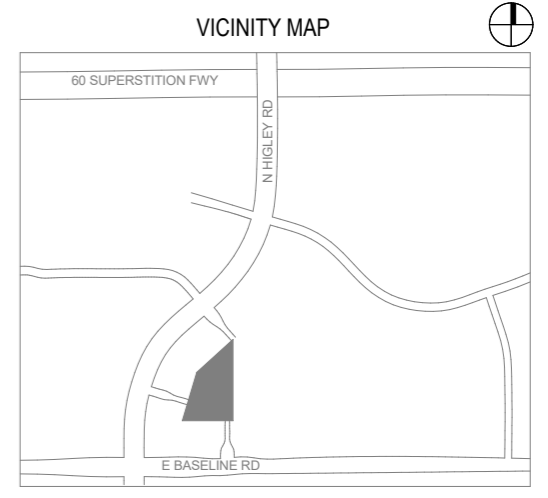
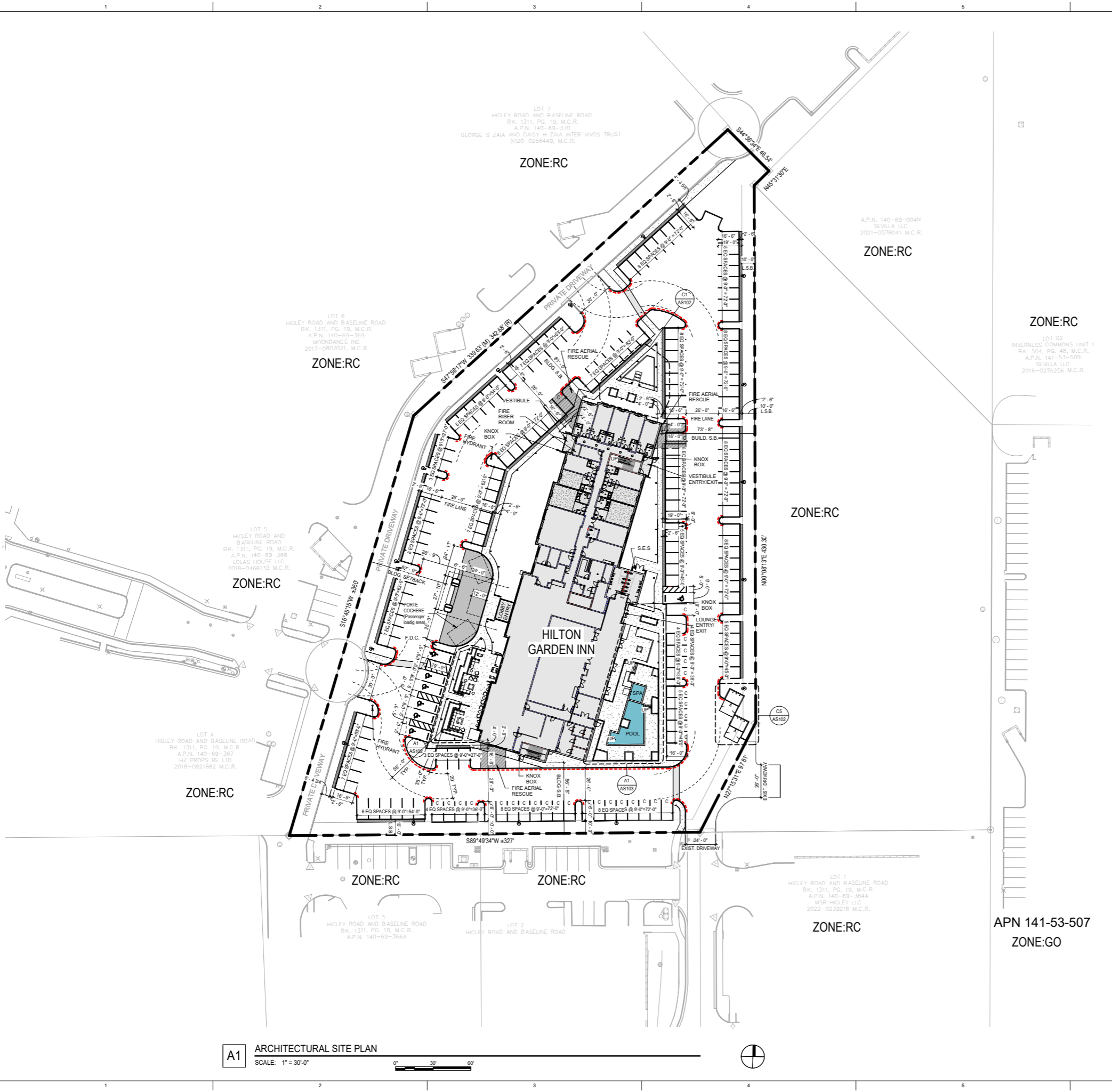
AS100

**A1** MASTER SITE PLAN - FOR REFERENCE  
SCALE: 1" = 50'-0"

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### STANDARD COMMERCIAL SITE PLAN NOTES TOG

March 11, 2024

- All utility lines less than 60 KV on or contiguous to the site shall be installed or relocated underground.
- All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard which is screened by a perimeter wall at least 6 feet in height.
- All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 6' solid masonry wall. Industrial storage screen walls shall be finished where they are exposed to public view from streets or adjacent non-industrial uses.
- S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:
  - Fully recessing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet.
  - Screening with a decorative masonry wall of the same height as the panel. The screen wall may be L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet.
  - An alternative screening method approved by the Planning Department prior to issuance of any permits.
- The location of all electrical utility equipment shall be identified on the construction plans.
  - The parapet wall of the building shall equal or exceed the height of the mechanical units, or;
  - By locating the mechanical equipment behind the roof planes in the case of mansard, hip or other than flat roof.
- Roof mounted mechanical equipment shall be fully screened by either one of the following methods:
  - The parapet wall of the building shall equal or exceed the height of the mechanical units, or;
  - By locating the mechanical equipment behind the roof planes in the case of mansard, hip or other than flat roof.
- Roof mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof panels. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
- Ground mounted mechanical equipment shall be fully screened from view from streets or surrounding commercial uses by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height of the equipment.
- Pneumatic tubes, whether metal or plastic, shall be either:
  - Enclosed in plaster, columns or other architectural features of the canopy or building, or;
  - Routed underground.
- All backflow prevention devices 2" or larger shall be screened with landscape located within a 6' radius of the device. All backflow preventers less than 2" shall be placed in a wire cage painted to match the primary building color.
  - Be located within landscaped areas or planter islands.
  - Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30' from adjacent grade.
  - Be located to avoid conflict with trees.
- Site lighting shall comply with the light and glare criteria set forth in Section 4.103 of the LDC, including a maximum freestanding light fixture height of 25'.
- Landscaped areas adjacent to public right-of-way shall be mounded and naturally contoured. No more than 50% of the required (right-of-way and landscaping) tracts) landscaping fronting adjacent streets may be used for retention. Retention area side slopes shall be vanted, and no slope shall exceed a 4:1 maximum.
- Commercial building downspouts shall be interiorized. Industrial buildings may use exterior downspouts if articulated with the architecture of the building and built with a durable material such as steel.
- Commercial development vehicular access points and pedestrian access ways shall include special paving treatment such as integral colored stamped concrete, Boamante, or similar alternative. Location and material shall be reviewed and approved by the Planning Department prior to the issuance of a building permit.
- Customer, employee and visitor parking shall be screened from street view by low masonry walls. The parking screen walls shall be finished on both sides using the same materials and colors, and a design to complement that of the main building.
- All exterior metal shall be finished or painted to match the approved project colors.
- Existing on-site plant material damaged during construction shall be replaced with comparable species and size.

### SITE DATA:

LOT 9: Bk. 1311, Pg. 19, M.C.R.  
 ZONING: RC (GENERAL COMMERCIAL)  
 VERTICAL DEVELOPMENT OVERLAY: VDO 1

GROSS ACREAGE: 3.19 ACRES  
 NET ACREAGE: 2.69 ACRES

PROJECT NAME: HILTON GARDEN INN HOTEL - TRANSIENT  
 MAIN OCCUPANCY: R-1 OCCUPANCY  
 146 GUESTROOMS  
 FIVE (5) STORIES  
 BUILDING FULLY SPRINKLERED

GROSS BUILDING AREA: 96,405 SF  
 BUILDING FOOTPRINT: 22,983 S.F.  
 LOT COVERAGE: 19.6%

PARKING CALCULATION 1.1 SPACES PER ROOM  
 (146 GUESTROOMS x 1.1 = 161 SPACES)

REQUIRED PARKING: 161 SPACES  
 PROVIDED PARKING: 172 SPACES  
 (INCLUDING 32 COMPACT P.S.)

REQ ADA PARKING SPACE: 6 / PROVIDED: 7  
 REQ ADA VAN PARKING SPACE: 1 (INCLUDING ON THE ACCESSIBLE P.S. REQUIRED)  
 BICYCLE PARKING: 16 PROVIDED  
 BICYCLE PARKING REQUIRED: 16  
 (1 BP PER 10 REQ PARKING SPACE)

BONUS MAX. BUILD. HEIGHT/STORIES: 90'6"  
 PROVIDED BUILDING HEIGHT/STORIES: 66'5"

MIN. REQ. BUILDING AND LANDSCAPE SETBACK  
 BONUS MAX. BUILDING & LANDSCAPE SETBACK REDUCTION  
 50% OF REQ. IN RC PER TABLE 4.5.4.A

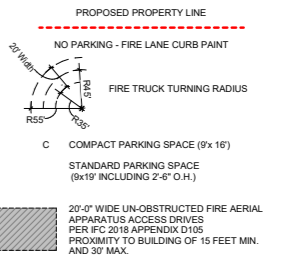
FRONT SETBACK: REQ. 12'-6" (20' IN RC) / PROVIDED: 62'-0"  
 SIDE SETBACKS: REQ. 10' (20' IN RC) / PROVIDED: 73'-8"  
 REAR SETBACK: 10' (20' IN RC) / PROVIDED: 56'-5"

ALL MECHANICAL EQUIPMENT TO BE ROOF MOUNTED AND SCREENED BY BUILDING PARAPETS

### GENERAL NOTES

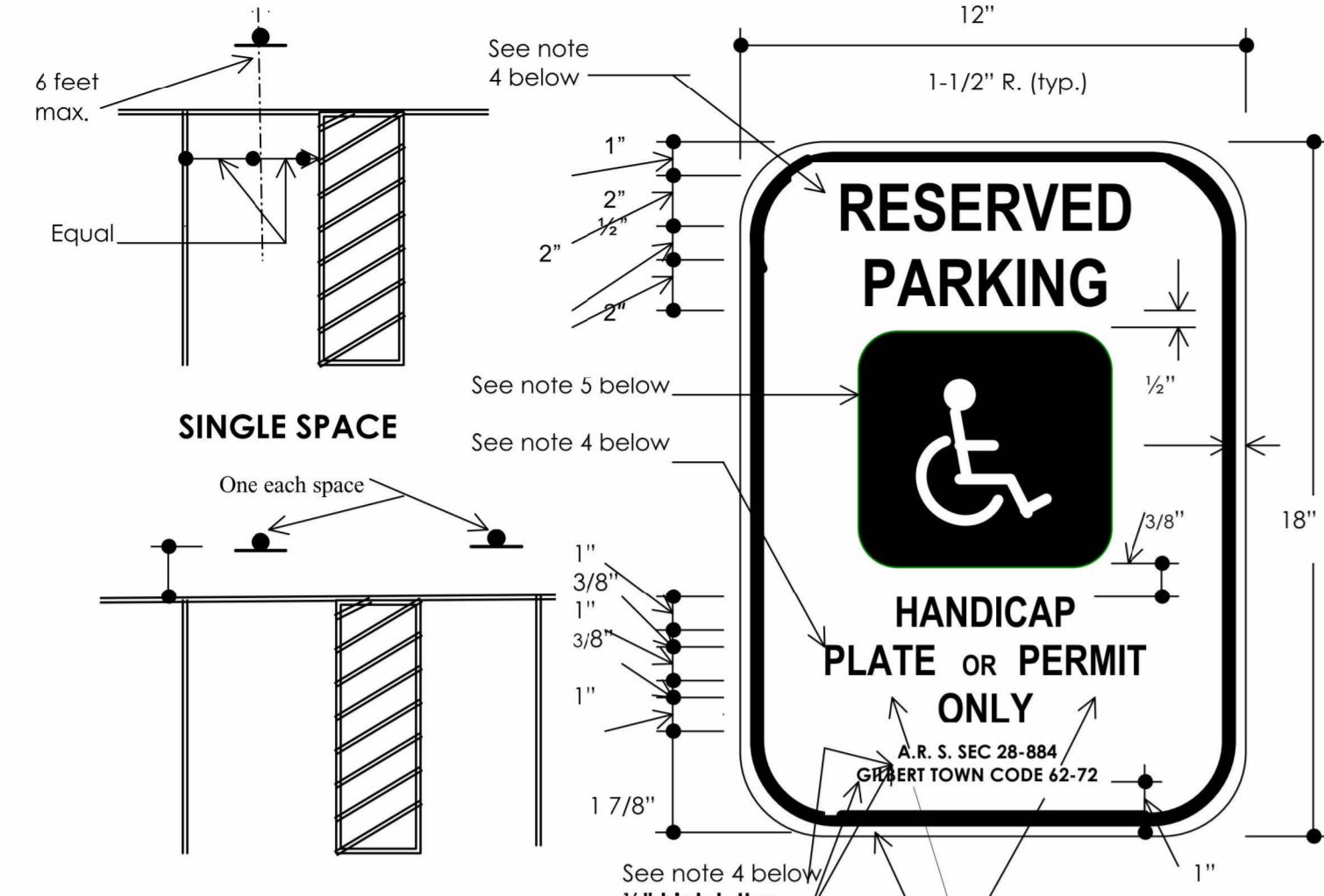
- GRADING AT THE BUILDING SHALL HAVE A 5% MINIMUM SLOPE AWAY FROM THE BUILDING FOR A MINIMUM OF 10'-0" U.N.D. CONCRETE SHALL BE SLOPED 2% AWAY FROM BUILDING.
- ALL EXTERIOR SIDEWALKS AND LANDING SHALL HAVE POSITIVE DRAINAGE, BUT NOT MORE THAN 1/4" PER FOOT SLOPE.
- CONSTRUCT ALL CONCRETE SCORE JOINTS AS INDICATED ON THE ARCHITECTURAL SITE PLAN. LOCATE CONTROL JOINTS AT 5'-0" o.c. MAXIMUM AND COORDINATE WITH ARCHITECT FOR LOCATIONS PRIOR TO PLACEMENT OF CONCRETE FLATWORK.
- CONTRACTOR TO REVIEW ALL EXPANSION JOINT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. INSTALL EXPANSION JOINTS @ 30'-0" o.c. MAXIMUM THROUGHOUT.
- COORDINATE ALL SITE LIGHTING FIXTURE LOCATIONS WITH THE SITE ELECTRICAL DRAWINGS. ALL SUCH LIGHTING SHALL BE STAGED FOR APPROVAL BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY ITEMS OR UTILITIES NOTED OR NOT NOTED TO BE REMOVED AND SHALL BEAR THE COST OF REPAIR TO ORIGINAL CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT ALL EXISTING PLANT MATERIAL AND LANDSCAPING NOT SHOWN TO BE REMOVED. INSTALL A TEMPORARY FENCE AROUND DRIP LINE OF TREES WHEN REQUIRED.
- IRRIGATION SPRINKLER HEADS SHALL BE LOCATED AND DIRECTED TO KEEP WATER FROM WETTING THE BUILDING.

### SITE LEGEND



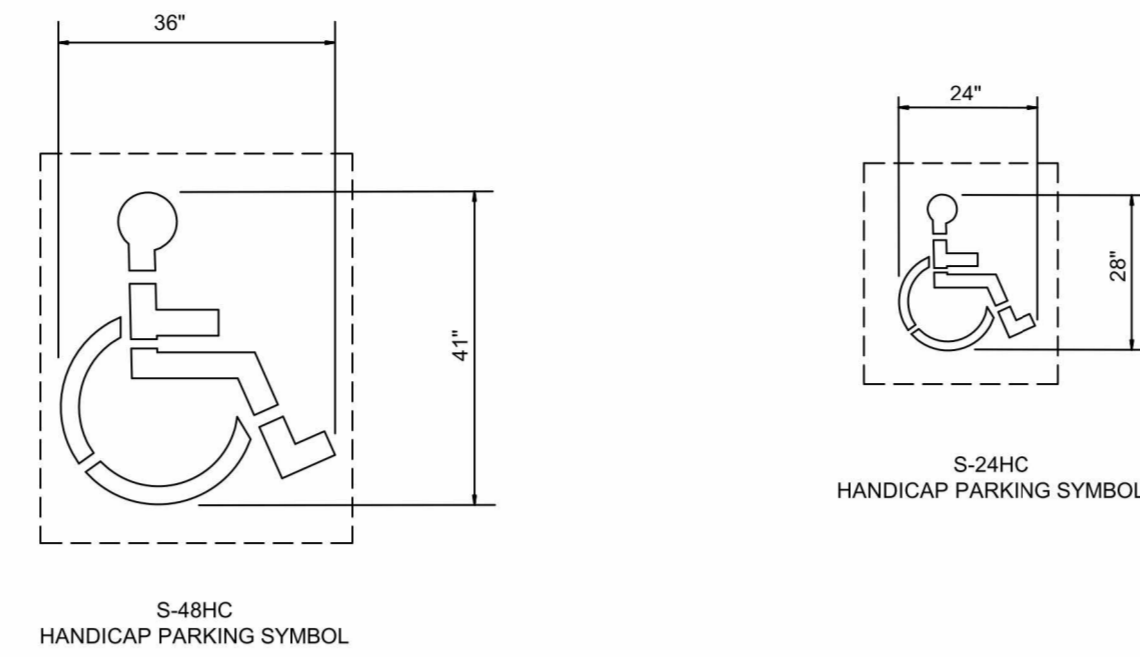
**A1 ARCHITECTURAL SITE PLAN**  
 SCALE: 1" = 30'-0"





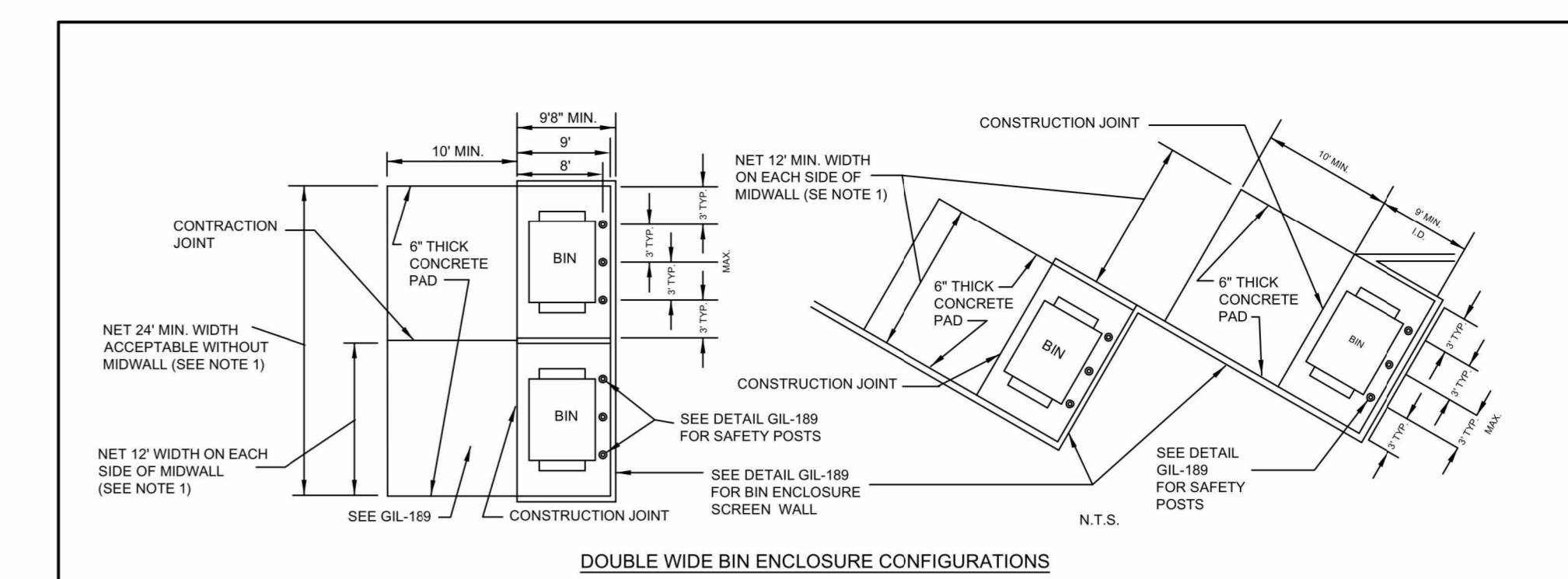
- NOTES:**
- 1) The bottom of the sign should be no less than 36 inches and no more than 54 inches above finish grade.
  - 2) Signs shall be properly centered within the parking space.
  - 3) The sign face should be located no farther than 6 feet from the front of each parking space.
  - 4) All lettering series "C", green color
  - 5) International symbol of accessibility shown white on 6"x6" blue field with 1/2" radius corners.

White reflective background (typical)  
3/8" wide green color band



PAVEMENT MARKING STENCILS				
NO.	IMAGE	IMAGE WIDTH & HEIGHT	STENCIL SIZE (GRAY PAINT)	STENCIL SIZE (HOT PLASTIC)
S-48HC	HANDICAP PARKING SYMBOL	36" X 41"	44" X 56"	48" X 60"
S-24HC	HANDICAP PARKING SYMBOL	24" X 28"	28" X 30"	30" X 34"

STANDARD DETAIL HANDICAP PARKING SYMBOLS APPROVED TOWN ENGINEER DATE DETAIL No. GIL-232



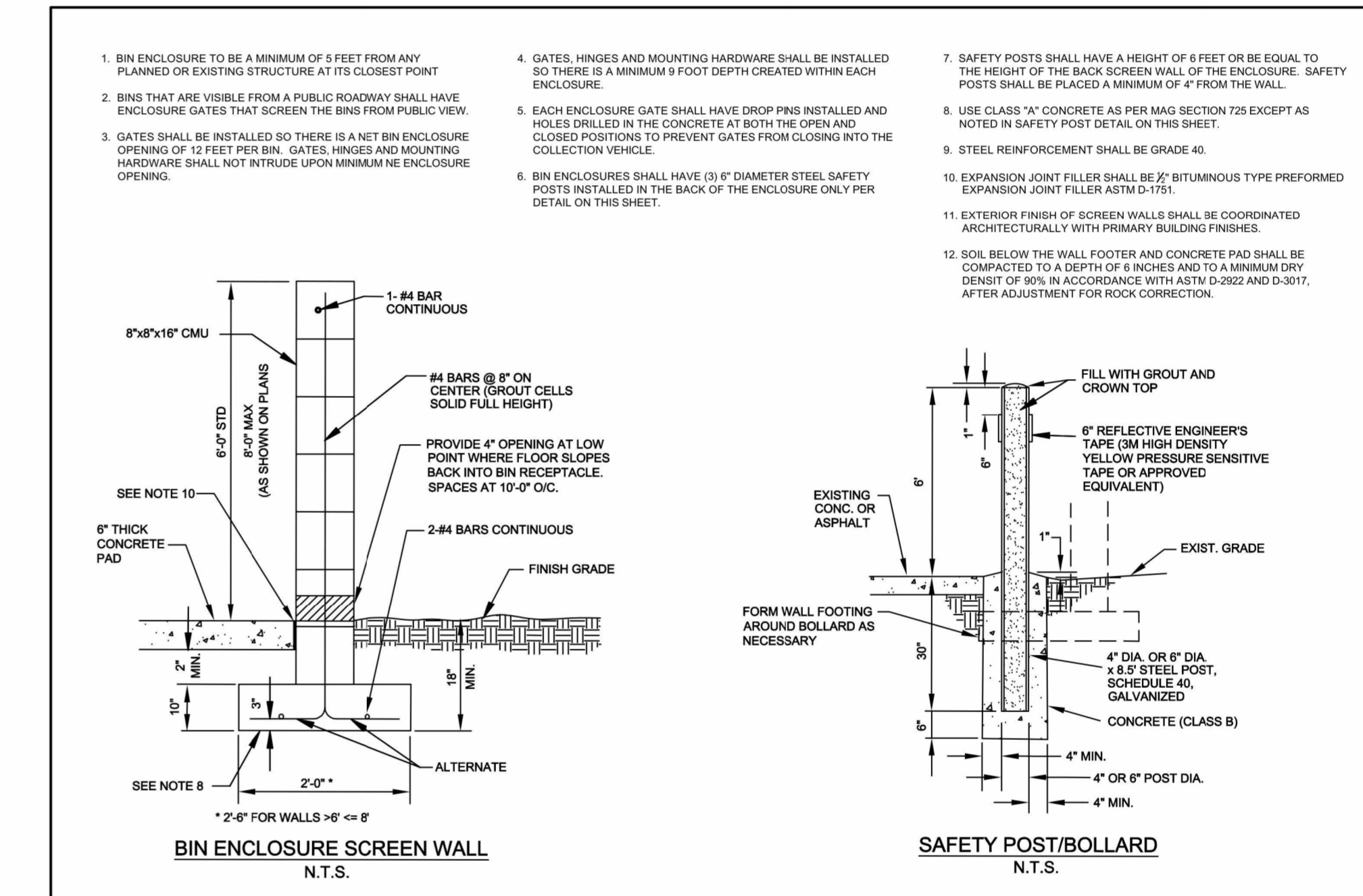
- NOTES:**
1. DOUBLE-WIDE BIN ENCLOSURES SHALL HAVE A NET ENCLOSURE OPENING OF 24 FEET WITHOUT MIDWALLS. ALTHOUGH NOT PREFERRED, DOUBLE-WIDE BIN ENCLOSURES CAN BE DESIGNED WITH MIDWALLS WITH A NET ENCLOSURE OPENING OF 12 FEET ON EACH SIDE OF MIDWALL.
  2. GATES, HINGES & MOUNTING HARDWARE SHALL BE INSTALLED SO THERE IS A MIN. 8" FOOT DEPTH CREATED WITHIN EACH ENCLOSURE AND WITH 4 FOOT DEPTH FROM CENTERLINE OF BOLLARD TO INSIDE EDGE OF GATE.
  3. GATES, HINGES AND MOUNTING HARDWARE SHALL NOT INTRUDE UPON MINIMUM NET ENCLOSURE OPENING.
  4. BIN ENCLOSURES ARE TO BE ANGLED NO MORE THAN 30 DEGREES FROM THE CENTER LINE OF THE SOLID WASTE COLLECTION VEHICLE ROUTE.
  5. BINS THAT ARE VISIBLE FROM A PUBLIC ROADWAY SHALL HAVE ENCLOSURE GATES THAT SCREEN THE BINS FROM PUBLIC VIEW.
  6. BIN ENCLOSURES TO BE A MIN. 5 FEET FROM ANY PLANNED OR EXISTING STRUCTURE AT ITS CLOSEST POINT. (FIRE CODE)

STANDARD DETAIL DOUBLE WIDE BIN ENCLOSURES APPROVED TOWN ENGINEER DATE DETAIL No. GIL-181

Town of Gilbert  
90 E. Civic Center Dr.  
Building and Code  
Compliance

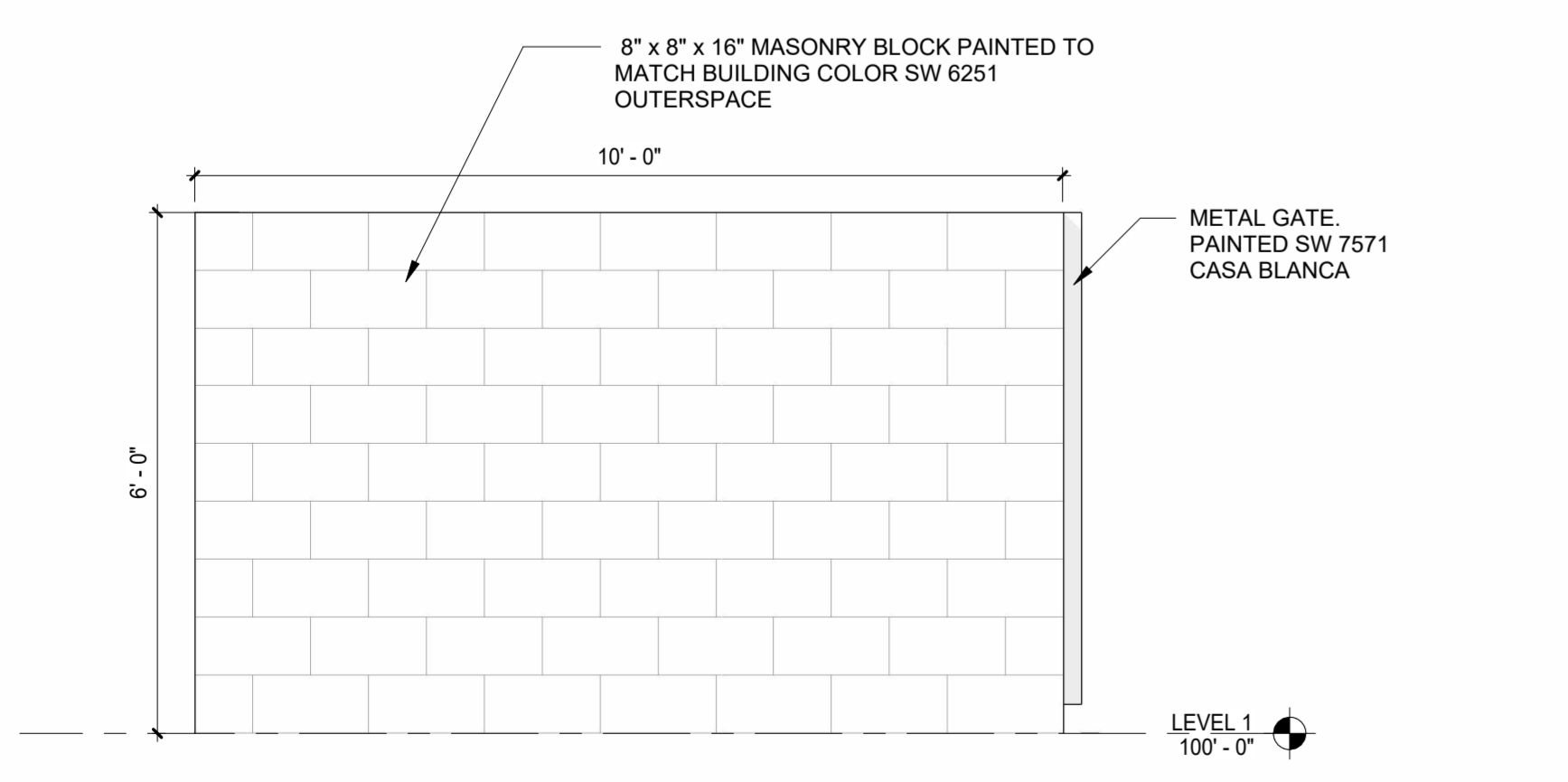
ACCESSIBLE PARKING SIGN

TOG/014  
Issued 06/00

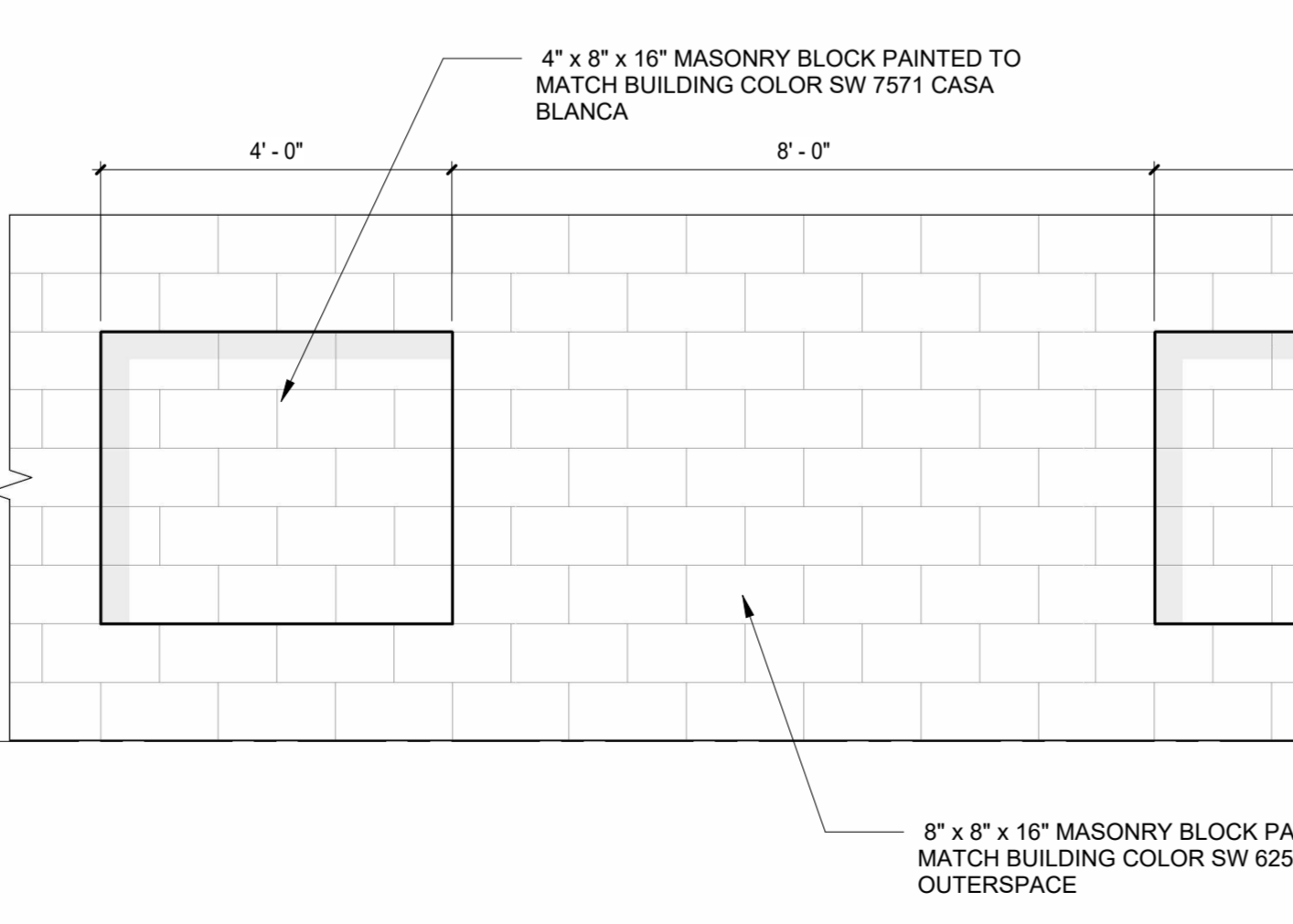


STANDARD DETAIL BIN ENCLOSURE SCREEN WALL, SAFETY POST & GATE STANDARDS APPROVED TOWN ENGINEER DATE DETAIL No. GIL-189

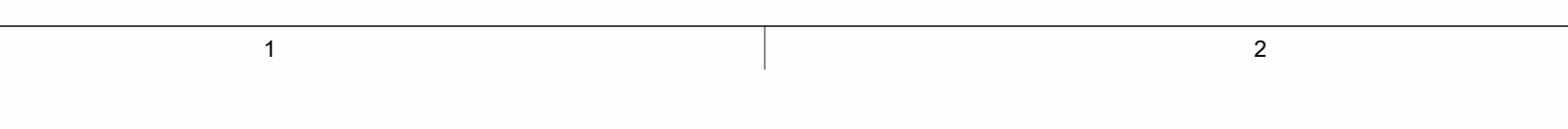
**B1** TRASH ENCLOSURE FRONT ELEVATION  
SCALE: 1/2" = 1'-0"



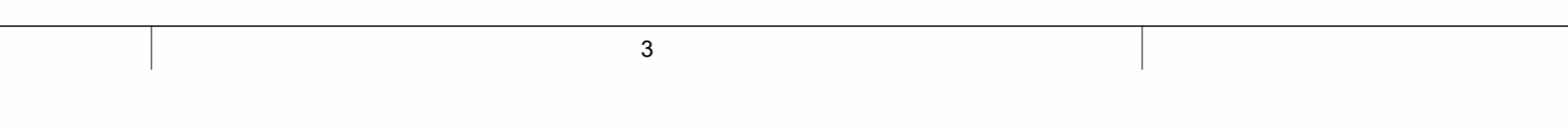
**B3** LIGHT POLE BASE DETAIL  
SCALE: 1" = 1'-0"



**A1** TYP. TRASH ENCLOSURE SIDE ELEVATION  
SCALE: 1/2" = 1'-0"



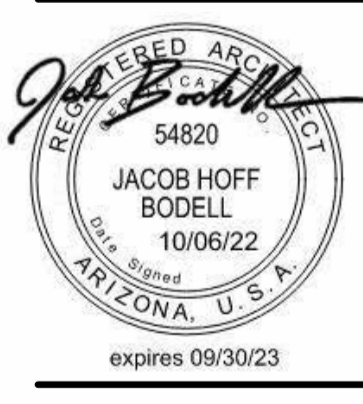
**A3** TYP. POOL FENCE ELEVATION  
SCALE: 1/2" = 1'-0"



**A5** POOL WALL SECTION @ RECESS  
SCALE: 1/2" = 1'-0"



**A6** U-BIKE RACK DETAIL  
SCALE: 1" = 1'-0"



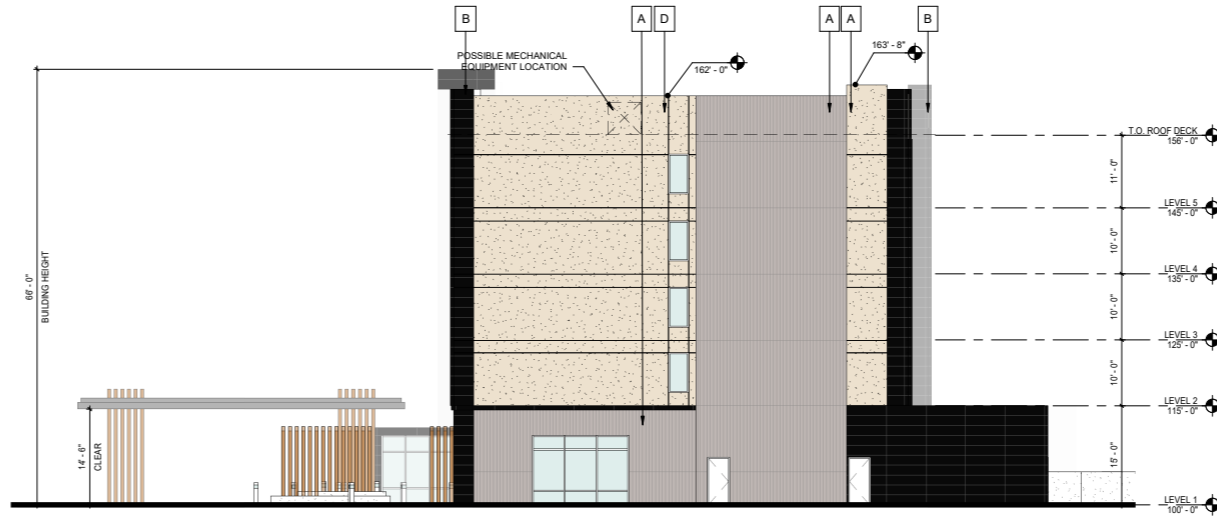
DATE	REVISION

PROJECT NUMBER 21142





**D1** NORTH ELEVATION COLOR  
SCALE: 3/32" = 1'-0"



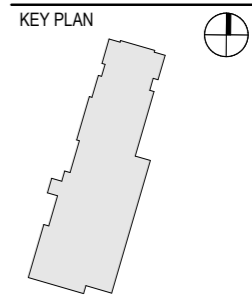
**D3** SOUTH ELEVATION COLOR  
SCALE: 3/32" = 1'-0"

**REFERENCE NOTES**  
**BUILDING ELEVATIONS GENERAL NOTES**

- A. ROOF DRAIN DOWNSPOUTS AND ROOF ACCESS LADDERS NEED TO BE INTERNALIZED WITH IN THE BUILDING FACADES.
- B. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALLS
- C. ROOF ACCESS LADDER LOCATED INSIDE THE BUILDING
- D. INTERNALIZED ROOF DRAINS
- E. SIGNAGE BY SEPARATE PERMIT AND SUBMITTAL
- F. 12" HIGH ADDRESS NUMBER, INDIVIDUALLY MOUNTED, METAL REVERSE PAN CHANNEL CHARACTERS WITH HIGH COLOR CONTACTS AND HALO ILLUMINATED. SEE POWER PLANS. COMPLY WITH FIRE DEPARTMENT REQUIREMENTS

**MATERIALS LEGEND**

A	NICHHA PANEL - VINTAGEWOOD - ASH 18" X 100" VERTICAL
B	NICHHA PANEL - MIRIA - ONYX 18" X 72" HORIZONTAL
C	ATAS VERSA-LOK METAL PANEL - COPPER
D	EIFS - PAINTED - SW 6251 OUTERSPACE
E	EIFS - PAINTED - SW 7571 CASA BLANCA



**B1** EAST ELEVATION COLOR  
SCALE: 3/32" = 1'-0"



**A1** WEST ELEVATION COLOR  
SCALE: 3/32" = 1'-0"



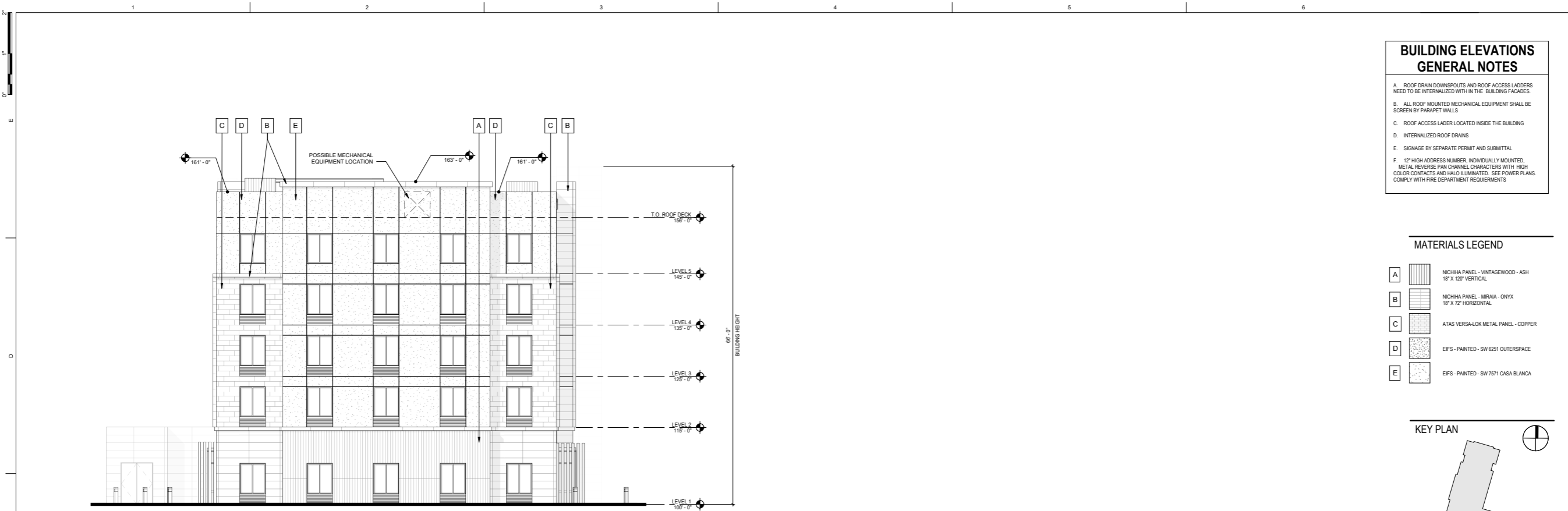
DATE	REVISION

PROJECT NUMBER 21142

**BUILDING ELEVATIONS - COLOR**

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**BUILDING ELEVATIONS  
GENERAL NOTES**

A. ROOF DRAIN DOWNSPOUTS AND ROOF ACCESS LADDERS NEED TO BE INTERNALIZED WITH IN THE BUILDING FACADES.

B. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED BY PARAPET WALLS

C. ROOF ACCESS LADDER LOCATED INSIDE THE BUILDING

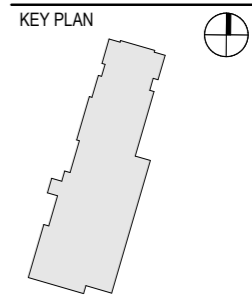
D. INTERNALIZED ROOF DRAINS

E. SIGNAGE BY SEPARATE PERMIT AND SUBMITTAL

F. 12" HIGH ADDRESS NUMBER, INDIVIDUALLY MOUNTED, METAL REVERSE PAN CHANNEL CHARACTERS WITH HIGH COLOR CONTACTS AND HALO ILLUMINATED. SEE POWER PLANS. COMPLY WITH FIRE DEPARTMENT REQUIREMENTS

**MATERIALS LEGEND**

A		NICHHA PANEL - VINTAGEWOOD - ASH 18" X 120" VERTICAL
B		NICHHA PANEL - MIRRAIA - ONYX 18" X 72" HORIZONTAL
C		ATAS VERSA-LOK METAL PANEL - COPPER
D		EIFS - PAINTED - SW 6251 OUTERSPACE
E		EIFS - PAINTED - SW 7571 CASA BLANCA



**C1** NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



**A1** WEST ELEVATION  
SCALE: 1/8" = 1'-0"



DATE	REVISION

PROJECT NUMBER 21142

**BUILDING ELEVATIONS**  
- ENLARGED

10/10/2022 3:59:24 PM

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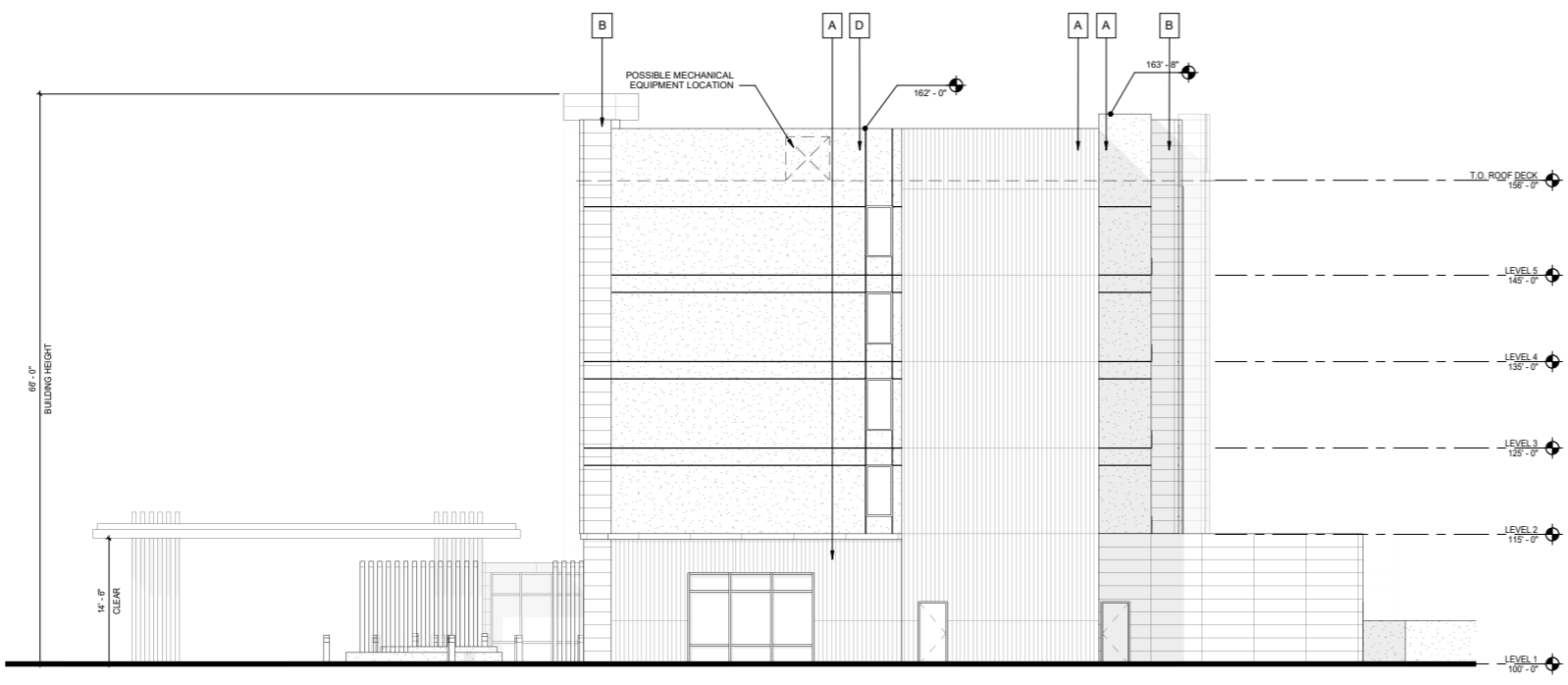
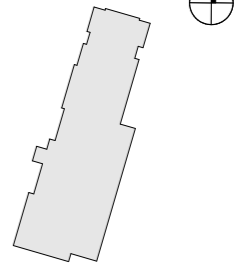
### BUILDING ELEVATIONS GENERAL NOTES

- A. ROOF DRAIN DOWNSPOUTS AND ROOF ACCESS LADDERS NEED TO BE INTERNALIZED WITH THE BUILDING FACADES.
- B. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREEN BY PARAPET WALLS
- C. ROOF ACCESS LADDER LOCATED INSIDE THE BUILDING
- D. INTERNALIZED ROOF DRAINS
- E. SIGNAGE BY SEPARATE PERMIT AND SUBMITTAL
- F. 12" HIGH ADDRESS NUMBER, INDIVIDUALLY MOUNTED, METAL REVERSE PAN CHANNEL CHARACTERS WITH HIGH COLOR CONTACTS AND HALO ILLUMINATED. SEE POWER PLANS. COMPLY WITH FIRE DEPARTMENT REQUIREMENTS

### MATERIALS LEGEND

- A NICHHA PANEL - VINTAGEWOOD - ASH  
18" X 120" VERTICAL
- B NICHHA PANEL - MIRRAIA - ONYX  
18" X 72" HORIZONTAL
- C ATAS VERSA-LOK METAL PANEL - COPPER
- D EIFS - PAINTED - SW 6251 OUTERSPACE
- E EIFS - PAINTED - SW 7571 CASA BLANCA

### KEY PLAN



**C1** SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



**A1** EAST ELEVATION  
SCALE: 1/8" = 1'-0"

**GILBERT HILTON GARDEN INN**  
 1707 N. HIGLEY RD, GILBERT, AZ 85234  
 MANCHESTER UNITED GROUP LLC  
 DESIGN REVIEW - 10/06/2022



DATE	REVISION

PROJECT NUMBER 21142

**BUILDING ELEVATIONS**  
- ENLARGED





**FRONT - WEST PERSPECTIVE**

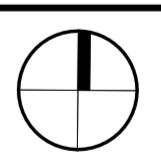
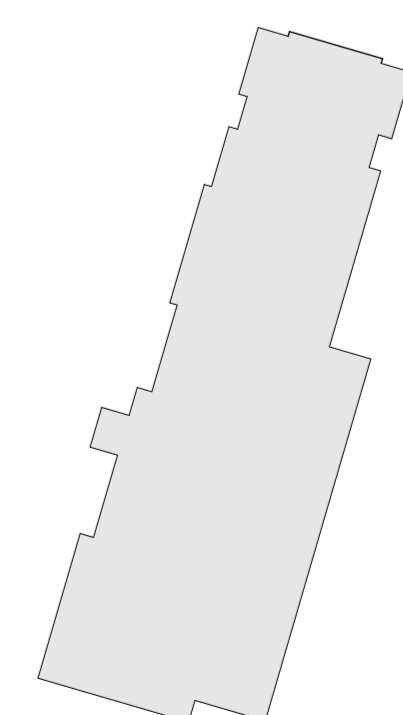


**SOUTH EAST - PERSPECTIVE AT POOL AREA**



**FRONT - SW AERIAL PERSPECTIVE**

KEY PLAN



DATE	REVISION

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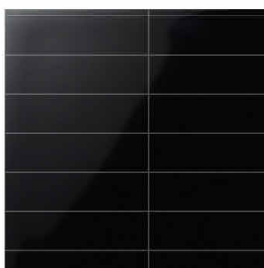
**EXTERIOR  
3D VIEWS**



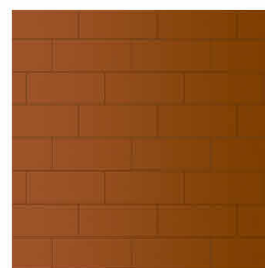
# COLOR BOARD



**A** NICHIIHA PANEL -  
VINTAGEWOOD - ASH  
18" X 120" VERTICAL



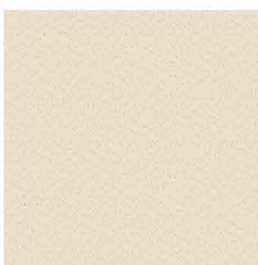
**B** NICHIIHA PANEL -  
MIRAIA - ONYX  
18" X 72" HORIZONTAL



**C** ATAS VERSA-  
LOK METAL PANEL -  
COPPER



**D** EIFS - PAINTED  
SW 6251 OUTERSPACE



**E** EIFS - PAINTED  
SW 7571 CASA BLANCA



**F** GLAZING  
SOLORAN 60 - OPTIGRAY