

Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: KRISTEN DEVINE, PLANNER II *KD*
 (480) 503-6742, KRISTEN.DEVINE@GILBERTAZ.GOV

THROUGH: VERONICA GONZALEZ, PRINCIPAL PLANNER *vg*
 (480) 503-6720, VERONICA.GONZALEZ@GILBERTAZ.GOV

MEETING DATE: DECEMBER 7, 2022

SUBJECT: DR22-108 BLACK RIFLE COFFEE

STRATEGIC INITIATIVE: Community Livability

To allow for a drive through coffee shop on a vacant parcel at the entrance to a neighborhood.

REQUEST

DR22-108 Black Rifle Coffee: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 0.91 acres, generally located at the northeast corner of Higley Road and Palmer Street, and zoned Neighborhood Commercial (NC) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for site plan and elevation input only. No motion required.

APPLICANT/OWNER

Company: Evolve Ventures, LLC Name: Bruce Goldman
 Name: Amy Malloy Phone: 847-924-6540
 Address: 13348 W. Via Caballo Blanco Email: bgoldman@sterlingops.com
 Peoria, AZ 85383
 Phone: 602-531-7762
 Email: amalloy@evolveventuresphx.com

BACKGROUND/DISCUSSION

History

Date	Description
April 25, 2000	Town Council approved Ordinance No. 1263 (A99-23) annexing approximately 1,625 acres, including subject property.

<i>April 25, 2000</i>	Town Council approved Ordinance No. 1264 (Z99-62), to rezone the Seville Master Planned Community PAD, an approximate 1,382-acre Master Planned Community with the subject site zoned Public Facility/Open Space (PF/OS).
<i>September 3, 2002</i>	Town Council approved Ordinance No. 1414 (Z02-04), to rezone the Seville Master Planned Community PAD, Tracts C and G, including the subject site, from Public Facility/Open Space (PF/OS) to C-1 (Light Commercial) zoning district.
<i>March 3, 2005</i>	Town Council adopted the Land Development Code (LDC) that modified the zoning of the subject site, Seville Tract 'C' and 'G' from C-1 (Light Commercial) to Neighborhood Commercial (NC).
<i>May 2, 2007</i>	The Planning Commission approved UP06-19, to allow a bank facility within the Neighborhood Commercial (NC) zoning district, located on the subject site, Seville Tract 'C' and 'G'.
<i>May 10, 2007</i>	The Design Review Board approved DR06-132 for MidFirst Bank.

Overview

The applicant is proposing to construct a 2,718 square foot coffee shop with a drive through on a 0.91-acre site. The site is generally located on the northeast corner of Higley Road and Palmer Street and is zoned Neighborhood Commercial (NC) with a Planned Area Development Overlay (PAD). The proposed drive through coffee shop building will occupy a portion of the site on the hard corner of Higley and Palmer, with lot line adjustments proposed in the future to allow two additional future developments.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Neighborhood Commercial (NC)	Neighborhood Commercial (NC)	Vacant land
South	Residential >2-3.5 DU/acre, then General Commercial (GC)	Single Family-6 (SF-6) PAD, Shopping Center (SC) PAD	Palmer Street, then residential landscape tract, then shopping center
East	Residential > 2-3.5 DU/acre	Single Family-6 (SF-6) PAD	Seville Parcel 1
West	Residential > 2-3.5 DU/acre	Single Family-8 (SF-8) PAD	Higley Road, then Shamrock Estates Phase 1
Site	Neighborhood Commercial (NC)	Neighborhood Commercial (NC)	Vacant land

Project Data Table

Site Development Regulations	LDC NC	Proposed Building (NC Zoning)
Maximum Building Height (ft.)/ (Stories)	25'/1 story	21'6"
Minimum Building Setbacks (ft.)		
Front	20'	60'6"

Side (street)	15'	126'
Side (non-residential)	10'	57'4"
Rear (residential)	15'	86'2"
Minimum Required Perimeter Landscape Area (ft.)		
Front	20'	20'
Side (street)	15'	7'9'
Side (non-residential)	10'	tbd
Rear (residential)	15'	tbd
Landscaping (% of net area)	15%	tbd
Parking Spaces	36/2 space:75 sq ft, 1 space:400 sq ft patio	38

DISCUSSION:

Black Rifle Coffee is a one-story, 2,718 sq ft building with a drive through. The proposed site plan includes a 38-space parking lot with internal and perimeter landscaping. The site includes two access points: one off of Higley Road and one off of Palmer Street. The site is proposed to be constructed in phases, with Black Rifle Coffee being built in the first phase.

The site is not currently proposed as a master site plan, but staff recommends the applicant create one to take advantage of reduced or eliminated internal setbacks. Future lot line adjustments are proposed to allow for a total of 3 developments on this site and the vacant parcel to the north. Since the site is not currently proposed as a master site plan, it must meet all required internal building and landscape setbacks.

Site Plan

The site is located on the northeast corner of Higley Road and Palmer Street. As previously mentioned, there are two proposed access drives. The driveway on Higley Road is accessed by right-turn only while the Palmer Street entrance is proposed to be full-motion access. The drive aisles that connect the remainder of the site to the proposed drive through site are not proposed to be developed as part of this phase and will be developed as future sites are proposed.

The proposed building is generally centered on the site with parking located on the southern and western sides of the building. Additional parking will be proposed east of the building in a future development phase. The parking lot on the southern side of the building includes a large landscape island between the two rows of parking, providing multiple paths of travel while breaking up what would otherwise be a large section of pavement. The drive through for the coffee shop begins at the southeast corner of the building with the order points on the eastern elevation, facing the residential zoning to the east of the site, and wraps around to a pickup window on the northern elevation. As previously mentioned, future parking is proposed on the eastern portion of the site, which will be between the residences and the drive through lane.

Pedestrian access is important for the Neighborhood Commercial zoning district and is provided on the site. Connections can be found from the site to the existing sidewalks located on Palmer Street and Higley Road. Painted crosswalks are provided across the site to connect the building to Higley Road and Palmer Street. The large landscape island in the southern portion of the parking lot serves as a landing pad between Palmer Street and the building. Internal pedestrian connectivity to future developments is not currently proposed.

Landscaping

Proposed landscaping plan consists of a variety of trees and shrubs. The trees used are Evergreen Elm (which is a street theme tree for this portion of Higley Road) and Willow Acacia. Some of the shrub and ground cover landscaping includes Yellow Yucca, Desert Spoon, Yellow Bird of Paradise, Compact Green Sage, and Bush Morning Glory.

The large landscape island in the southern parking lot area includes two trees and a variety of shrubs to complement them, giving the landscape island a visually appealing landing zone for pedestrians utilizing the sidewalk entrance from Palmer Street. Additional landscaping will be required along the foundation of the building and also along the drive through screen walls. The site is currently proposed to be developed in phases, and all perimeter landscaping must be included with the development of the first phase.

Elevations, Floor Plan, Colors and Materials

The proposed building height is 21'6" to the top of parapet. The building is rather well-designed and if it were located somewhere else within the Town, Staff would have no major comments. However, Staff is concerned it does not fit with the established Spanish style of the Seville area. There is one building nearby (Desert Shores Pediatrics) that resembles the proposed building in design, but the other surrounding buildings all include a tan/desert-based color palette and pitched roof design. The proposed building has a more modern architectural style that includes a flat roof and a variety of colors and materials such as brick, metal paneling and wood siding. The colors utilized are more of a grey/beige color than those used in the surrounding area and also includes a dark bronze color for the metal paneling that is located at the entry point of the building as well as the pickup window.

Lighting

Lighting for the site will consist of 20' high parking lot lighting and wall sconce lighting. All site lighting is required to comply with Town codes.

Signage

A comprehensive sign program will need to be established for this site. Monument signage should be proposed at that time.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require public notice as specified under Land Development Code (LDC) Section 6.2.

REQUESTED INPUT

1. Site layout and elevation feedback.

Respectfully submitted,

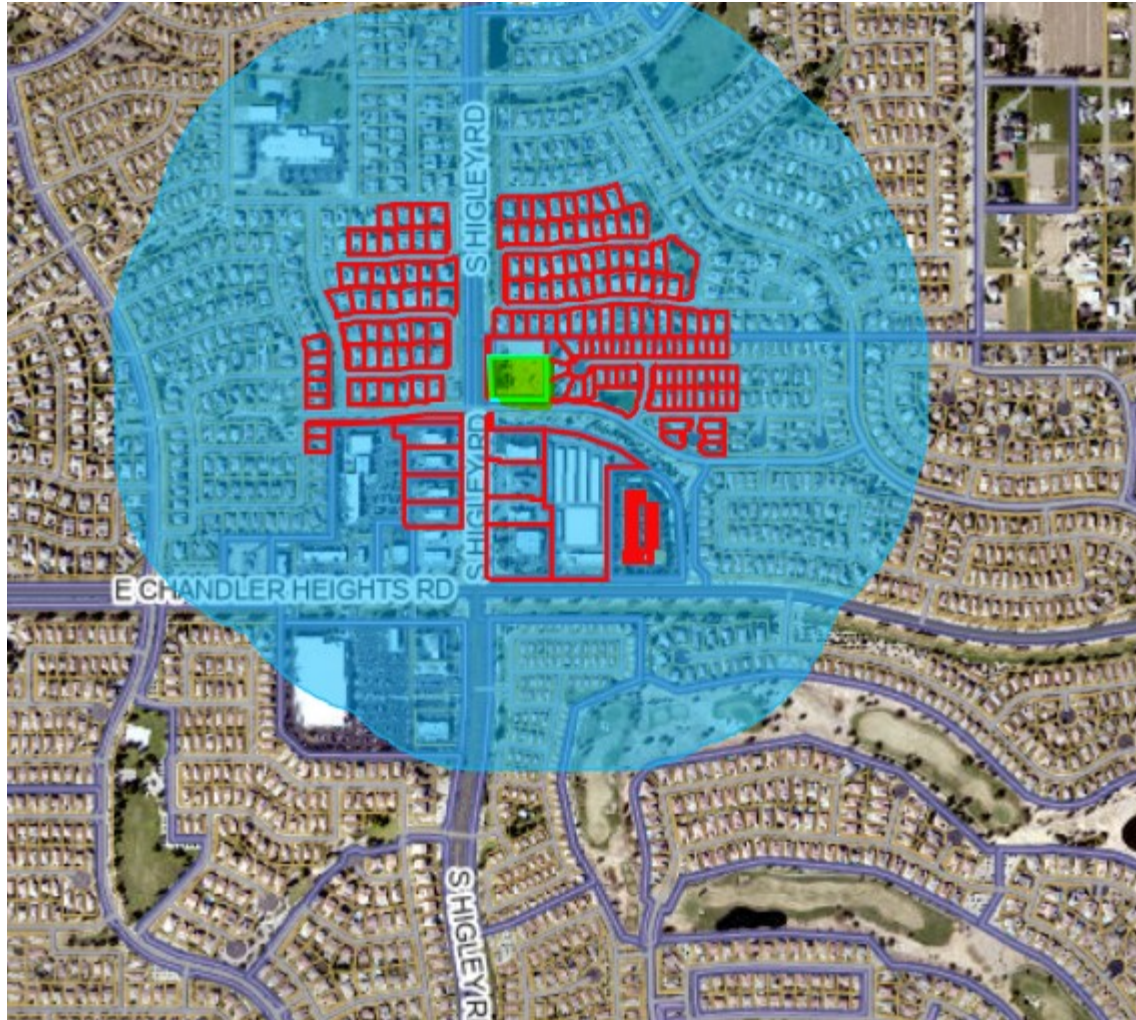
Kristen Devine

Kristen Devine
Planner II

Attachments and Enclosures:

- 1) Vicinity/Aerial Map
- 2) Applicant's Narrative
- 3) Site Plan

- 4) Landscape Plan
- 5) Grading and Drainage Plan
- 6) Building Elevations
- 7) Floor Plans
- 8) Lighting Photometric Plan





Project Narrative

City of Goodyear, Arizona
Development Services Department
90 E Civic Center Drive
Gilbert, AZ 85296

Re: Black Rifle Coffee Prototypical Ground-up Building/Site
6225 S. Higley Road, Gilbert, AZ

To whom it may concern:

The proposed coffee shop is located at 6225 S. Higley Road at the intersection with Palmer Street. The ±0.91 acre parcel number is currently 304-79-972 and is zoned Neighborhood Commercial (NC). The proposed zone use shall be Commercial, intended to supplement the other services offered in the vicinity.

This building is a new 2,718 SF ground up coffee shop with a drive-thru. The design will incorporate a dining space, a merchandise display area, a coffee bar, a preparation and storage area for products, restrooms, and a combination walk-in cooler and freezer.

Outdoor amenities shall include patio dining, bicycle parking, a dedicated military veteran parking space, pedestrian walkways, a lawn area, and a dog park.

LDG appreciates the opportunity to answer any questions, please feel free to contact me via email to dwilson@larsondesigngroup.com.

Sincerely,

LARSON DESIGN GROUP

Jason L. Bellis

Jason L. Bellis, PE
Project Manager

Larson Design Group

1000 Commerce Park Drive, Suite 201, Williamsport, PA 17701
570.323.6603 | larsondesigngroup.com

**DR22-108 Black Rifle Coffee
Attachment 3: Site Plan**



BLACK RIFLE COFFEE COMPANY
901 N CENTRAL EXPRESSWAY
PLANO, TX 75075

CLIENT

SEAL FEB 14 2022

MARK	DATE	REVISIONS PER 08-SEP-22 CITY COMMENTS	COMMENTS
01	11-OCT-22		

BLACK RIFLE COFFEE COMPANY - GILBERT, AZ
6225 SOUTH HIGLEY ROAD, GILBERT, AZ 85298

Project No.: 12940-006

Sheet No.:

CS101

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KEYNOTE REFERENCE

- 6" CONCRETE CURB/GUTTER, TYP.
- 9' X 18' PARKING STALL, TYP. - 38 TOTAL
- ADA PARKING STALL WITH WHEEL STOP AND ADA PARKING SIGN, TYP. - 2 TOTAL; PER "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN"
- PARKING LOT SCREENING WALL
- ADA ACCESSIBLE CURB RAMP WITH ADA DETECTABLE WARNING MATS, TYP.
- PAINTED TRAFFIC ARROW, TYP.
- DUMPSTER PAD AND ENCLOSURE
- CONCRETE PATIO
- CONCRETE SIDEWALK, 5' WIDTH UNLESS OTHERWISE NOTED, TYP.
- LAWN AREA, TYP.
- SIGN, REFER TO ARCHITECTURAL DRAWINGS
- BICYCLE RACK
- DEDICATED PARKING STALL FOR PURPLE HEART VETERAN
- DOG PARK (300SF) REFER TO DETAIL 6/CS302
- 44' TALL FLAGPOLE
- CLEARANCE BAR, REFER TO DETAIL
- PREVIEW BOARD, SEE DETAIL SHEET CS302
- ORDERING STATION, SEE DETAIL SHEET CS302
- MENU BOARD, SEE DETAIL SHEET CS302
- BOLLARDS, TYP.
- PEDESTRIAN CROSSWALK STRIPING
- SIGHT ANGLES, PER GIL-212. LINES BASED ON POSTED SPEED LIMITS: PALMER STREET 25MPH, HIGLEY ROAD, 45MPH. D1 - 310'; D2 - 355'
- LEFT TURN LANE.
- DECELERATION LANE
- SES PANEL
- FDC LOCATION

LEGEND

- CONCRETE SIDEWALK/PATIO
- CONCRETE PAVEMENT

QUALIFICATIONS

- THIS SITE PLAN WAS PRODUCED WITH THE BEST INFORMATION AVAILABLE AT DATE OF PRODUCTION.
- NO ACCESS DRIVEWAYS ARE LOCATED WITHIN 300' OF THE PROPOSED SITE. NEAREST ACCESS DRIVEWAY IS 315' SOUTH ON HIGLEY ROAD.
- SITE PLAN WILL REQUIRE BLACK RIFLE COFFEE AND CITY APPROVAL.

SITE SUMMARY:

AREAS: INDOOR SEATING AREA = 2,735SF
OUTDOOR SEATING AREA = 790SF

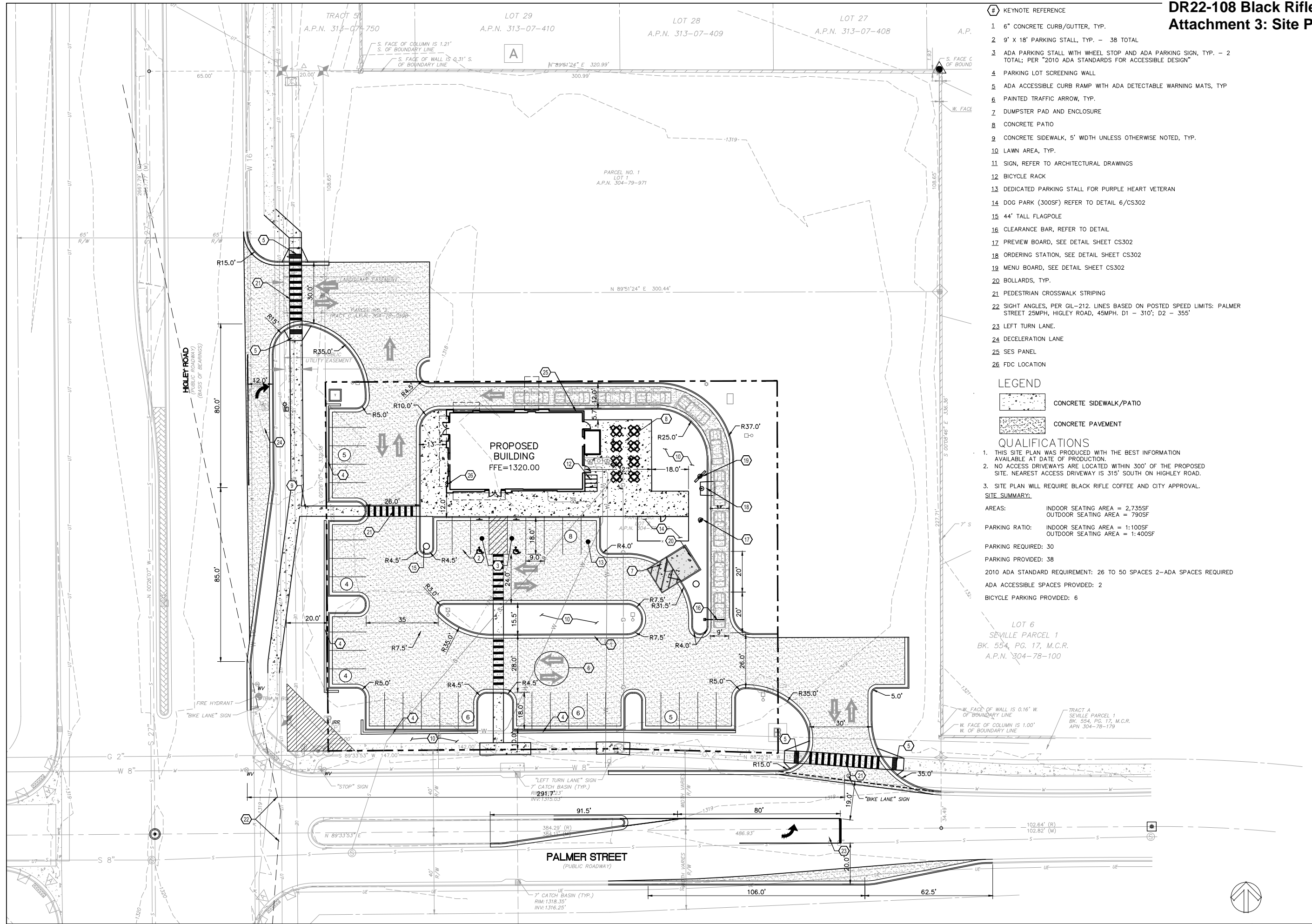
PARKING RATIO: INDOOR SEATING AREA = 1:100SF
OUTDOOR SEATING AREA = 1:400SF

PARKING REQUIRED: 30
PARKING PROVIDED: 38

2010 ADA STANDARD REQUIREMENT: 26 TO 50 SPACES 2-ADA SPACES REQUIRED
ADA ACCESSIBLE SPACES PROVIDED: 2

BICYCLE PARKING PROVIDED: 6

LOT 6
SEVILLE PARCEL 1
BK. 554, PG. 17, M.C.R.
A.P.N. 304-78-100



1 SITE PLAN

SCALE: 1"=20'



BLACK RIFLE COFFEE COMPANY
901 N CENTRAL EXPRESSWAY
PLANO, TX 75075

CLIENT

SEAL FEB 14 2022

MARK	DATE	REVISIONS PER 08-SE-22 CITY COMMENTS	COMMENTS
01	11-OCT-22		

BLACK RIFLE COFFEE COMPANY - GILBERT, AZ
6225 SOUTH HIGLEY ROAD, GILBERT, AZ 85298

LANDSCAPE PLAN

Project No.: 12940-006

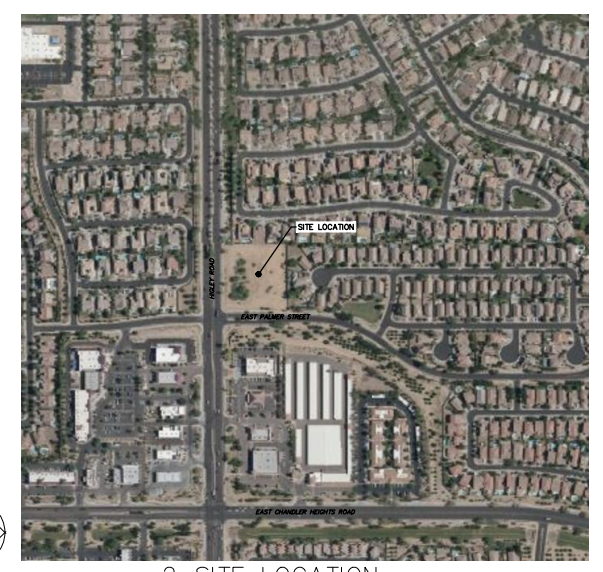
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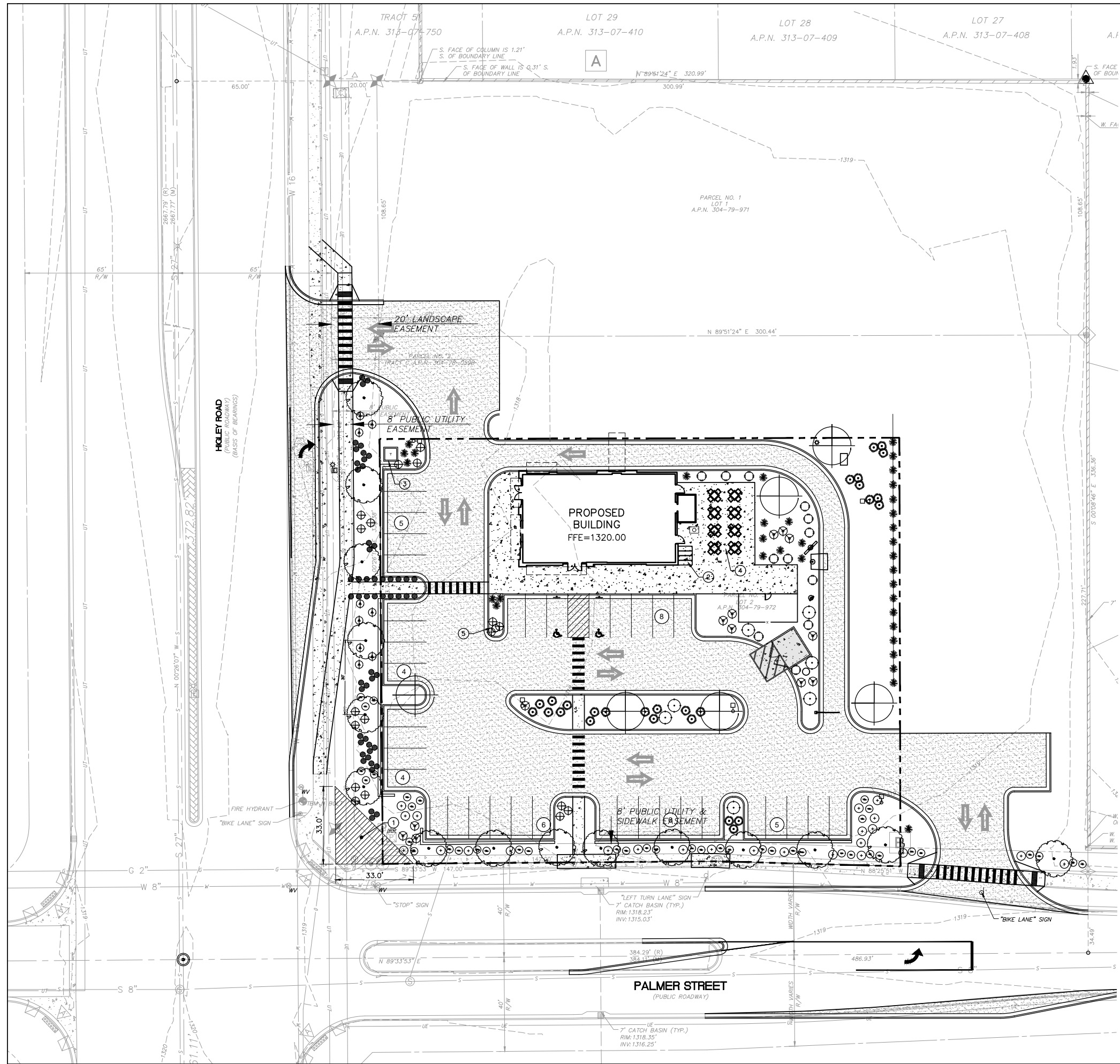
SCALE: 1"=20'

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE*	REMARKS
TREES					
4		ACACIA SALICINA	WILLOW ACACIA	24" BOX	STANDARD, MATCHING
15		ULMUS PARVIFOLIA "SEMPERVIRENS"	EVERGREEN ELM	24" BOX	MATCHING
SHRUBS					
36		HESPERALOE PARVIFLOVA "YELLOW"	YELLOW YUCCA	5 GAL.	
37		HESPERALOE FUNIFERA	GIANT HESPERALOE	5 GAL.	
9		AGAVE AMERICANA "VARIEGATA"	VARIGATED CENTURY PLANT	5 GAL.	
30		EREMOPHILA HYDROPHANA	BLUE BELL BUSH	5 GAL.	
43		DASYLIRION WHEELERI	DESERT SPOON	5 GAL.	
34		MUHLENBERGIA RIGENS	DEER GRASS	5 GAL.	
31		CALLIANDRA ERIOPHYLLA	BAJA FAIRY DUSTER	5 GAL.	
12		CAESALPINIA GILLIESII	YELLOW BIRD OF PARADISE	5 GAL.	
20		LEUCOPHYLLUM FRUTESCENS "COMPACTA"	COMPACT GREEN SAGE	5 GAL.	
GROUNDCOVER					
55		CONVOLVULUS CNEORUM	BUSH MORNING GLORY	1 GAL.	

- KEYNOTE REFERENCE
- VISIBILITY TRIANGLE - UNCONTROLLED INTERSECTION. 33' FROM INTERSECTION OF R/W PER TOWN OF GILBERT STAN DET.: GIL-211
 - BICYCLE RACK
 - APPROXIMATE LOCATION OF TRANSFORMER, FINAL LOCATION TBD THROUGH COORDINATION WITH UTILITY COMPANY.
 - OUTDOOR EATING/PATIO AREA
 - 44' FLAG POLE, REFER TO DETAIL



2 SITE LOCATION



1 LANDSCAPE PLAN

DR22-108 Black Rifle Coffee Attachment 5: Grading and Drainage Plan



Larson Design Group
1000 COMMERCE PARK DRIVE
SUITE 201
WILLIAMSPORT, PA 17701
(877) 323-6663



BLACK RIFLE COFFEE COMPANY
901 N CENTRAL EXPRESSWAY
PLANO, TX 75075

CLIENT

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MARK	DATE	REVISIONS PER 08-SEER-22 CITY COMMENTS	COMMENTS
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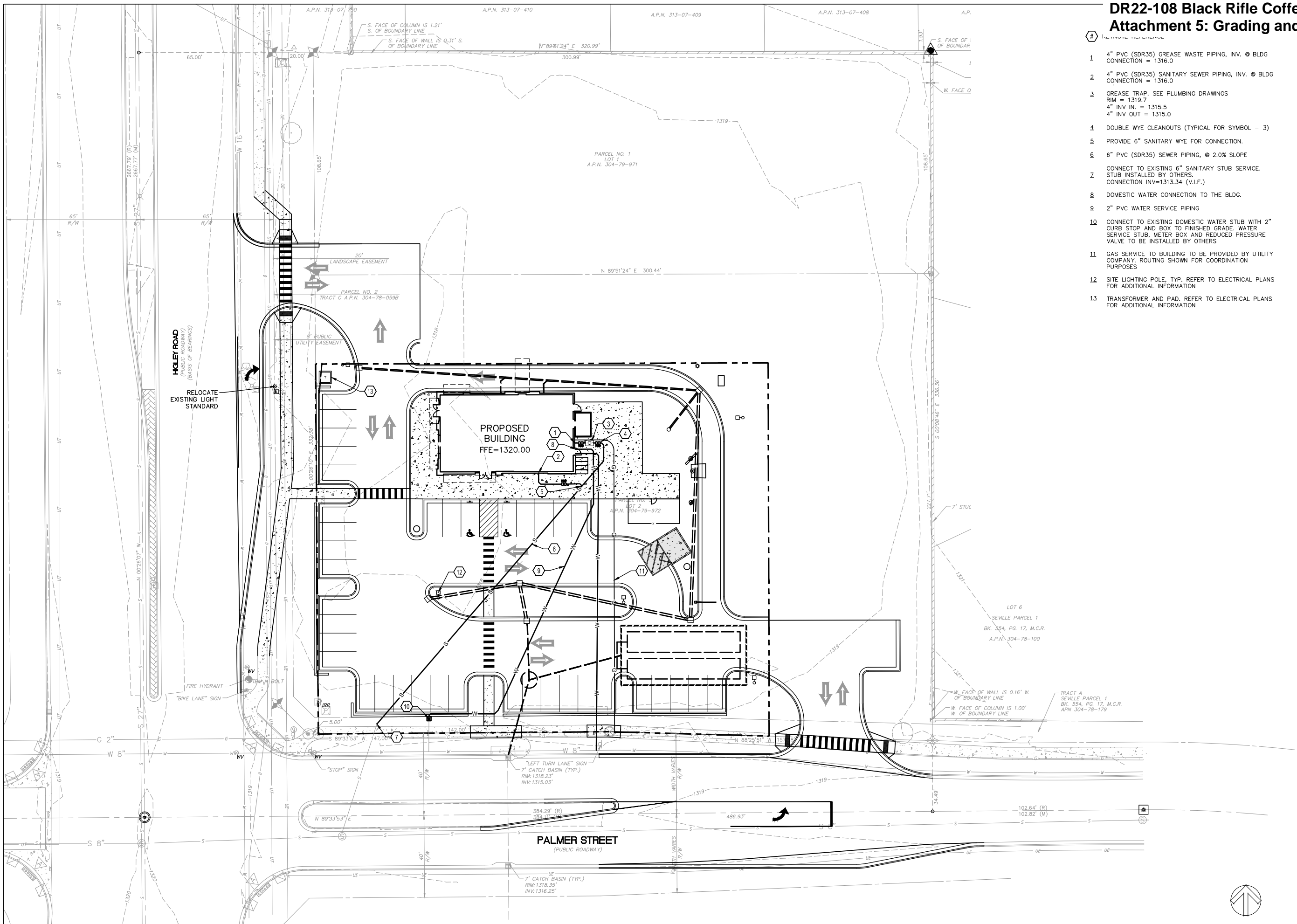
BLACK RIFLE COFFEE COMPANY - GILBERT, AZ
6225 SOUTH HIGLEY ROAD, GILBERT, AZ 85298

Project No.: 12940-006

Sheet No.:

CS102

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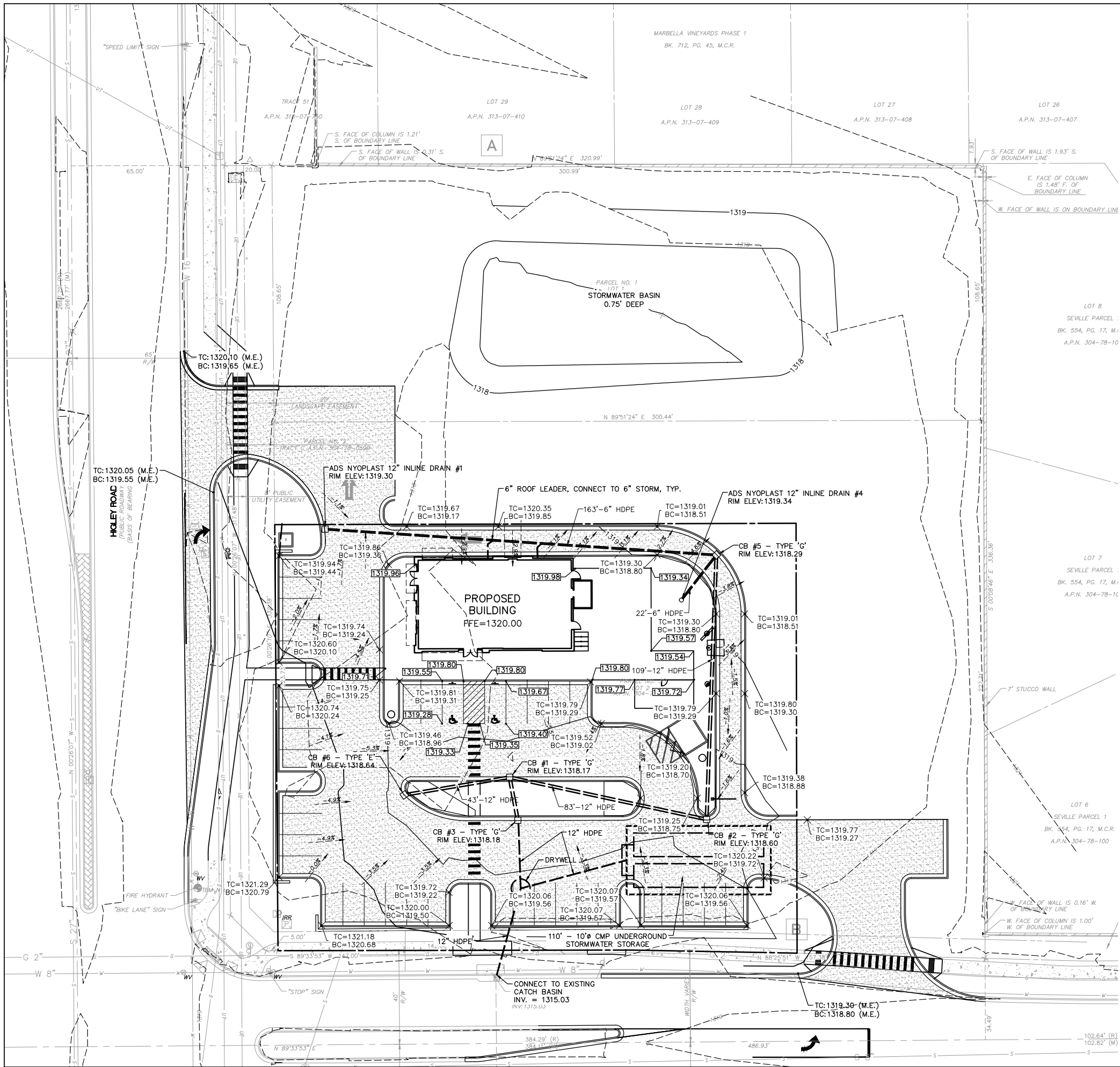


- 1 4" PVC (SDR35) GREASE WASTE PIPING, INV. @ BLDG CONNECTION = 1316.0
- 2 4" PVC (SDR35) SANITARY SEWER PIPING, INV. @ BLDG CONNECTION = 1316.0
- 3 GREASE TRAP. SEE PLUMBING DRAWINGS
RIM = 1319.7
4" INV IN. = 1315.5
4" INV OUT = 1315.0
- 4 DOUBLE WYE CLEANOUTS (TYPICAL FOR SYMBOL - 3)
- 5 PROVIDE 6" SANITARY WYE FOR CONNECTION.
- 6 6" PVC (SDR35) SEWER PIPING, @ 2.0% SLOPE
- 7 CONNECT TO EXISTING 6" SANITARY STUB SERVICE. STUB INSTALLED BY OTHERS.
CONNECTION INV=1313.34 (V.I.F.)
- 8 DOMESTIC WATER CONNECTION TO THE BLDG.
- 9 2" PVC WATER SERVICE PIPING
- 10 CONNECT TO EXISTING DOMESTIC WATER STUB WITH 2" CURB STOP AND BOX TO FINISHED GRADE. WATER SERVICE STUB, METER BOX AND REDUCED PRESSURE VALVE TO BE INSTALLED BY OTHERS
- 11 GAS SERVICE TO BUILDING TO BE PROVIDED BY UTILITY COMPANY. ROUTING SHOWN FOR COORDINATION PURPOSES
- 12 SITE LIGHTING POLE, TYP. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION
- 13 TRANSFORMER AND PAD. REFER TO ELECTRICAL PLANS FOR ADDITIONAL INFORMATION

1 UTILITY PLAN



SCALE: 1"=20'



LEGEND

- -1122' --- EXISTING CONTOUR LINE
- 1125 ——— PROPOSED MAJOR CONTOUR LINE
- 1124 ——— PROPOSED MINOR CONTOUR LINE
- ==== PROPOSED STORM SEWER

ON-SITE STORMWATER RETENTION

ON-SITE STORMWATER RETENTION VOLUME WAS CALCULATED USING THE RATIONAL METHOD AND THE FOLLOWING EQUATION:

$$V = P/12 * C * A$$

Existing Cover Type		
Cover Type	sf	acre
Pervious	39685	0.91
Impervious	0	0.00
Total	39685	0.91

Retention Volume Required	
$V = (P/12) * C * A$	$V = 3.14 * (r^2) * l$
P = 3	V = 8378 cf
C = 0.86	r = 5 ft
A = 39685 sf	l = 107 ft
V = 8579 cf	

Proposed Cover Type	
Cover Type	C
Pervious	0.17
Impervious	0.95
Total	0.86

Number of Drywells Needed (n)	
36-hour Discharge = $36 \text{ (hr)} \times 0.1 \text{ (cfs)} \times 3600 \text{ (sec/hr)} = 12960 \text{ cf}$	
n = Retention Volume Required / Discharge Capacity	
n = 8579 cf / 0.6 drywell	
n = 1 drywell	

STRUCTURE TABLE			
STRUCTURE NAME	DETAILS	PIPES IN	PIPES OUT
ADS NYOPLAST 12" INLINE DRAIN #4	RIM = 1319.34 SUMP = 1310.4	6" INV IN - 1312.42	
ADS NYOPLAST 12" INLINE DRAIN #1	RIM = 1319.30 SUMP = 1315.0	6" INV IN - 1315.00	6" INV OUT - 1315.00
CB #6 - TYPE 'E'	RIM = 1318.64 SUMP = 1313.9	12" INV IN - 1313.90	
CB #2 - TYPE 'G'	RIM = 1318.60 SUMP = 1311.5	12" INV IN - 1312.93	12" INV OUT - 1311.53
CB #5 - TYPE 'G'	RIM = 1318.29 SUMP = 1312.6	6" INV IN - 1313.21	12" INV OUT - 1313.11 6" INV OUT - 1312.63
CB #3 - TYPE 'G'	RIM = 1318.18 SUMP = 1304.7	12" INV IN - 1306.73	
CB #1 - TYPE 'G'	RIM = 1318.17 SUMP = 1305.7	12" INV IN - 1312.90 12" INV IN - 1310.80	12" INV OUT - 1306.80



BLACK RIFLE COFFEE COMPANY
 901 N CENTRAL EXPRESSWAY
 PLANO, TX 75075

CLIENT

SEAL FEB 14 2022

REVISIONS	DATE	COMMENTS
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BLACK RIFLE COFFEE COMPANY - GILBERT, AZ
 6225 SOUTH HIGLEY ROAD, GILBERT, AZ 85298

Project No.: 12940-006

Sheet No.:

CS103

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1 GRADING AND DRAINAGE PLAN



SCALE: 1"=20'

LDG
Larson Design Group
1000 COMMERCE PARK DRIVE
SUITE 201
WILLIAMSPORT, PA 17701
(877) 323-6603

BLACK RIFLE COFFEE COMPANY
BLACK RIFLE COFFEE COMPANY
355 SPENCER LANE
SAN ANTONIO, TX 78201

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PRELIMINARY DESIGN
NOT FOR CONSTRUCTION

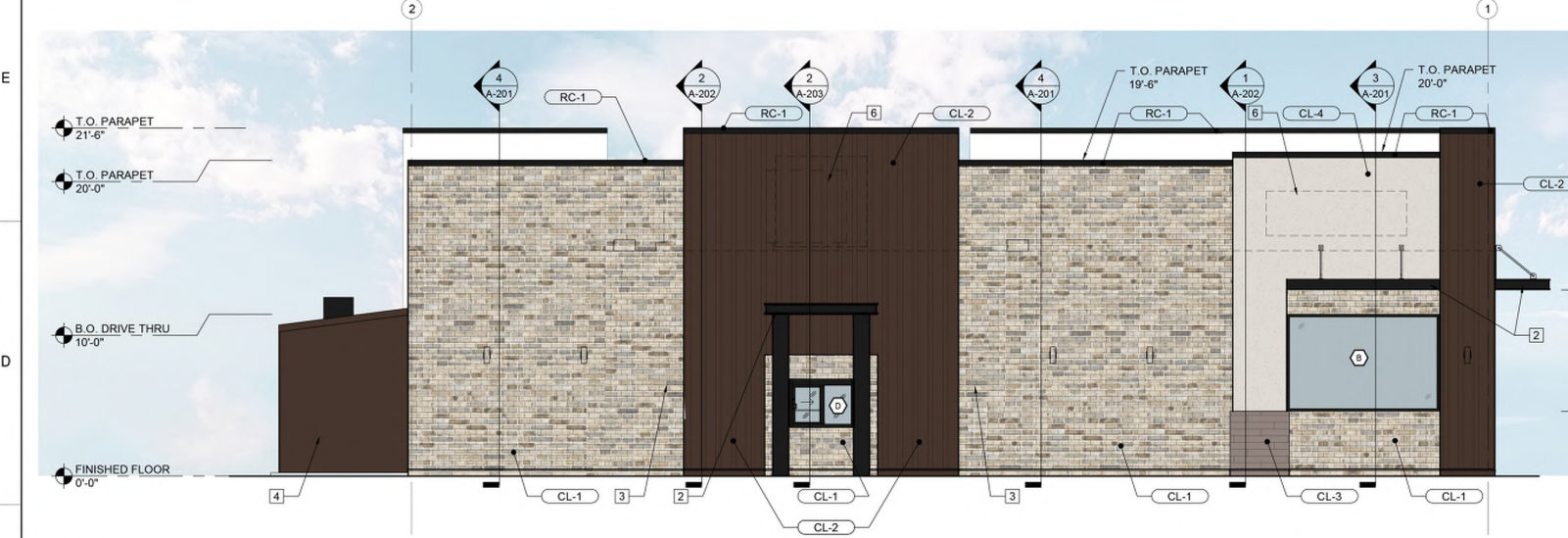
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EXTERIOR FINISH SCHEDULE				
MARK	MATERIAL	MANUFACTURER	STYLE/COLOR	NOTES
EP-1	EXTERIOR PAINT	SHERWIN WILLIAMS	COLOR: - SW 7005 PURE WHITE SHEEN: MATTE	FINISH PER MFR RECOMMENDATIONS. PRIMER: (1) COAT - FINISH COAT: (2) COATS A-100
EP-2	EXTERIOR PAINT (FOR EIFS)	SHERWIN WILLIAMS	COLOR: - SW 6258 TRICORN BLACK SHEEN: MATTER	FINISH PER MFR RECOMMENDATIONS. PRIMER: (1) COAT - FINISH COAT: (2) COATS A-100
EP-3	EXTERIOR PAINT (FOR METAL)	SHERWIN WILLIAMS	COLOR: - SW 6258 TRICORN BLACK SHEEN: MATTER	FINISH PER MFR RECOMMENDATIONS. PRIMER: (1) COAT - FINISH COAT: (2) COATS PRO INDUSTRIAL ACRYLIC 866
EP-4	EXTERIOR PAINT (FOR WOOD)	SHERWIN WILLIAMS	COLOR: - SW 6258 TRICORN BLACK SHEEN: MATTER	FINISH PER MFR RECOMMENDATIONS. PRIMER: (1) COAT - FINISH COAT: (2) COATS SW PREMIUM WALL AND WOOD PRIMER
CL-1	BRICK PANELING	NICHIHA USA	STYLE: CANYON BRICK COLOR: SHALE BROWN	INSTALL NICHIHA PANELS PER MFR RECOMMENDATIONS. USE INSIDE AND OUTSIDE CORNERS WERE REQ'D. ALL REQ'D TRIM TO BE BLACK IN COLOR.
CL-2	METAL FASCIA	PAC-CLAD	STYLE: HIGHLINE B1 24 GA COLOR: DARK BRONZE	VERTICAL INSTALLATION. INSTALL PER MFR RECOMMENDATIONS.
CL-3	WOOD	TREX	STYLE: TRANSCEND SQUARE EDGE DECK BOARDS COLOR: ROCKY HARBOR	INSTALL PER MFR. RECOMMENDATIONS. RAIN-SCREEN APPLICATION METHOD TO BE USED. MITER EDGES AT CORNERS.
CL-4	E.I.F.S.	DRYVIT OR APPROVED SUBSTITUTE	STYLE: QUARTZPUTZ COLOR: OYSTER SHELL	INSTALL EIFS TO THICKNESS SPECIFIED ON WALL SECTIONS. INSTALL PER MFR. RECOMMENDATIONS.
RC-1	METAL ROOF COPING	ROOF MFR.	STYLE: MATCH ROOF SYSTEM COLOR: BLACK	INSTALL PER MFR. RECOMMENDATIONS. IF BLACK IS UNAVAILABLE, G.C. MAY SUBSTITUTE DARK BRONZE, CONFIRM WITH ARCHITECT BEFORE PURCHASE.
MR-1	MEMBRANE ROOFING SYSTEM	DURO-LAST	STYLE: 40 MIL SINGLE-PLY PVC ROOFING MEMBRANE COLOR: WHITE	INSTALL PER MFR. RECOMMENDATIONS.

REFER TO A-302 FOR INTERIOR FINISH SCHEDULE AND SPECIFICATIONS



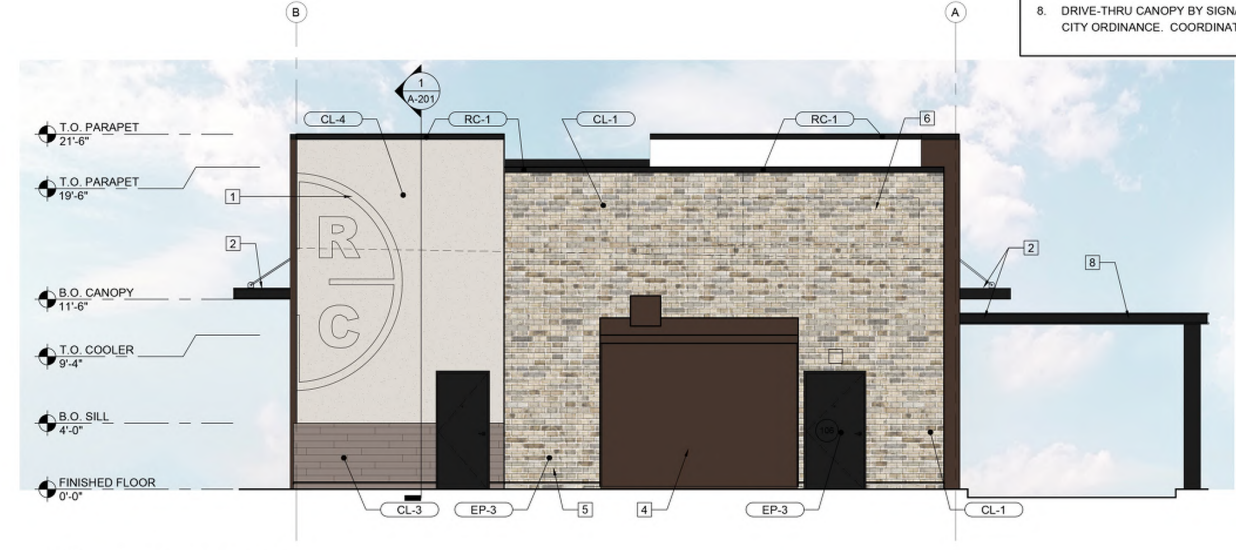
1 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"



2 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



3 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



4 REAR ELEVATION
SCALE: 3/16" = 1'-0"

- GENERAL NOTES**
- A. SIGNAGE BY OTHERS UNDER SEPARATE PERMIT.
 - B. G.C. SHALL COORDINATE ALL POWER SIGNAL & BLOCKING REQUIREMENTS WITH OTHERS.
 - C. G.C. TO INSTALL ACCESS PANELS ON INTERIOR WALL BEHIND SIGN AREA TO ALLOW SIGN INSTALLER TO WIRE THE SIGN.
 - D. PROVIDE EIFS REVEALS AS REQ'D BY MANUFACTURER.

- KEYED NOTES**
1. BRCC LOGO TO BE 1" INSET FROM FRONT OF E.I.F.S. FINISH. OUTER CIRCLE TO BE CENTERED ON VERTICAL HEIGHT OF E.I.F.S. RE: 12 & 13/A204
 2. PRE-ENGINEERED MTL. CANOPIES. CONFIRM INSTALLATION WITH SHOP DRAWINGS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 3. PRE-FINISHED SCUPPERS & DOWNSPOUTS TO BE COLOR BLACK EP-3.
 4. EXTERIOR WALK-IN COOLER/FREEZER TO BE SUPPLIED BY KITCHEN VENDOR. G.C. TO COORDINATE W/ ICS ON INSTALLATION. WALK-IN TO BE PRE-FINISHED W/ CLIENT STANDARD COLOR.
 5. ROOF LADDER W/ PARAPET RETURN. REF: 9/A-503
 6. G.C TO ADD REQUIRED BLOCKING FOR SIGNAGE. EXTERIOR SIGNAGE TO BE UNDER SEPARATE PERMIT.
 7. HANDICAP DOOR OPENER MOUNTED AT 34" A.F.F. BUTTON TO BE FLUSHED MOUNTED ON METAL PANEL.
 8. DRIVE-THRU CANOPY BY SIGNAGE VENDOR. CANOPY TO BE SPRINKLERED PER CITY ORDINANCE. COORDINATE INSTALLATION WITH ANCHOR SIGN.

NO.	DATE	MARK	COMMENTS

BLACK RIFLE COFFEE COMPANY
6225 SOUTH HIGLEY ROAD, GILBERT, AZ 85298

EXTERIOR ELEVATIONS

Project No.: 12940-006
Sheet No.:

A-601

DR22-108 Black Rifle Coffee Attachment 7: Floor Plans

- A. G.C. OMISSION OF A NECESSARY DIMENSION, G.C. WILL NOTIFY ARCHITECT IMMEDIATELY BEFORE PROCEEDING.
- B. DIMENSIONS SHOWN ARE CLEAR DIMENSIONS FROM FACE OF STUD TO FACE OF STUD.
- C. G.C. SHALL ENSURE THAT FINAL CONSTRUCTION TO BE CLEANED TO "LIKE NEW" CONDITIONS BEFORE TURNED OVER TO BLACK RIFLE COFFEE COMPANY.
- D. THE G.C. SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH ALL LOCAL, STATE AND NATIONAL CODES GOVERNING THE CONSTRUCTION AND WITH THE AMERICANS WITH DISABILITIES ACT.
- E. G.C. TO PROVIDE AND INSTALL WOOD BLOCKING AT ALL WALL HUNG FIXTURES AND TOILET ACCESSORIES. RE: 701 FOR ATTACHMENT OF GRAB BARS.
- F. DOORS TO BE KEYLESS IN THE DIRECTION OF EGRESS.

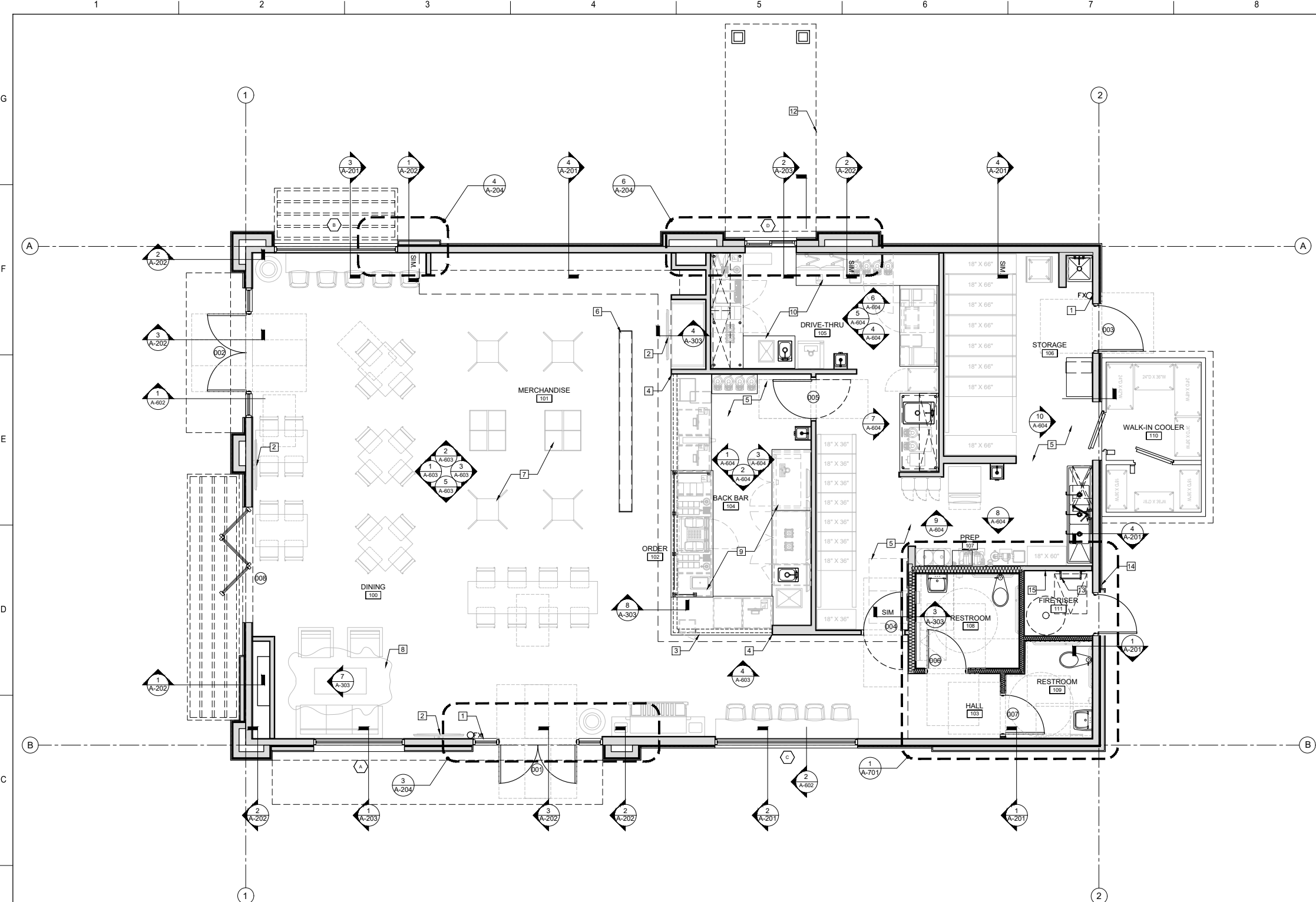


KEYED NOTES

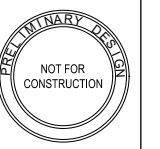
1. INSTALL NEW FIRE EXTINGUISHERS AS REQUIRED BY LOCAL CODES. WHEN MOUNTING ADJACENT TO DOOR OPENING MAINTAIN 12" CLEAR TO DOOR OPENING FOR ADA COMPLIANCE. FINAL LOCATION, MOUNTING HEIGHT AND QUANTITY BY FIRE INSPECTOR. G.C. TO VERIFY FIRE MARSHAL REQUIREMENTS FOR INSPECTION AND TAGGING.
2. WALL MOUNTED TELEVISION. TOP OF SCREEN EQUAL TO 10'-0".
3. KNEE WALL CONSTRUCTION BY G.C. REFERENCE MILLWORK DETAILS FOR G.C. RESPONSIBILITIES. COORDINATE REMAINING ITEMS WITH MILLWORK DRAWINGS.
4. OUTER EDGE OF SOLID SURFACE COUNTER TOP TO BE FLUSH WITH FACE OF GYPSUM BD.
5. SEE DETAIL 2/A-303 FOR FLOOR TILE PATTERN
6. STORAGE AND QUEUING WALL CASEWORK BY MILLWORK VENDOR. DIMENSION TO BE 3'-0" CLEAR MINIMUM FROM P.O.S. COUNTER.
7. FREE STANDING MERCHANDISE CASEWORK. COORDINATE INSTALLATION AND LOCATIONS W/ MILLWORK VENDOR.
8. COW HIDE RUG PROVIDED BY BRCC.
9. BACK-BAR POS AND COFFEE PREPARATION EQUIPMENT. RE: KITCHEN PLANS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
10. DRIVE-THRU POS AND COFFEE EQUIPMENT. RE: KITCHEN PLANS FOR ADDITIONAL DETAILS AND SPECIFICATIONS.
11. WALK-IN COOLER/FREEZER SLAB TO BE 6" WIDER EA. SIDE MIN. COORDINATE SIZING REQUIREMENTS W/ VENDOR.
12. DRIVE-THRU CANOPY BY SIGNAGE VENDOR. CANOPY TO BE SPRINKLERED PER CITY ORDINANCE. COORDINATE INSTALLATION WITH ANCHOR SIGN.
13. WALL-MOUNTED ROOF LADDER. RE: ROOF DETAILS FOR ROOF HATCH AND GUARD DETAILS.
14. PROVIDE KNOX BOX AT FIRE RISER ROOM PER LOCAL ORDINANCE. FLUSH MOUNT ON WALL ADJACENT TO RISER ROOM DOOR PER FIRE DEPARTMENT REQUIREMENTS. CONTRACTOR TO MAKE APPLICATION FOR KNOX BOX AND COORDINATE WITH LOCAL APPROVING AUTHORITY.
15. FACP TO BE MOUNTED WITHIN FIRE RISER ROOM. COORDINATE FINAL PLACEMENT WITH ELECTRICAL.

LEGEND

- NEW CONSTRUCTION
- NEW CONSTRUCTION W/ BATT INSULATION
- DOOR NO.
- WALL TYPE
- FIRE EXTINGUISHER



1 REFERENCE FLOOR PLAN
SCALE: 1/4" = 1'-0"



SEAL	COMMENTS	DATE	MARK

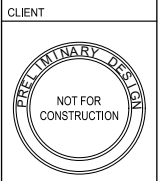
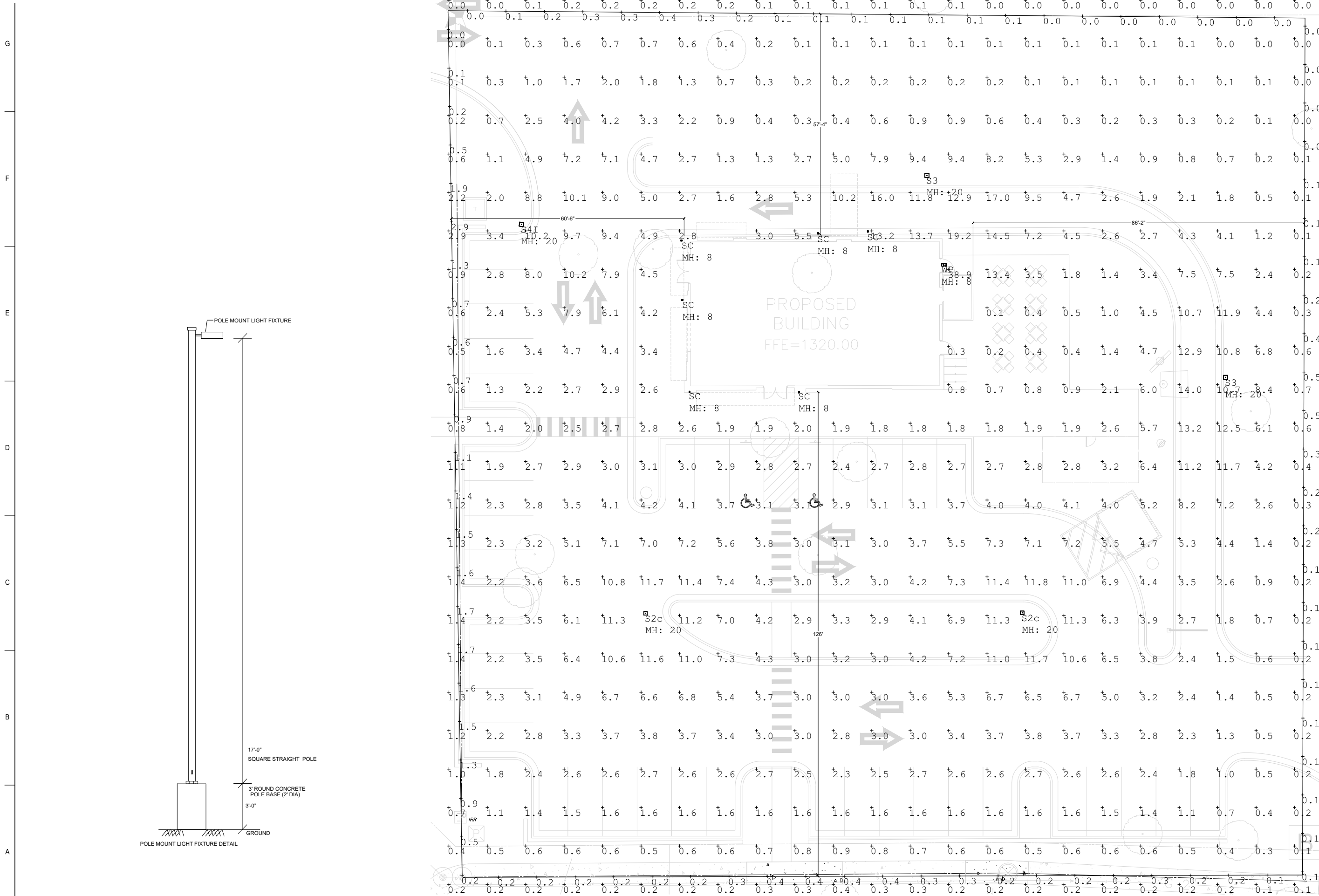
BLACK RIFLE COFFEE COMPANY
6225 SOUTH HIGLEY ROAD, GILBERT, AZ 85298
REFERENCE FLOOR PLAN

Project No.: 12940-006

Sheet No.:

A-100

DR22-108 Black Rifle Coffee
Attachment 8: Lighting Photometric Plan



SEAL	DATE	MARK	COMMENTS

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ELECTRICAL PHOTOMETRIC PLAN

Project No.: 12940-006
 Sheet No.:

E-020