

## Planning Commission Study Session

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** KEITH NEWMAN, SENIOR PLANNER *KN*  
(480) 503-6812, KEITH.NEWMAN@GILBERTAZ.GOV

**THROUGH:** ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *AM*  
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

**MEETING DATE:** DECEMBER 7, 2022

**SUBJECT:** DR22-164 MELODY AVE BUILDING 1 & 2

**STRATEGIC INITIATIVE:** Exceptional Built Environment

Encourage the protection and expansion of land designated in the General Plan for employment uses.

### REQUEST

DR22-164 MELODY AVE BUILDINGS 1 & 2: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 3.1 acres, generally located at the southwest corner of Horne St. and Melody Ave., and zoned Light Industrial with a Planned Area Development (PAD) overlay.

### RECOMMENDED MOTION

Request for input only. No motion required.

### APPLICANT

Company: Tom Stuart Construction  
Name: Casey Call  
Address: 259 S. Riverbend Way #100

### OWNER

Company: STS Properties LLC.  
Name: N/A  
Address: 259 RIVER BEND WAY

North Salt Lake, UT 84054  
 Phone: 801-635-7618  
 Email: casey@tomstuart.com

North Salt Lake, UT 84054  
 Phone: N/A  
 Email: N/A

**BACKGROUND/DISCUSSION**

**History**

<b>Date</b>	<b>Description</b>
<i>February 15, 2005</i>	Town Council approved Z03-13 (Ordinance No. 1631), rezoning approx. 38 acres from (AG) Agricultural to (C-2) General Commercial and (I-1) Garden Industrial for property located west of the southwest corner of Cooper Road and Baseline Road.
<i>August 29, 2006</i>	The approved Final Plat for the Fuller Commercial Center II was recorded with the Maricopa County Recorder’s Office.

**Overview**

The applicant is proposing to construct two new industrial warehouse buildings consisting of a total of 48,880 sq. ft. on Lots 7, 8 & 9 within the Fuller Commercial Center II subdivision. The site is generally located at the southeast corner of Horne St. and Melody Ave. All lots are vacant totaling approximately 3.1 acres and zoned Light Industrial (LI).

**Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
North	Industrial (I)	Light Industrial (LI)	Vacant land
South	Industrial (I)	Light Industrial (LI)	JF Ellis Corporation & Fox Earth Station
East	Industrial (I)	Light Industrial (LI)	Vacant land (Proposed Top Leaf Tree Services)
West	Industrial (I)	Light Industrial (LI)	Horne St. then vacant land
Site	Industrial (I)	Light Industrial (LI)	Vacant land

**Project Data Table:**

<b>Site Development Regulations</b>	<b>LDC Standards</b>	<b>Proposed</b>
Maximum Height (ft.)/Stories	55’/3 stories	28’/1 story
Minimum Building Setbacks (ft.)		

Front (Collector or Local)	25'	25'
Side (Street)	20'	20'
Side (Employment)	0'	0'
Rear (Employment)	0'	0'
Minimum Perimeter Landscape Area (ft.)		
Front (Collector or Local)	20'	20'
Side (Street)	20'	20'
Side (Employment)	5'	5'
Rear (Employment)	5'	5'
Landscaping (% of lot area)	15%	17.5%
Parking Spaces	54	46

## DISCUSSION

### Site Plan

The proposal consists of two new industrial warehouse buildings with approximately 48,880 sf (Building 1 = 21,413 sf of warehouse space and Building 2 = 1,700 sf office space & 25,767 sf of warehousing), generally located at the southeast corner of Horne St. and Melody Ave.

The 3.1-acre site is currently vacant land and consists of Lots 7, 8 & 9 within the Fuller Commercial Center II subdivision. The lots will be combined to accommodate the proposed development. Access to the site will take place along Melody Ave. from two existing curb cuts and one new entrance in the middle of the site which will be utilized as the main access for large trucks entering the site. The proposed buildings are located parallel to Melody Ave with all overhead doors and truck docks in the center of the site between the two buildings. Vehicular circulation will take place on the south side of the buildings and lead out to the site entrances off Melody Ave.

Parking for the site is provided in two parking lots along the west and east property boundaries. Based on the parking ratios for office/warehouse, 54 parking spaces are required, and 46 spaces are provided. Bicycle parking spaces are not currently shown on the site plan but are required near the main entrances of each building. During first review staff has commented that an additional 7 vehicle parking spaces must be added to the site and that code required bicycle parking spaces must also be provided.

Site fencing includes existing masonry fencing along the southern boundary and eastern boundaries and proposed 3' high parking screen walls in front of the parking stalls along Horne Street and Melody Ave.

### **Landscaping:**

The landscape plan proposes a varied plant palette of drought tolerant trees and shrubs. The types of trees include: Red Push Pistache, Desert Willow, Mondell Pine and Blue Palo Verde. Some of the shrubs and accent plants include: Cimmaron Texas Sage, Texas Mountain Laurel, Sago Palm, Century Plant, Artichoke Perry's Agave, Mexican Grass Tree, Giant Hesperaloe. All landscape materials will be evenly distributed along the street frontages, within the parking areas and around the foundation of the buildings visible by the public.

### **Grading and Drainage:**

Town Engineering Staff has approved all site grading and drainage. Runoff as required by the Town shall be routed to common retention basins located throughout the Fuller Industrial Park. No on-site retention is required.

### **Elevations, Floor Plan, Colors and Materials:**

The proposed buildings will be 28' tall with generally flat roof lines and massing elements with visual interest through roof and wall plane variations and multiple building colors. The exterior walls will be constructed primarily of smooth concrete tilt up wall panels and will include metal caps at the top of all parapet walls and a large metal overhang/awning over the entrances of each building. The colors of the buildings consist of yellow and gray for the main wall panels and peach and dark brown as accent colors.

### **Lighting:**

Lighting consists of attached building wall mounted fixtures all the way around each building. All site lighting will be required to comply with Town codes.

### **Signage:**

No monument signage is proposed for this development. Wall signage locations are indicated on the proposed elevations and will require the review and approval of a sign permit prior to installation.

## **PUBLIC NOTIFICATION AND INPUT**

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 6.2.6.

## **REQUESTED INPUT**

1. CD's at Risk
2. Proposed site and building designs

Respectfully submitted,



Keith Newman,  
Senior Planner

**Attachments and Enclosures:**

- 1) Aerial Map
- 2) Applicants Narrative (2 pages)
- 3) Site Plan
- 4) Landscape Plan (7 pages)
- 5) Grading and Drainage Plans (3 pages)
- 6) Elevations, Colors and Materials (6 pages)
- 7) Floor Plans (2 pages)
- 8) Lighting Photometric Plan





## Project Narrative

### Proposed Light Industrial Buildings

1031 W Melody Ave

1063 W Melody Ave

1095 W Melody Ave

To whom it may concern:

Tom Stuart Construction is currently in the design phase of two light industrial type buildings along Melody Avenue with Horne to the west. The subject property is currently in an LI zone according to the latest published zoning map from Gilbert in May 2019.

### General Neighborhood

Properties in the area run the gamut including various residential, commercial and industrial uses. Residential zones in the immediate vicinity include SF-6, SF-7 and SF-D. The homes in the area are consistent with the southwest theme with stucco exterior with some rock embellishment and bar-tile type roofs.

Commercial properties are found in the immediate vicinity of the subject property mainly to the north along Baseline Road. Finally, a Union Pacific railway runs west of the parcel about two blocks, cuts the neighborhood in a diagonal matter and is fronted by heavier industrial uses with a GI zoning designation. All told, the mix of uses in the area adds an eclectic appeal to the general vicinity.

### Proposed Project

The proposed light industrial buildings will be consistent with the light industrial uses in the immediate vicinity and will not overshadow the residential or commercial uses. The buildings will be constructed of painted tilt-up buildings with flat roofs, similar to the retail uses to the north such as Home Goods and TJ Maxx. They are basically the same construction components and appeal, only a different use.

The site will be populated with two buildings that will be 21,000 and 27,000 square feet respectively in round numbers. Most of the parking areas will be found on the east and west sides; while the center of the site will be used for truck maneuvering and docking.

As mentioned, the buildings will be constructed of Tilt-up concrete painted to reflect the general theme of the neighborhood. Both buildings will have glass store fronts with anodized frames. Canopies and other ornamental features will be added to each building to add to the appeal and be conducive to the neighborhood environs.



## **Compliance/Design Guidelines**

By way of reminder, the subject property is currently in the design phase and concept plans have been submitted to the city for review. The only notable variance from the current design standards was the location of the approaches along Melody Avenue. Tom Stuart Construction submitted for and was approved for the proposed location of said approaches.

With the exception of the above variance, which was approved, the proposed development will comply with all industrial site plan requirements, the general plan, the LI zone permitted uses and standards, parking standards and streetscape standards.

## **Environmental Impact/Heat Islands & Water Use**

This is the main juxtaposition of the Western United States, especially given the extreme drought conditions and constraints on water from the Colorado River – managing the heat generated by hardscaping with energy and water consumption needed to hydrate plants.

We will submit our landscaping plan and are open to any suggestions from the City to balance these issues.

Please take this project narrative into consideration and let us know of anything needed or required.

Sincerely,

Casey Call  
Tom Stuart Construction



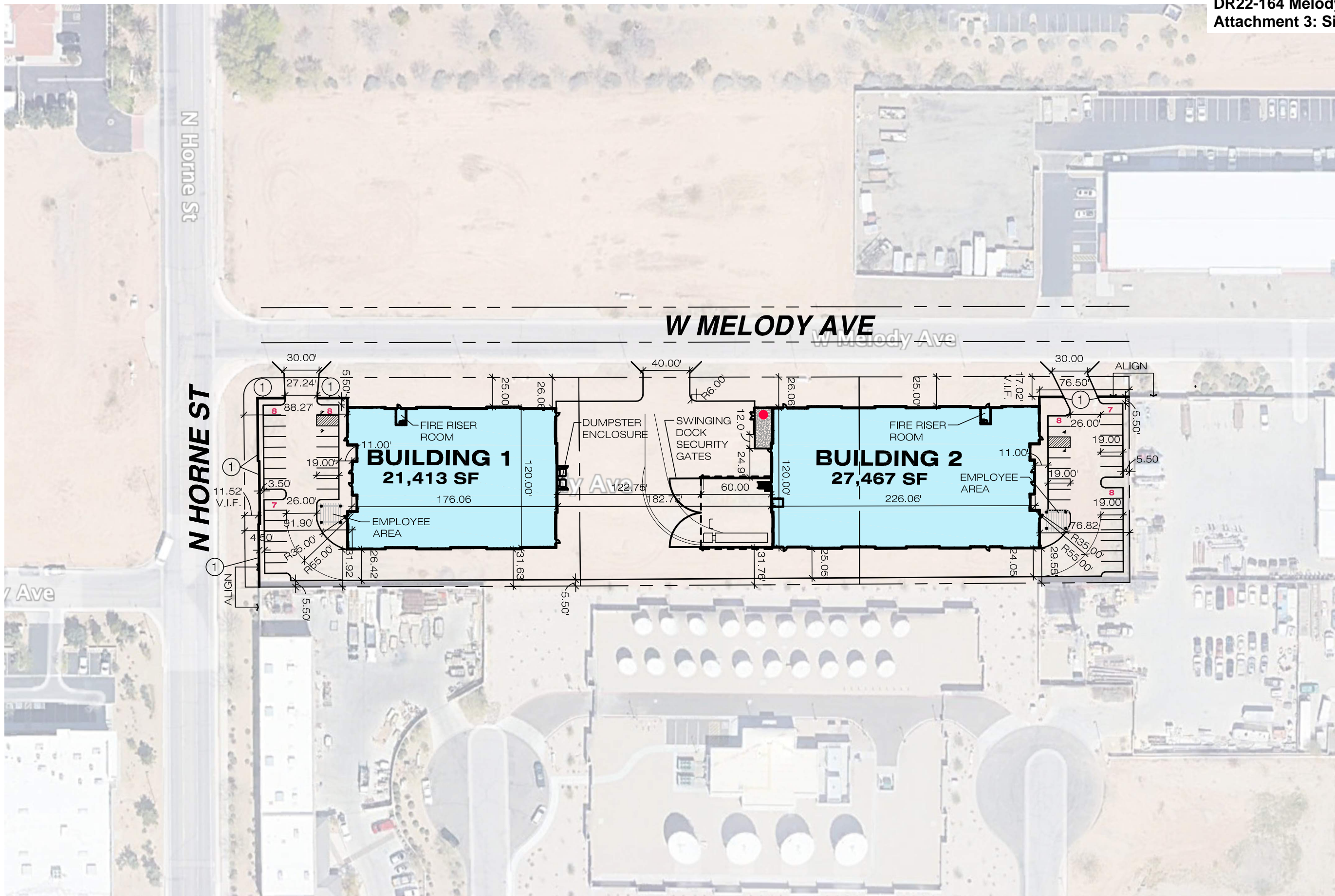


**SAMUEL J. BRADY**

ARCHITECTS

200 E. South Temple  
Suite 160  
Salt Lake City, Utah 84111  
(801) 595-1752  
www.sambrady.com

NOTE: THIS DRAWING IS PROVIDED FOR TENANT APPROVAL OF THE SPACE NOTED AND IS NOT FOR CONSTRUCTION. ACTUAL SITE DIMENSIONS COULD VARY.



1095 W MELODY AVE AND  
1031 W MELODY AVE

GILBERT, AZ

**PROPOSED BUILDINGS**

SITE PLAN

SCALE: 1" = 80'-0"  
OCTOBER 20, 2022  
2282301SP.dwg

**KEY NOTES**

- ① PROVIDE 4'-0" HIGH CAST IN PLACE CONCRETE SCREENING WALL (NOT PAINTED).  
ALTERNATE BID:  
PROVIDE 4'-0" HIGH CMU SCREENING WALL.



**AS.1**

# LANDSCAPE PLAN SPECIFICATIONS

## 3.2 TURF GRADING

- A. The surface on which the sod is to be laid shall be firm and free from footprints, depressions, or undulations of any kind. The surface shall be free of all materials larger than 1/2" in diameter.
- B. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of sod, shall be set such that the crown of the grass shall be at the same level as the adjacent concrete or hard surface. No exceptions.

## 3.3 PLANTING OPERATIONS

- A. Review the exact locations of all trees and shrubs with the Project Representative for approval prior to the digging of any holes. Prepare all holes according to the details on the drawings.
- B. Water plants immediately upon arrival at the site. Maintain in moist condition until planted.
- C. Before planting, locate all underground utilities prior to digging. Do not place plants on or near utility lines.
- D. The tree planting hole should be the same depth as the root ball, and two times the diameter of the root ball.
- E. Trees must be placed on undisturbed soil at the bottom of the planting hole.
- F. The tree hole depth shall be determined so that the tree may be set slightly high of finish grade, 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide.
- G. Plant immediately after removal of container for container plants.
- H. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning and backfilling operations. Do not use planting stock if the ball is cracked or broken before or during planting operation.
- I. Apply vitamin B-1 root stimulator at the rate of one (1) tablespoon per gallon.
- J. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil and fill any voids that may have occurred. Use a watering hose, not the area irrigation system. If additional prepared topsoil mixture needs to be added. It should be a courser mix as required to establish finish grade as indicated on the drawings.
- K. The amount of pruning shall be limited to the minimum necessary to remove dead or injured twigs and branches. All cuts, scars, and bruises shall be properly treated according to the direction of the Project Representative. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection of the plant material.
- L. Prepare a watering circle of 2' diameter around the trunk. For conifers, extend the watering well to the drip line of the tree canopy. Place mulch around the planted trees.

## 4. TURF - SOD LAYING

- A. Top Soil Amendments: Prior to laying sod, commercial fertilizer shall be applied and incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as needed to meet recommendations given by topsoil analysis. Include other amendments as required.
- B. Fertilization: Three weeks after sod placement fertilize the turf at a rate of 1/2 pound of nitrogen per 1000 square feet. Use fertilizer specified above. Adjust fertilization mixture and rates to meet recommendations given by topsoil analysis.
- C. Sod Availability and Condition: Sod is to be delivered to the site in good condition. It is to be inspected upon arrival and installed within 24 hours. Sod is to be moist and cool to ensure that decomposition has not begun and is to be free of pests, diseases, or blemishes. The Contractor shall satisfy himself as to the existing conditions prior to any construction. The Contractor shall be fully responsible for furnishing and laying all sod required on the plans. He shall furnish new sod as specified above and lay it so as to completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be the Contractor's responsibility to report such to the Project Representative prior to commencing the work.

D. Sod Laying: The surface upon which the new sod to be laid will be prepared as specified in the detail and be lightly watered before laying. Areas where sod is to be laid shall be cut trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted.

E. Sod shall be tamped lightly as each piece is set to ensure that good contact is made between edges and also the ground. If voids or holes are discovered, the sod piece(s) is (are) to be raised and topsoil is to be used to fill in the areas until level. Sod laid on any sloped areas shall be anchored with wooden dowels or other materials which are accepted by the grass sod industry.

F. Sod shall be rolled with a roller that is at least 50% full immediately after installation to ensure the full contact with soil is made.

G. Apply water directly after laying sod. Rainfall is not acceptable.

H. Watering of the sod shall be the complete responsibility of the Contractor by whatever means necessary to establish the sod in an acceptable manner to the end of the Maintenance period. If an irrigation system is in place on the site, but for whatever reason, water is not available in the system. It is the responsibility of the Contractor to water the sod by whatever means, until the sod is accepted by the Project Representative.

I. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set appropriate distances with strings or tapes between barriers, as an indication of new work. The Contractor is to restore any damaged areas caused by others (including vehicular traffic), erosion, etc, until such time as the lawn is accepted by the Owner.

J. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be removed from the site.

## 3.5 WEED BARRIER

A. For the health of the soil and the microorganisms, weed barrier is not recommended. If use is required or requested, do not place in annual or grass areas.

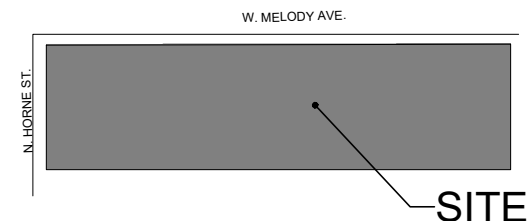
B. Cut weed barrier back to the edge of the plant rootball.

C. Overlap rows of fabric min. 6"

D. Stable fabric edges and overlaps to ground.

END OF SECTION

## VICINITY MAP



ISSUE DATE	PROJECT NUMBER	LICENSE STAMP	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	NORTH ARROW	DRAWING INFO																								
10/19/2022	AZ22005		<h1>GILBERT MELODY BLDG. 1/2</h1> <h2>GILBERT, ARIZONA</h2>	TOM STUART CONSTRUCTION ATT: CASEY CALL 801-936-3446 CASEY@TOMSTUART.COM	 <b>PKJ</b> DESIGN GROUP Landscape Architecture • Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 753-5644 www.pkjdesigngroup.com		PLOT: JTA DRAWN: ACP CHECKED: JMA PLOT DATE: 10/19/2022																								
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# LANDSCAPE NOTES

## INSTALLATION

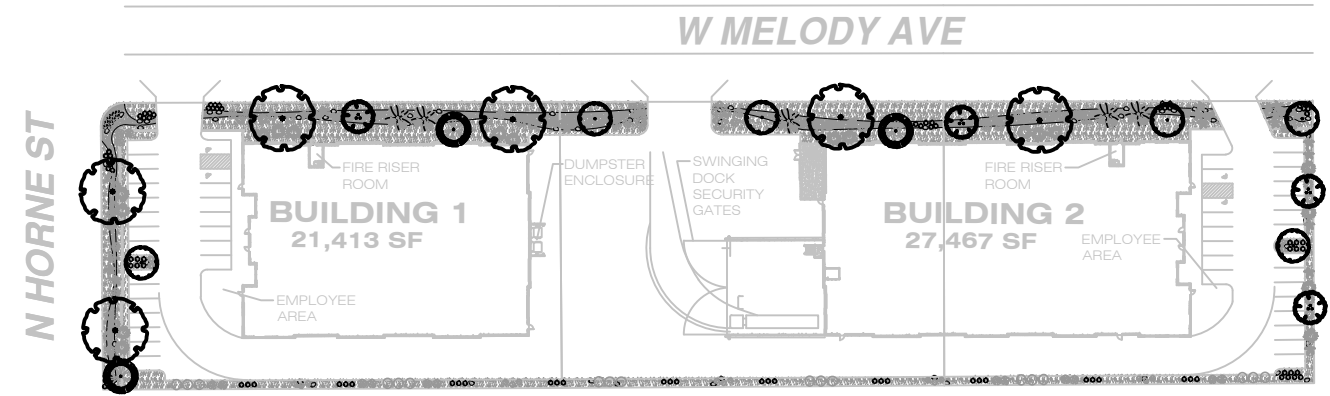
- LANDSCAPE CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED PRIOR TO DIGGING. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
- DURING THE BIDDING AND INSTALLATION PROCESS, THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
- ALL PLANT MATERIAL SHALL BE PLANTED ACCORDING TO INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) STANDARDS WITH CONSIDERATION TO INDIVIDUAL SOIL AND SITE CONDITIONS, AND NURSERY CARE AND INSTALLATION INSTRUCTIONS.
- SELECTED PLANTS WILL BE ACCORDING TO THE PLANT LEGEND. IF SUBSTITUTIONS ARE NECESSARY, PROPOSED LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO LAYING SOD.
- SHOULD THE SITE REQUIRE ADDITIONAL TOPSOIL, REFER TO SOIL TEST WHEN MATCHING EXISTING SOIL. IF A MATCHING SOIL IS NOT LOCATABLE, A 6" DEPTH OF SANDY LOAM TOPSOIL (MIXED PRIOR TO SPREADING WITH 2-3" OF QUALITY COMPOST) CAN BE INCORPORATED INTO THE EXISTING SOIL USING THE FOLLOWING DIRECTIONS: SCARIFY TOP 6" OF EXISTING SUBSOIL AND INCORPORATE 3" OF NEW COMPOST ENRICHED TOPSOIL. SPREAD REMAINING TOPSOIL TO REACH FINISHED GRADE.
- SOD FOR NEW LAWN AREAS SHALL BE A DROUGHT TOLERANT VARIETY. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
- EDGING, AS INDICATED ON PLAN, IS TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS. ANY TREES LOCATED IN LAWN MUST HAVE A 4-6' TREE RING OF THE SAME EDGING.
- IF REQUIRED BY CITY OR OWNER SPECIFIED, DeWitt 5 OZ WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER ANNUAL PLANTING AREAS AS SHOWN ON PLAN. WEED BARRIER SHALL BE CUT BACK FROM EACH PLANT TO THE DIAMETER OF THE ROOTBALL.
- ROCK MULCH (INORGANIC MULCH) TO BE APPLIED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS; ANNUAL PLANTING AREAS AS SHOWN ON PLAN TO RECEIVE 4" OF SOIL AID MATERIAL (ORGANIC MULCH). NO MULCH SHALL BE PLACED WITHIN 12" OF BASE OF TREE AND 6" WITHIN BASE OF SHRUBS AND PERENNIALS.
- A NEW UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM IS TO BE INSTALLED BY CONTRACTOR IN ALL LANDSCAPED AREAS. LAWN AREAS TO RECEIVE AT LEAST 100% HEAD TO HEAD COVERAGE AND PLANTER AREAS TO RECEIVE A FULL DRIP SYSTEM TO EACH TREE AND SHRUB. POINT SOURCE DRIP OR IN-LINE DRIP TUBING TO BE SECURED AT EDGE OF ROOTBALL, NOT AGAINST TRUNK. SEE IRRIGATION PLAN.
- UPON REQUEST, A PLANT GUIDE IS AVAILABLE WITH OUR RECOMMENDATIONS REGARDING WEED BARRIER, PLANT CARE AND MAINTENANCE

## INSTALLER RESPONSIBILITIES AND LIABILITIES


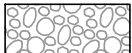


- THESE PLANS ARE FOR BASIC DESIGN LAYOUT AND INFORMATION. LANDSCAPE CONTRACTOR IS REQUIRED TO USE TRADE KNOWLEDGE FOR IMPLEMENTATION. OWNER ASSUMES NO LIABILITIES FOR INADEQUATE ENGINEERING CALCULATIONS, MANUFACTURER PRODUCT DEFECTS, INSTALLATION OF ANY LANDSCAPING AND COMPONENTS, OR TIME EXECUTION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE AND LIABLE FOR INSTALLATION OF ALL LANDSCAPING AND IRRIGATION SYSTEMS INCLUDING CODE REQUIREMENTS, TIME EXECUTIONS, INSTALLED PRODUCTS AND MATERIALS.

## GRADING AND DRAINAGE REQUIREMENTS

- AS PER CODE, ALL GRADING IS TO SLOPE AWAY FROM ANY STRUCTURE. SURFACE OF THE GROUND WITHIN 10' FEET OF THE FOUNDATION SHOULD DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM FALL OF 6"
- AS PER CODE, FINISHED GRADE WILL NOT DRAIN ON NEIGHBORING PROPERTIES
- A MINIMUM OF 6" OF FOUNDATION WILL BE LEFT EXPOSED AT ALL CONDITIONS
- LANDSCAPE CONTRACTOR TO MAINTAIN OR IMPROVE FINAL GRADE AND PROPER DRAINAGE ESTABLISHED BY EXCAVATOR, INCLUDING BUT NOT LIMITED TO ANY MAINTENANCE, PRESERVATION, OR EXAGGERATION OF SLOPES, BERMS, AND SWALES.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE TO CORRECT ANY DAMAGED OR IMPROPER WATERFLOW OF ALL SWALES, BERMS, OR GRADE
- DEVICES FOR CHANNELING ROOF RUN-OFF SHOULD BE INSTALLED FOR COLLECTION AND DISCHARGE OF RAINWATER AT A MINIMUM OF 10' FROM THE FOUNDATION, OR BEYOND THE LIMITS OF FOUNDATION WALL BACKFILL; WHICHEVER DISTANCE IS GREATER



## SITE MATERIALS LEGEND

SYMBOL	LANDSCAPE DESCRIPTION	QTY
	<b>I-09</b> 1" MINUS DESERT SWIRL CRUSHED ROCK OR APPROVED EQUAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK FROM WITHIN ONE FOOT OF TREE TRUNK, SHRUB OR PERENNIAL STEM OR GRASS ROOT BALL. INSTALL DEWITT 5OZ WEED BARRIER LANDSCAPE FABRIC UNDER ALL ROCK AREAS. KEEP WEED BARRIER 1' AWAY FROM EDGE OF ROOT BALL OF ALL PLANTS.	19,250 sf
	<b>I-13</b> 4"-6" GREY ROSE COBBLE ROCK OR APPROVED EQUAL. ROCK MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 9-12" DEPTH OF ROCK MULCH TOP DRESSING. KEEP ROCK FROM WITHIN ONE FOOT OF TREE TRUNK, SHRUB OR PERENNIAL STEM OR GRASS ROOT BALL. INSTALL DEWITT 5OZ WEED BARRIER LANDSCAPE FABRIC UNDER ALL LARGE ROCK AREAS. KEEP WEED BARRIER 1' AWAY FROM EDGE OF ROOT BALL OF ALL PLANTS.	4,516 sf
	<b>I-17</b> BOULDERS - DECORATIVE	58
	<b>I-19</b> 5.5" DEEP STEEL EDGING - INSTALL PER MANUFACTURER SPECIFICATION.	1,629 lf

ISSUE DATE	PROJECT NUMBER	LICENSE STAMP	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	NORTH ARROW	DRAWING INFO
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10/19/2022 AZ22005

NO.	REVISION	DATE
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GILBERT MELODY BLDG. 1/2  
GILBERT, ARIZONA

TOM STUART CONSTRUCTION  
ATT: CASEY CALL  
801-936-3446  
CASEY@TOMSTUART.COM

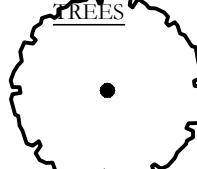
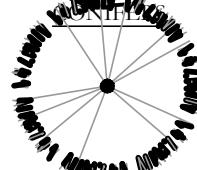

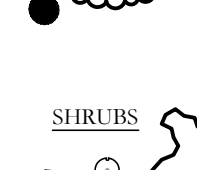

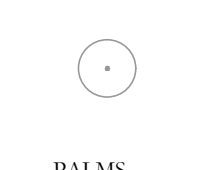


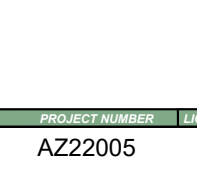
811 ARIZONA 811  
UTILITY NOTIFICATION CENTER, INC.  
1-800-782-5348  
WWW.ARIZONA811.COM







LANDSCAPE PLAN NOTES  
**PRELIMINARY PLANS NOT FOR CONSTRUCTION**  
LP-NOTES




DATE	JTA
DRAWN	ACP
CHECKED	JMA
PLOT DATE	10/19/2022

# PLANT LEGEND

<u>TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
	PF	6	Parkinsonia florida Blue Palo Verde	15 gal		
	PE'M	3	Pinus eldarica Mondell Pine	B & B		5'-6'
<u>DECIDUOUS TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>	<u>CAL</u>	<u>SIZE</u>
	CLB	4	Chilopsis linearis 'Burgundy Lace' Burgundy Lace Desert Willow	B & B	Multi-trunked	
	PC'R	6	Pistacia chinensis 'Red Push' Red Push Chinese Pistache	B & B	2"Cal	
<u>SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>		
	SR2	95	Salvia greggii 'Raspberry' Raspberry Autumn Sage	5 gal		
<u>EVERGREEN SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>		
	LZ'C	45	Leucophyllum zygophyllum Cimieron Texas Sage	5 gal		
	SSL	18	Sophora secundiflora Texas Mountain Laurel	5 gal		
<u>PALMS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>		
	CR'S	37	Cycas revoluta Sago Palm	5 gal		
<u>SUCCULENTS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>CONT</u>		
	AA'V	23	Agave americana 'Marginata' Variegated Century Plant	5 gal		

# PLANT LEGEND

	AP'T	10	Agave parryi truncata Artichoke Parry's Agave	5 gal
	DQ'M	18	Dasylirion quadrangulatum Mexican Grass Tree	5 gal
	FS	5	Fouquieria splendens Ocotillo	5 gal
	HF'G	28	Hesperaloe funifera Giant Hesperaloe	5 gal

ISSUE DATE	PROJECT NUMBER	LICENSE STAMP	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	NORTH ARROW	DRAWING INFO																								
10/19/2022	AZ22005		<b>GILBERT MELODY BLDG. 1/2</b> GILBERT, ARIZONA	TOM STUART CONSTRUCTION ATT: CASEY CALL 801-936-3446 CASEY@TOMSTUART.COM	 DESIGN GROUP Landscape Architecture • Planning & Visualization 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 753-5644 www.pkjdesigngroup.com		PM: JTA DRAWN: ACP CHECKED: JMA PLOT DATE: 10/19/2022																								
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# LANDSCAPE PLAN SPECIFICATIONS

## PART 1 - GENERAL

### 1.1 SUMMARY

A. This section includes landscape procedures for the Project including all labor, materials, and installation necessary, but not limited to, the following:

1. Site Conditions
2. Guarantees
3. Maintenance
4. Soil Amendments
5. Fine Grading
6. Landscape Edging
7. Furnish and Installing Plant
8. Turf Planting
9. Weed Barrier

### 1.2 SITE CONDITIONS

A. Examination: Before submitting a Bid, each Contractor shall carefully examine the Contract Documents; shall visit the site of the Work; shall fully inform themselves as to all existing conditions and limitations; and shall include in the Bid the cost of all items required by the Contract Documents are at a variance with the applicable laws, building codes, rules, regulations, or contain obvious erroneous or uncoordinated information, the Contractor shall promptly notify the Project Representative and the necessary changes shall be accomplished by Addendum.

B. Protection: Contractor to conduct the Work in such a manner to protect all existing underground utilities or structures. Contractor to repair or replace any damaged utility or structure using identical materials to match existing at no expense to the Owner.

C. Irrigation System: Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.

### 1.3 PERMITS

A. Blue Stake/ Dig Line: When digging is required, "Blue Stake" or "Dig Line" the work site and identify the approximate location of all known underground utilities or structures.

### 1.4 PLANT DELIVERY, QUALITY, AND AVAILABILITY

A. Unauthorized substitutions will not be accepted. If proof is submitted that specific plants or plant sizes are unobtainable, written substitution requests will be considered for the nearest equivalent plant or size. All substitution requests must be made in writing and preferably before the bid due date.

### 1.5 FINAL INSPECTION

A. All plants will be inspected at the time of Final Inspection prior to receiving a Landscape Substantial Completion for conformance to specified planting procedures, and for general appearance and vitality. Any plant not approved by the Project Representative will be rejected and replaced immediately.

### 1.6 LANDSCAPE SUBSTANTIAL COMPLETION

A. A Substantial Completion Certificate will only be issued by the Project Representative for "landscape and irrigation" in their entirety. Substantial Completion will not be proportioned to be designated areas of a project.

### 1.7 MAINTENANCE

A. Plant Material: The Contractor is responsible to maintain all planted materials in a healthy and growing condition for 30 days after receiving a Landscape Substantial Completion at which time the Guarantee period commences. This maintenance is to include mowing, weeding, cultivating, fertilizing, monitoring water schedules, controlling insects and diseases, re-guying and staking, and all other operations of care necessary for the promotion of root growth and plant life so that all plants are in a condition satisfactory at the end of the guarantee period. The Contractor shall be held responsible for failure to monitor watering operations and shall replace any and all plant material that is lost due

to improper application of water.

### 1.8 GUARANTEE

A. Guarantee: A guarantee period of one year shall begin from end of maintenance period and final acceptance for trees, shrubs, and ground covers. All plants shall grow and be healthy for the guarantee period and trees shall live and grow in acceptable upright position. Any plant not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. Any plant will only need to be replaced once during the guarantee period. Contractor to provide documentation showing where each plant to be replaced is located. Any outside factors, such as vandalism or lack of maintenance on the part of the Owner, shall not be part of the guarantee

## PART II - PRODUCTS

### 2.1 LANDSCAPE MATERIALS

A. Tree Staking: All trees shall be staked for one year warranty period. All trees not plumb shall be replaced. Staked trees shall use vinyl tree ties and tree stakes two (2) inch by two (2) by eight (8) foot common pine stakes used as shown on the details.

B. Tree Wrap: Tree wrap is not to be used.

C. Mulch/Rock: See Plans. All planter beds to receive a minimum 3" layer for trees, shrubs, and perennials and 1" for groundcovers.

D. Weed Barrier: DeWitt 5 oz. weed barrier fabric. Manufactured by DeWitt Company, dewittcompany.com or approved equal.

E. Tree, Shrub, and Grass Backfill Mixture; Backfill mixture to be 75% native soil and 25% topsoil, thoroughly mixed together prior to placement.

F. Topsoil: Required for turf areas, planter beds and Backfill Mixture. Acceptable topsoil shall meet the following standards:

- a. PH: 5.5-7.5
- b. EC (electrical conductivity): < 2.0 mmhos per centimeter
- c. SAR (sodium absorption ration): < 3.0
- d. % OM (percent organic matter): >1%
- e. Texture (particle size per USDA soil classification): Sand <70%; Clay < 30%; Silt < 70%, Stone fragments (gravel or any soil particle greater than two (2) mm in size) < 5% by volume.

G. Turf Sod: All sod shall be 18 month old as specified on plans (or approved equal) that has been cut fresh the morning of installation. Only sod that has been grown on a commercial sod farm shall be used. Only use sod from a single source.

H. Landscape Curb Edging: six (6) inches by four (4) inches extruded concrete curb made up of the following materials:

- a. Washed mortar sand free of organic material.
- b. Portland Cement (see concrete spec. below for type)
- c. Reinforced fiber - Specifically produced for compatibility with aggressive alkaline environment of Portland cement-based composites.
- d. Only potable water for mixing.

I. Landscape Metal Edging: 5.5" steel edging with 18" dowels into the ground for stabilization.




## PART III - EXECUTION

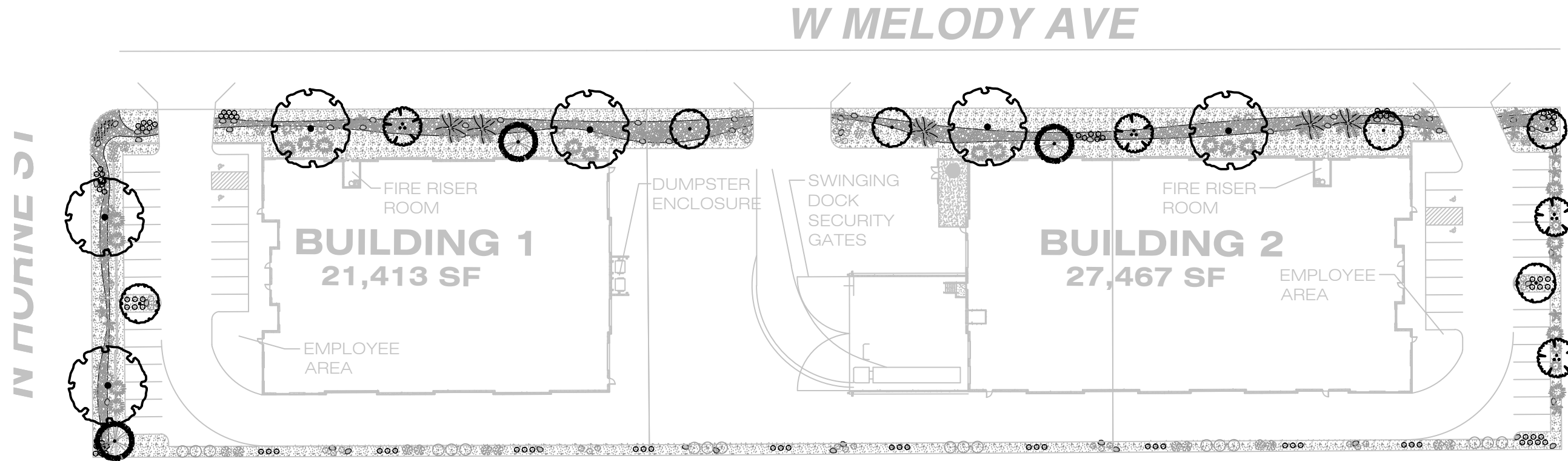
### 3.1 GRADING

A. Topsoil Preparation: Grade planting areas according to the grading plan. Eliminate uneven areas and low spots. Provide for proper grading and drainage.

B. Topsoil Placement: Slope surfaced away from building at two (2) percent slope with no pockets of standing water. Establish finish grades of one (1) inches for planters below grade of adjacent paved surfaced. Provide neat, smooth, and uniform finish grades. Remove surplus sub-soil and topsoil from the site.

C. Compaction: compaction under hard surface areas (asphalt paths and concrete surfaces) shall be ninety-five (95) percent. Compaction under planting areas shall be between eighty-five (85) and ninety (90) percent.

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## GILBERT MELODY BLDG. 1/2

### GILBERT, ARIZONA

TOM STUART CONSTRUCTION  
 ATT: CASEY CALL  
 801-936-3446  
 CASEY@TOMSTUART.COM

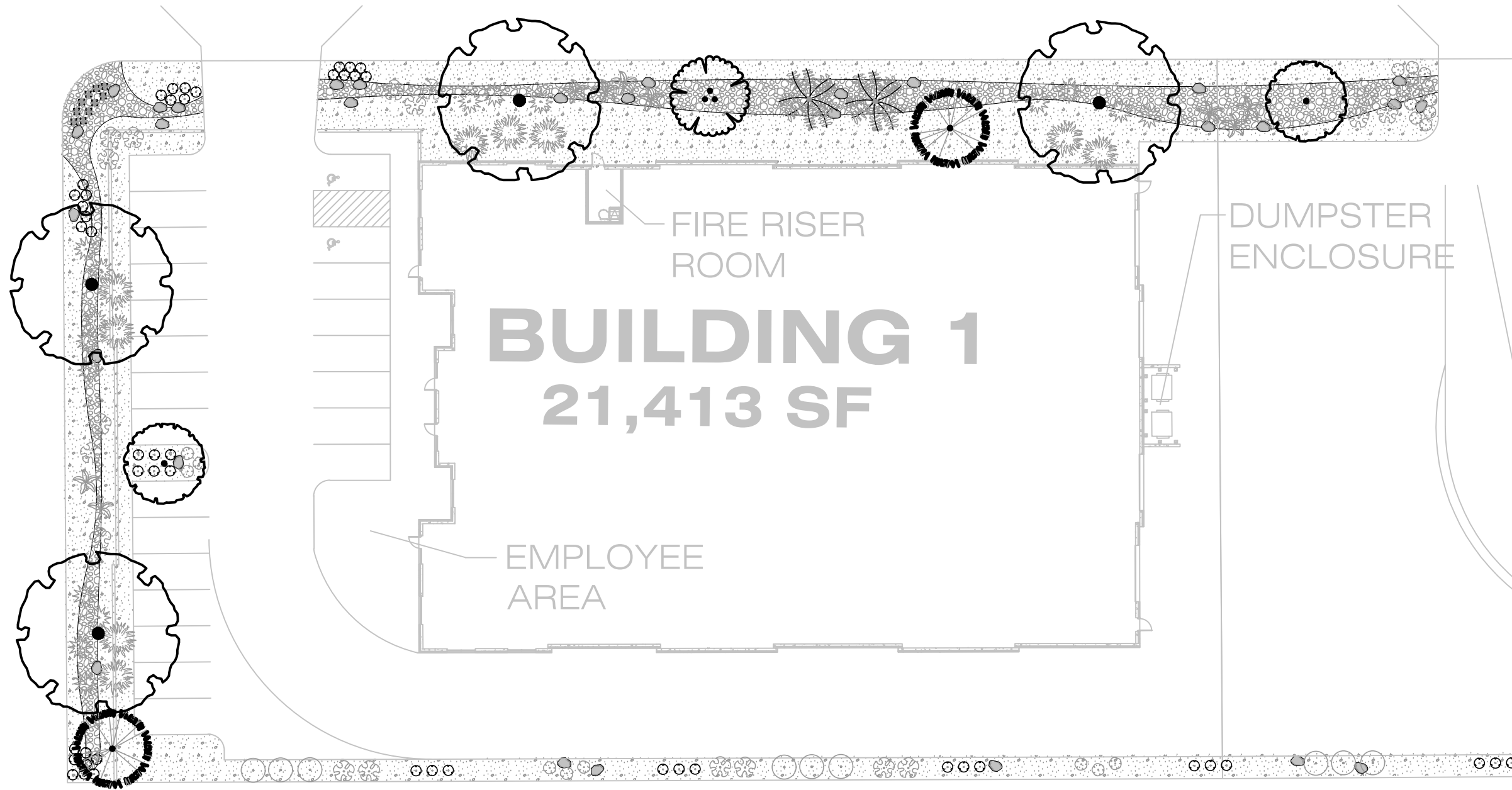
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**PKJ**  
**DESIGN GROUP**  
*Landscape Architecture • Planning & Visualization*  
 3450 N. TRIUMPH BLVD. SUITE 102  
 LEHI, UTAH 84043 (801) 753-5644  
 www.pkjdesigngroup.com

PM:	JTA
DRAWN:	ACP
CHECKED:	JMA
PLOT DATE:	10/19/2022

**LANDSCAPE PLAN OVERALL**  
 PRELIMINARY PLANS NOT FOR CONSTRUCTION  
 LP-O

N HORNE ST



SHEET LP 102

SHEET LP 102

ISSUE DATE: 10/19/2022 PROJECT NUMBER: AZ22005 LICENSE STAMP: [Stamp] PROJECT INFORMATION: GILBERT MELODY BLDG. 1/2 DEVELOPER / PROPERTY OWNER / CLIENT: TOM STUART CONSTRUCTION LANDSCAPE ARCHITECT / PLANNER: PKJ DESIGN GROUP NORTH ARROW: [North Arrow Symbol] DRAWING INFO: PM: JTA, DRAWN: ACP, CHECKED: JMA, PLOT DATE: 10/19/2022

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GILBERT MELODY BLDG. 1/2  
GILBERT, ARIZONA

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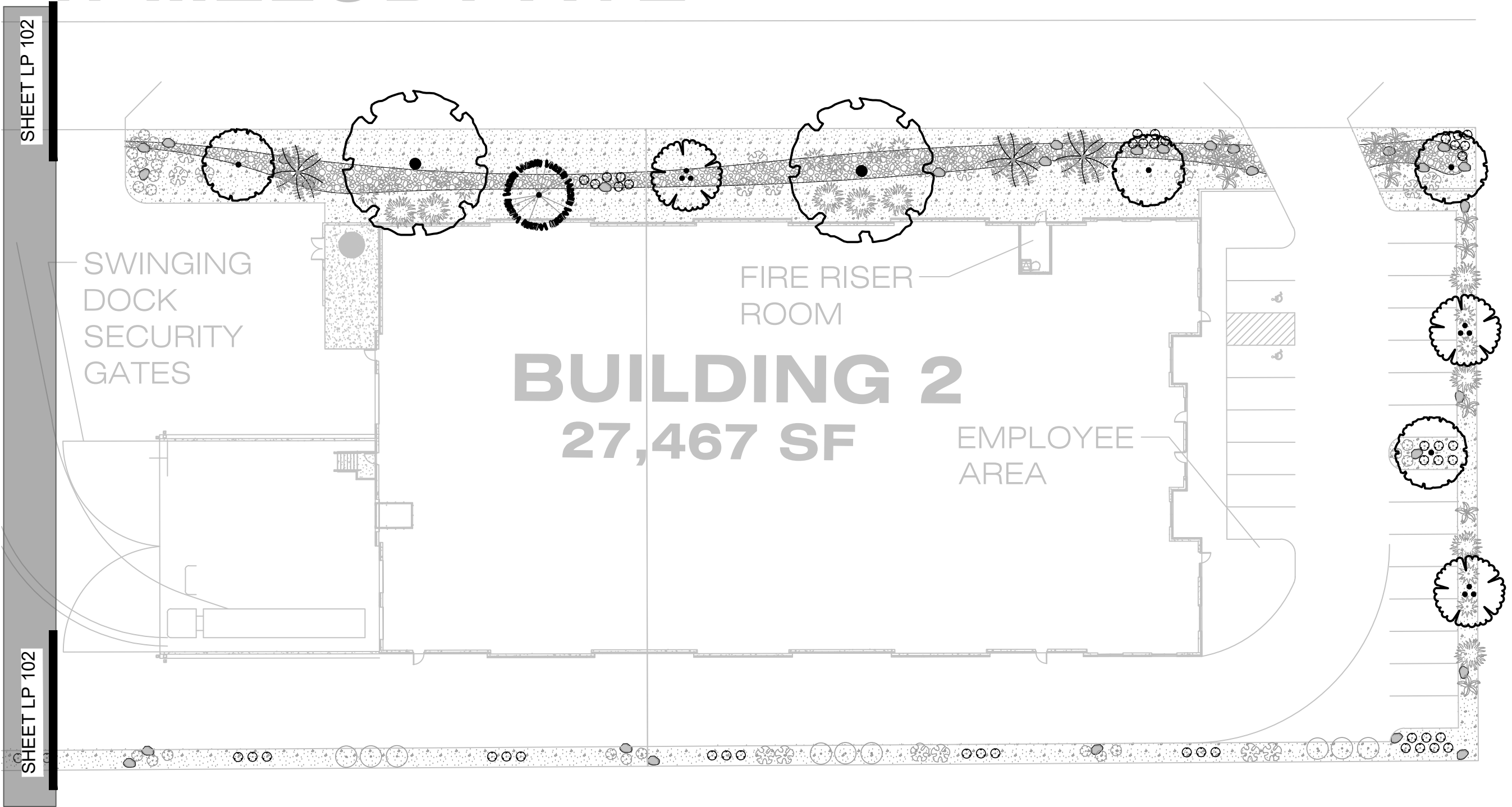
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**DESIGN GROUP**  
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**LANDSCAPE PLAN**  
**PRELIMINARY PLANS NOT FOR CONSTRUCTION**  
LP-101

# W MELODY AVE



SHEET LP 102

SHEET LP 102

ISSUE DATE: 10/19/2022    PROJECT NUMBER: AZ22005    LICENSE STAMP: [Stamp]    PROJECT INFORMATION: GILBERT MELODY BLDG. 1/2    DEVELOPER / PROPERTY OWNER / CLIENT: TOM STUART CONSTRUCTION    LANDSCAPE ARCHITECT / PLANNER: PKJ DESIGN GROUP    NORTH ARROW: [North Arrow]    DRAWING INFO: PM: JTA, DRAWN: ACP, CHECKED: JMA, PLOT DATE: 10/19/2022

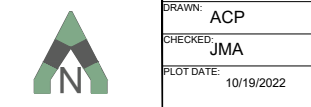
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WWW.ARIZONA811.COM



LANDSCAPE PLAN  
**PRELIMINARY PLANS NOT FOR CONSTRUCTION**  
LP-102



# PRELIMINARY GRADING & DRAINAGE PLAN

**A PORTION OF THE NORTHEAST QUARTER OF SECTION 2,  
TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE G.&S.R.B.&M.,  
MARICOPA COUNTY, ARIZONA**

## STREET LIGHT GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH STATE AND TOWN STATUTES, AND MANUFACTURER'S RECOMMENDATIONS.
2. THE ELECTRICAL CONTRACTOR SHALL COMPLY WITH ALL LICENSING REQUIREMENTS SET FORTH BY THE STATE REGISTRAR OF CONTRACTORS OFFICE TO PERFORM WORK RELATING TO STREET LIGHT INSTALLATION IN THE TOWN RIGHT-OF-WAY.
3. CONTRACTOR SHALL OBTAIN AN UNDERGROUND UTILITIES (RIGHT-OF-WAY) PERMIT AND A STREET LIGHT PERMIT FOR THE PROJECT PRIOR TO CONSTRUCTION.
4. ACCEPTANCE OF THE COMPLETED IMPROVEMENTS WILL NOT BE GIVEN UNTIL RECORD DRAWINGS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.
5. LIGHT POLES SHALL BE INSTALLED PLUMB, BE ADJUSTED TO PROVIDE PROPER ALIGNMENT TO THE ROADWAY BEING LIGHTED AND BE PROPERLY GROUNDED WHEN THE INSTALLATION IS COMPLETED. THE CONTRACTOR SHALL FURNISH AND INSTALL A NUMBER ON EACH LIGHT POLE. STREET LIGHT POLE IDENTIFICATION AND SPECIFICATIONS WILL BE PROVIDED BY THE TOWN OF GILBERT.
6. LUMINAIRES:
  - LUMINAIRES SHALL BE INSTALLED LEVEL AND INCLUDE A LAMP AND PHOTOCELL. CONTRACTOR SHALL ASSURE THAT THE LUMINAIRES SHALL BE FREE OF DUST, DIRT OR ANYTHING THAT WOULD IMPAIR THE OUTPUT OF THE LIGHT BEFORE HE/SHE LEAVES THE SITE.
  - LUMINAIRES FURNISHED WITH MULTI-TAP BALLASTS SHALL BE REWIRED OR RECONNECTED TO MATCH THE VOLTAGE SUPPLIED BY THE ELECTRIC UTILITY COMPANY.
7. FOR EMBEDMENT, THE FOLLOWING REQUIREMENTS SHALL APPLY:
  - A GROUND ROD SHALL BE INSTALLED IN PULL BOX IN UNDISTURBED SOIL AND A LEAD IN SOLID COPPER BARE BOND WIRE (#8) SHALL BE INSTALLED IN 1 INCH LIQUID-TIGHT FLEXIBLE STEEL CONDUIT WITH PVC JACKET FOR POLE GROUNDING.
  - SURPLUS EXCAVATION SHALL BE DISPOSED OF BY THE CONTRACTOR.
8. WIRING AND CONDUIT REQUIREMENTS ARE:
  - WIRING SHALL BE INSTALLED PER UTILITY STANDARDS.
  - CONDUIT SHALL BE INSTALLED AT THE DEPTH SPECIFIED ON THE PLANS. CONDUIT SHALL BE ONE INCH LIQUID-TIGHT FLEXIBLE STEEL CONDUIT WITH PVC JACKET. CONDUIT MUST BE UL RATED AND SUITABLE FOR UNDERGROUND USE.
9. CONNECTIONS AND GROUNDING:
  - CONNECTIONS SHALL BE PER UTILITY STANDARDS.
  - EACH POLE SHALL HAVE AN 8 FEET 5/8 INCHES COPPER CLAD GROUND ROD DRIVEN BENEATH PULL BOX. A #8 BARE COPPER LEAD FROM THE GROUND ROD IN PULL BOX TO LANDING LUG IN STREET LIGHT POLE HAND HOLE.
10. EXCAVATION FOR PULL BOXES AND MATERIAL SPECIFICATIONS SHALL BE PER THE ELECTRIC UTILITY COMPANY STANDARDS.
11. TRENCH SHALL BE INSTALLED PER THE UTILITY COMPANY STANDARDS. THE USE OF A COMMON ELECTRIC UTILITY COMPANY TRENCH IS PERMITTED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANY FOR COORDINATION OF THE TRENCHING AND THE INSTALLATION OF CONDUIT.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RESTORE ALL PROPERTY, LANDSCAPING, PAVING AND DRIVEWAYS THAT ARE DISTURBED DURING STREET LIGHT CONSTRUCTION TO THEIR ORIGINAL CONDITION IN CONFORMANCE WITH MAG SPECIFICATION SECTION 107.9.
13. THE DEVELOPER SHALL BE RESPONSIBLE FOR FURNISHING ALL PERSONNEL AND EQUIPMENT TO SUCCESSFULLY PERFORM THE FOLLOWING TEST:
  - PRIOR TO ACCEPTANCE, THE DEVELOPER SHALL ENERGIZE AND OPERATE THE ENTIRE ROADWAY LIGHTING SYSTEM, 48 HOURS FOR 2 CONSECUTIVE DAYS WITHOUT INTERRUPTION OR FAILURE. IF A LED SHOULD FAIL, IT SHALL BE IMMEDIATELY REPLACED.
14. FOR ALL ARTERIAL ROADWAYS, THE STREET LIGHTING SYSTEM WILL NEED TO INCLUDE FIBER OPTIC TRAFFIC SIGNAL INTERCONNECT CONDUITS AND PULL BOXES, PER TOWN OF GILBERT STANDARD DETAIL GIL-631.
15. THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE TOWN OF GILBERT, AGAINST IMPERFECT WORKMANSHIP, FAILURE, MALFUNCTION OF MATERIALS AND/OR EQUIPMENT DUE TO FAULTY OR IMPERFECT WORKMANSHIP. THIS GUARANTEE IS TO BE IN WRITING TO THE TOWN AT THE TIME OF ISSUING FINAL ACCEPTANCE. WORK FOUND TO BE DEFECTIVE WITHIN THE WARRANTY PERIOD SHALL BE REPLACED WITHOUT COST TO THE TOWN.

## WATER NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MAG SPECIFICATIONS AND DETAILS WITH THE TOWN OF GILBERT'S ADDITIONS AND DELETIONS.
2. WATER LINES SHALL COMPLY WITH AWWA STANDARD PVC C-900 CLASS 235. RIEBER SEALING SYSTEM GASKET JOINT IS RECOMMENDED AND PREFERRED. PIPE BEDDING FOR PVC C-900 SHALL CONFORM TO TOWN OF GILBERT STANDARD DETAIL GIL-302. ALL FITTINGS AND VALVES SHALL BE "MECHANICAL JOINT" TYPE, EXCEPT AS SHOWN ON TOWN OF GILBERT STANDARD DETAIL GIL-320. ALL WATER LINES TO BE PROPERLY RESTRAINED USING JOINT SYSTEM SUCH AS: MEGALUG OR AN APPROVED EQUAL.
3. THE TOWN ENGINEER SHALL BE NOTIFIED 24 HOURS PRIOR TO STARTING THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.
4. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL RECORD DRAWINGS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.

## FEMA FLOOD ZONE

THIS SITE LIES IN FLOOD ZONE "X" AS SHOWN ON FIRM MAP 04013C2264M, DATED NOVEMBER 4, 2015.

## BENCHMARK

TOWN OF GILBERT  
BRASS CAP IN HANDHOLE  
COOPER ROAD & HOUSTON ROAD  
ELEVATION = 1219.13



## SHEET INDEX

COVER PRELIMINARY G&D 1 2-3



DATE

**ALLEN CONSULTING ENGINEERS, INC.**

4111 E. VALLEY AUTO DRIVE, SUITE 103  
MESA, ARIZONA 85206  
PHONE (480) 844-1686  
E-MAIL: ace@allenconsultengr.com

**GILBERT MELODY BUILDING 1 & 2**  
1095 & 1031 W. MELODY AVENUE  
GILBERT, ARIZONA 85233

**PRELIMINARY GRADING AND DRAINAGE PLAN**

JOB NUMBER	97348	SHEET	1	OF	3
DRAWING	PRELIM-COV	CHECKED BY	DATE	09-23-2022	

## PAVING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT MAG SPECIFICATIONS AND DETAILS, WITH THE TOWN OF GILBERT ADDITIONS AND DELETIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE TOWN ENGINEER SHALL BE NOTIFIED 24 HOURS PRIOR TO STARTING THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.
3. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL RECORD DRAWINGS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.
4. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER DISTRIBUTION DIVISION. ONLY TOWN EMPLOYEES ARE AUTHORIZED TO OPERATE THE WATER VALVES AND FIRE HYDRANT CONNECTIONS TO THE TOWN'S WATER SYSTEM.
5. NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UNDERGROUND UTILITIES WITHIN THE ROADWAY PRISM ARE COMPLETED.
6. WORK PERFORMED WITHOUT APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. THE MAXIMUM STAKE INTERVAL FOR GRADES OF 0.2 PERCENT OR LESS SHALL BE 12.5 FEET FOR CONCRETE WORK AND 25 FEET FOR ASPHALT ROADWAY SECTION. ALL CURB RETURNS SHALL BE STAKED FOR THE P.C., P.T. AND THE MIDPOINT OF RETURN.
8. BASE COURSE WILL NOT BE PLACED ON SUBGRADE UNTIL BASE REQUIREMENTS HAVE BEEN COMPLETED AND ACCEPTED BY THE TOWN ENGINEER.
9. GUTTERS WILL BE WATER TESTED IN THE PRESENCE OF THE TOWN ENGINEER OR HIS AUTHORIZED REPRESENTATIVE TO INSURE PROPER DRAINAGE. PRIOR TO FINAL APPROVAL BY THE TOWN ENGINEER.
10. EXACT POINT OF MATCHING, TERMINATION AND OVERLAY, IF NECESSARY, MAY BE DETERMINED IN THE FIELD BY THE TOWN ENGINEER.
11. NO JOB WILL BE CONSIDERED COMPLETED UNTIL ALL CURBS, PAVEMENT AND SIDEWALKS HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS AND ALL SURVEY MONUMENTS ARE INSTALLED, PUNCHED AND DATED ACCORDING TO THE PLANS.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL VALVES, MANHOLES AND BLOW OFFS IN ADVANCE OF CONSTRUCTION AND REPLACING SAME TO FINISHED GRADE.
13. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGE TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
14. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH MAG SPECIFICATION 401, AND THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL TRAFFIC CONTROLS, INCLUDING STRIPING AND REQUIRED SIGNAGE, SHALL BE INSTALLED WITHIN ONE WEEK OF THE INSTALLATION OF THE "FIRST LIFT" OF PAVING.
15. TESTING
  - TESTING OF MATERIALS AND CONSTRUCTION PERFORMANCE BY AN ARIZONA TECHNICAL TESTING INSTITUTE (ATTI) OR AMERICAN CONCRETE INSTITUTE (ACI) APPROVED TESTING LAB IS REQUIRED.
  - THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND TYPE OF TESTS NEEDED.
  - THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB OF THE NEEDED TESTS, COORDINATE WITH THE INSPECTOR AND TESTING LAB AND PAY THE COSTS TO PERFORM THE TESTS.
16. ORDINANCE #1437, APPROVED BY THE TOWN COUNCIL IN OCTOBER 2002, STATES: NO CONSTRUCTION WATER FROM FIRE HYDRANTS SHALL BE USED ON PARCEL OR LOTS OF TEN ACRES OR MORE IN SIZE. FOR MORE INFORMATION, THE ORDINANCE IS LOCATED ON THE TOWN OF GILBERT WEBSITE. TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR IS REQUIRED TO MAKE APPLICATION WITH THE PUBLIC WORKS WATER DIVISION. A SECURITY DEPOSIT IS REQUIRED TO RECEIVE A FIRE HYDRANT METER. THE TOWN RESERVES THE RIGHT TO SPECIFY THE TIME AND LOCATION THAT CONSTRUCTION WATER CAN BE DELIVERED.
17. ALL FLOOD RETENTION BASIN DEVELOPMENT AND INSTALLATIONS MUST BE COMPLETED AND ACCEPTED BEFORE THE PAVING PERMIT/APPROVAL TO WORK WILL BE ISSUED FOR THE SUBDIVISION.
18. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK, THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED DURING THE COURSE OF THEIR CONSTRUCTION.
19. USE OF "RECLAIMED ASPHALT" IS PROHIBITED UNLESS APPROVED BY THE TOWN ENGINEER.
20. GRINDING AND/OR PATCHING OF CURBS, GUTTERS, APRONS, VALLEY GUTTERS, DRIVEWAYS, SCUPPERS, MANHOLE BASES AND INVERTS OR ANY CONCRETE STRUCTURE TO CORRECT DEFICIENCIES THAT RESULT FROM IMPROPER GRADE SETTING, OR CONSTRUCTION METHODS, OR BREAKAGE DUE TO ANY CIRCUMSTANCES SHALL NOT BE PERMITTED.
21. ALL METALLIC MATERIALS INLETS, GRATES, FRAMES AND COVERS, CATCH BASINS AND NOSE ANGLES SHALL BE PAINTED PER MAG SPECIFICATION NO. 790, PAINT NO. 9 (LIGHT GRAY).
22. PARKWAY GRADING SHALL BE DESIGNED TO INSURE THAT RUNOFF CANNOT BE RETAINED BEHIND CURBS OR WALKS.
23. ALL PARKWAY GRADING MUST BE COMPLETED BEFORE ANY PAVING MAY BEGIN.
24. ALL SIGNS SHALL BE INSTALLED PER TOWN OF GILBERT STANDARD DETAIL GIL-227.

## FIRE NOTES

1. CONSTRUCTION WITHIN THE TOWN OF GILBERT SHALL COMPLY WITH THE 2012 INTERNATIONAL FIRE CODE (IFC) AS AMENDED AND ADOPTED BY FIRE CODE SUB-SECTIONS 10-37-1, 10-37-2, AND 2012 FIRE CODE INTERPRETATIONS & REGULATIONS.
2. THE APPLICANT IS RESPONSIBLE TO IDENTIFY AND COORDINATE DEFERRED SUBMITTALS.
3. PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, AUTOMATIC FIRE EXTINGUISHING SYSTEMS, AND STANDPIPES SHALL BE SUBMITTED TO THE PERMITTING & PLAN REVIEW DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
4. A KNOX BOX IS REQUIRED AT EVERY FIRE SPRINKLER RISER ROOM. WHEN RAPID ACCESS WOULD BE COMPROMISED BY LONG TRAVEL DISTANCES, KNOX BOXES SHALL BE REQUIRED AT OTHER LOCATIONS AT THE DISCRETION OF THE FIRE OFFICIAL. REFER TO 2012 FIRE CODE INTERPRETATIONS & REGULATIONS 12-506.1 KEY BOXES.
5. FDC SHALL BE LOCATED WITHIN 150' OF FIRE HYDRANT PER T.O.G. ON ADDRESS SIDE OR NATURAL APPROACH OF THE BUILDING IT SERVES.

## WATER NOTES

5. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER DISTRIBUTION DIVISION. ONLY TOWN EMPLOYEES ARE AUTHORIZED TO OPERATE THE VALVES AND FIRE HYDRANT CONNECTIONS TO THE TOWN'S WATER SYSTEM.
6. ANY WORK PERFORMED WITHOUT THE APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR WILL UNCOVER ALL EXISTING LINES BEING TIED INTO TO VERIFY THEIR LOCATION PRIOR TO TRENCHING. THE CONTRACTOR WILL LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPELINES, TELEPHONE AND ELECTRIC CONDUITS, AND STRUCTURES IN ADVANCE OF CONSTRUCTION AND WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. CALL ARIZONA 811, BLUE STAKE CENTER AT (602) 263-1100 AND NOTIFY SRP.
8. ALL VALVES SHALL BE GATE TYPE, UNLESS OTHERWISE NOTED, AND OPEN COUNTER CLOCKWISE. WATER VALVES SHALL BE MUELLER, CLOW, WATEROUS OR APPROVED EQUAL.
9. SUMMITS IN WATER LINES SHALL BE LOCATED AT FIRE HYDRANTS.
10. BACKFILLING SHALL NOT BE STARTED UNTIL LINES ARE APPROVED BY THE TOWN ENGINEER'S REPRESENTATIVE.
11. ALL BACKFILL FOR WATER LINES SHALL BE PER TOWN OF GILBERT STANDARD DETAIL GIL-302. ALL PAVEMENT AND SURFACE RESTORATION SHALL BE PER TOWN OF GILBERT STANDARD DETAIL GIL-270.
12. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
13. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGE TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
14. ORDINANCE #1437, APPROVED BY THE TOWN COUNCIL IN OCTOBER 2002, STATES: NO CONSTRUCTION WATER FROM FIRE HYDRANTS SHALL BE USED ON PARCELS OR LOTS OF TEN ACRES OR MORE IN SIZE. FOR MORE INFORMATION, THE ORDINANCE IS LOCATED ON THE TOWN OF GILBERT WEBSITE. TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR IS REQUIRED TO MAKE APPLICATION WITH THE PUBLIC WORKS WATER DIVISION. A SECURITY DEPOSIT IS REQUIRED TO RECEIVE A FIRE HYDRANT METER. THE TOWN RESERVES THE RIGHT TO SPECIFY THE TIME AND LOCATION THAT CONSTRUCTION WATER CAN BE DELIVERED.
15. WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE TOWN OF GILBERT STANDARD DETAIL GIL-310.
16. FIRE HYDRANTS SHALL BE PER TOWN OF GILBERT SUPPLEMENT TO MAG STANDARD SPECIFICATIONS OR APPROVED EQUAL AND INSTALLED PER TOWN OF GILBERT STANDARD DETAIL GIL-320. FIRE HYDRANTS SHALL BE 3 FEET 6 INCH DEPTH OF BURY. ADJUSTMENTS IN GRADE SHALL BE DONE USING "GRADELOK" OFFSET. EXTENSIONS ON FIRE HYDRANTS WILL NOT BE PERMITTED. A BLACK, HEAVY DUTY "BAG WITH A TIE DOWN" SHALL BE PLACED OVER ALL NEW HYDRANTS AND MAINTAINED UNTIL THE SYSTEM HAS BEEN APPROVED BY THE INSPECTOR.
17. TRAFFIC CONTROL SHALL BE PER THE 2009 EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES HANDBOOK AND TOWN OF GILBERT STANDARD DETAILS.
18. THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND LOCATION OF THE REQUIRED COMPACTION TESTS. THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB, AND PAY THE COSTS TO PERFORM THE TESTS.
19. THE TOWN WILL NOT ACCEPT WATER LINES WITH LESS THAN 3 FEET OF COVER.
20. A MINIMUM OF SIX-FOOT HORIZONTAL SPACING BETWEEN WATER MAINS, SEWER, RECLAIMED WATER, AND WATER SERVICES SHALL BE MAINTAINED.
21. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED DURING THE COURSE OF THEIR CONSTRUCTION.
22. A 2" X 4" STAKE (PAINTED BLUE) SHALL BE SET ONE FOOT BEHIND EACH WATER SERVICE. ALL 2" X 4" STAKES MARKING WATER SERVICES SHALL BE 5 FEET IN LENGTH AND FIRMLY SET INTO THE GROUND TO A DEPTH OF 3 FEET.
23. ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#889), OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL.
24. ALL BACKFLOW DEVICES SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

NOTE: A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPING OR IRRIGATION SYSTEM. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. RECORD DRAWINGS ARE ALSO REQUIRED.

USE THE FOLLOWING TABLE FOR METER BOXES AND METER BOX COVERS:

METER SIZE	MAG STD DETAIL	MAG STD. BOX No.
3/4"	#A6000485*	#A6000484*
1"	#A6000485*	#A6000484*
1 1/2" TO 2"	#P6001854X12	#A6001852-H2
PEDESTRIAN RATED		
1 1/2" TO 2"	#A6001640PCX12	#A6001947T-H2
TRAFFIC RATED		

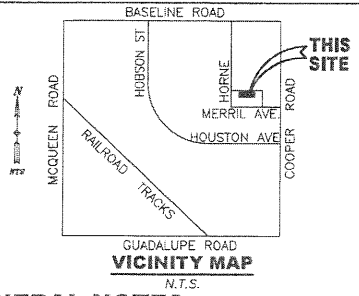
\*ARMORCAST PRODUCTS COMPANY OR DFWA20-12-1A DFW PLASTIC COMPANY; COVER WITH HOLE FOR TOUCH PAD.

25. WATER MAIN CHLORINATION: CALCIUM HYPOCHLORITE SHALL BE ADDED TO ALL NEW WATER MAINS/PURE LINES FOR DISINFECTION PER THE FOLLOWING:
  - 12 INCH MAINS - .35 LBS. OR 5.6 OZ. PER 100 FEET OF PIPE
  - 8 INCH MAINS - .12 LBS. OR 1.92 OZ. PER 100 FEET OF PIPE
  - 6 INCH MAINS - .08 LBS. OR .48 OZ PER 100 FEET OF PIPE

26. ALL WATER METER REGISTERS FURNISHED TO, OR INSTALLED IN THE TOWN OF GILBERT, ARIZONA SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS.

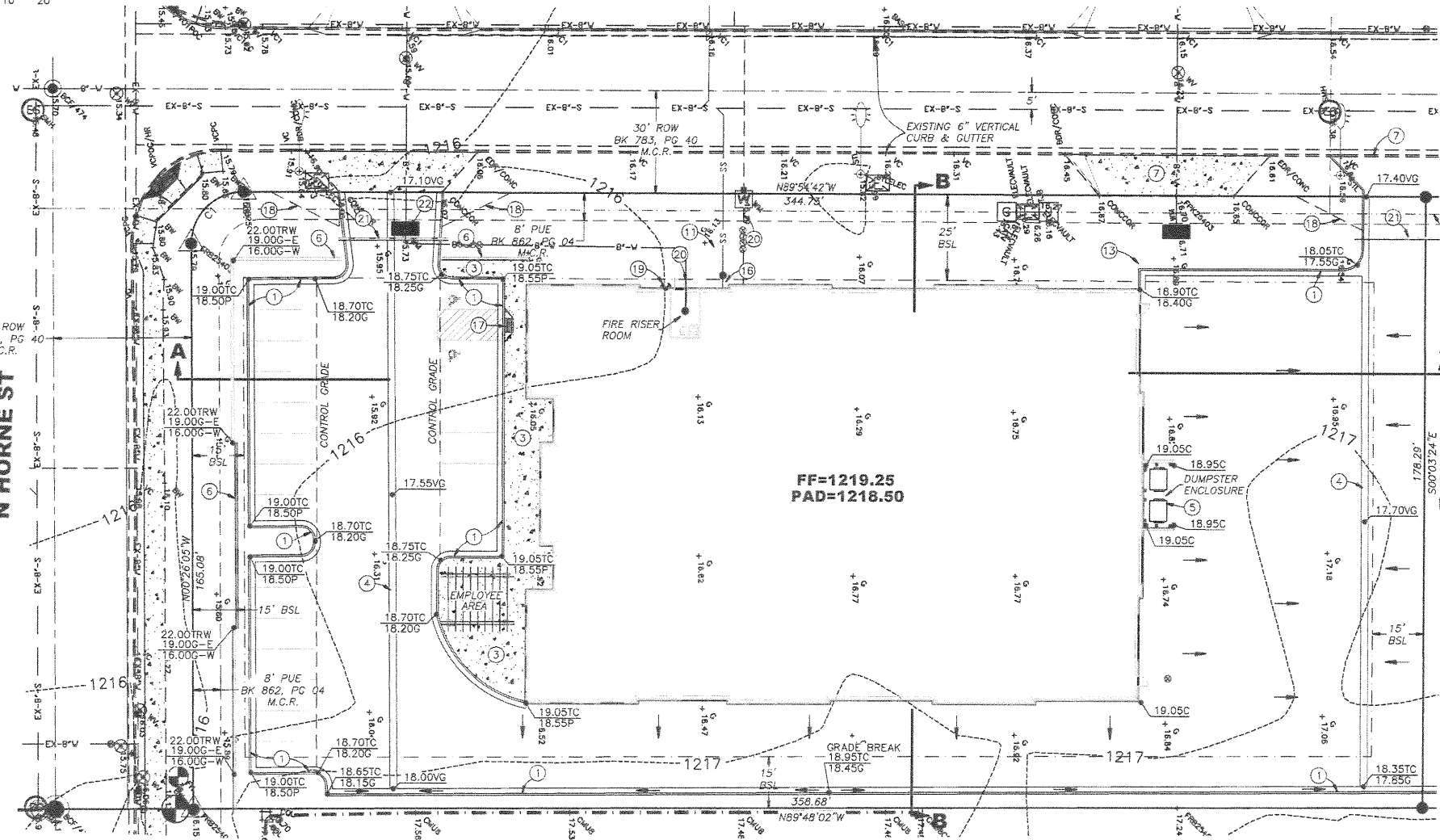
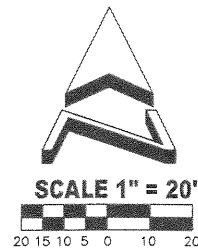
ALL REGISTERS SHALL HAVE AN ENCODED OUTPUT AND UTILIZE SENSUS PROTOCOL. REGISTERS WILL HAVE ELECTRONIC TOUCH READ CAPABILITY AND BE ENTIRELY COMPATIBLE WITH CURRENT TOWN OF GILBERT METER READING EQUIPMENT.

REGISTER RESOLUTION FOR METER SIZE SHALL BE AS FOLLOWS:



## GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT MAG SPECIFICATIONS AND DETAILS, WITH THE TOWN OF GILBERT ADDITIONS AND DELETIONS.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. THE TOWN ENGINEER SHALL BE NOTIFIED 24 HOURS PRIOR TO STARTING THE DIFFERENT PHASES OF CONSTRUCTION FOR SCHEDULING INSPECTIONS.
3. ACCEPTANCE OF THE COMPLETED RIGHT-OF-WAY IMPROVEMENTS WILL NOT BE GIVEN UNTIL RECORD DRAWINGS HAVE BEEN SUBMITTED TO AND APPROVED BY THE TOWN ENGINEER.
4. LOCATION OF ALL WATER VALVES MUST BE REFERENCED AT ALL TIMES DURING CONSTRUCTION AND MADE AVAILABLE TO THE WATER DISTRIBUTION DIVISION. ONLY TOWN EMPLOYEES ARE AUTHORIZED TO OPERATE THE WATER VALVES AND FIRE HYDRANT CONNECTIONS TO THE TOWN'S WATER SYSTEM.
5. NO PAVING CONSTRUCTION SHALL BE STARTED UNTIL ALL UNDERGROUND UTILITIES WITHIN THE ROADWAY PRISM ARE COMPLETED.
6. WORK PERFORMED WITHOUT APPROVAL OF THE TOWN ENGINEER AND/OR ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THE SPECIFICATIONS IS SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. THE MAXIMUM STAKE INTERVAL FOR GRADES OF 0.2 PERCENT OR LESS SHALL BE 12.5 FEET FOR CONCRETE WORK AND 25 FEET FOR ASPHALT ROADWAY SECTION. ALL CURB RETURNS SHALL BE STAKED FOR THE P.C., P.T. AND THE MIDPOINT OF RETURN.
8. BASE COURSE WILL NOT BE PLACED ON SUBGRADE UNTIL BASE REQUIREMENTS HAVE BEEN COMPLETED AND ACCEPTED BY THE TOWN ENGINEER.
9. GUTTERS WILL BE WATER TESTED IN THE PRESENCE OF THE TOWN ENGINEER OR HIS AUTHORIZED REPRESENTATIVE TO INSURE PROPER DRAINAGE. PRIOR TO FINAL APPROVAL BY THE TOWN ENGINEER.
10. EXACT POINT OF MATCHING, TERMINATION AND OVERLAY, IF NECESSARY, MAY BE DETERMINED IN THE FIELD BY THE TOWN ENGINEER.
11. NO JOB WILL BE CONSIDERED COMPLETED UNTIL ALL CURBS, PAVEMENT AND SIDEWALKS HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS AND ALL SURVEY MONUMENTS ARE INSTALLED, PUNCHED AND DATED ACCORDING TO THE PLANS.
12. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL VALVES, MANHOLES AND BLOW OFFS IN ADVANCE OF CONSTRUCTION AND REPLACING SAME TO FINISHED GRADE.
13. THE TOWN OF GILBERT IS NOT RESPONSIBLE FOR LIABILITY ACCRUED DUE TO DELAYS AND/OR DAMAGE TO UTILITIES IN CONJUNCTION WITH THIS CONSTRUCTION. ALSO, THE TOWN WILL NOT PARTICIPATE IN THE COST OF CONSTRUCTION OR UTILITY RELOCATION.
14. TRAFFIC CONTROL SHALL BE MAINTAINED IN ACCORDANCE WITH MAG SPECIFICATION 401, AND THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ALL TRAFFIC CONTROLS, INCLUDING STRIPING AND REQUIRED SIGNAGE, SHALL BE INSTALLED WITHIN ONE WEEK OF THE INSTALLATION OF THE "FIRST LIFT" OF PAVING.
15. TESTING
  - TESTING OF MATERIALS AND CONSTRUCTION PERFORMANCE BY AN ARIZONA TECHNICAL TESTING INSTITUTE (ATTI) OR AMERICAN CONCRETE INSTITUTE (ACI) APPROVED TESTING LAB IS REQUIRED.
  - THE TOWN INSPECTOR WILL DETERMINE THE NUMBER AND TYPE OF TESTS NEEDED.
  - THE CONTRACTOR/DEVELOPER WILL NOTIFY THE TESTING LAB OF THE NEEDED TESTS, COORDINATE WITH THE INSPECTOR AND TESTING LAB AND PAY THE COSTS TO PERFORM THE TESTS.
16. ORDINANCE #1437, APPROVED BY THE TOWN COUNCIL IN OCTOBER 2002, STATES: NO CONSTRUCTION WATER FROM FIRE HYDRANTS SHALL BE USED ON PARCEL OR LOTS OF TEN ACRES OR MORE IN SIZE. FOR MORE INFORMATION, THE ORDINANCE IS LOCATED ON THE TOWN OF GILBERT WEBSITE. TO OBTAIN CONSTRUCTION WATER, THE CONTRACTOR IS REQUIRED TO MAKE APPLICATION WITH THE PUBLIC WORKS WATER DIVISION. A SECURITY DEPOSIT IS REQUIRED TO RECEIVE A FIRE HYDRANT METER. THE TOWN RESERVES THE RIGHT TO SPECIFY THE TIME AND LOCATION THAT CONSTRUCTION WATER CAN BE DELIVERED.
17. ALL FLOOD RETENTION BASIN DEVELOPMENT AND INSTALLATIONS MUST BE COMPLETED AND ACCEPTED BEFORE THE PAVING PERMIT/APPROVAL TO WORK WILL BE ISSUED FOR THE SUBDIVISION.
18. PRIOR TO FINAL APPROVAL AND ACCEPTANCE OF THE WORK, THE DEVELOPER/CONTRACTOR WILL BE REQUIRED TO CLEAN AND REPAIR ADJACENT (OFF-PROJECT) ROADWAYS USED DURING THE COURSE OF THEIR CONSTRUCTION.
19. USE OF "RECLAIMED ASPHALT" IS PROHIBITED UNLESS APPROVED BY THE TOWN ENGINEER.
20. GRINDING AND/OR PATCHING OF CURBS, GUTTERS, APRONS, VALLEY GUTTERS, DRIVEWAYS, SCUPPERS, MANHOLE BASES AND INVERTS OR ANY CONCRETE STRUCTURE TO CORRECT DEFICIENCIES THAT RESULT FROM IMPROPER GRADE SETTING, OR CONSTRUCTION METHODS, OR BREAKAGE DUE TO ANY CIRCUMSTANCES SHALL NOT BE PERMITTED.
21. ALL METALLIC MATERIALS INLETS, GRATES, FRAMES AND COVERS, CATCH BASINS AND NOSE ANGLES SHALL BE PAINTED PER MAG SPECIFICATION NO. 790, PAINT NO. 9 (LIGHT GRAY).
22. PARKWAY GRADING SHALL BE DESIGNED TO INSURE THAT RUNOFF CANNOT BE RETAINED BEHIND CURBS OR WALKS.
23. ALL PARKWAY GRADING MUST BE COMPLETED BEFORE ANY PAVING MAY BEGIN.
24. ALL SIGNS SHALL BE INSTALLED PER TOWN OF GILBERT STANDARD DETAIL GIL-227.



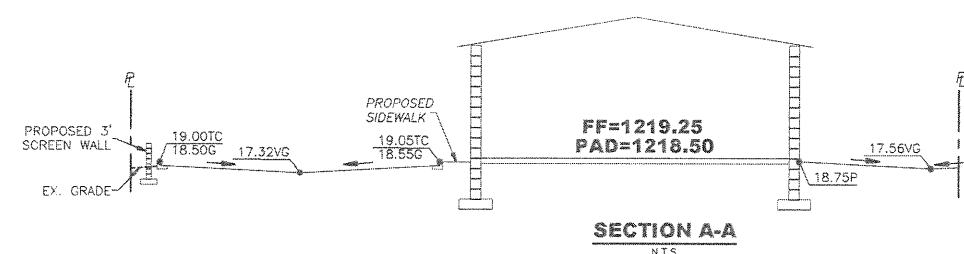
EXISTING CENTERLINE 9'  
POWER DISTRIBUTION  
EASEMENT PER DOC.  
2007-0831458, M.C.R.

**CONSTRUCTION NOTES:**

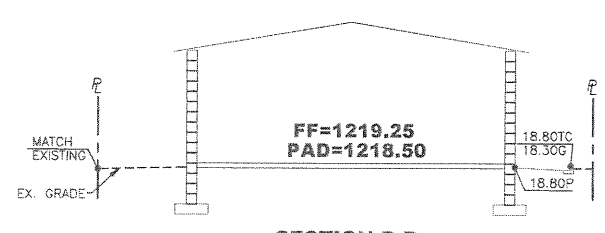
- ① INSTALL 6" VERTICAL CURB & GUTTER PER MAG STD. DTL. 220 TYPE A.
- ② INSTALL 4" WIDE PAINTED STRIPING (TYP).
- ③ INSTALL CONCRETE SIDEWALK PER MAG 230. (SEE ARCHITECT PLANS FOR DETAIL)
- ④ INSTALL 2' VALLEY GUTTER PER MAG 240(MODIFIED TO 2').
- ⑤ INSTALL TRASH DUMPSTER PER TOG STD. DTL. 80-4 WITHOUT SURROUNDING CMU WALLS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. (2 TOTAL) INSTALL BOLLARDS PER T.O.G. STD. DTL. 80-3.
- ⑥ INSTALL 3' ARCHITECTURAL SCREEN WALL.
- ⑦ HORIZONTAL SAWCUT AND REMOVE 60 L.F. OF CURB AND INSTALL 40' DRIVEWAY PER T.O.G. STD. DTL. M-42.
- ⑬ INSTALL 30 L.F. OF 6" D.I.P. FIRELINE TO FIRE RISER IN BUILDING. INSTALL FIRE DEPARTMENT MARKER PER T.O.G. STD. DTL. 61, BEDDING PER T.O.G. STD. DTL. 85. CONNECT TO EXISTING 8" STUB, REMOVE EXISTING CURB STOP AND FLUSHING PIPE, INSTALL 8"x6" REDUCER.
- ⑬ INSTALL 1-1/2" DOMESTIC METER PER T.O.G. STD. DTL. 82 AND 1-1/2" REDUCED PRESSURE BACKFLOW PREVENTOR (WATTS-009-QT-1-1/2") PER T.O.G. STD. DTL. 83 AND 83-B (WITH CAGE ENCLOSURE)
- ⑮ CONNECT INTO EXISTING 6" SEWER STUB WITH 6"x4" REDUCER AND INSTALL 71 L.F. OF 4" ABS SCH. 40 SEWERLINE TO BUILDING (S=0.100', MIN.) PER UPC.
- ⑰ INSTALL HANDICAP RAMPS WITH TACTILE WARNING (RAISED TRUNCATED DOMES) SURFACE PER ARCHITECT PLAN.
- ⑱ 10'X20' VISIBILITY TRIANGLE PER TOG STD. DTL. 93
- ⑲ INSTALL FIRE DEPARTMENT CONNECTION
- ⑳ INSTALL 6"-45° BEND (2-TOTAL).
- ㉑ INSTALL LANDSCAPE SLEEVE.
- ㉒ CAP SERVICE LINE.

**SERVICES:**

- |            |                                 |
|------------|---------------------------------|
| POLICE:    | TOWN OF GILBERT                 |
| FIRE:      | TOWN OF GILBERT                 |
| WATER:     | TOWN OF GILBERT                 |
| SEWER:     | SEPTIC                          |
| ELECTRIC:  | SALT RIVER PROJECT              |
| GARBAGE:   | TOWN OF GILBERT                 |
| TELEPHONE: | QWEST                           |
| CABLE TV:  | COX COMMUNICATIONS              |
| NOTE:      | ALL UTILITIES TO BE UNDERGROUND |



**SECTION A-A**  
N.T.S.

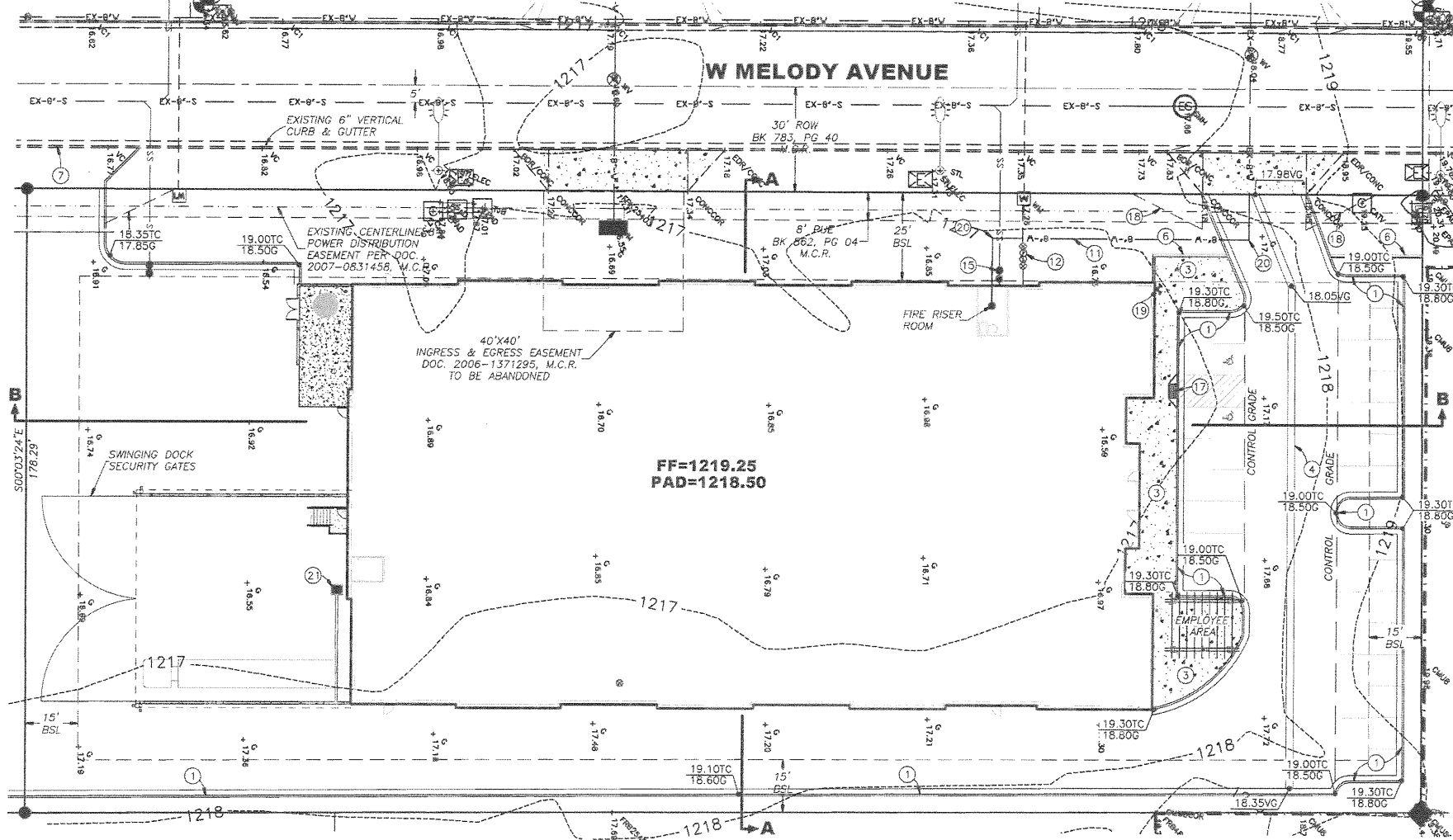
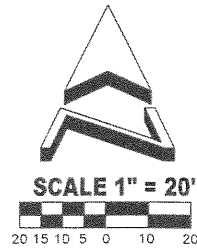


**SECTION B-B**  
N.T.S.



DATE

<p><b>ALLEN CONSULTING ENGINEERS, INC.</b></p>	<p>4111 E. VALLEY AUTO DRIVE, SUITE 103 MESA, ARIZONA 85208 PHONE (480) 844-1666 E-MAIL: ace@allenconsultengr.com</p>
	<p><b>GILBERT MELODY BUILDING 1</b> 1095 W. MELODY AVENUE GILBERT, ARIZONA 85233</p>
<p><b>PRELIMINARY GRADING AND DRAINAGE PLAN</b></p>	
<p>JOB NUMBER 97348 DRAWING PRELIM-G&amp;D-SHT2 DRAFTSMAN</p>	<p>SHEET 2 OF 3 CHECKED BY DATE 09-23-2022</p>



**CONSTRUCTION NOTES:**

- 1 INSTALL 6" VERTICAL CURB & GUTTER PER MAG STD. DTL. 220 TYPE A.
- 2 INSTALL 4" WIDE PAINTED STRIPING (TYP).
- 3 INSTALL CONCRETE SIDEWALK PER MAG 230. (SEE ARCHITECT PLANS FOR DETAIL)
- 4 INSTALL 2" VALLEY GUTTER PER MAG 240(MODIFIED TO 2').
- 5 INSTALL TRASH DUMPSTER PER TOG STD DTL. 80-4 WITHOUT SURROUNDING CMU WALLS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION. (2 TOTAL) INSTALL BOLLARDS PER T.O.G. STD. DTL. 80-3.
- 6 INSTALL 3' ARCHITECTURAL SCREEN WALL.
- 11 INSTALL 97 L.F. OF 8" D.I.P. FIRELINE TO FIRE RISER IN BUILDING. INSTALL FIRE DEPARTMENT MARKER PER T.O.G. STD. DTL. 61, BEDDING PER T.O.G. STD. DTL. 65. CONNECT TO EXISTING 8" STUB, REMOVE EXISTING CURB STOP AND FLUSHING PIPE, INSTALL 8"x6" REDUCER.
- 12 INSTALL 1" WATER METER ON EXISTING SERVICE PER TOG STD. DTL. 83-B. INSTALL 1" REDUCED PRESSURE BACKFLOW PREVENTER (FEBCO 825-Y-1) PER T.O.G. STD. DTL. 83-L (WITH CAGE ENCLOSURE)
- 15 CONNECT INTO EXISTING 6" SEWER STUB WITH 6"x4" REDUCER AND INSTALL 18 L.F. OF 4" ABS SCH. 40 SEWERLINE TO P18 SAND/OIL INTERCEPTOR 1250 GALLON (S=.0100 1/4 MIN.) PER UPC.
- 17 INSTALL HANDICAP RAMP WITH TACTILE WARNING (RAISED TRUNCATED DUMES) SURFACE PER ARCHITECT PLAN.
- 18 10'X20' VISIBILITY TRIANGLE PER TOG STD. DTL. 93
- 19 INSTALL FIRE DEPARTMENT CONNECTION
- 20 INSTALL 8"-90° BEND (2-TOTAL).
- 21 INSTALL SINGLE GRATE CATCH BASIN TYPE G PER MAG STD. DTL. 537. INSTALL 35 L.F. OF 2" SCHEDULE 40 PVC DISCHARGE PIPE. INSTALL LIBERTY PUMP SPAC-457 1/2 HP ASSEMBLED SUMP PUMP PACKAGE OR EQUAL. OUTLET WITH 16 L.F. OF 2" SCHEDULE 40 PVC DISCHARGE PIPE.

**LEGEND**

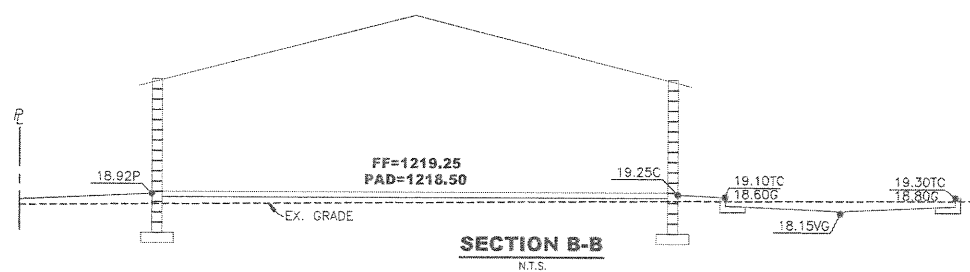
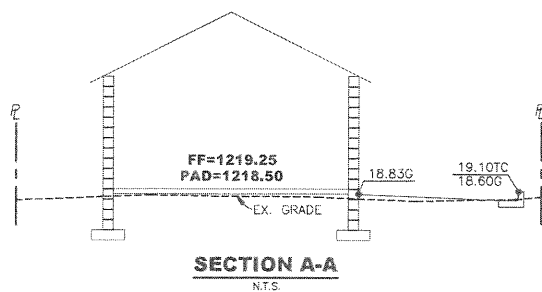
- EX. EXISTING
- ROW RIGHT OF WAY
- PUE PUBLIC UTILITY EASEMENT
- T.O.G. TOWN OF GILBERT
- CL CENTER LINE
- S/L SEWER LINE
- W/L WATER LINE
- C CABLE TV
- E ELECTRICAL TRANSFORMER
- TC TOP OF CURB
- G GUTTER, GRADE
- P PAVEMENT
- FF FINISH FLOOR
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ▲ REDUCER
- ⊙ SEWER MANHOLE
- EXISTING STOP CURB & FLUSHING PIPE

**SERVICES:**

- POLICE: TOWN OF GILBERT
- FIRE: TOWN OF GILBERT
- WATER: TOWN OF GILBERT
- SEWER: SEPTIC
- ELECTRIC: SALT RIVER PROJECT
- GARBAGE: TOWN OF GILBERT
- TELEPHONE: QWEST
- CABLE TV: CDX COMMUNICATIONS
- NOTE: ALL UTILITIES TO BE UNDERGROUND



DATE



**ALLEN CONSULTING ENGINEERS, INC.**

4111 E. VALLEY AUTO DRIVE, SUITE 103  
 MESA, ARIZONA 85206  
 PHONE (480) 844-1666  
 E-MAIL: ace@allenconsultengr.com

**GILBERT MELODY BUILDING 2**  
**1031 W. MELODY AVENUE**  
**GILBERT, ARIZONA 85233**

**PRELIMINARY GRADING AND DRAINAGE PLAN**

<b>JOB NUMBER</b>	97348	<b>SHEET</b>	3	<b>OF</b>	3
<b>DRAWING</b>	PRELIM-C&D-SHT3	<b>CHECKED BY</b>			
<b>DRAFTSMAN</b>		<b>DATE</b>	09-23-2022		



**SAMUEL J.  
BRADY**

ARCHITECTS

200 East South Temple  
Suite 160  
Salt Lake City, Utah 84111  
(801) 595-1752  
www.sambrady.com

NOTE: THIS DRAWING IS PROVIDED FOR  
OWNER/TENANT APPROVAL OF THE  
SPACE NOTED AND IS NOT FOR  
CONSTRUCTION. ACTUAL SITE  
DIMENSIONS COULD VARY.



1095 W  
MELODY AVE

GILBERT, AZ

**GILBERT  
MELODY  
BUILDING #1**

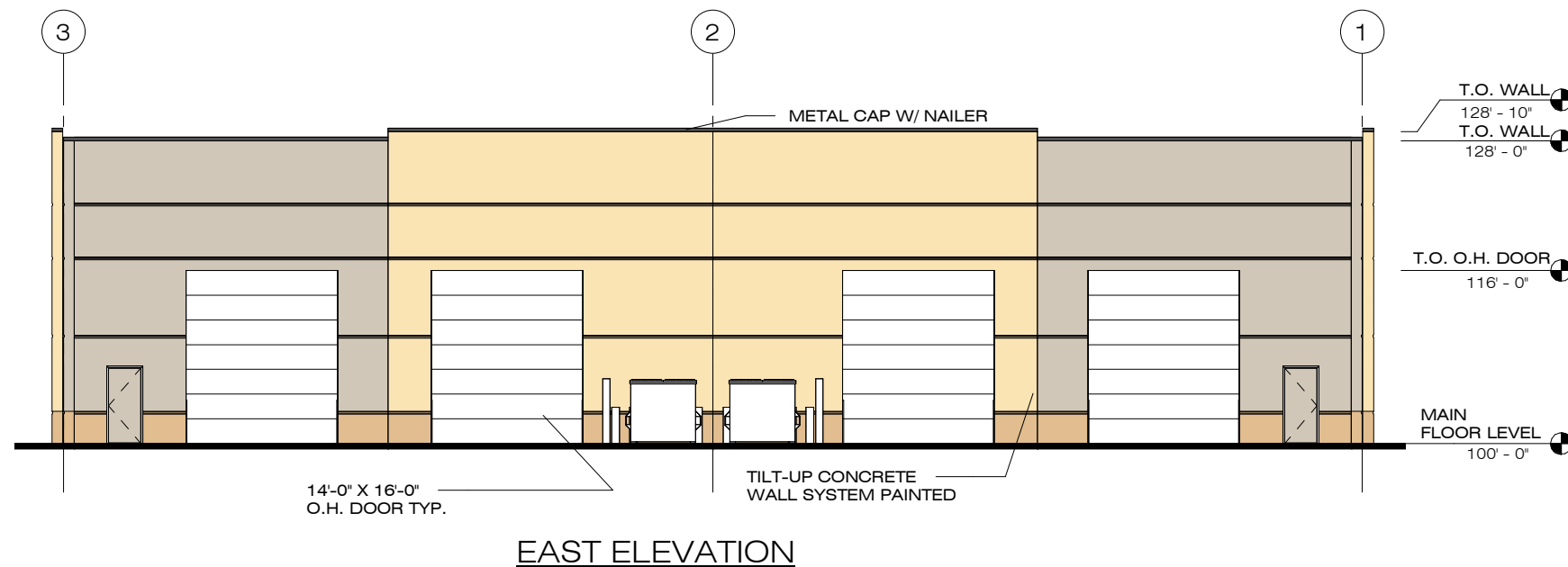
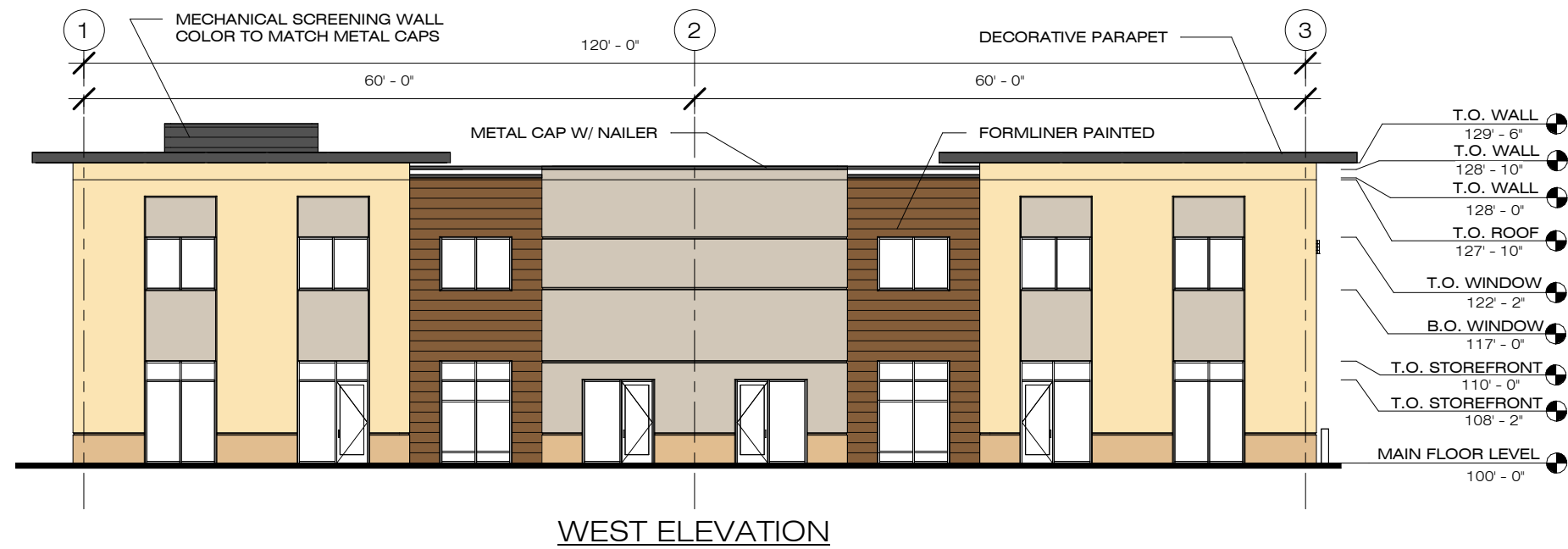
RENDERING

SAMUEL J BRADY ARCHITECTS

SCALE: NTS  
OCTOBER 17, 2022  
2282301

FINISH SCHEDULE

MATERIAL	MANUFACTURER	COLOR
 CONCRETE (PAINTED)	SHERWIN WILLIAMS	SW9015 THEY CALL IT MELLOW
 CONCRETE (PAINTED)	SHERWIN WILLIAMS	SW9023 DAKOTA WHEAT
 CONCRETE (PAINTED)	SHERWIN WILLIAMS	SW7036 ACCESSIBLE BEIGE
 FORMLINER (PAINTED)	SHERWIN WILLIAMS	SW9100 UMBER RUST
 METAL CAPS/AWNINGS	DREXEL METALS	CHARCOAL GRAY SR.27
ALUM. STOREFRONT	KAWNEER	CLEAR ANODIZED



**SAMUEL J. BRADY**

ARCHITECTS

200 East South Temple  
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(801) 595-1752  
www.sambrady.com

NOTE: THIS DRAWING IS PROVIDED FOR OWNER/TENANT APPROVAL OF THE SPACE NOTED AND IS NOT FOR CONSTRUCTION. ACTUAL SITE DIMENSIONS COULD VARY.

1095 W  
MELODY AVE

GILBERT, AZ

**GILBERT  
MELODY  
BUILDING #1**

EXTERIOR  
ELEVATIONS

SCALE:  
OCTOBER 17, 2022  
2282301

FINISH SCHEDULE

MATERIAL	MANUFACTURER	COLOR
	CONCRETE (PAINTED)	SHERWIN WILLIAMS SW9015 THEY CALL IT MELLOW
	CONCRETE (PAINTED)	SHERWIN WILLIAMS SW9023 DAKOTA WHEAT
	CONCRETE (PAINTED)	SHERWIN WILLIAMS SW7036 ACCESSIBLE BEIGE
	FORMLINER (PAINTED)	SHERWIN WILLIAMS SW9100 UMBER RUST
	METAL CAPS/ AWNINGS	DREXEL METALS CHARCOAL GRAY SR.27
	ALUM. STOREFRONT	KAWNEER CLEAR ANODIZED

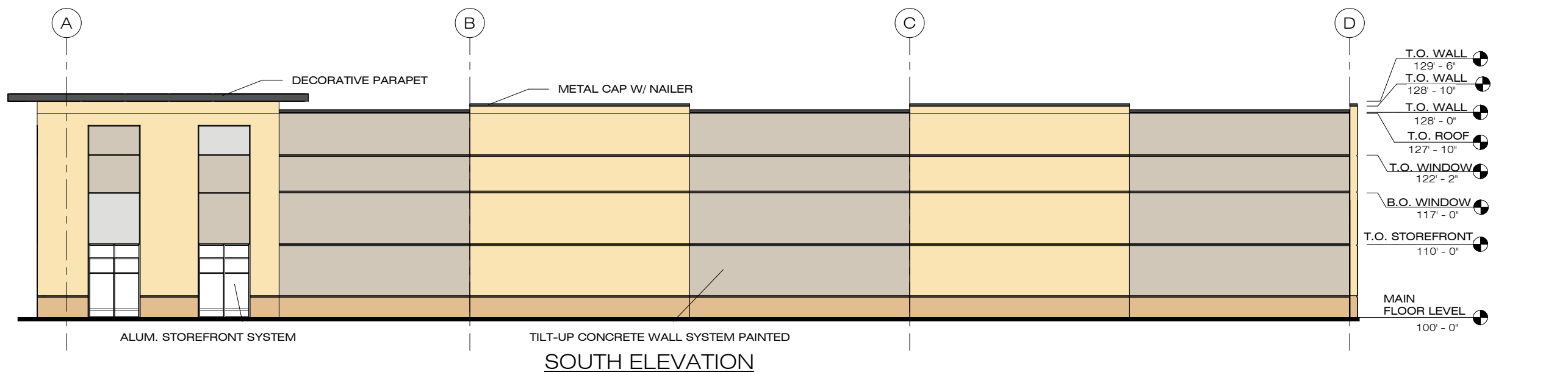
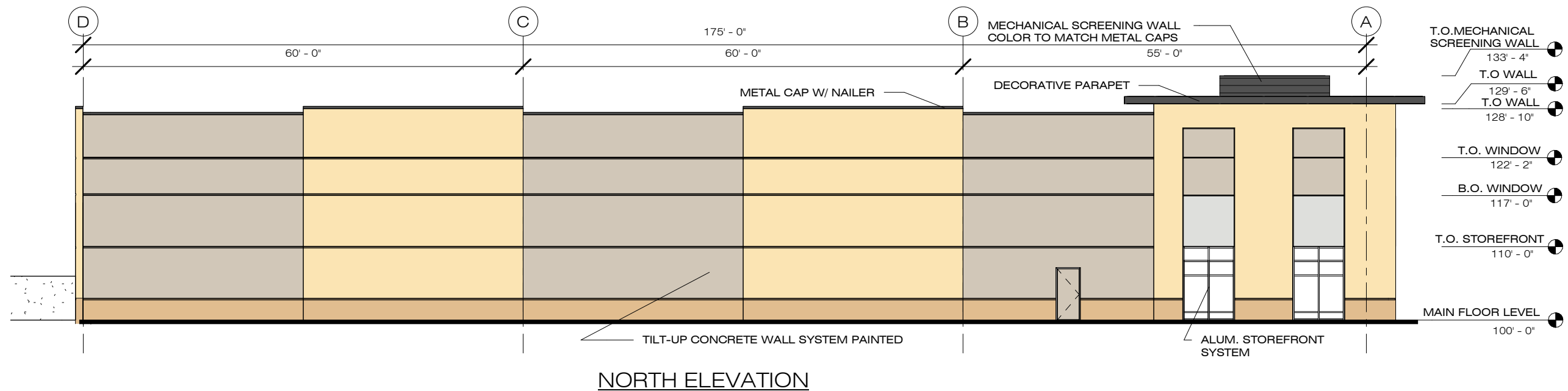


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1095 W MELODY AVE

GILBERT, AZ  
**GILBERT MELODY BUILDING #1**

EXTERIOR ELEVATIONS

SCALE: 1/16" = 1'-0"  
OCTOBER 17, 2022  
2282301



SAMUEL J BRADY ARCHITECTS



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BRADY**

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DIMENSIONS COULD VARY.

1031 W  
MELODY AVE

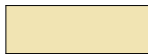



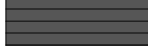
GILBERT, AZ

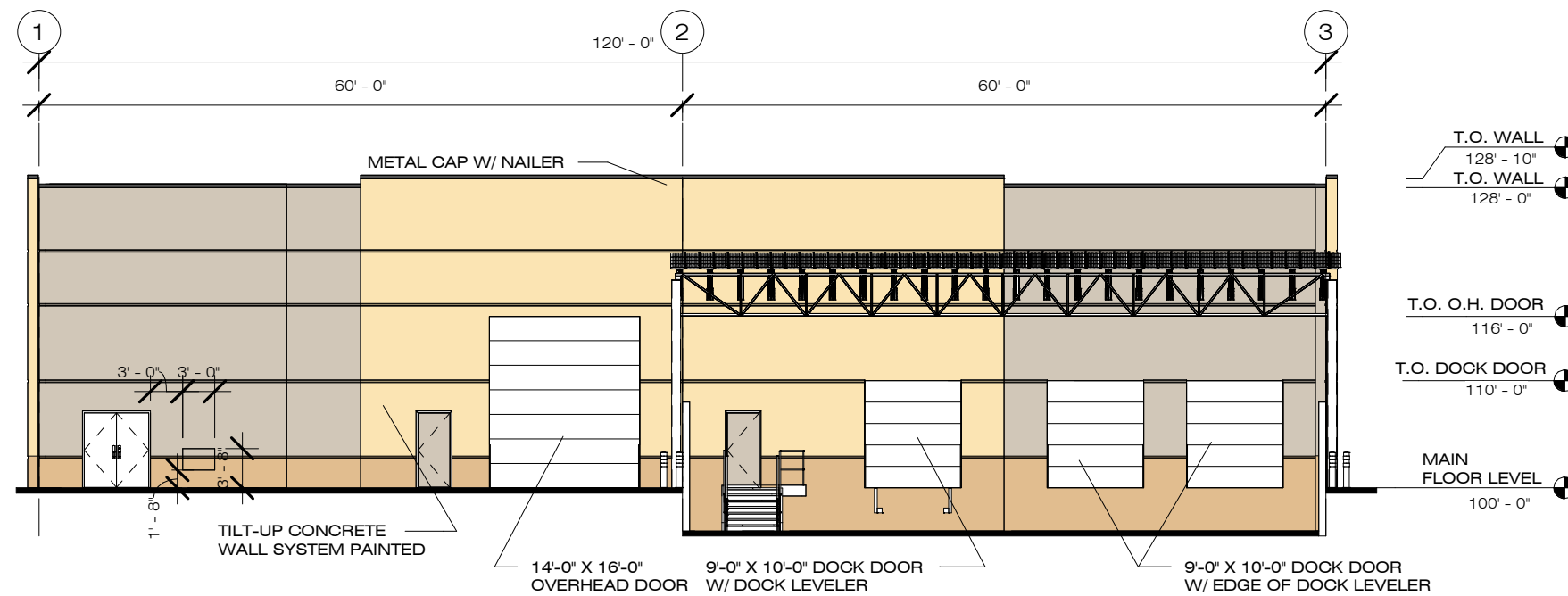
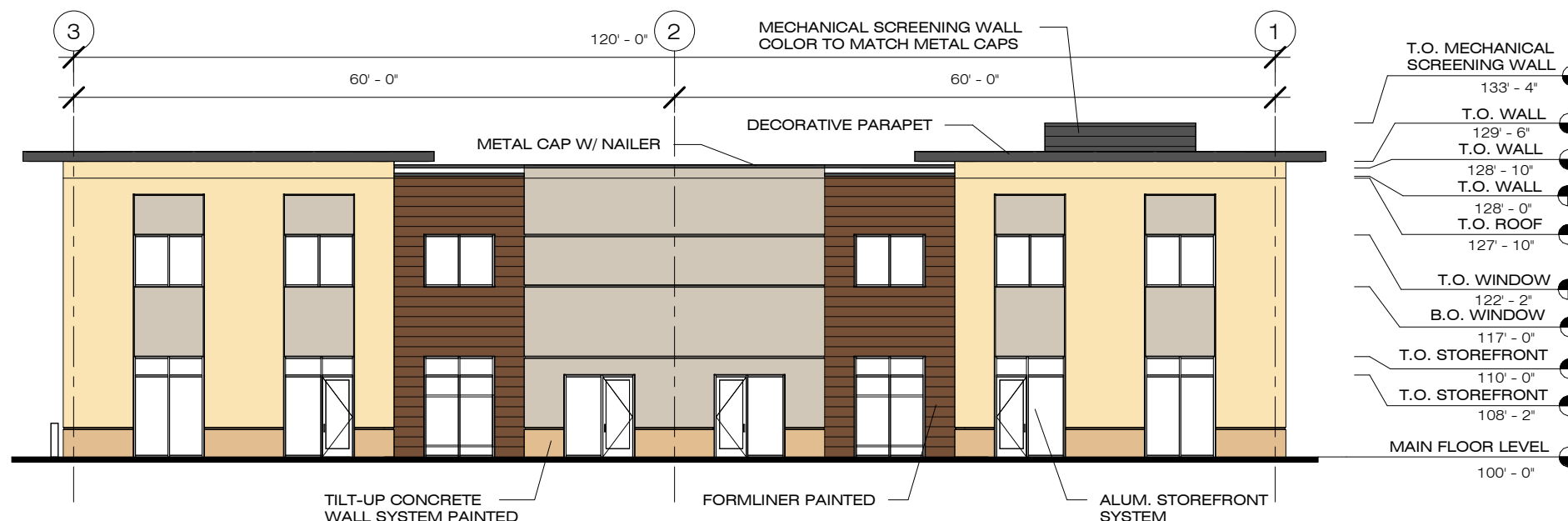
**CREMONA #2  
PREMIER  
MEDICAL**

RENDERING

SCALE: NTS  
OCTOBER 17, 2022  
2282301

FINISH SCHEDULE

MATERIAL	MANUFACTURER	COLOR
	CONCRETE (PAINTED)	SHERWIN WILLIAMS SW9015 THEY CALL IT MELLOW
	CONCRETE (PAINTED)	SHERWIN WILLIAMS SW9023 DAKOTA WHEAT
	CONCRETE (PAINTED)	SHERWIN WILLIAMS SW7036 ACCESSIBLE BEIGE
	FORMLINER (PAINTED)	SHERWIN WILLIAMS SW9100 UMBER RUST
	METAL CAPS/ AWNINGS	DREXEL METALS CHARCOAL GRAY SR.27
	ALUM. STOREFRONT	KAWNEER CLEAR ANODIZED



**SAMUEL J. BRADY**

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1031 W MELODY AVE

GILBERT, AZ

**CREMONA #2  
PREMIER  
MEDICAL**

EXTERIOR  
ELEVATIONS

SCALE:  
OCTOBER 17, 2022  
2282301






**SAMUEL J. BRADY**

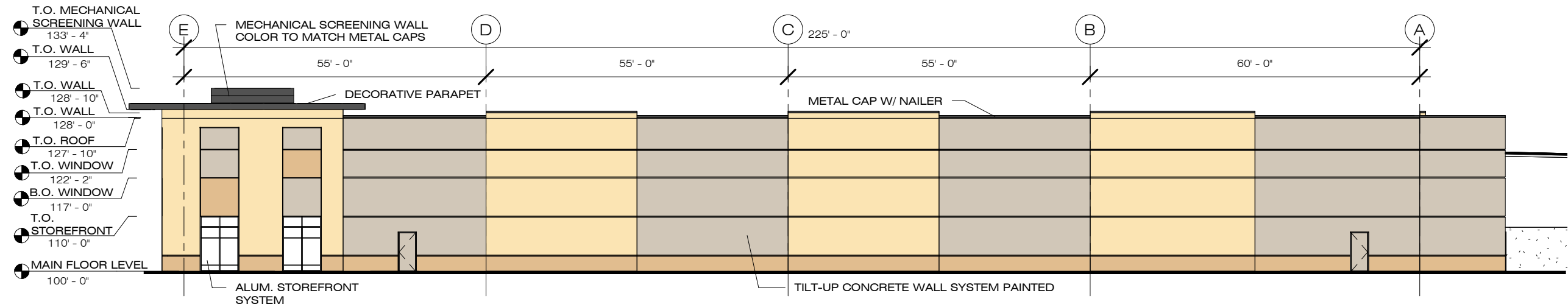
ARCHITECTS

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FINISH SCHEDULE

MATERIAL	MANUFACTURER	COLOR
	CONCRETE (PAINTED)	SHERWIN WILLIAMS SW9015 THEY CALL IT MELLOW
	CONCRETE (PAINTED)	SHERWIN WILLIAMS SW9023 DAKOTA WHEAT
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	METAL CAPS/ AWNINGS	DREXEL METALS CHARCOAL GRAY SR.27
	ALUM. STOREFRONT	KAWNEER CLEAR ANODIZED



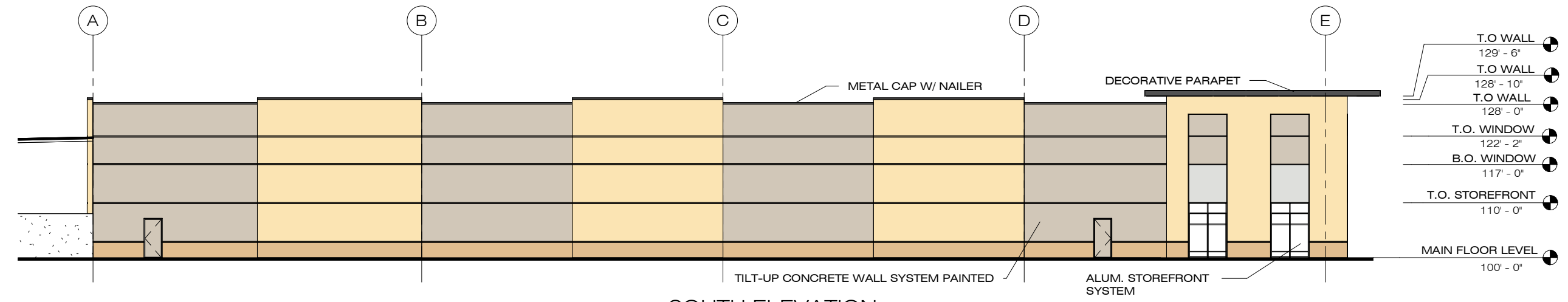
NORTH ELEVATION

1031 W MELODY AVE

GILBERT, AZ  
**CREMONA #2 PREMIER MEDICAL**

EXTERIOR ELEVATIONS

SCALE: 3/64" = 1'-0"  
OCTOBER 17, 2022  
2282301



SOUTH ELEVATION

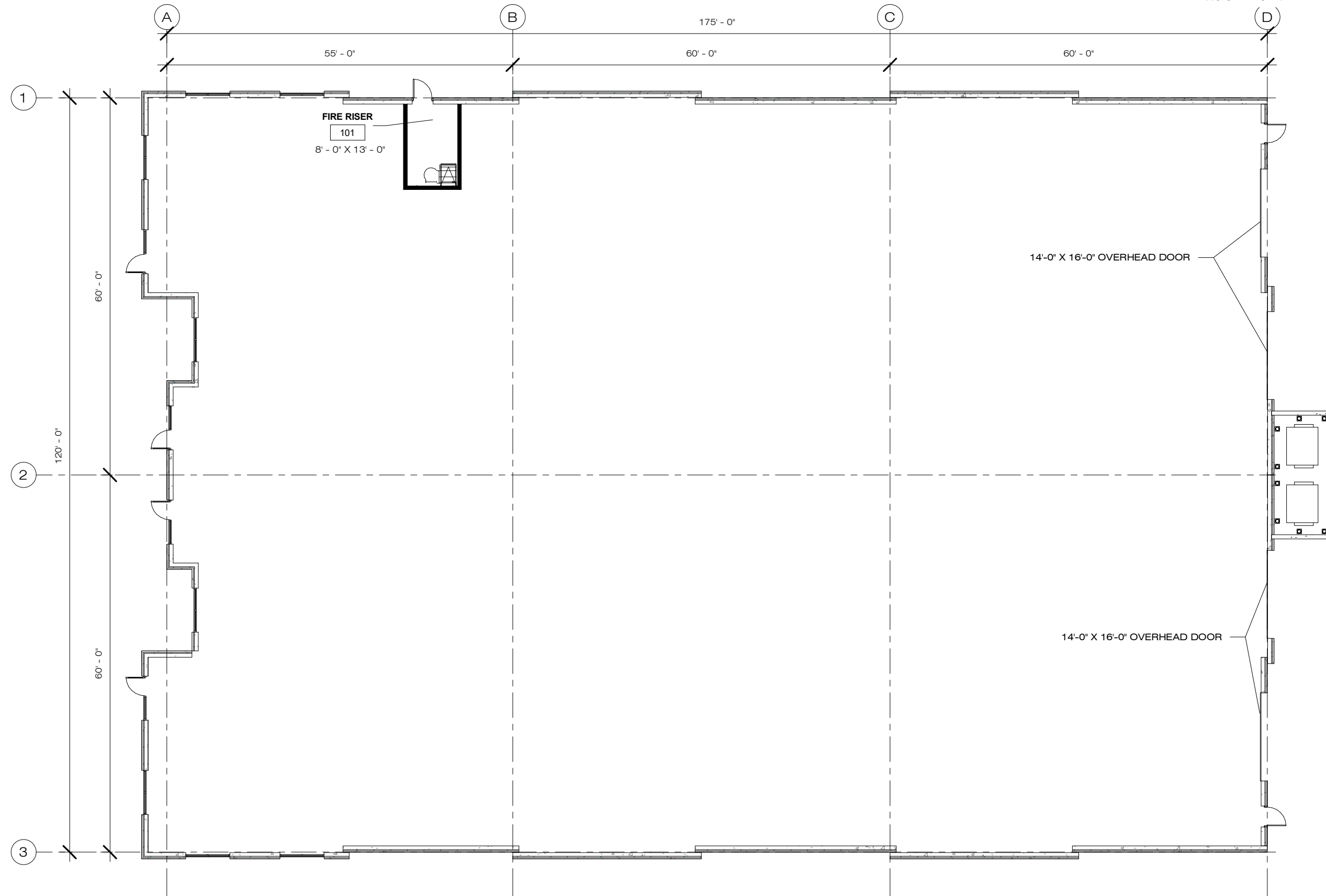


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1095 W  
MELODY AVE

GILBERT, AZ  
**GILBERT  
MELODY  
BUILDING #1**

FLOOR PLAN

SCALE: 1/16" = 1'-0"  
OCTOBER 17, 2022  
2282301



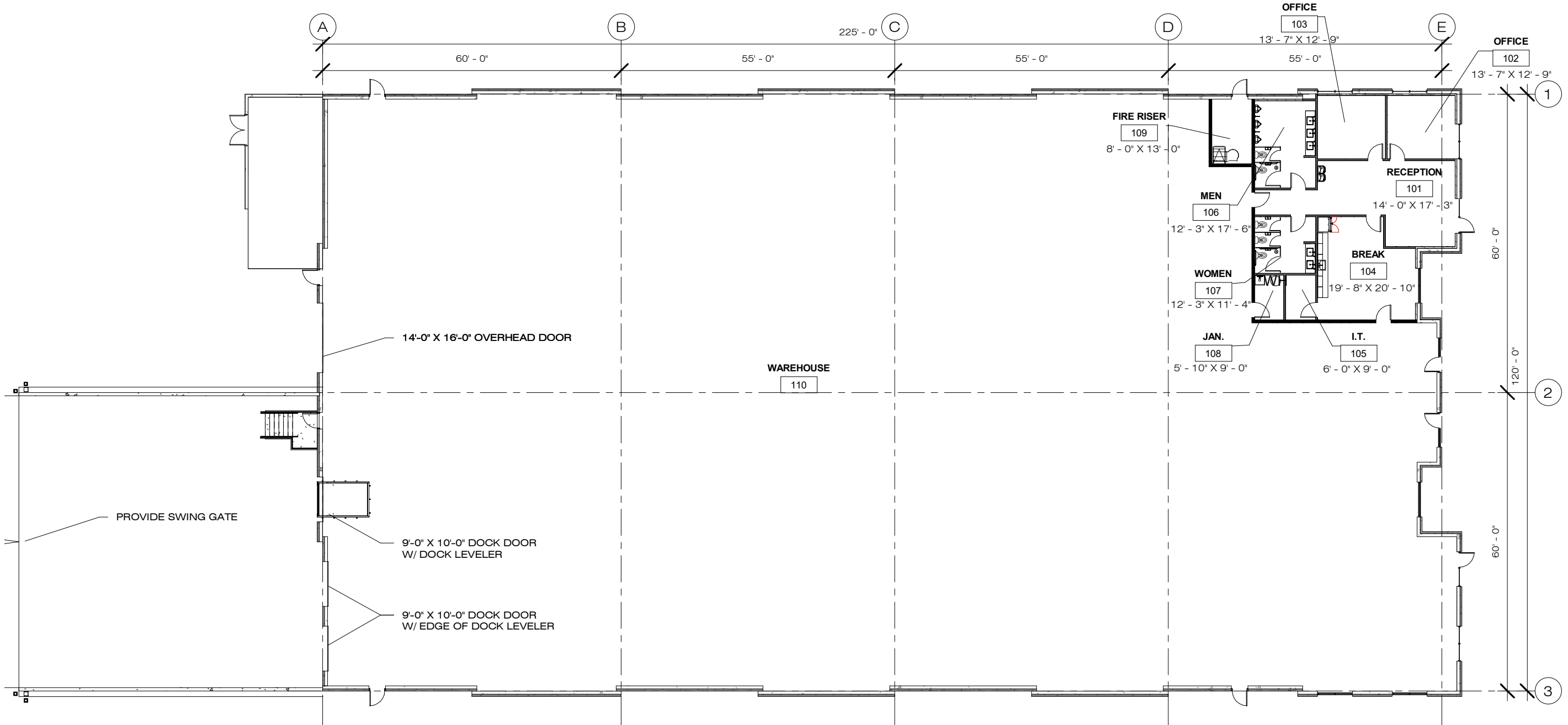


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1031 W  
MELODY AVE

GILBERT, AZ  
**CREMONA #2  
PREMIER  
MEDICAL**

MAIN FLOOR  
FLOOR PLAN

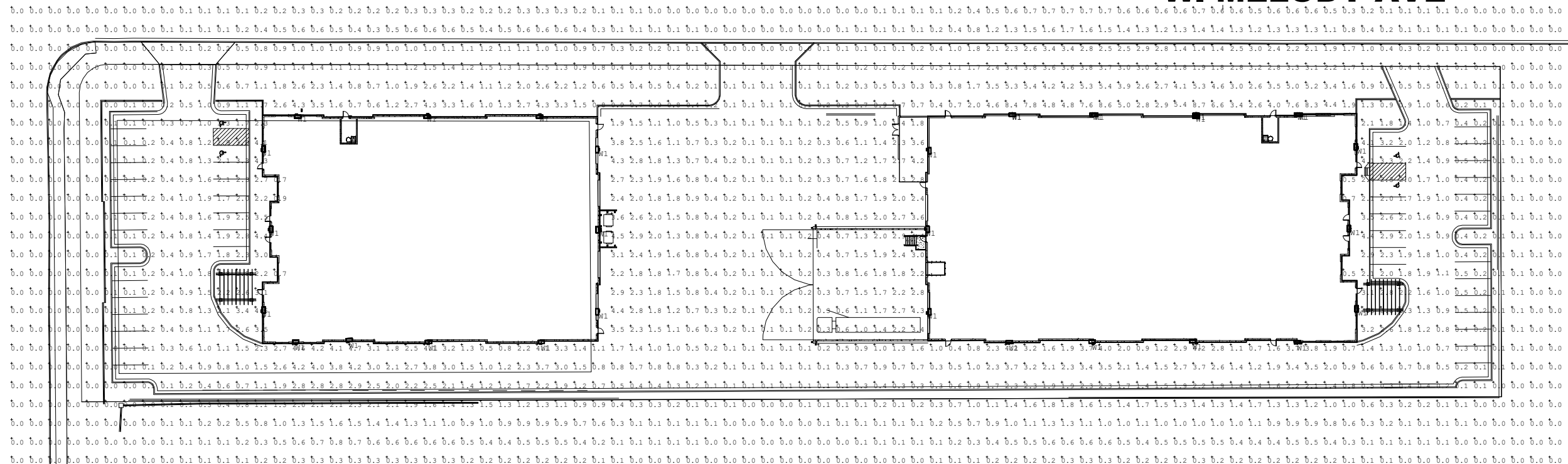
SCALE: 3/64" = 1'-0"  
OCTOBER 17, 2022  
2282301



FELLEY ENGINEERING  
Eden, Utah 84310  
Phone - 801-913-3151  
susaf@felley.com



No.	revision	date	by
1			
2			
3			
4			
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6			
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8			



**LED Wallpack Series 3 / Large**

The OLWP3L series is a stylish wallpack that fits within today's accepted design form factors. Excellent optical performance is achieved with Luminus Brand COB LED arrays and PC metallized specular reflectors. Luminus arrays are ideal light sources due to low thermal resistance, excellent heat transfer and uniform spreading. Use of 95% efficient tempered glass lenses minimizes light loss. LED life is assured through efficient thermal coupling and dissipation via a durable, pressure die cast, low-copper alloy, aluminum housing. Engineered to last, all gaskets are anti-UV, anti-aging with no harmful out-gassing. Luminaries are available with a number of options including alternate CCT choices, color finishes, photocells and brackets.

**FEATURES**

- Luminus Brand COB Arrays
- Color Temperature: 4000K & 5000K (other CCT's are available upon request)
- CRI: 70
- Lumen Maintenance: L70 = 50,000 hours (at 25° C)
- Full Cutoff (meets IDA criteria)
- Operating Temperature: -40C (-40F) to 40C (104F)
- Durable All Aluminum Pressure Die Cast Housing
- Long Life Durable Powder Coat Finish (custom other RAL colors are available upon request)
- IP65 Rated (wet listed)
- Mounting: Wall Surface (Other mounting options are available)

Catalog: TYPE W1  
Project: 80W  
Type: FULL CUTOFF

**BRONZE OR BLACK**

**ELECTRICAL SPECIFICATIONS**

- Power Input 90-305V (347V & 480V optional)
- Drive Currents: 50W = 1200 mA  
80W = 1875 mA
- Efficacy: 50W = 108.36 lm/W  
80W = 108.82 lm/W
- Power Factor: > 95%
- THD: < 15%
- Surge Protection: 10 kV (optional)
- Control Options: 0-10V Dimming, Button Photocell

**TEST & CERTIFICATIONS**

- ETL (UL 1598)
- CSA (C22.2 No.250.0)
- RoHS Compliant
- Design Lights Consortium (Standard)

**WARRANTY**

- 5 - Year warranty (Parts or Replacement)

**PERFORMANCE SPECIFICATIONS**

Lens Type	Model / Wattage	Lumens	
		4000K	5000K
Type 4	OLWP3L-050	5,149	5,149
	OLWP3L-080	8,568	8,568

Drive Current	Wattage	Drive Current	Wattage
1200 mA	50	1875mA	80
Current (A) @ 120V	0.42	Current (A) @ 120V	0.67
Current (A) @ 208V	0.24	Current (A) @ 208V	0.38
Current (A) @ 240V	0.21	Current (A) @ 240V	0.33
Current (A) @ 277V	0.18	Current (A) @ 277V	0.29
Current (A) @ 347V	0.14	Current (A) @ 347V	0.23
Current (A) @ 480V	0.10	Current (A) @ 480V	0.17

Optec LED LIGHTING 1700 De Soto Place, Ontario, CA 91761 888-743-8220 optecledlighting.com

NORTH  
PHOTOMETRIC SITE LIGHTING PLAN  
SCALE: 1"=60'-0"

**VECTOR ENGINEERS**  
651 W. GALENA PARK BLVD. STE. 101 DRAPER, UTAH 84020  
PHONE (801) 990-1775  
WWW.VECTORSE.COM

**ELECTRICAL ONLY**



Firm License Number: 10449-0  
VSE Project Number: U4226-016-221

PROPOSED BUILDINGS  
1095 W MELODY AVE  
GILBERT, AZ

Project name:  
sheet title: PHOTOMETRIC SITE LIGHTING PLAN

file: MELODY AVE  
project # TS-2201

sheet:  
E1.0B  
date: 10-19-22