



Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: KRISTEN DEVINE, PLANNER II *KD*
(480) 503-6742, KRISTEN.DEVINE@GILBERTAZ.GOV

THROUGH: VERONICA GONZALEZ, PRINCIPAL PLANNER *vg*
(480) 503-6720, VERONICA.GONZALEZ@GILBERTAZ.GOV

MEETING DATE: DECEMBER 7, 2022

SUBJECT: DR22-155 INDUSTRIAL FLEX BUILDING

STRATEGIC INITIATIVE: Exceptional Built Environment

To build an industrial flex building on an undeveloped lot within the Fuller Commerce Park.

REQUEST

DR22-155 Industrial Flex Building: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 0.68 acres, generally located west of Cooper Road and south of Baseline Road and zoned Light Industrial (LI) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT

Company: Merchant Design Group
Name: Andrew Merchant

OWNER

Name: Allan Draper

Address: 588 N. Jackson Street
 Gilbert, AZ 85233
 Phone: 480-459-6385
 Email: andrew@merchantdesigngroup.com

Address: N/A
 N/A
 480-967-6555
 N/A

BACKGROUND/DISCUSSION

History

Date	Description
<i>July 8, 2003</i>	Town Council approved Z03-07 (Ord. No 1490), rezoning 9.73 acres from (AG) Agriculture to (C-2) General Commercial and 38.41 acres from (AG) Agriculture to (I-1) Garden Industry for property located South of the South West Corner of Cooper Road and Baseline Road.
<i>September 7, 2004</i>	Town Council approved Z04-20 (Ord. No 1593), rezoning approximately 37.32 Acres from (I-1) Garden industrial to (I-1) Garden Industrial with a Planned Area Development Overlay (PAD) located South of the South West Corner of Cooper Road and Baseline Road.
<i>October 11, 2005</i>	The approved Final Plat for Fuller Commerce Center was recorded with the Maricopa County Recorder’s office

Overview

The applicant is proposing to construct a 10,750-square foot office/warehouse flex building on a 0.68-acre site. The site is generally located west of Cooper Road and south of Baseline Road and is zoned Light Industrial (LI) with a Planned Area Development Overlay (PAD). The proposed building will be developed on a vacant parcel within the Fuller Commerce Park.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Industrial	Light Industrial (LI) PAD	Merrill Ave, then Warehouse/Office
South	Industrial	Light Industrial (LI) PAD	Warehouse/Office
East	Industrial	Light Industrial (LI) PAD	Warehouse/Office
West	Industrial	Light Industrial (LI) PAD	Warehouse/Office
Site	Industrial	Light Industrial (LI) PAD	Vacant

Project Data Table

Site Development Regulations	LDC LI	Proposed Building (LI zoning)
Maximum Building Height (ft.)/Stories	55'/3	26'
Minimum Building Setbacks (ft.)		
Front (Collector or Local)	25'	25'
Side (Street)	20'	20'
Side (Employment)	0'	5'
Rear (Employment)	0'	70'
Separation Between Buildings (ft.)		
Single Story	15'	N/A
Multiple Story	20'	N/A
Minimum Required Perimeter Landscape Area (ft.)		
Front (Collector or Local)	20'	tbd
Side (Street)	20'	tbd
Side (Employment)	5'	tbd
Rear (Employment)	5'	tbd
Landscaping (% of net site area)	15%	22.7%

DISCUSSION

The proposed building is 10,750 sf of office and warehouse flex space and is located within Fuller Commerce Park, west of Cooper Road, south of Baseline Road and is zoned Light Industrial with a Planned Area Development Overlay (LI-PAD). The project is required to provide 29 parking spaces. The site includes two access points, one off Merrill Avenue into a main parking area, and one off Leland Court. Leland Court serves as the front property line on this site.

Site Plan:

The site is located west of Cooper Road and south of Baseline Road within the Fuller Commerce Park. As previously mentioned, there are two access points to the site, both located on collector/local streets. The access point from Merrill Avenue leads into a parking lot that serves as the main parking area for the site. There is also a smaller parking area that is accessed from Leland Court.

The proposed building is generally centered on the site with parking proposed on the eastern and western sides of the building. The building itself is split in half with

office space on the eastern half and flex space on the western half. Currently, there is not an internal connection between the two halves. Staff has encouraged the applicant to add internal connections, so the two halves are more integrated. This will better assist with the proposed parking layout as well. As proposed, there are only six parking spaces located on the west side of the building to serve the 4,800 sf of flex space. If those spaces are full, patrons would need to park in the eastern parking lot and walk around the exterior of the building to get to the entrances of the flex spaces.

Landscape:

The proposed landscaping plan consists of a variety of trees and shrubs. The trees proposed are Red Push Pistache and AZT Seedless Hybrid Mesquite. There are no specific street theme trees required since the site is located off local streets. Some of the shrubs and groundcover landscaping include Orange Jubilee, Yellow Bells, Red Yucca, Desert Spoon, and Lantana. Landscaping is mostly proposed along the Merrill Avenue and Leland Court frontages, with minimal landscaping proposed along the rear property line. Foundation and parking lot landscaping is also proposed on the site. New sidewalks are proposed along the street frontages of the site, promoting walkability within the center.

Elevations, Floor Plan, Colors and Materials:

The proposed building will be 26' to the top of the parapet. As mentioned previously, the building is split in half, with office space on the eastern half and flex space on the western half. The exterior of the building uses a variety of materials, including cement fiber panels, stucco, metal, and block veneer. The eastern exterior of the building includes a large portion of glass that wraps around to the north side of the building and extends above the mid-level canopy, easing the material transition from bottom to top of the building. This same elevation includes a multi-colored stucco portion with vertical score lines, adding dimension to the elevation not previously seen in earlier renditions. The western elevation includes a metal canopy as well as a stucco panel above, which resembles a second canopy. There are multiple entrances on this elevation and also vertical roll up doors in various colors. The southern elevation originally was all white and looked unfinished. Staff requested that an additional material or color be added to the elevation to provide a break and the applicant has since added two different shades of grey stucco to the bottom half of the elevation as well as well as up portions of the eastern most side of the elevation to create a column appearance. The base of this "column" also has block veneer. The overall color palette for the proposed building is very bright and clean with a few pops of color including an orange canopy that wraps most of the building and cement fiber panels in an olive green color that surrounds the extending glass portion of the building and helps accent the main entry to the building.

Lighting:

Lighting consists of parking lot light poles and attached building wall mounted sconces in appropriate locations. All site lighting will be required to comply with Town codes.

Signage:

A comprehensive sign plan does not need to be established for this site. All signs must comply with Town codes.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require public notice as specified under Land Development Code (LDC) Section 6.2.

REQUESTED INPUT

Overall site and elevation design.

Respectfully submitted,

Kristen Devine

Kristen Devine
Planner II

Attachments and Enclosures:

- 1) Aerial Photo
- 2) Applicant's Narrative
- 3) Site Plan
- 4) Landscape Plan
- 5) Grading and Drainage Plan
- 6) Building Elevations
- 7) Floor Plan
- 8) Lighting Photometric Plan
- 9) Colors and Materials



Map





March 29, 2022

Town of Gilbert
Development Services
90 E. Civic Center Dr.
Gilbert, AZ 85296

Re: **Pre-Application submittal**
Warehouse building & site
APN 302-12-606
1331 N. Leland Ct.
Gilbert, AZ

The property owner proposes to construct a 10,750 sf office / warehouse flex building with full site improvements on a .68 acre parcel. The property is zoned LI Light Industrial and allows the proposed use.

The improvements shall include (2) driveway approaches, parking screen walls, paved parking area, dry & wet utilities, trash enclosure, landscaping and above-ground stormwater retention. All exterior improvements will comply with Town of Gilbert design guidelines. Tenant signage will be proposed under a separate application.

We appreciate your review and consideration of this application and thank you for your assistance. If you have questions or further comments, please contact me at 480-459-6385 or at andrew@merchantdesigngroup.com.

Regards,

Merchant Design Group

A handwritten signature in blue ink, appearing to read 'Andrew Merchant', is written over a blue scribbled background.

Andrew Merchant, Architect
Principal

DR22-155 Industrial Flex Building Attachment 3: Site Plan



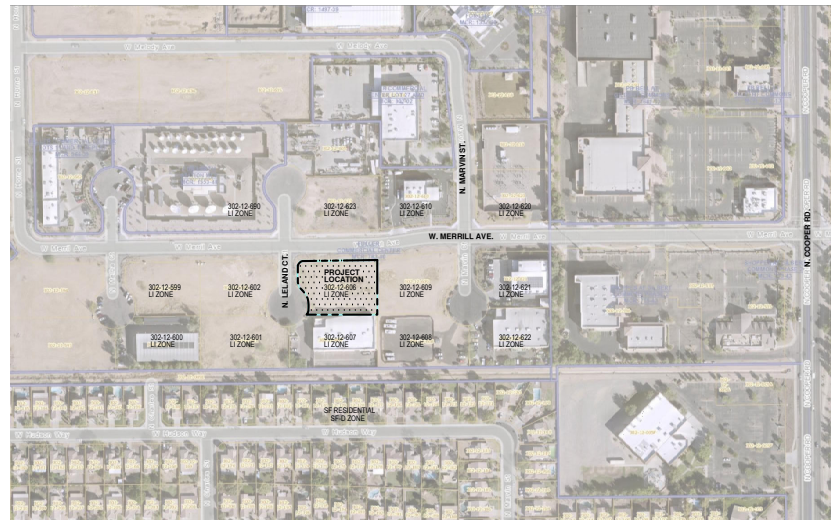
Architecture
Project Management
merchantdesigngroup.com
andrew@merchantdesigngroup.com



Proof Pest
Building & Site
1331 N. LELAND CT.
GILBERT, AZ 85233

GILBERT SITE PLAN NOTES

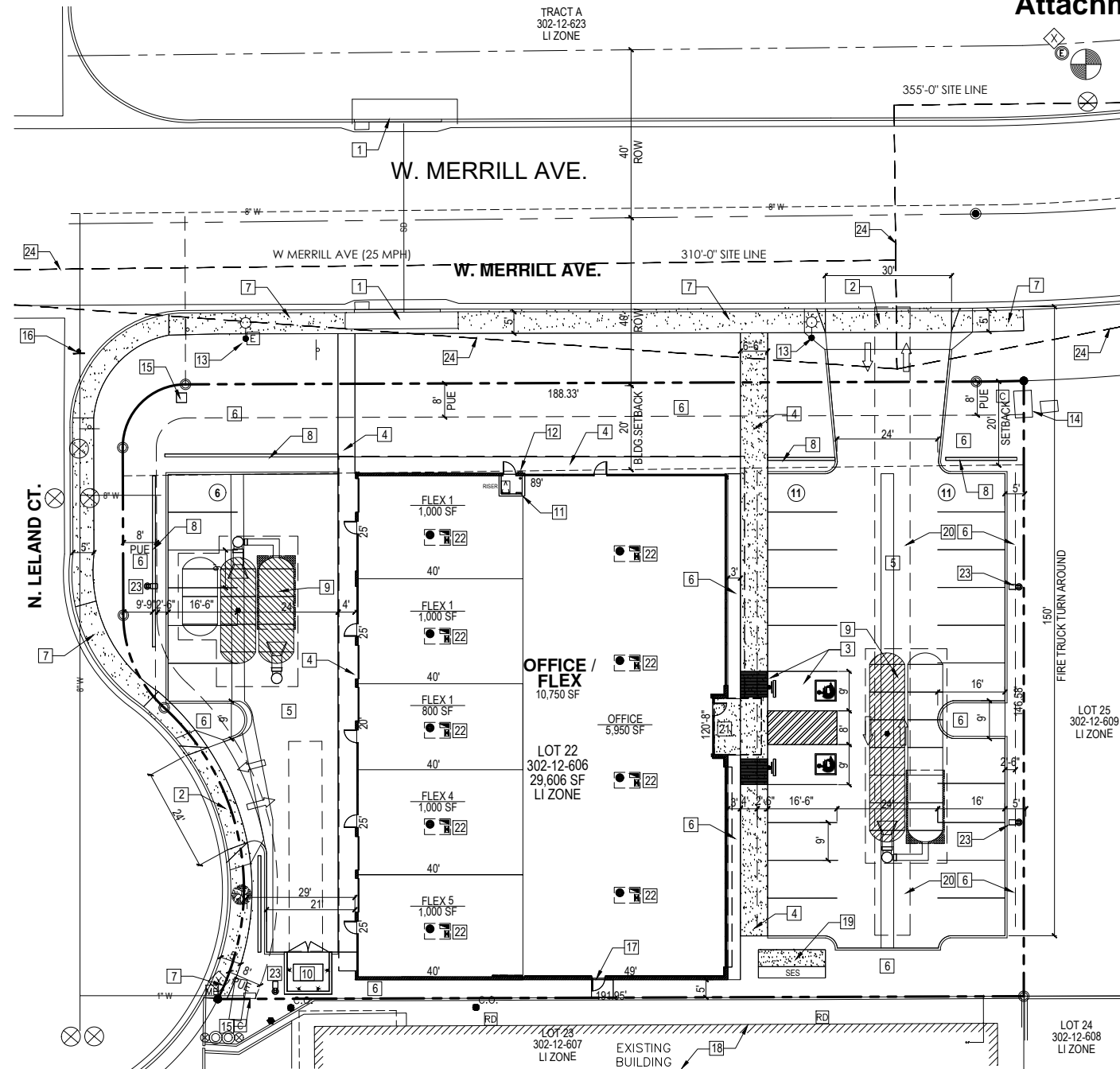
- All utility lines less than 69 KV on or contiguous to the site shall be installed or relocated underground.
- All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard which is screened by a perimeter wall at least 6 feet in height.
- All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 6" solid masonry wall. Industrial storage screen walls shall be finished when they are exposed to public view from streets or adjacent non-industrial areas. S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:
 - Fully enclosing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet;
 - Screening with a decorative masonry wall of the same height as the panel. The screen wall may be L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet;
 - An alternative screening method approved by the Planning Department prior to issuance of any permits.
- The location of all electrical utility equipment shall be identified on the construction plans.
- Roof-mounted mechanical equipment shall be fully screened by either one of the following methods:
 - The parapet wall of the building shall equal or exceed the height of the mechanical units, or;
 - By locating the mechanical equipment behind the roof planes in the case of mansard, hip or other than flat roof.
- Roof mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof parapet. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
- Ground mounted mechanical equipment shall be fully screened from view (from streets or surrounding commercial uses) by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height of the equipment.
- Pasumatic tubes, whether metal or plastic, shall be either:
 - Enclosed in pilasters, columns or other architectural features of the canopy or building, or;
 - Routed underground.
- All backflow prevention devices 2" or larger shall be screened with landscape located within a 4' radius of the device. All backflow preventers less than 2" shall be placed in a wire cage painted to match the primary building color.
- All freestanding light poles shall:
 - Be located within landscaped areas or planter islands.
 - Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30' from adjacent grade.
 - Be located to avoid conflict with trees.
- Site lighting shall comply with the light and glare criteria set forth in Section 4.103 of the LDC, including a maximum freestanding light fixture height of 25'.
- Landscaped areas adjacent to public right-of-way shall be mounded and naturally contoured. No more than 50% of the required (right-of-way and landscaping trees) landscaping screening adjacent streets may be used for retention. Retention area side slopes shall be varied, and no slope shall exceed a 4:1 maximum.
- Commercial building downspouts shall be interiorized. Industrial buildings may use exposed downspouts if articulated with the architecture of the building and built with a durable material such as steel.
- Commercial development vehicular access points and pedestrian access ways shall include special paving treatment such as integral colored stamped concrete, flagstone, or similar alternative. Location and material shall be reviewed and approved by the Planning Department prior to the issuance of a building permit.
- Customer, employee and visitor parking shall be screened from street view by low masonry walls. The parking screen walls shall be finished on both sides using the same materials and colors, and a design to complement that of the main building.
- All exterior metal shall be finished or painted to match the approved project colors.
- Existing on-site plant material damaged during construction shall be replaced with comparable species and size.



LOCATION MAP
NTS

KEY NOTES

- | | |
|---|--|
| 1 EXIST. CONCRETE DRAINAGE CULVERT | 20 150' EMERGENCY VEHICLE ACCESS AND TURN AROUND AREA |
| 2 NEW CONCRETE CURB CUT AND DRIVEWAY PER TOWN STANDARD - SEE CIVIL PLANS. | 21 MAIN BUILDING ENTRANCE W/ CANOPY ABOVE |
| 3 ACCESSIBLE PARKING STALLS W/ ACCESSIBLE CONCRETE CURB RAMP AND ADA SIGNAGE. | 22 PROPOSED ROOFTOP MECHANICAL UNITS SCREENED BY THE BUILDING PARAPET - SEE BUILDING ELEVATIONS. |
| 4 5' WIDE CONCRETE ACCESSIBLE PATH. | 23 SHIELDED SITE LIGHT FIXTURE WITH 15' POLE AND CONCRETE BASE - SEE CUT SHEETS ON SHEET E0.1. |
| 5 ASPHALT PARKING AND STRIPING - SEE CIVIL PLANS | 24 SITE VISIBILITY TRIANGLE. |
| 6 LANDSCAPE AREA - SEE LANDSCAPE PLANS | |
| 7 NEW 5' WIDE CONCRETE SIDEWALK PER TOWN STANDARD. | |
| 8 3" HIGH CMU SCREEN WALL - COLOR TO MATCH BLDG. COLOR | |
| 9 UNDERGROUND STORMWATER RETENTION TANK | |
| 10 TRASH ENCLOSURE PER TOWN STANDARD. | |
| 11 FIRE RISER ROOM WITH ROOF LADDER AND HOUSE METER. | |
| 12 FIRE DEPT. CONNECTION AND KNOX BOX | |
| 13 EXIST. SITE LIGHT POLE | |
| 14 EXIST. ELECTRICAL TRANSFORMERS | |
| 15 EXIST. UTILITY BOX | |
| 16 EXIST. STOP SIGN | |
| 17 PAINTED HM EXIT DOOR WITH 5' X 5' CONC. PAD | |
| 18 EXISTING WAREHOUSE BUILDING | |
| 19 NEW ELECT. SES ON CONC. 4' SLAB | |



PRELIMINARY SITE PLAN
1" = 20'-0"

PROJECT INFORMATION

PROJECT DATA

ADDRESS: 1331 N. LELAND COURT
APN: 302-12-606
LOT: 22
LOT AREA: .68 ACRES (29,606 SF)
EXIST. ZONE: LI - LIGHT INDUSTRIAL
PROPOSED ZONE: LI - LIGHT INDUSTRIAL
PROPERTY USE: OFFICE / WAREHOUSE
BUILDING AREA: 10,750 SF
LOT COVERAGE: 36%
SETBACKS: 20' STREET
OCCUPANCY GROUP: B / S1
CONSTRUCTION TYPE: V-B
BUILDING HEIGHT: 30'
LANDSCAPING: 6,727 SF / 22.7% COVERAGE
SPRINKLERED: YES
FIRE ALARM: YES
EMERGENCY LIGHTING: YES

PARKING DATA

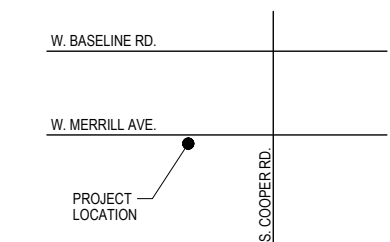
REQUIRED PARKING:
OFFICE: 5,950 SF / 250 = 24 STALLS
WAREHOUSE: 4,800 SF / 1,000 = 5 STALLS
TOTAL PARKING REQUIRED: = 29 STALLS
STANDARD PARKING PROVIDED: = 27 STALLS
ACCESSIBLE PARKING PROVIDED: = 2 STALLS
TOTAL PARKING PROVIDED: = 29 STALLS
TOTAL PARKING SURPLUS: = 0 STALLS

PROJECT CONTACTS:

OWNER: PROOF PEST CONTROL
STEVE PEITLER
3990 E. RIGGS RD. #1
CHANDLER, AZ 85249
480-239-7243
steve@proofpest.com

ARCHITECT: MERCHANT DESIGN GROUP
ANDREW MERCHANT
588 N. JACKSON ST.
GILBERT, AZ 85233
480-459-6385
Andrew@merchantdesigngroup.com

VICINITY MAP



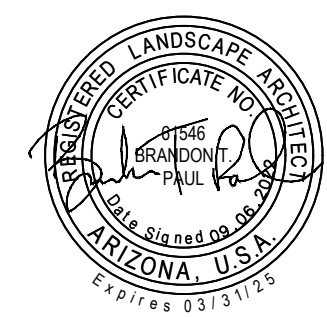
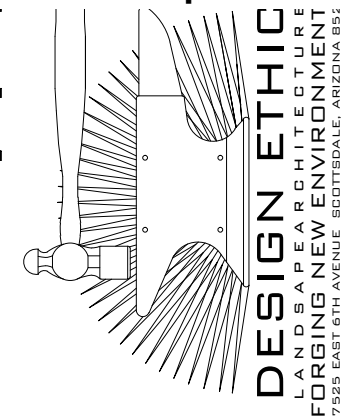
03/16/22 PRELIM SITE PLAN
03/29/22 PRE-APP SUBMITTAL
08/01/22 SITE / DR SUBMITTAL

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE SOLE PROPERTY OF MERCHANT DESIGN GROUP AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

PROJECT NO: mdg 22011
DRAWN BY: MM
DESIGNED BY: ATM
REVIEWED BY: ATM

**PRELIMINARY
SITE PLAN**

P1.0

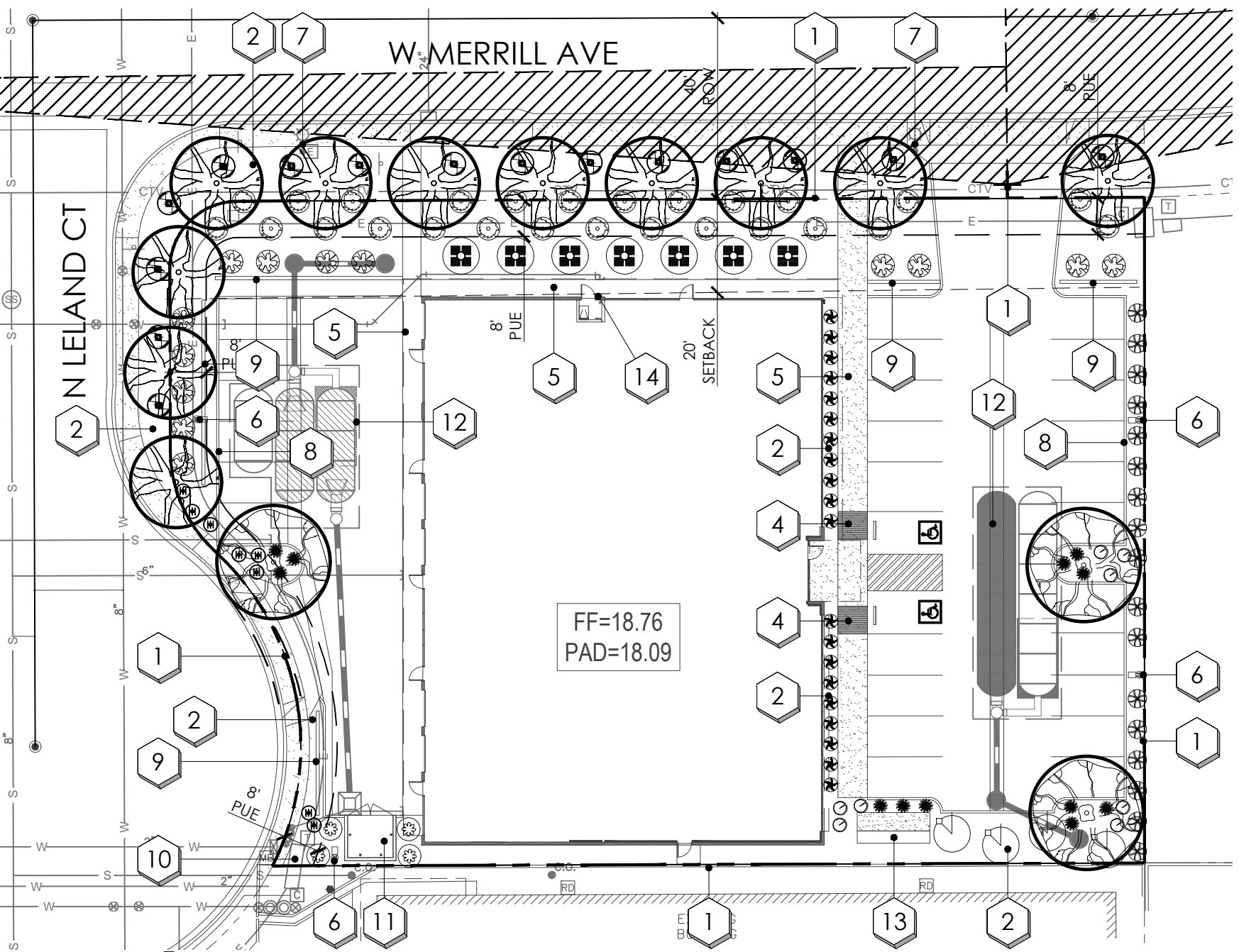


PROOF PEST
1331 N. LELAND CT.
GILBERT, AZ 85233

JOB NO: 22-053
SUBMITTED: 09.06.22

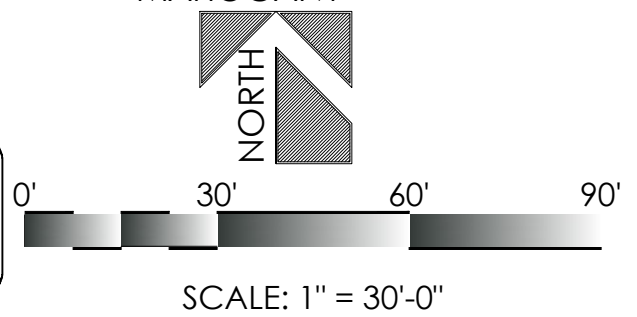
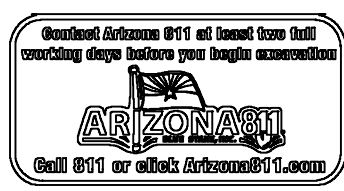
SHEET
L.02 of L.02

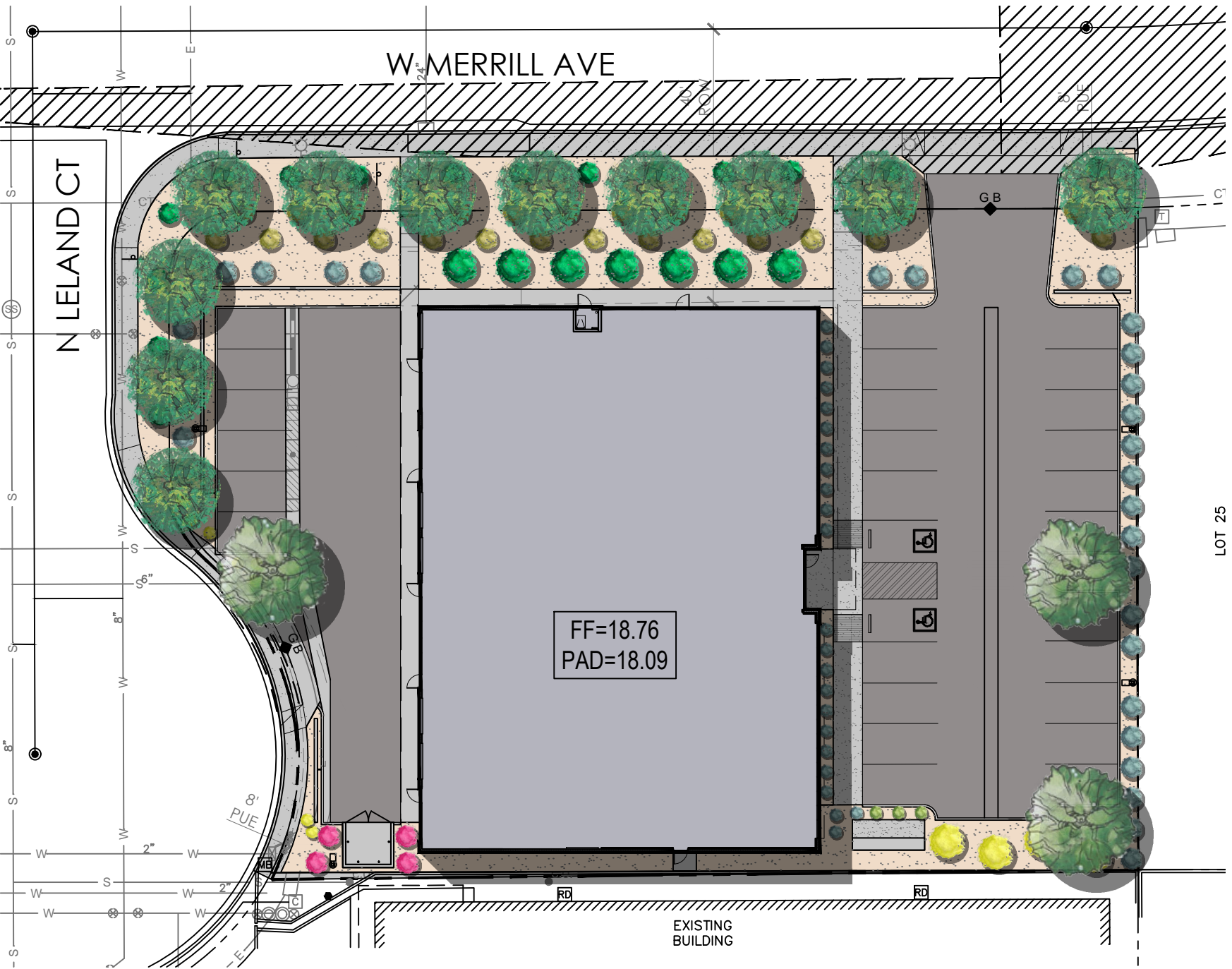
	botanical name	common name
trees		
	PISTACIA X. RED PUSH	RED PUSH PISTACHE
	PROSOPIS SEEDLESS HYBRID 'AZT™'	'AZT™' SEEDLESS HYBRID MESQUITE
shrubs		
	BOUGAINVILLEA 'LA JOLLA'	LA JOLLA BOUGAINVILLEA
	LEUCOPHYLLUM CANDIDUM	THUNDER CLOUD
	SENNA ARTEMISIOIDES	FEATHERY CASSIA
	TECOMA ALATA	ORANGE JUBILEE
	TECOMA STANS	YELLOW BELLS
accents		
	ALOE BARBADENSIS	ALOE VERA
	DASYLIRION WHEELERI	DESERT SPOON
	HESPERALOE PARVIFLORA	RED YUCCA
	MUHLENBERGIA RIGENS	DEER GRASS
groundcover		
	LANTANA 'NEW GOLD'	NEW GOLD LANTANA
	EREMOPHILA GLABRA	'MIGNEW GOLD'. OUTBACK SUNRISE EMU
inerts		
	3/4" MINUS DECOMPOSED GRANITE	MAHOGANY



planting key notes

- | | |
|--|---|
| 1 PROPERTY LINE / RIGHT OF WAY LINE | 8 CURB. SEE CIVIL ENG. PLANS. |
| 2 DECOMPOSED GRANITE IN ALL PLANTING AREAS | 9 FREE STANDING SCREEN WALL. SEE ARCH. PLANS. |
| 3 SIGHT VISIBILITY TRIANGLE, MAXIMUM MATURE PLANT MATERIAL HEIGHT IN THE SIGHT VISIBILITY TRIANGLES IS 24 INCHES | 10 EXISTING UTILITIES BOX LOCATION. |
| 4 ACCESSIBLE RAMP. SEE CIVIL ENG. PLANS. | 11 TRASH ENCLOSURE. SEE ARCHITECT'S SITE PLAN. |
| 5 CONCRETE SIDEWALK. | 12 UNDERGROUND STORMWATER RETENTION TANK. SEE CIVIL ENG. PLANS. |
| 6 SITE LIGHTING. SEE ARCH. PLANS. | 13 ELECTRIC SES CABINET ON CONCRETE 4" SLAB. |
| 7 EXISTING SITE LIGHTING. | 14 FDC AND KNOX BOX. |





plant legend

botanical name
common name

- trees**
- PISTACIA X. RED PUSH
RED PUSH PISTACHE
 - PROSOPIS SEEDLESS
HYBRID 'AZT™'
'AZT™' SEEDLESS
HYBRID MESQUITE
- shrubs**

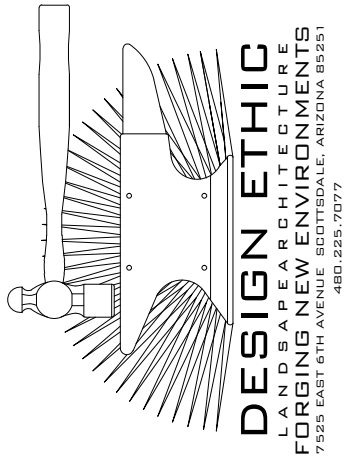
- BOUGAINVILLEA 'LA JOLLA'
LA JOLLA BOUGAINVILLEA
- LEUCOPHYLLUM CANDIDUM
THUNDER CLOUD
- SENNA ARTEMISIOIDES
FEATHERY CASSIA
- TECOMA ALATA
ORANGE JUBILEE
- TECOMA STANS
YELLOW BELLS

- accents**
- ALOE BARBADENSIS
ALOE VERA
 - DASYLIRION WHEELERI
DESERT SPOON
 - HESPERALOE PARVIFLORA
RED YUCCA
 - MUHLENBERGIA RIGENS
DEER GRASS
- groundcover**
- LANTANA 'NEW GOLD'
NEW GOLD LANTANA
 - EREMOPHILA GLABRA
'MIGNEW GOLD'.
OUTBACK SUNRISE EMU

- inerts**
- 3/4" MINUS
DECOMPOSED GRANITE
MAHOGANY



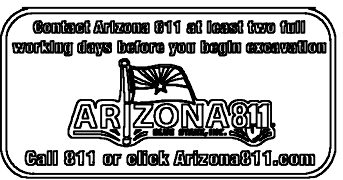
SCALE: 1" = 30'-0"



PROOF PEST
1331 N. LELAND CT.
GILBERT, AZ 85233

JOB NO: 22-053
SUBMITTED: 09.06.22

RENDERING



PROOF PEST CONTROL GILBERT CONCEPT GRADING & DRAINAGE AND UTILITY PLAN

1331 N. LELAND CT., GILBERT, AZ

DEVELOPER/OWN...

PROOF PEST CONTROL
3990 E. RIGGS RD. #1
CHANDLER, AZ 85249
PHONE: (801) 318-9557
CONTACT: ALLEN
EMAIL: ALLAN@PROOFPEST.COM

ENGINEER:

SBL ENGINEERING, LLC.
1957 E. SUNBURST LANE,
TEMPE, AZ 85284
PH: (602) 326-5848
FX: (480) 619-6334
CONTACT: CRAIG BAKER
EMAIL: CRAIG@SBL-ENG.COM

PARCEL & SITE ADDRESS

APN: 302-12-606
SITE ADDRESS: 1331 N. LELAND CT., GILBERT, AZ 85233
ZONING: U-LIGHT INDUSTRIAL

FLOOD ZONE

THIS PROPERTY IS LOCATED ON THE FLOOD INSURANCE RATE MAP(FIRM) ZONE X. COMMUNITY NUMBER 040044 MAP NUMBER AND SUFFIX 04013C2731M PANEL NUMBER 2731 EFFECTIVE DATE OF FIRM NOVEMBER 04, 2015.

SITE AREA

AREA 29,606 SQ. FT. OR 0.68 ACRES
DISTURBED AREA 29,606 SQ. FT. OR 0.68 ACRES

LEGAL DESCRIPTION:

LOT 22, FULLER COMMERCIAL CENTER, ACCORDING TO THE PLAT RECORDED IN BOOK 783 OF MAPS, PAGE 40 AND AFFIDAVIT OF CORRECTION RECORDED IN DOCUMENT NO. 2007-124302 RECORDS OF MARICOPA COUNTY, ARIZONA.

BENCHMARK

MARICOPA COUNTY POINT NAME: 22017-1M
NORTH 1/4 CORNER SECTION 2, T1S, R5E
MARICOPA COUNTY ALUMINUM CAP 0.3" DOWN
STAMPED "T1N R5E 1/4 S2 T1S R5E 2003 RLS 21782"
ELEVATION= 1216.00 NAVD88

BASIS OF BEARING

BEARINGS ARE BASED ON THE MONUMENT LINE OF MERRILL AVENUE, WHICH BEARS N89°48'02"E, AS SHOWN ON FULLER COMMERCIAL CENTER, RECORDED IN BOOK 783 OF MAPS, PAGE 40, M.C.R.

RETENTION STATEMENT:

SITE IS CURRENTLY DESIGNED TO RETAIN THE 50 YEAR / 24 HOUR STORM EVENT. CURRENT VOLUME FOR THE SITE IS RETAINED IN 2 UNDERGROUND RETENTION PIPES. THE CONSTRUCTION OF THE NEW BUILDING PARKING AND LANDSCAPE AREA WILL SURFACE DRAIN TO THE UNDERGROUND STORAGE TANKS. THE SITE WILL BE USING THE 0.95 FOR THE RUNOFF COEFFICIENT. 2 DRY WELLS WILL BE INSTALLED TO DISSIPATE THE RETENTION VOLUME WITHIN THE 36 HOUR TIME FRAME REQUIRED.

DRAINAGE AREA "1" RETENTION REQUIRED	DRAINAGE AREA "1" RETENTION PROVIDED	DRAINAGE AREA "2" RETENTION REQUIRED	DRAINAGE AREA "2" RETENTION PROVIDED
3,040 CF	3,127 CF	3,992 CF	4,039 CF

RETENTION CALCULATIONS

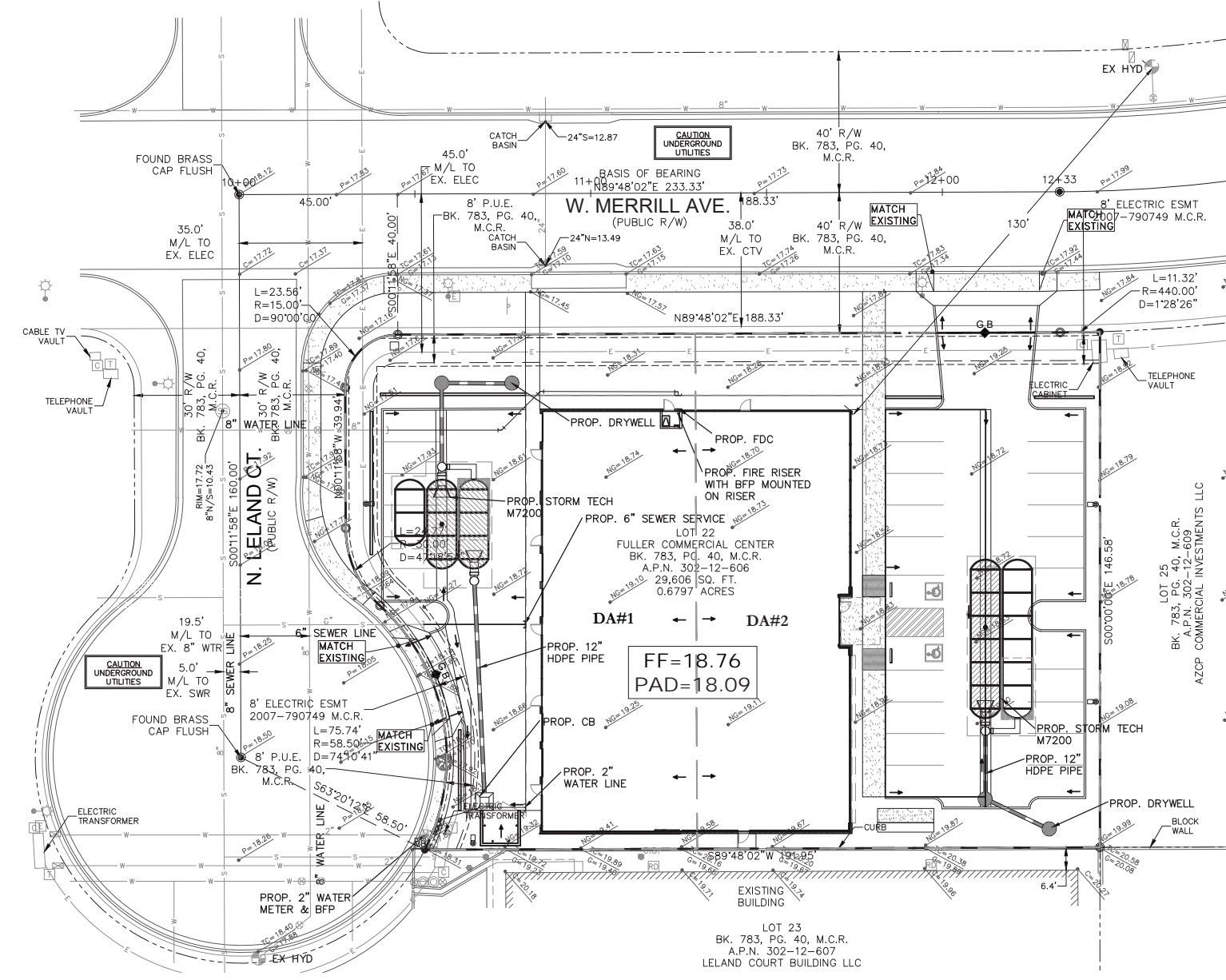
RETENTION VOLUME REQUIRED		WHERE: Vr = VOLUME REQUIRED C = RUNOFF COEFFICIENT D = 50 YR-24HR INTENSITY IN FT A = AREA IN SQUARE FEET	
$Vr = (0.12) \cdot C \cdot A (1,10)$			
SITE AREA = 0.68 AC., 29,606 sf			
$Vr = (0.25)(0.95)(29,606)$			
TOTAL RETENTION VOLUME REQUIRED Vr = 7,031 cf Total	TOTAL RETENTION VOLUME PROVIDED Vr = 7,079 cf Total		

EX. LEGEND

- FOUND BRASS CAP IN HAND HOLE
- SET 1/2" REBAR W/ CAP, RLS #59124
- UTILITY POLE
- ELECTRIC METER
- ELECTRIC JUNCTION BOX
- LIGHT POLE W/ARM
- SIGN
- GATE
- IRRIGATION CONTROL VALVE
- WATER METER
- WATER VALVE
- SEWER TAP BLUESTAKE
- GAS LINE BLUESTAKE
- SANITARY SEWER MANHOLE
- CONCRETE
- ASPHALT PAVING
- EXISTING BUILDING
- BOUNDARY LINE
- CENTER LINE
- RIGHT OF WAY
- PARCEL LINE
- CHAIN LINK FENCE
- BLOCK WALL
- RIGHT-OF-WAY
- R/W
- M.C.R. MARICOPA COUNTY RECORDS
- AZLS ARIZONA REGISTERED LAND SURVEYOR
- APN ASSESSOR PARCEL NUMBER
- PALO VERDE TREE
- TREE (UNKNOWN TYPE)
- 1000.00 GROUND ELEVATION

PROP. LEGEND

- G.B. GRADE BREAK
- DRAINAGE FLOW
- CURB OPENING
- FF=32.50 PAD=31.83 FINISH FLOOR



TOG DRYWELL STATEMENT

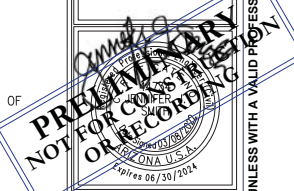
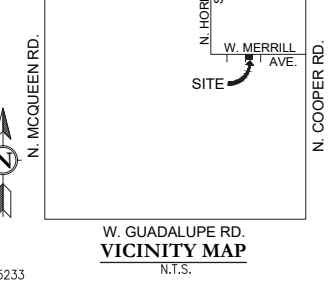
"ALL DRYWELLS SHOWN ON THIS PROJECT SHALL BE MAINTAINED BY THE OWNERS AND ARE TO BE REPLACED BY THE OWNER WHEN THEY CEASE TO DRAIN THE SURFACE WATER IN A THIRTY-SIX-HOUR PERIOD. REGULAR MAINTENANCE OF THE DRYWELL SILLING CHAMBER IS REQUIRED TO ACHIEVE THE BEST OPERATION OF THE DRYWELL."

TOG RETENTION STATEMENT

ALL RETENTION BASINS MUST DRAIN ANY STORM EVENT UP TO AND INCLUDING THE FIFTY-YEAR, TWENTY-FOUR HOUR STORM WITHIN THIRTY-SIX (36) HOURS. OWNER(S) OF ANY BASIN FAILING TO MEET THIS REQUIREMENT MUST TAKE CORRECTIVE ACTION TO BRING THE BASIN INTO COMPLIANCE.

DRYWELL POLICY

- A. THE TOWN OF GILBERT PERMITS THE USE OF DRYWELLS TO DRAIN RETENTION AREAS IF THERE IS NO OTHER CONVENIENT METHOD AVAILABLE TO DRAIN THE SITE, AND WHERE THE DRYWELLS HAVE BEEN DESIGNATED AND CONSTRUCTED ACCORDING TO THE GUIDELINES OF THIS POLICY.
- B. IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN THE DRYWELL. DRYWELLS THAT CEASE TO DRAIN A PROJECT WITHIN A THIRTY-SIX HOUR PERIOD ARE TO BE REPLACED WITH NEW ONES WHERE ALTERNATE METHODS OF DRAINAGE ARE STILL NOT AVAILABLE.
- 1. DRYWELL DESIGN AND CONSTRUCTION
 - A. THE TOWN OF GILBERT STANDARD DRYWELL IS THE MAXWELL IV. IT OR AN APPROVED EQUAL SHALL BE USED. ALL DRYWELL DETAILS SHALL BE SHOWN ON THE CONSTRUCTION DRAWINGS.
 - B. THE NUMBER OF DRYWELLS USED SHALL BE SUCH THAT THE VOLUME TO BE DRAINED BY EACH WELL SHALL NOT EXCEED FORTY-THREE-THOUSAND FIVE-HUNDRED (43,500) CUBIC FEET. THE ENGINEER SHALL SUBMIT INFORMATION SUBSTANTIATING THE NUMBER OF DRYWELLS.
 - C. OFFSET DRYWELLS A MINIMUM OF TWENTY (20) FEET FROM ANY BASIN SURFACE INLET.
 - D. WHEN A DRYWELL IS CONSTRUCTED IN A LANDSCAPED BASIN THE RIM OF THE DRYWELL SHALL BE TWO (2) INCHES ABOVE THE FINISHED BASIN ELEVATION.
 - E. DRYWELLS ARE TO REMAIN SEALED UNTIL ALL PAVING OR BASIN LANDSCAPING IS COMPLETED (OR AT LEAST UNTIL NEW GRASS IS STABLE) THEN TO BE UN-SEALED AND INSPECTED.
 - F. DRYWELLS ARE TO HAVE A MINIMUM SETTLING BASIN DEPTH OF NINETEEN (19) FEET, THIRTY-INCH BOLT DOWN GRATES AND SHALL PENETRATE A MINIMUM OF TEN (10) FEET INTO HIGHLY PERMEABLE SOILS.
 - G. DRYWELLS ARE TO BE SPACED A MINIMUM OF SEVENTY-FIVE (75) FEET CENTER TO CENTER.
 - H. NO ALLOWANCE MAY BE TAKEN FOR DRYWELL VOLUME IN BASIN CAPACITY CALCULATIONS.
 - I. THE ENGINEERING DEPARTMENT SHALL INSPECT EACH WELL SITE PRIOR TO PLACEMENT OF THE LINER AND BACKFILL TO VERIFY TEN (10) FEET PENETRATION INTO SAND AND GRAVEL. WHERE IT IS UNCLEAR WHETHER SAND AND GRAVEL HAS BEEN PENETRATED, A PERCOLATION TEST SHALL BE PERFORMED IN THE FOLLOWING MANNER. DRYWELL TEST: THE DRYWELL SHALL BE FILLED WITH CLEAN WATER UNTIL THE RATE OF INFLOW AND THE PERCOLATION RATE HAVE STABILIZED FOR A PERIOD OF ONE HOUR. IF THE RATE OF INFLOW IS GREATER THAN OR EQUAL TO 0.5 CFS, THE DRYWELL SHALL BE CONSIDERED ACCEPTABLE. IF THE RATE OF INFLOW IS LESS THAN 0.5 CFS, THE SUCCEEDING DRYWELLS INSTALLED SHALL BE INCREASED IN DEPTH OR THE TOTAL NUMBER OF DRYWELLS ON THE PROJECT INCREASED TO MAKE UP THE DIFFERENCE.
 - J. DRYWELLS SHALL NOT BE CONSTRUCTED WITHIN THE STREET RIGHT-OF-WAY.



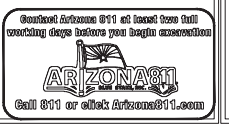
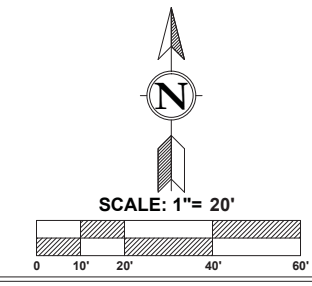
PROOF PEST CONTROL GILBERT
1331 N. LELAND COURT, GILBERT, AZ
CONCEPT GRADING & DRAINAGE PLAN

DATE

DATE:	09/08/22
PROJ. NO.:	22-150
DESIGN:	JS
DRAWN:	JL
CHECK:	CB
SCALE:	1"=20'
CAD FILE:	22150GD

CONCEPT PLAN
CG1
1 of 1

DR22-155 Industrial Flex Building Attachment 2: Aerial Photo



INFORMATIONAL COPY ONLY UNLESS WITH A VALID PROFESSIONAL SEAL AND SIGNATURE

CITY#

NOTE 11/30/22: This document has not been formally reviewed yet and is a proposed concept in response to 1st review comments.

DR22-155 Industrial Flex Building Attachment 6: Building Elevations



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Project Management
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andrew@merchantdesigngroup.com



ADDRESSING:
RETURNED FOR CORRECTIONS - 10/11/2022
JON POWELL, ADDRESS AUTHORITY
IT DEPARTMENT
jon.powell@gilbertaz.gov
480.503.6881

991 W MERRILL AVE

Proof Pest
OFFICE BUILDING
1801 N. ELLAND CT
GILBERT, AZ 85233

03/16/22 PRELIM SITE PLAN
03/23/22 PRE-APP SUBMITTAL
08/03/22 SITE DR SUBMITTAL

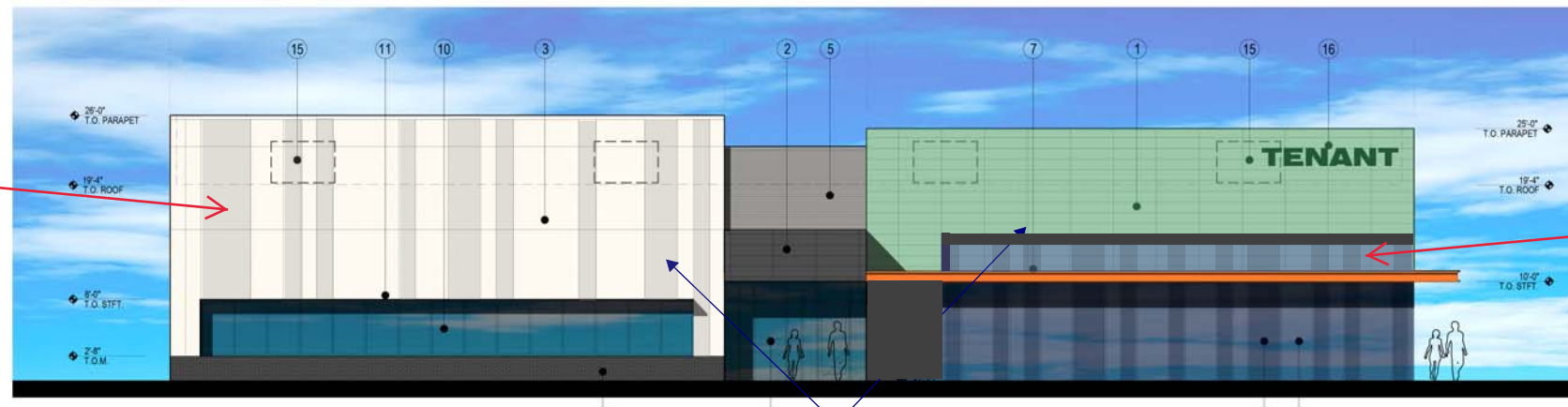
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Can you provide me with a brief explanation on why you chose these colors? Are they corporate colors or just preferred?

PROJECT NO: mdg 22011
DRAWN BY: MM
DESIGNED BY: ATM
REVIEWED BY: ATM

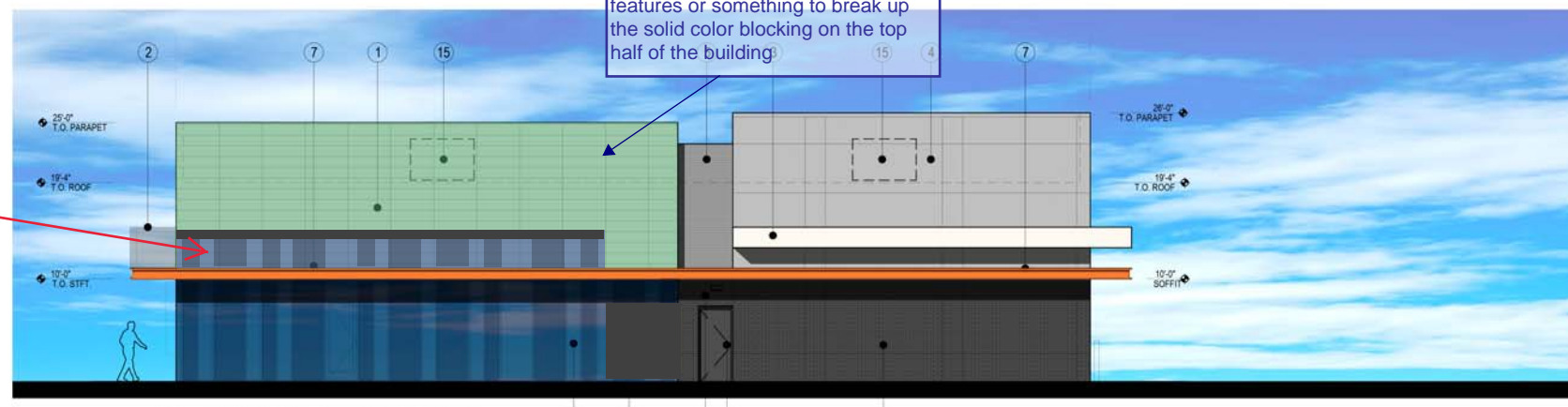
ELEVATIONS

A4.0



1 EAST ELEVATION
1/8" = 1'-0"

These elevations need something. Add an additional canopy or accent features or something to break up the solid color blocking on the top half of the building.

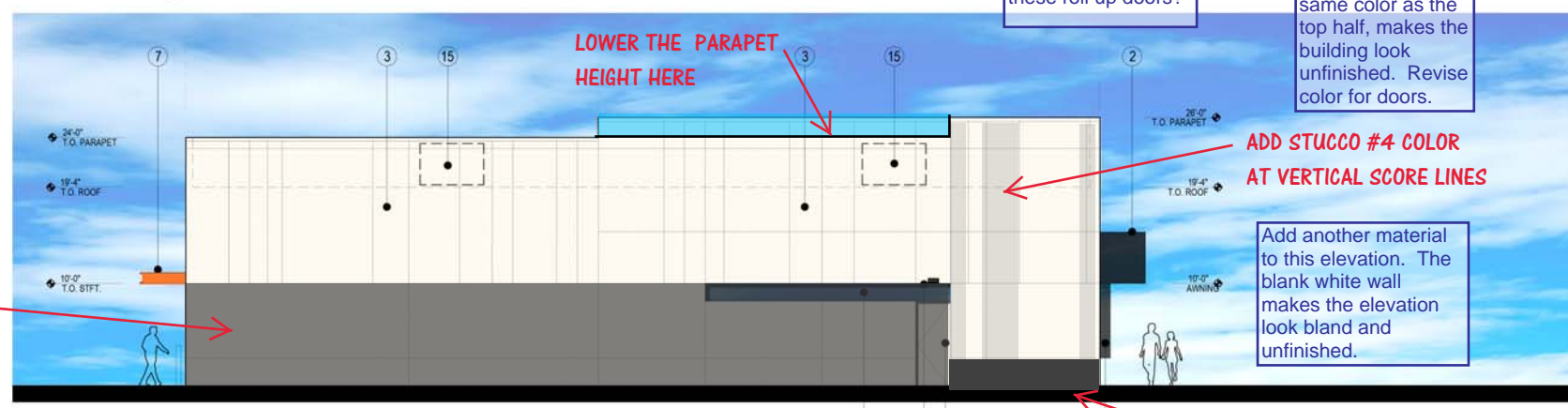


2 NORTH ELEVATION
1/8" = 1'-0"



3 WEST ELEVATION
1/8" = 1'-0"

NOTE: Ensure that canopy signs have a way to be mounted without a visible raceway. Raceway cannot be mounted on top of the canopy or on the front of the canopy and must be completely hidden from view.



4 SOUTH ELEVATION
1/8" = 1'-0"

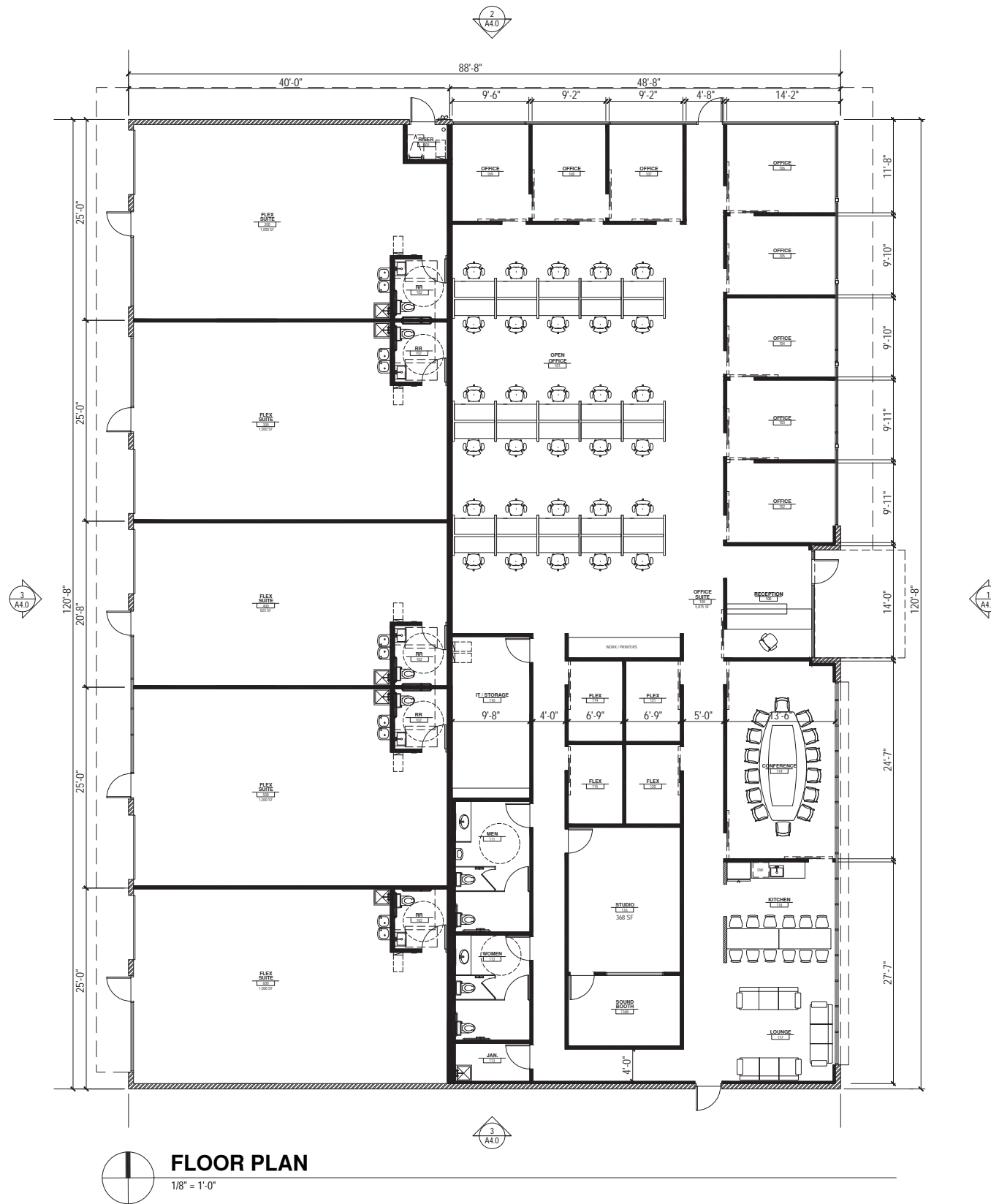
MATERIALS & FINISHES

- | | |
|--|---|
| <ul style="list-style-type: none"> 1 CEMENT FIBER PANEL CEMENT BOARD FABRICATORS SILBONIT "OLIVE NATURAL" 2 CEMENT FIBER PANEL AWNING CEMENT BOARD FABRICATORS SILBONIT "ASH NATURAL" 3 STUCCO PANEL PAINT DEW380 "WARM WHITE" 4 STUCCO PANEL PAINT DE6220 "POROUS STONE" 5 HORIZONTAL METAL PANEL CENTRIA STYLE RIB PANEL COLOR 9917 "LIGHT GRAY" 6 BLOCK VENEER: 4X4X16" 44F "STRETCHER" CABCO "BLACK MOUNTAIN" 7 12" STEEL CHANNEL AWNING PAINT DEA112 "EXUBERANT ORANGE" 8 ARCADIA STOREFRONT SYSTEM ASL451, "DARK BRONZE" VITRO "PACIFICA" TINTED GLASS | <ul style="list-style-type: none"> 9 ARCADIA STOREFRONT SYSTEM ASL451, "DARK BRONZE" VITRO "OPTIBLUE" TINTED GLASS 10 ARCADIA STOREFRONT SYSTEM ASL451, "DARK BRONZE" SOLARBAN 60 #3 GLASS 11 METAL AWNING 12" X 1/2" STEEL PLATE BLACK OXIDE PATINA FINISH 12 WALL SCONCE LIGHT FIXTURE SHIELDED BODY, "DARK BRONZE" 13 METAL DOOR PAINT DEW380 "WARM WHITE" 14 METAL DOOR PAINT DE6385 "BLACK BEAN" 15 MECHANICAL UNIT SCREENED BY WALL PARAPET TENANT 16 TENANT SIGNAGE UNDER SEPARATE APPROVALS |
|--|---|



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FLOOR PLAN
1/8" = 1'-0"

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OFFICE BUILDING
1331 N. LELAND CT.
GILBERT, AZ 85233

03/16/22 PRELIM SITE PLAN
03/29/22 PRE-APP SUBMITTAL
08/03/22 SITE/DR SUBMITTAL

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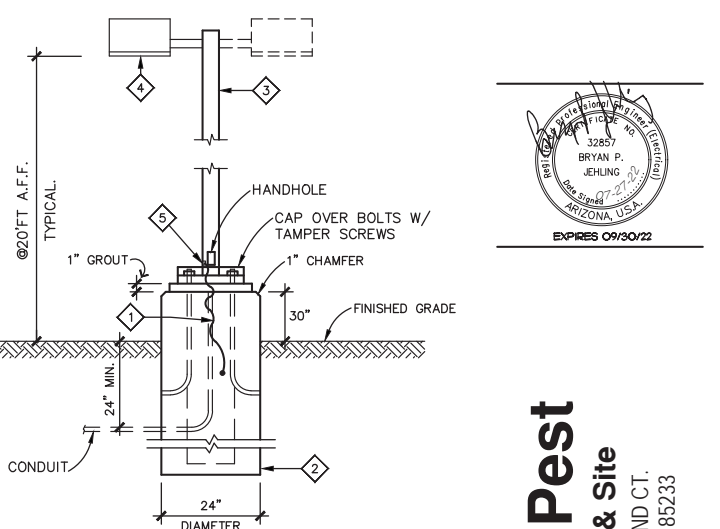
PROJECT NO: mdg 22011
DRAWN BY: MM
DESIGNED BY: ATM
REVIEWED BY: ATM

FLOOR PLAN

**DR22-155 Industrial Flex Building
Attachment 8: Lighting Photometric Plan**

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A. ALL EXTERIOR LIGHT FIXTURES TO COMPLY WITH LOCAL NIGHT SKY ORDINANCE.
B. ALL EXTERIOR ELECTRICAL EQUIPMENT TO BE NEMA-3R RATED.
C. ALL FIXTURES INSTALLED OUTDOORS SHALL BE RATED FOR DAMP/WET LOCATIONS AS REQUIRED. THE CONTRACTOR SHALL COORDINATE DAMP/WET LOCATION RATING PER NEC ARTICLE 410.10(A). ALL INSTALLATIONS SHALL CONFORM TO NEC ARTICLE 410.10, ALL SUB ARTICLES.
D. ALL EXTERIOR LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WITH THE LIGHTING IS LOCATED.
E. CONTRACTOR TO COORDINATE EXACT SITE LIGHTING FIXTURE LOCATIONS WITH LANDSCAPE DRAWINGS.



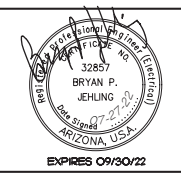
LIGHT POLE AND FIXTURE

NOTE:
CONTRACTOR SHALL PROVIDE NEW POLE BASES WHERE INDICATED ON PLANS. LIGHTING FIXTURE POLE DETAILS AND DESCRIPTIONS ARE FOR ELECTRICAL REFERENCES ONLY. THE POLE AND BASE SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARIZONA AND BE STAMPED AND SEALED ACCORDINGLY AS A DEFERRED SUBMITTAL.

KEYED NOTES :

- #4 BARE CU. CONDUCTOR, 20'-0" LONG, COILED CONTINUOUS WITHIN THE LIGHT POLE BASE AND BONDED TO REBAR. NOTE: WIRE MAY BE COILED AT THE BASE OF HOLE.
- CONCRETE BASE SEE STRUCTURAL DRAWINGS.
- 4" SQUARE TO MATCH FIXTURE (100mph RATED)
- SEE FIXTURE SCHEDULE FOR TYPE.
- PROVIDE (2) LUG TERMINAL ATTACHED TO GROUND STUD.

N.T.S.



**Proof Pest
Building & Site**
1331 N. LELAND CT.
GILBERT, AZ 85233

03/16/22	PRELIM SITE PLAN
03/29/22	PRE-APP SUBMITTAL

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PA #22-39

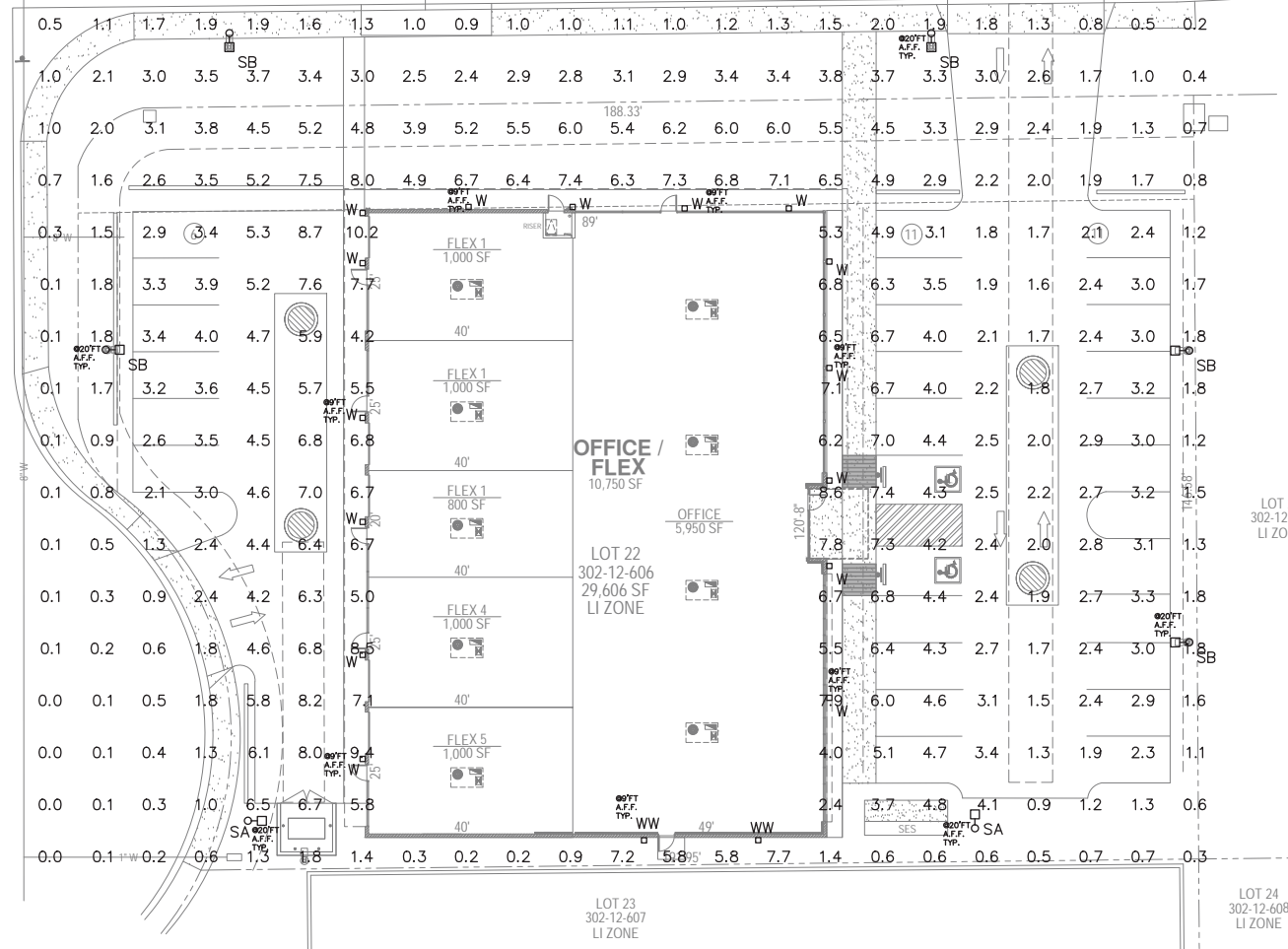
PROJECT NO: mdg 22011
DRAWN BY: MM
DESIGNED BY: ERC
REVIEWED BY: KJH

MAVEN ENGINEERING
Job #22RLG226
Tel: (480) 303-0180
Fax: (480) 302-7927
8011 S Avenida del Yeuil
Guadalupe, Arizona 85283

PHOTOMETRIC PLAN
E0.0

Note: Any changes made to final bid documents due to field changes will be billed hourly to the contractor.

W. MERRILL AVE.



PHOTOMETRIC PLAN
1" = 20'-0"

CALLOUT	SYMBOL	LAMP	MODEL	DESCRIPTION	BALLAST	MOUNTING	INPUT WATTS	VOLTS
SA		(1) 54W LED,	Lithonia Lighting, DSX1 LED P1 40K RCCO MVOLT	DSX1 LED P1 40K RCCO MVOLT	STANDARD	POLE	54	MULTIPLE
SB		(1) 54W LED,	Lithonia Lighting, DSX1 LED P1 40K BLC MVOLT	DSX1 LED P1 40K BLC MVOLT	STANDARD	POLE	54	MULTIPLE
W		(1) 12W LED,	Lithonia Lighting, DSXW1 LED 20C 530 40K TFM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFM OPTIC, 4000K, @ 530mA.	STANDARD	WALL	34.9	MULTIPLE
WW		(1) 12W LED,	Lithonia Lighting, WST LED P1 40K VW MVOLT	WST LED, Performance package 1, 4000 K, visual comfort wide, MVOLT	STANDARD	WALL	12	MULTIPLE

D-Series Size 1 LED Area Luminaire
d'series

Specifications:
EPA: 1.05 ft² (0.096 m²)
Length: 33" (841 mm)
Width: 13" (330 mm)
Height H1: 7-1/2" (190 mm)
Height H2: 3-1/2" (89 mm)
Weight (max): 27 lbs (12.2 kg)

Introduction:
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information
EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRH N DBBTD

DSX LED	LEDs	Color Temperature	Distribution	Voltage	Mounting	Shipped included	Shipped separately
DSX1 LED	Forward optics P1 P4* P7* P2 P5* P8 P3 P6* P9	30K 4000K 40K 4000K 50K 5000K	T25 Type I Short T35 Type II Short T2M Type I Medium T2S Type II Short T3M Type II Medium T4M Type II Medium T5M Type II Medium	120V 208V 240V 277V 347V 480V	Surface mount Surface mount Wall bracket Surface post universal mounting adapter Round pole universal mounting adapter KNA8 DBBTD U	Square pole mounting Round pole mounting Wall bracket Square post universal mounting adapter Round pole universal mounting adapter Must arm mounting bracket/adapter (specify trade)	SA Surface mount SB Surface mount W Wall bracket WW Round pole universal mounting adapter KNA8 DBBTD U Must arm mounting bracket/adapter (specify trade)

D-Series Size 1 LED Wall Luminaire
d'series

Specifications:
Width: 13-3/4" (349 mm)
Depth: 10" (254 mm)
Height: 6-3/8" (161 mm)
Weight: 12 lbs (5.4 kg)

Back Box (BBW, E20WC)
Width: 13-3/4" (349 mm)
Depth: 4" (102 mm)
Height: 6-3/8" (161 mm)
Weight: 5 lbs (2.3 kg)
Weight: 10 lbs (4.5 kg)

Introduction:
The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information
EXAMPLE: DSXW1 LED 20C 1000 40K T3M MVOLT DDBTDX

DSXW LED	LEDs	Driver Current	Color Temperature	Distribution	Voltage	Mounting	Control Options
DSXW1 LED	10C 10 LEDs 10M 10 LEDs 20C 20 LEDs 30C 30 LEDs 40C 40 LEDs 50C 50 LEDs	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A) 1400 1400 mA 2000 2000 mA	30K 4000K 40K 4000K 50K 5000K 60K 6000K 70K 7000K 80K 8000K	T25 Type I Short T35 Type II Short T2M Type I Medium T2S Type II Short T3M Type II Medium T4M Type II Medium T5M Type II Medium	120V 208V 240V 277V 347V 480V	Surface mount Surface mount Surface mount Surface mount Surface mount Surface mount Surface mount	Photometric cell, button type 0-10V dimming when pulled outside fixture (for use with an external control, ordered separately) 180° motion/lambert light sensor, <15' mtg ht 180° motion/lambert light sensor, 15-30' mtg ht Motion/lambert sensor, 15-30' mounting height, ambient sensor enabled at 16' 180° motion/lambert sensor, 15-30' mounting height, ambient sensor enabled at 16' 180° motion/lambert sensor, 15-30' mounting height, ambient sensor enabled at 16' Emergency battery backup (includes external component enclosure, CA file 20 compliant)

WST LED Architectural Wall Sconce
WST LED

Specifications:
Width: 13" (330 mm)
Depth: 4" (102 mm)
Height: 4" (102 mm)
Weight: 12 lbs (5.4 kg)

Introduction:
The WST LED Architectural Wall Sconce is a sleek, modern lighting solution for building-mount applications. It features a low-profile design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the WST LED is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information
EXAMPLE: WST LED P1 40K VF MVOLT DDBTDX

WST LED	Performance Package	Color Temperature	Distribution	Voltage	Mounting	Shipped included	Shipped separately
WST LED	P1 1,200lm Luminaire package P2 3,000lm Luminaire package P3 6,000lm Luminaire package	27K 2700K 30K 3000K 40K 4000K 50K 5000K	VF Visual comfort forward throw VW Visual comfort wide	120V 208V 240V	Surface mount Surface mount	(Black) Surface mounting bracket Surface mount back box	Premium surface-mounted back box

- ① CEMENT FIBER PANEL
CEMENT BOARD FABRICATORS
SILBONIT "OLIVE NATURAL"
- ② CEMENT FIBER PANEL AWNING
CEMENT BOARD FABRICATORS
SILBONIT "ASH NATURAL"
- ③ STUCCO PANEL
PAINT DEW380 'WARM WHITE'
- ④ STUCCO PANEL
PAINT DE6220 'POROUS STONE'
- ⑤ HORIZONTAL METAL PANEL
CENTRIA STYLE RIB PANEL
COLOR 9917 'LIGHT GRAY'
- ⑥ BLOCK VENEER: 4X4X16 '44F
STRETCHER' CABCO
'BLACK MOUNTAIN'
- ⑦ 12" STEEL CHANNEL AWNING
PAINT DEA112 'EXUBERANT ORANGE'
- ⑧ ARCADIA STOREFRONT SYSTEM
ASL451, 'DARK BRONZE'
VITRO 'PACIFICA' TINTED GLASS

- ⑨ ARCADIA STOREFRONT SYSTEM
ASL451, 'DARK BRONZE'
VITRO 'OPTIBLUE' TINTED GLASS
- ⑩ ARCADIA STOREFRONT SYSTEM
ASL451, 'DARK BRONZE'
SOLARBAN 60 #3 GLASS
- ⑪ METAL AWNING
12" X 1/2" STEEL PLATE
BLACK OXIDE PATINA FINISH
- ⑫ WALL SCONCE LIGHT FIXTURE
SHIELDED BODY, 'DARK BRONZE'
- ⑬ METAL DOOR
PAINT DEW380 'WARM WHITE'
- ⑭ METAL DOOR
PAINT DE6385 'BLACK BEAN'
- ⑮ MECHANICAL UNIT SCREENED BY
WALL PARAPET
- TENANT** ⑯ TENANT SIGNAGE
UNDER SEPARATE APPROVALS



MATERIALS AND COLORS

Proof Pest
1331 S. LELAND COURT
GILBERT, AZ

MB
8/3/22