



NOTICE OF ADMINISTRATIVE DECISION

August 17, 2023

Sara O'Daniel
David A. Levy & Associates
345 Springside Dr.
Akron, OH 44333
Email: sodaniel@dalevy.com

RE: Administrative Design Review to amend the Master Sign Plan for the Warner Commons industrial Development located at the NEC of Recker and Warner Roads: PDR-2020-00179-S-A (**DR23-43**)

Dear Ms. O'Daniel:

Staff has reviewed and **approved** your Administrative Design Review **DR20-179-S-A (DR23-43)**, for approval of the amended Master Sign Plan for the Warner Commons industrial development located at the NEC Recker and Warner Roads, and zoned Light Industrial (LI) zoning district.

Staff has **approved** your request with the following conditions:

1. Construction of the monument signs shall conform to the exhibits submitted for this request. All exhibits are stamped administratively approved August 17, 2023.

If you have any questions regarding these findings, please contact me at (480) 503-6742 or Kristen.Devine@gilbertaz.gov.

Sincerely,

Kristen Devine

Kristen Devine
Planner II

WARNER COMMONS

4250 EAST WARNER ROAD | GILBERT, ARIZONA 85296

APPROVED

Administrative Design Review

Case # PDR-2020-00179-S-A

Date 08/17/2023

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GENERAL INFORMATION

PROJECT ADDRESS

Warner Commons
4250 E. Warner Rd.
Gilbert, AZ 85296

DEVELOPER

Petsas Commercial, LLC
8925 E. Pima Center Pkwy. Ste. 200
Scottsdale, AZ 85258

Bill Petsas
480-362-9611
bill.petsas@outlook.com

SIGNAGE CONSULTANT

Trademark Visual, Inc.
3825 S. 36th St.
Phoenix, AZ 85040
602-272-5055

Jim Bacher
jbacher@trademarkvisual.com

PARCEL INFORMATION

PARCEL NUMBER
304-18-010E

AREA IN ACRES
27.45 +/-

ZONING
LI - Light Industrial

ARCHITECT

Butler Design Group, Inc.
5017 E. Washington St. Ste. 107
Phoenix, AZ 85034

Toby Rogers
602-957-1800
trogers@butlerdesigngroup.com

NARRATIVE

Warner Commons consists of a proposed 388,897 sq building area split among four light industrial use freestanding buildings at the Northwest corner of E. Warner Road & Wren Drive in Gilbert, AZ. The purpose of this Master Sign Plan is to set a visually consistent fabrication and location sign standard for all future exterior signs at this site.

SIGN CRITERIA

These criteria have been developed to insure design compatibility among all signs at Warner Commons located at the Northwest corner of E. Warner Road and Wren Drive in Gilbert, Arizona. These criteria exist to maintain a continuity of quality and aesthetics throughout the site for the mutual benefit of all tenants, and to comply with the regulations of the local municipal sign and electrical codes. Conformance to these criteria will be strictly enforced. Any sign installed that is non-conforming to these criteria not approved by the Landlord must be removed or brought into conformance by the Tenant and/or its sign contractor.

Landlord shall approve all signs, in writing, prior to installation. Approval shall be for appearance only and not for code compliance. Sign permits must be obtained from the Town of Gilbert prior to the installation of permit required signs only.

I. GENERAL SIGNAGE REQUIREMENTS

- 1. The Landlord shall review the detailed shop drawings indicating the location, size, layout, design color, illumination materials and method of attachment (2 sets) and return one (1) set to Tenant marked "Approved", "Approved as Noted", or "Revise and Re-Submit".
- 2. "Revise and Re-Submit" drawings will be returned to the Tenant with comments. These drawings shall be revised by Tenant and re-submitted to the Landlord for its approval.
- 3. Upon receipt of Landlord approval, Tenant shall proceed with the Town of Gilbert permit process. Permit required signs shall not be installed prior to Town approval.
- 4. No signs, advertisements, notices or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of the Landlord.
- 5. Tenant and/or its representatives shall obtain all permits for any permit required exterior signs and their installation. Landlord shall be responsible for all requirements, specifications and costs.

- 6. Tenant shall have the sole responsibility for compliance with all applicable statutes/codes, ordinances or other regulations for all work performed on the premises by or on behalf of the Tenant.
- 7. The Landlord's approval of Tenant’s plans, specifications, calculations, or work shall not constitute an implication, representation, or certification by the Landlord that said items are in compliance with applicable statutes, codes, ordinances or other regulations.
- 8. All permit required signage is subject to Town of Gilbert approval and this Master Sign Plan. Landlord will support all applications for signs in compliance with this plan but cannot guarantee Town approval.
- 9. All signage shall be constructed and installed at Tenant's expense.
- 10. Tenant and the Tenant's contractor shall be responsible for the repair of any damage caused by installation or removal of any sign.
- 11. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- 12. All signs shall be fabricated using full welded construction.
- 13. All penetrations of the building structure required for sign installation shall be neatly sealed in a water tight condition.
- 14. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
- 15. All exposed metals shall be painted to render them inconspicuous.
- 16. No exposed raceways, crossovers, tubing or conduit will be permitted. All conductors, transformers, and other equipment shall be concealed.

- 17. All electrical signs shall be constructed to UL Standards.
- 18. All signs shall conform to International Building Code Standards.
- 19. All electrical signs shall conform to National Electrical Code Standards.
- 20. Tenant shall be liable for the operation of their sign contractor. Tenant shall be responsible for selecting a sign company that carries workers' compensation and commercial general liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs with limits of liability satisfying the requirements of the Lease.

- 21. Flashing, moving, or audible signs will not be permitted.
- 22. Tenant logo styled letters may be used. Copy content of the signage shall not include the product sold without prior approval of the Landlord.

II. WALL SIGNS

- 1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by the Landlord. Each tenant sign located on the first floor of a one or two story building shall be permitted a minimum sign area of thirty-two (32) square feet. Each tenant sign located on the second floor of a two story building shall not exceed seventy-five (75) square feet in allowable sign area.
- 2. Sign Allowance under this subsection shall mean “for buildings set back seventy-five (75) feet or less from the right-of-way, one (1) square foot of Sign Area for each one (1) lineal foot of the building elevation adjacent to the suite,” and “for buildings set back more than seventy-five (75) feet from the right-of-way, one and one-half (1.5) square feet of Sign Area for each one (1) lineal foot of building elevation adjacent to the suite.” The maximum sign allowance area, including all tenant signs and building signs, shall not exceed 50% of the lineal building elevation on the 2nd floor.

- 3. *Height and Length.* The height of a Wall Sign shall not exceed eighty (80) percent of the vertical dimension of the sign band or wall space on which the sign is placed. The length of a Wall Sign shall not exceed eighty (80) percent of the horizontal length of the exterior building elevation of a tenant suite.
 - 4. Wall signs shall consist of individual LED or Neon illuminated or non-illuminated pan channel or reverse pan channel letters with 3" to 5" Deep returns. FCO Aluminum letters and letters directly masked & painted to the wall may be used for smaller lettering if necessary. Cabinet signs & Projecting signs are prohibited as wall signs.
 - 5. All sign materials shall be quality in nature and include Aluminum, Steel, Stainless Steel, Acrylic, and Polycarbonate.
 - 6. Corporate Letterstyles, Logotype, Logo, and Colors may be used per Landlord Approval. In instances where a Tenant has no corporate color or identity, the Wall Sign is to be typeset in the font Korolev Bold and the color is to match DE 6371 ‘Black Jack’.
 - 7. *Placement.* Wall Signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character. Top floor signage located on multi-story buildings may span floor plates.
 - 8. All Tenant Wall Signs must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.
- III. STORE FRONT GRAPHICS
- 1. Standard white vinyl die cut copy may be used to display hours of business, emergency numbers, etc. All window graphics and displays shall be subject to the approval of the Landlord prior to fabrication or implementation. Not to exceed 25% of each first floor window area.
 - 2. Corporate Letterstyles, Logotype, Logo, and Colors may be used with Landlord Approval.
 - 3. All Store Front Graphics are to be installed to Tenant frontage windows/doors.

SIGN CRITERIA

4. All window signs shall meet the requirements of the Town of Gilbert:

- a. *Window Signs.* Window Signs are permitted in all zoning districts but may be placed in single-family residential zoning districts only in conjunction with non-residential uses as a permanent Wall Sign, provided that the Window Sign does not cover more than twenty-five percent (25%) of the area of any window. Window Signs may be internally illuminated. A sign permit is not required for a Window Sign.
- b. *Door Signs.* Door Signs are permitted provided that the Door Sign does not cover more than twenty-five percent (25%) of the area of any door. Door Signs shall not be illuminated. A sign permit is not required for a Door Sign.

IV. INDUSTRIAL MULTI-TENANT MONUMENT SIGN & TENANT PANELS

- 1. Nine (9) Single-Faced Multi-Tenant Monuments are permitted within the site for Industrial Tenant usage.
- 2. The height of these Monument Signs shall be no greater than twelve (12) feet to the top of design embellishments, and the Sign Faces shall be located between two (2) feet and ten (10) feet above grade with design embellishments added to the top, sides or bottom of the signs. The size of these Monument Signs shall not exceed sixty (60) square feet in area.
- 3. Monument Signs shall be set back a minimum of three (3) feet from the right of-way. Monument Signs shall maintain a minimum spacing of one hundred (100) feet from any other Monument Sign on the same street frontage.
- 4. Monument Sign Panels are to be fabricated of routed aluminum backed with acrylic. All panel faces are to be painted to monument cabinet color.

5. Corporate Letterstyles, Logotype, Logo, and Colors may be used. In instances where a Tenant has no corporate color or identity, tenant text is to be typeset in the font Korolev Medium and the color is to match DE 6371 ‘Black Jack’ during the day and illuminate white during the evening/night.

- 6. Tenant copy/logo not to exceed the monument face panel boundary.
- 7. All Industrial Multi-Tenant Monument Sign Panels must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

V. BUILDING STREET ADDRESS SIGNS

Each location of a business or non-residential use shall be clearly identified by or associated with a street address for first responders to locate the same as necessary to respond to any fire or public safety issue. These signs shall serve as visible street address and identifiers for delivery of mail and official governmental notification. Street Address Signs shall consist of non-illuminated reverse pan channel letters with 3" Deep returns. The numerals of all Street Address Signs shall be typeset in the font Korolev Bold and the color is to match DE 6371 ‘Black Jack’. Final size and placement of these signs is to be determined by the fire department.

VI. LOADING DOOR NUMBER SIGNS

Each loading door of a business or non-residential use shall be clearly identified by number. These number signs will be provided by the Landlord in order to keep a uniform appearance. The Loading Door Number Signs shall be non-illuminated 12" tall black numbers applied or printed to white .040 aluminum screwed flush to the wall above each dock door.

VII. BACK OF HOUSE SIGNS

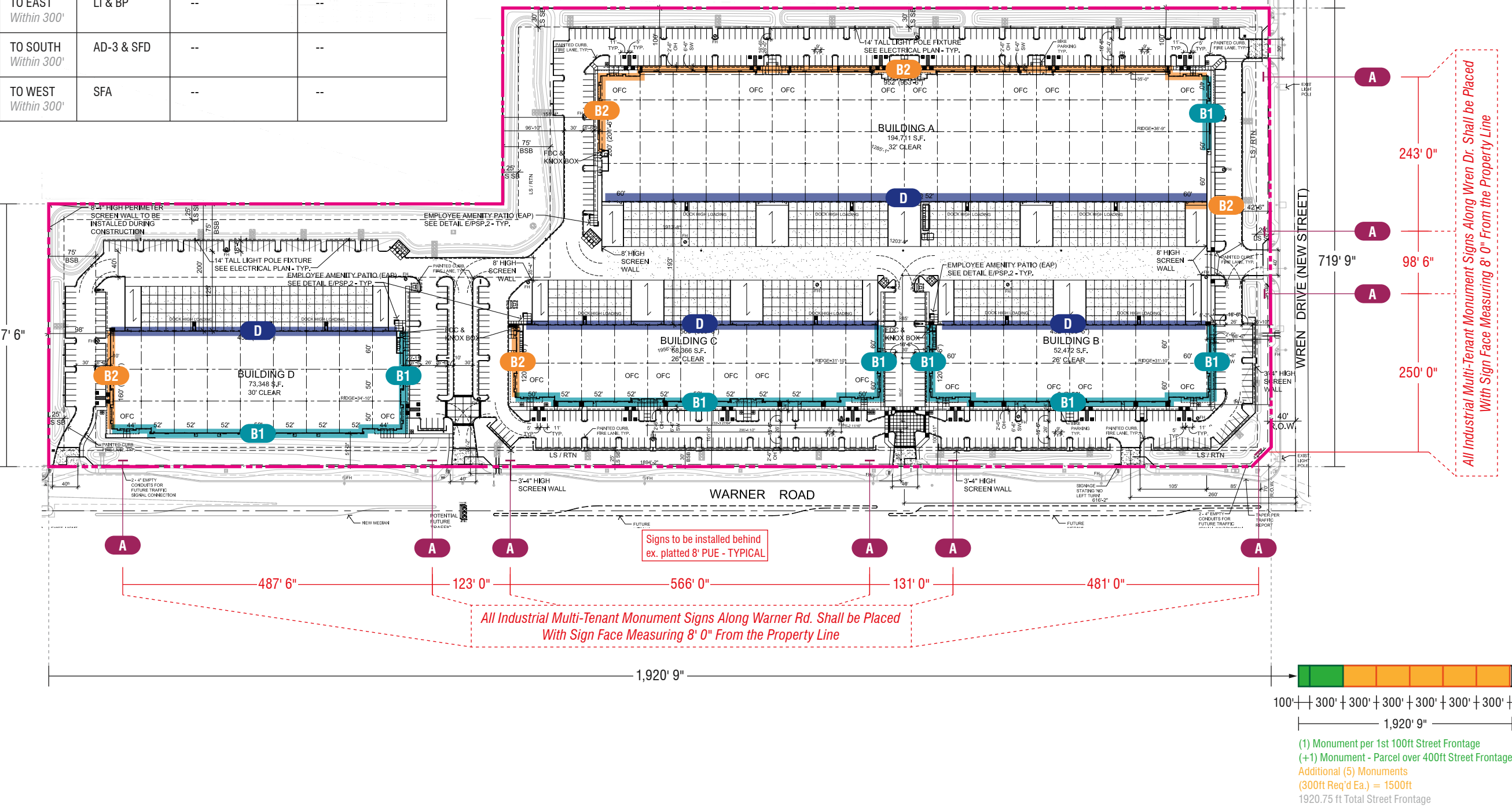
Back of House Signs shall include signage located in and around a back door entrance to a building and shall be permitted as shown on page 18 of this document, without counting towards the maximum sign area.

VIII. TEMPORARY SIGNS

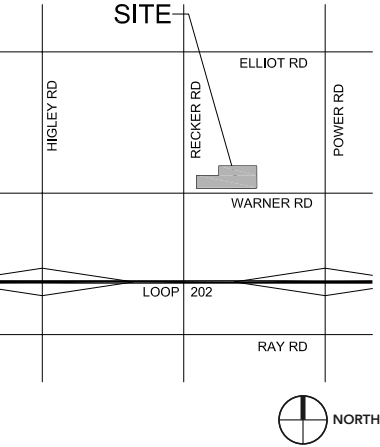
All temporary signs are allowed per the Town of Gilbert Land Development Code Section 5.6.9.

SITE MAP

PARCEL	ZONING	NET SITE AREA	FREESTANDING SIGNS
EXISTING	LI	27.45 ACRES	9 TOTAL (PROPOSED)
TO NORTH <i>Within 300'</i>	SFA & SFD	--	--
TO EAST <i>Within 300'</i>	LI & BP	--	--
TO SOUTH <i>Within 300'</i>	AD-3 & SFD	--	--
TO WEST <i>Within 300'</i>	SFA	--	--



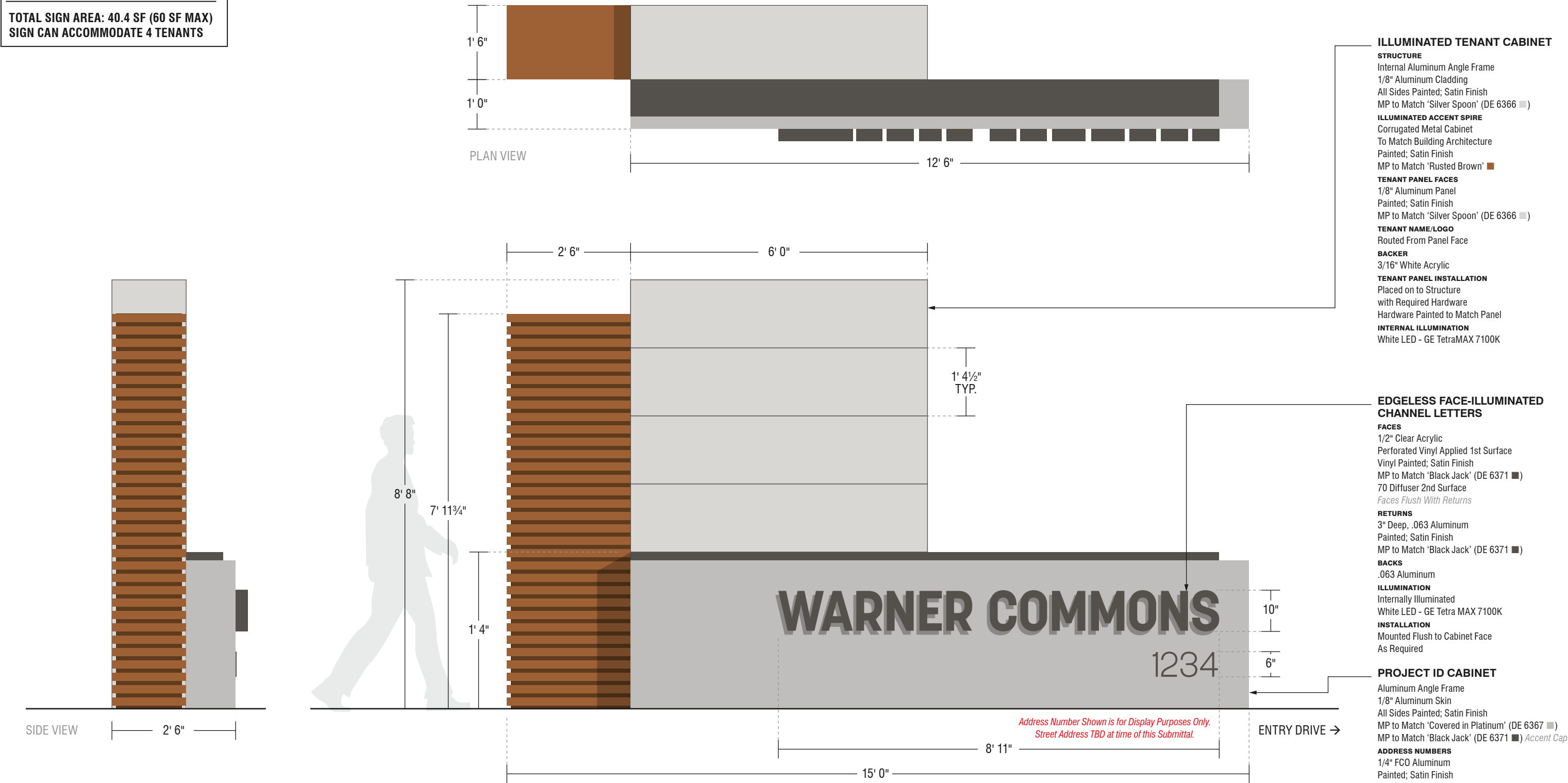
VICINITY MAP



INDUSTRIAL MULTI-TENANT MONUMENT SIGNS

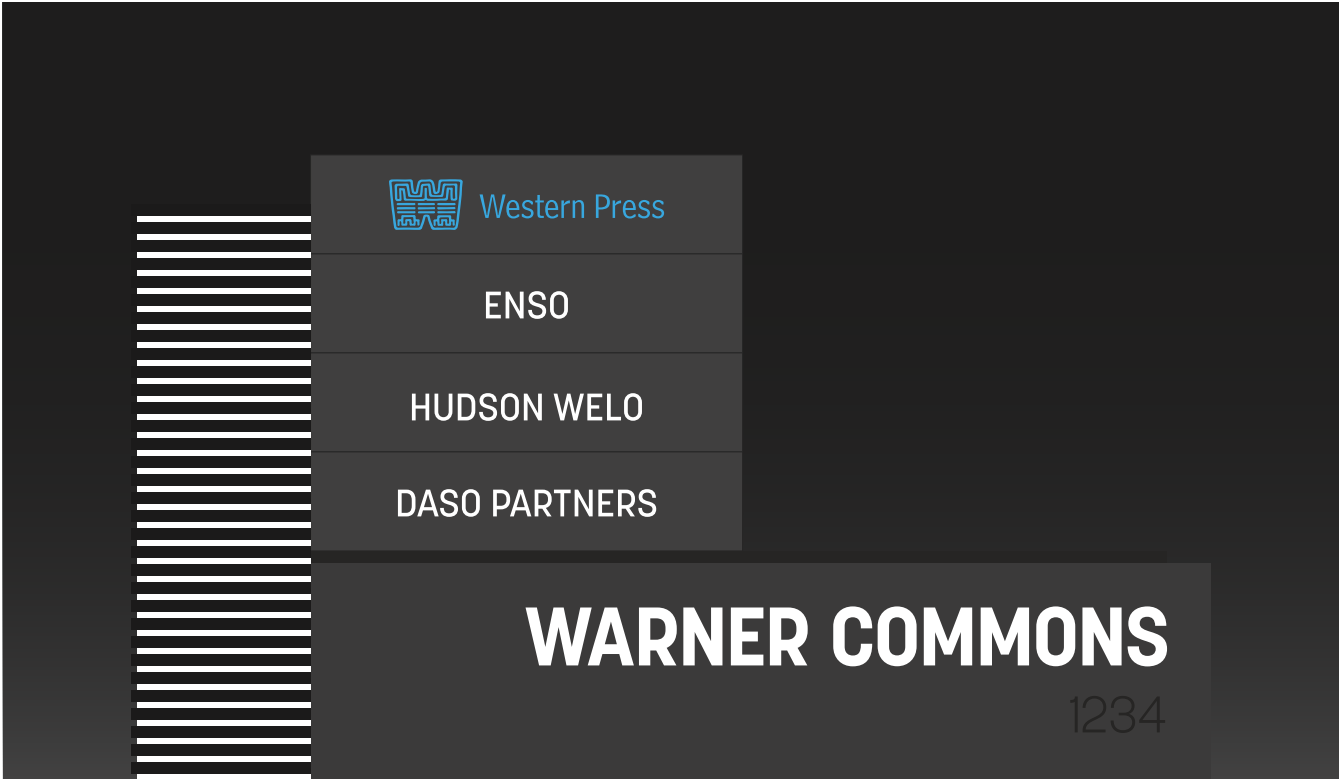
TENANT PANEL AREA = 33 SF
'WARNER COMMONS' AREA = 7.4 SF

TOTAL SIGN AREA: 40.4 SF (60 SF MAX)
SIGN CAN ACCOMMODATE 4 TENANTS

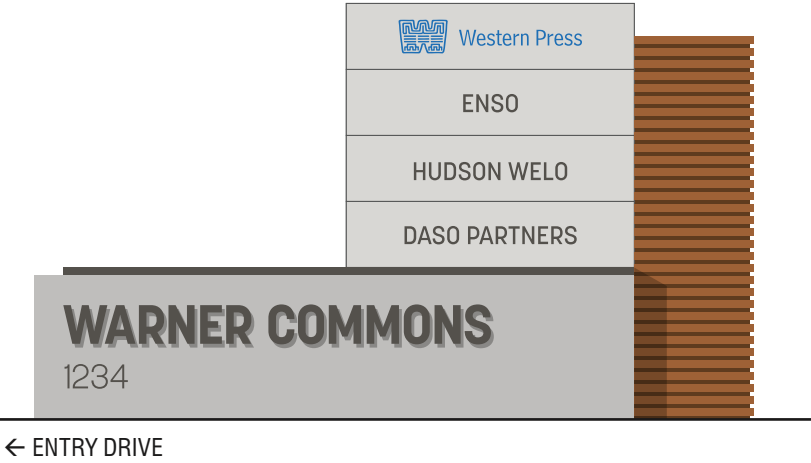


A Sign Detail - Orientation A
SCALE 1/2" = 1'0"

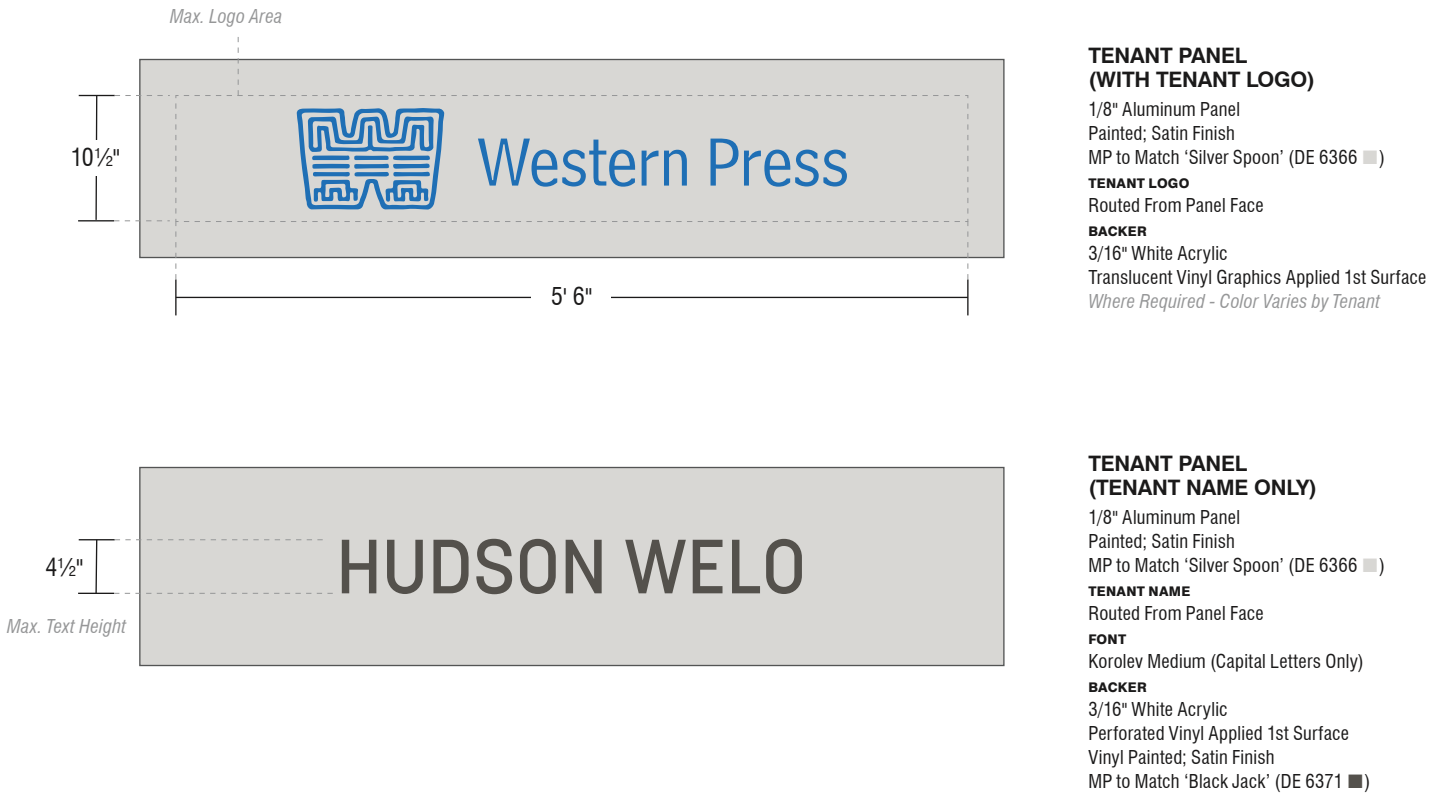
INDUSTRIAL MULTI-TENANT MONUMENT SIGNS



B Simulated Night View
SCALE 3/8" = 1'0"



C Orientation B
SCALE 1/4" = 1'0"



D Tenant Panel Detail
SCALE 3/4" = 1'0"

BUILDING STREET ADDRESS SIGNS



Address Number Shown is for Display Purposes Only.
Street Address TBD at time of this Submittal.

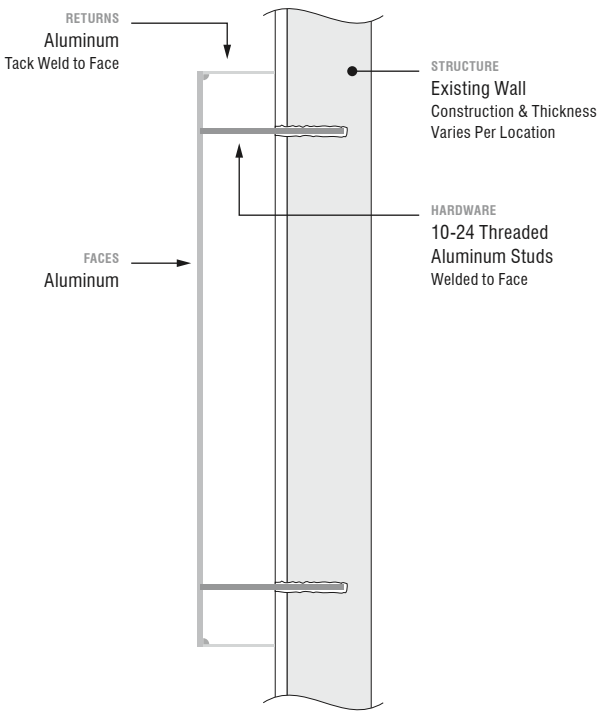
NON-ILLUMINATED
RPC LETTERS

FACES
1/8" Aluminum
Painted; Satin Finish
MP to Match 'Black Jack' (DE 6371 ■)

RETURNS
3" Deep, .063 Aluminum
Painted; Satin Finish
MP to Match 'Black Jack' (DE 6371 ■)

FONT
Korolev Bold

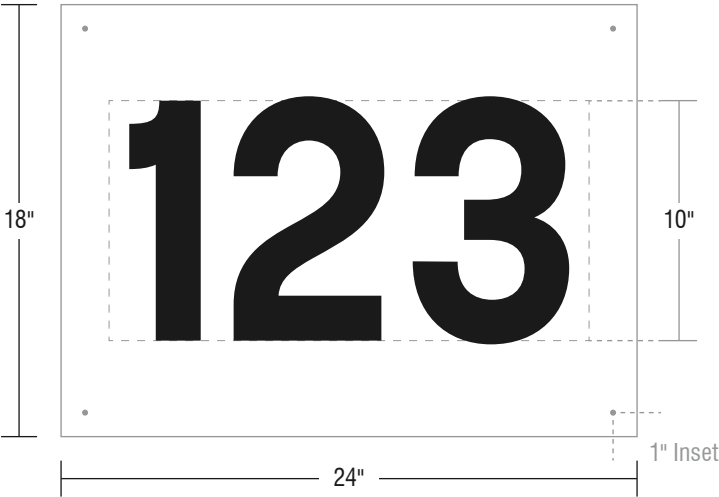
INSTALLATION
Stud Mounted Flush to Building Surface
in Locations Determined by the Fire Department



A Sign Detail
SCALE 1-1/2" = 1'0"

B Section Detail - Typical
Reverse Pan Channel / Non-Illuminated / Stud Mount Flush

LOADING DOOR NUMBER SIGNS



Number Varies Per Door

FLAT PANEL DOCK ID

NUMBER
Direct Digital Print or Cut Vinyl to Face
Vinyl Color: Black (Gerber 220-12 ■)

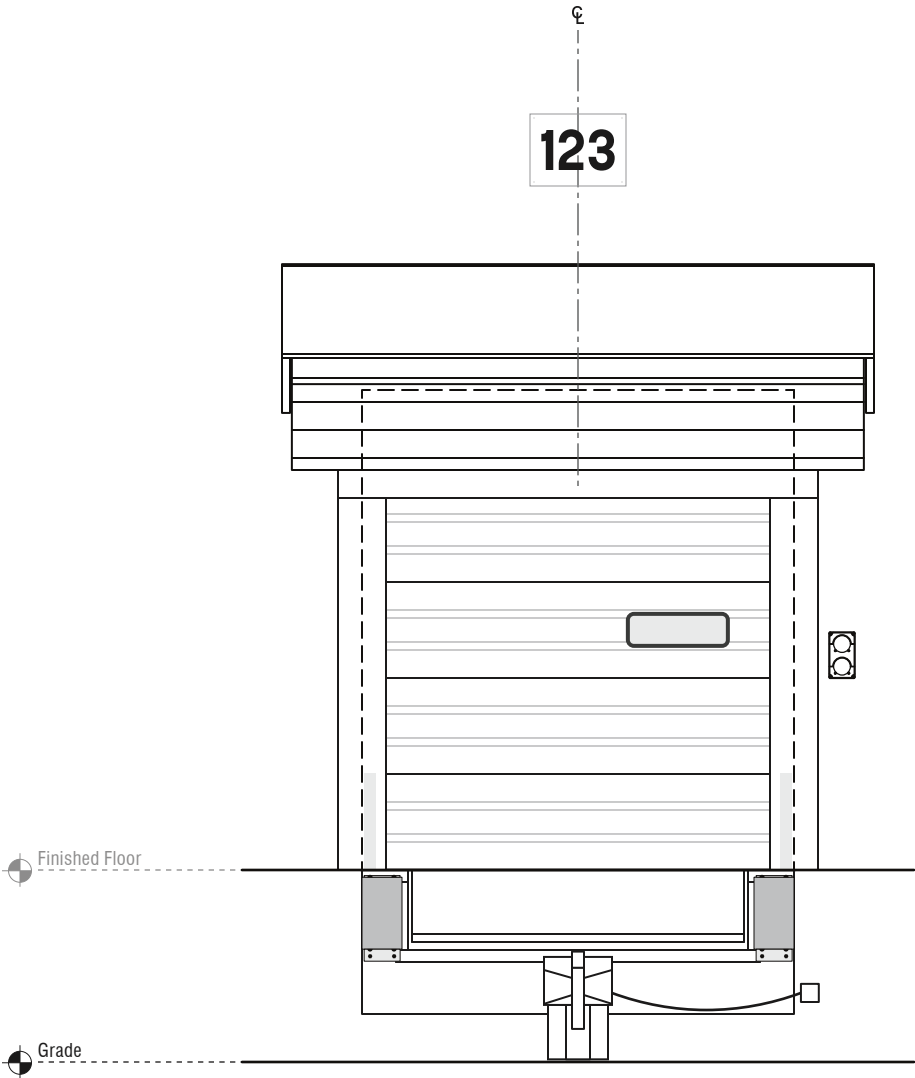
ORIENTATION
S/S

SUBSTRATE
.480 White Aluminum

FINISHING
1/4" Holes: 4 Corners

FONT
Korolev Bold

INSTALLATION
Screwed Flush to Building Surface
Above Dock Door



A Sign Detail
SCALE 1-1/2" = 1'0"

B Installation Detail (Typical)
SCALE 1/4" = 1'0"

SIGN AREA & SIZE RESTRICTIONS

SIGN AREA CALCULATION Allowable Sign Area for Attached Signs is calculated as follows: The total sign area for tenant occupied buildings up to 75' from Right of Way shall not exceed one (1) square feet for each front foot of building occupancy. The total sign area for tenant occupied buildings 75' or more from Right of Way shall not exceed one and a half (1.5) square feet for each front foot of building occupancy (See Figure 3 at right for examples). The maximum wall sign area of signs located on the second floor of a two story building shall not exceed fifty (50) percent of the lineal building elevation on the second floor. Where a sign consists only of individual letters, numerals, symbols or other similar components, the total area of the sign shall be calculated by the sum of the areas of the smallest square or rectangle that encloses all the text and graphics as shown in Figure 1 at right. More than one bounding box can be used in defining Sign Area as long as all bounding boxes are conjoined to an adjacent bounding box. If more than one bounding box is used, they must all be connected in some way - see Figure 2 at right.

ALLOWED SIGN AREA Each tenant sign located on the first floor of a one or two story building shall be permitted a minimum sign area of thirty-two (32) square feet. Each tenant sign located on the second floor of a two story building shall not exceed seventy-five (75) square feet in allowable sign area.

SIGN ENVELOPE is an area not to exceed 80% of the vertical and 80% of the horizontal background of the building surface upon which the sign is to be installed. Sign envelope does not define the total allowable sign area. It defines the outermost reaches that a sign can occupy. Sign area calculations based on lineal feel of leased space still apply. See Figure 3 at right.

SIGN LOCATION All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Landlord. In general, all signs shall fit appropriately into architectural sign areas. Margins left by the sign should be in balance around the sign. Color breaks, control joints, high variation in surface texture or other obvious architectural delineation of spaces shall define the architectural sign area. Wall Signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character. Top floor signage located on multi-story buildings may span floor plates.



FIGURE 1



FIGURE 2

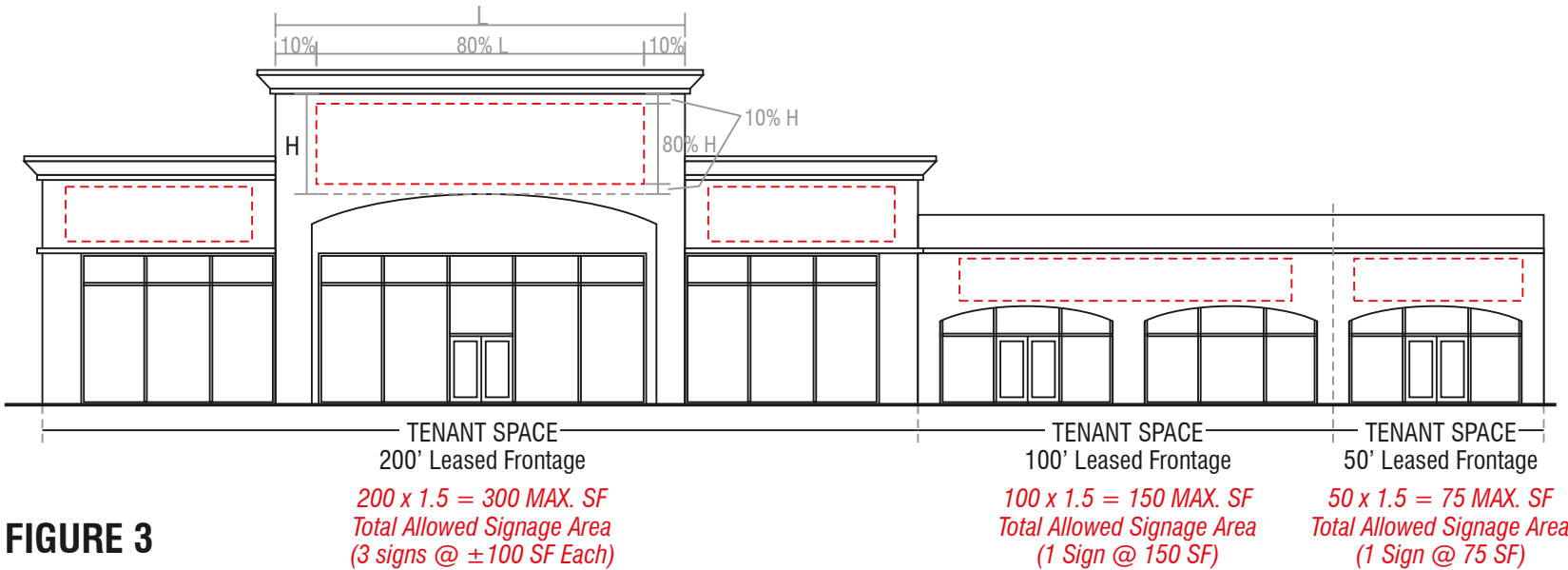


FIGURE 3

Tenant Building Located
75' or More from ROW

INDUSTRIAL TENANT SIGNS - WALL SIGNS



NORTH ELEVATION **B2** *Non-Illuminated Sign Types Allowed Only*

NOTE: All wall signs abutting property designated as residential in the general plan shall be non-illuminated, have a maximum height of 14 feet, and be no larger than 16 square feet.



EAST ELEVATION **B1** *All Sign Types Allowed*



WEST ELEVATION **B2** *Non-Illuminated Sign Types Allowed Only*



SOUTH ELEVATION **B2** *Non-Illuminated Sign Types Allowed Only*

TOP SECTION ENVELOPES

A1 6' 5" Tall x 24' 0" Wide	A3 6' 5" Tall x 21' 0" Wide	A5 6' 5" Tall x 21' 0" Wide	A7 6' 5" Tall x 21' 0" Wide	A9 6' 5" Tall x 21' 0" Wide	A11 6' 5" Tall x 21' 0" Wide	A13 6' 5" Tall x 24' 0" Wide
A2 6' 5" Tall x 21' 0" Wide	A4 6' 5" Tall x 21' 0" Wide	A6 6' 5" Tall x 21' 0" Wide	A8 6' 5" Tall x 21' 0" Wide	A10 6' 5" Tall x 24' 0" Wide	A12 6' 5" Tall x 24' 0" Wide	A14 6' 5" Tall x 21' 0" Wide
A15 6' 5" Tall x 24' 0" Wide						

MID SECTION ENVELOPES

A1 5' 0" Tall x 24' 0" Wide	A3 5' 0" Tall x 21' 0" Wide	A5 5' 0" Tall x 21' 0" Wide	A7 5' 0" Tall x 21' 0" Wide	A9 5' 0" Tall x 21' 0" Wide	A11 5' 0" Tall x 21' 0" Wide	A13 5' 0" Tall x 24' 0" Wide
A2 5' 0" Tall x 21' 0" Wide	A4 5' 0" Tall x 21' 0" Wide	A6 5' 0" Tall x 21' 0" Wide	A8 5' 0" Tall x 21' 0" Wide	A10 5' 0" Tall x 24' 0" Wide	A12 5' 0" Tall x 24' 0" Wide	A14 5' 0" Tall x 21' 0" Wide
A15 5' 0" Tall x 24' 0" Wide						



SOUTH ELEVATION **B1** All Sign Types Allowed

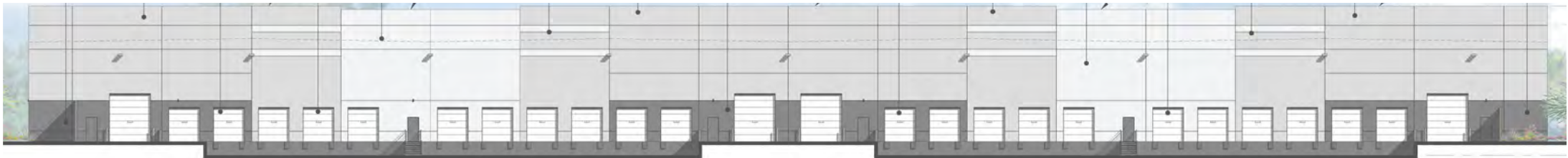


WEST ELEVATION **B1** All Sign Types Allowed



EAST ELEVATION **B1** All Sign Types Allowed

NORTH ELEVATION (No Sign Envelopes)



TOP SECTION ENVELOPES

- | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|
| B1 4' 6" Tall x 24' 0" Wide | B3 4' 6" Tall x 21' 0" Wide | B5 4' 6" Tall x 21' 0" Wide | B7 4' 6" Tall x 18' 6" Wide | B9 4' 6" Tall x 24' 0" Wide |
| B2 4' 6" Tall x 21' 0" Wide | B4 4' 6" Tall x 21' 0" Wide | B6 4' 6" Tall x 24' 0" Wide | B8 4' 6" Tall x 24' 0" Wide | B10 4' 6" Tall x 18' 6" Wide |

MID SECTION ENVELOPES

- | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|
| B1 5' 6" Tall x 24' 0" Wide | B3 5' 6" Tall x 21' 0" Wide | B5 5' 6" Tall x 21' 0" Wide | B7 5' 6" Tall x 18' 6" Wide | B9 5' 6" Tall x 24' 0" Wide |
| B2 5' 6" Tall x 21' 0" Wide | B4 5' 6" Tall x 21' 0" Wide | B6 5' 6" Tall x 24' 0" Wide | B8 5' 6" Tall x 24' 0" Wide | B10 5' 6" Tall x 18' 6" Wide |

INDUSTRIAL TENANT SIGNS - WALL SIGNS



SOUTH ELEVATION **B1** All Sign Types Allowed

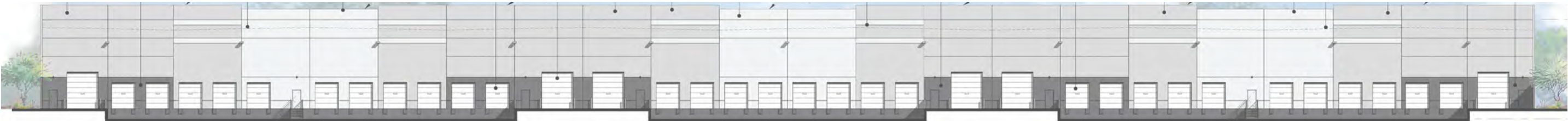


WEST ELEVATION **B2** Non-Illuminated Sign Types Allowed Only



EAST ELEVATION **B1** All Sign Types Allowed

NORTH ELEVATION (No Sign Envelopes)



TOP SECTION ENVELOPES

- | | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|-------------------------------------|
| c1 4' 6" Tall x 24' 0" Wide | c3 4' 6" Tall x 21' 0" Wide | c5 4' 6" Tall x 21' 0" Wide | c7 4' 6" Tall x 24' 0" Wide | c9 4' 6" Tall x 24' 0" Wide | c11 4' 6" Tall x 18' 6" Wide |
| c2 4' 6" Tall x 21' 0" Wide | c4 4' 6" Tall x 21' 0" Wide | c6 4' 6" Tall x 21' 0" Wide | c8 4' 6" Tall x 18' 6" Wide | c10 4' 6" Tall x 24' 0" Wide | |

MID SECTION ENVELOPES

- | | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|-------------------------------------|
| c1 5' 6" Tall x 24' 0" Wide | c3 5' 6" Tall x 21' 0" Wide | c5 5' 6" Tall x 21' 0" Wide | c7 5' 6" Tall x 24' 0" Wide | c9 5' 6" Tall x 24' 0" Wide | c11 5' 6" Tall x 18' 6" Wide |
| c2 5' 6" Tall x 21' 0" Wide | c4 5' 6" Tall x 21' 0" Wide | c6 5' 6" Tall x 21' 0" Wide | c8 5' 6" Tall x 18' 6" Wide | c10 5' 6" Tall x 24' 0" Wide | |



SOUTH ELEVATION **B1** All Sign Types Allowed



WEST ELEVATION **B2** Non-Illuminated Sign Types Allowed Only



EAST ELEVATION **B1** All Sign Types Allowed

NORTH ELEVATION (No Sign Envelopes)



TOP SECTION ENVELOPES

- | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|
| D1 4' 6" Tall x 24' 0" Wide | D3 4' 6" Tall x 21' 0" Wide | D5 4' 6" Tall x 21' 0" Wide | D7 4' 6" Tall x 18' 6" Wide | D9 4' 6" Tall x 24' 0" Wide |
| D2 4' 6" Tall x 21' 0" Wide | D4 4' 6" Tall x 21' 0" Wide | D6 4' 6" Tall x 24' 0" Wide | D8 4' 6" Tall x 24' 0" Wide | D10 4' 6" Tall x 18' 6" Wide |

MID SECTION ENVELOPES

- | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|
| D1 5' 6" Tall x 24' 0" Wide | D3 5' 6" Tall x 21' 0" Wide | D5 5' 6" Tall x 21' 0" Wide | D7 5' 6" Tall x 18' 6" Wide | D9 5' 6" Tall x 24' 0" Wide |
| D2 5' 6" Tall x 21' 0" Wide | D4 5' 6" Tall x 21' 0" Wide | D6 5' 6" Tall x 24' 0" Wide | D8 5' 6" Tall x 24' 0" Wide | D10 5' 6" Tall x 18' 6" Wide |

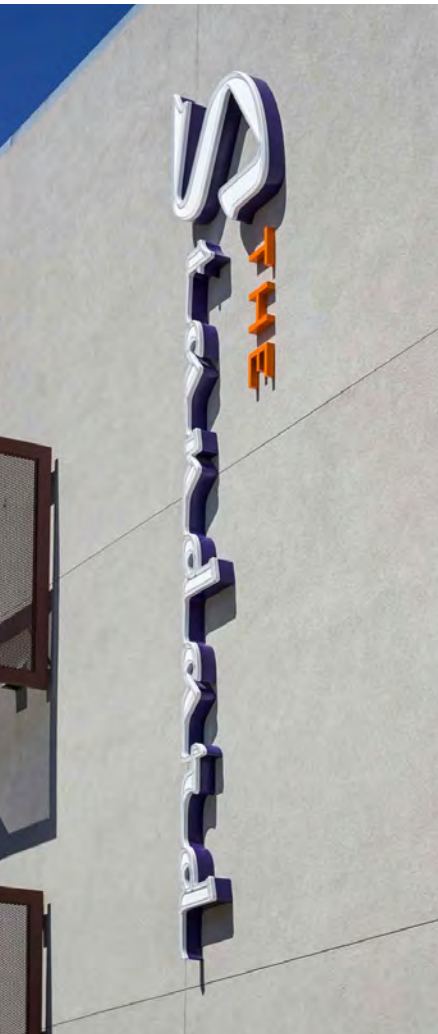
INDUSTRIAL TENANT SIGNS - WALL SIGNS

SIGN CRITERIA

Individual letter signs are signs that feature text and/or logo symbols that are individually attached to a building surface.

Individual letter signs shall consist of individual LED or Neon illuminated or non-illuminated pan channel or reverse pan channel letters with 3" to 5" Deep returns. FCO Aluminum may be used for smaller letters if necessary. All Individual letter signs are to be mounted off wall surface with 1-1/2" (Min.) spacers.

Corporate Letterstyles, Logotype, Logo, and Colors may be used per Landlord Approval. In instances where a Tenant has no corporate color or identity, the Wall Sign is to be typeset in the font Korolev Bold in all capital letters and the color is to match DE 6371 ‘Black Jack’ (See Figure 4 below).



TENANT NAME

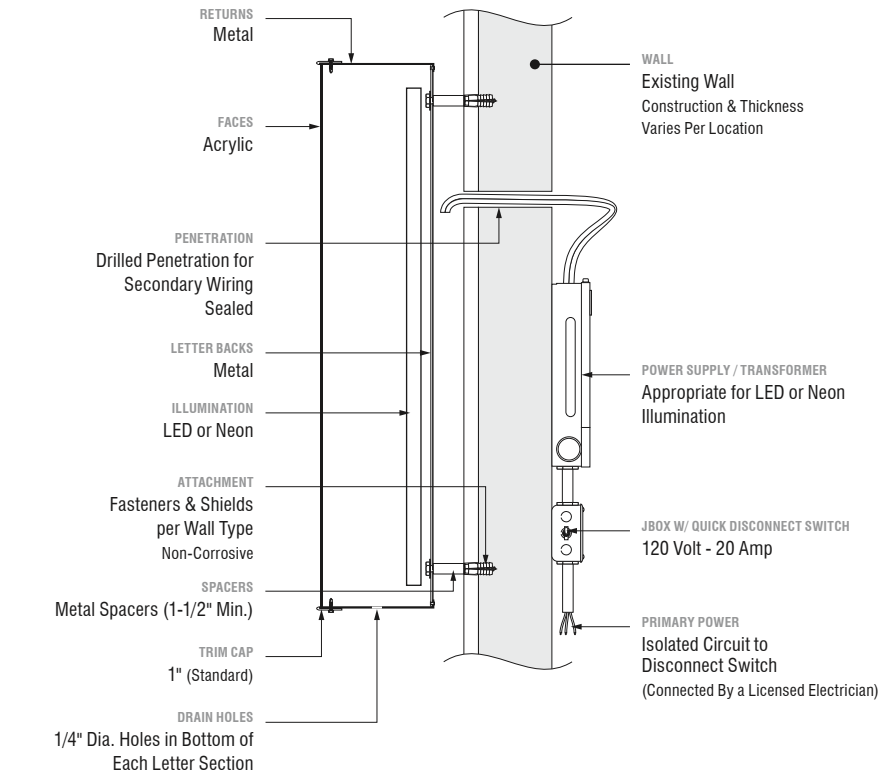
Font - Korolev Bold (all capital letters)
Color - Match DE 6371 ‘Black Jack’
Face to Illuminate White During Evening/Night (if illuminated)

FIGURE 4

EXAMPLE INDIVIDUAL LETTER SIGN WITHOUT CORPORATE IDENTITY

EXAMPLE INDIVIDUAL LETTER SIGNS WITH CORPORATE IDENTITIES

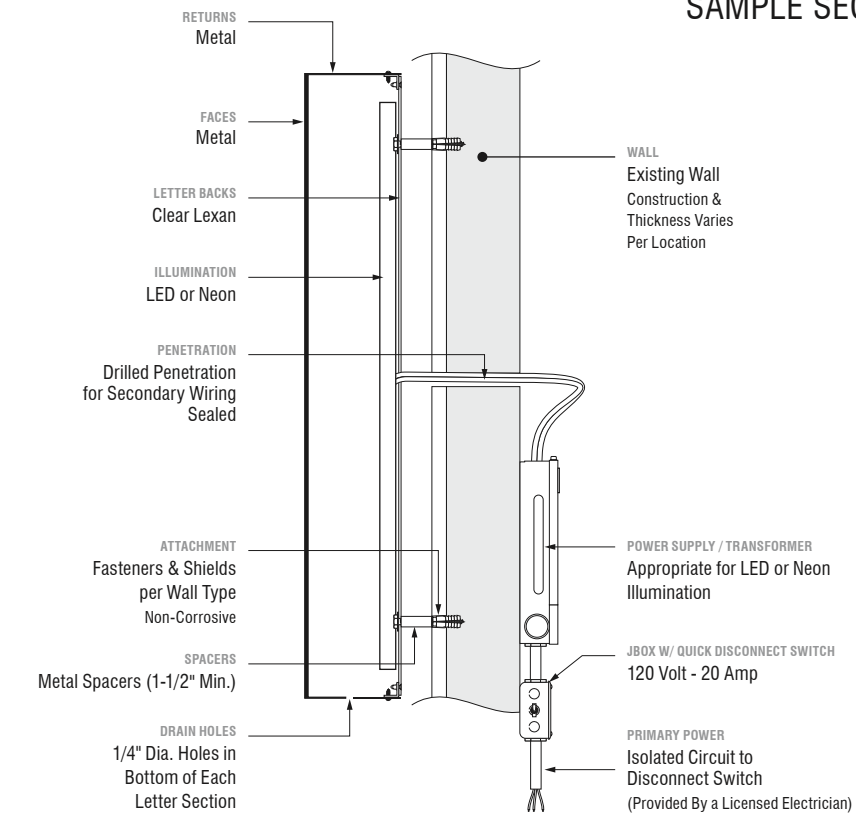
INDUSTRIAL TENANT SIGNS - WALL SIGNS (ILLUMINATED SIGN TYPES)



Pan Channel Letter
Internally Illuminated

A Section Detail - Typical
Pan Channel Letter / LED Internally Illuminated / Flush Mounted

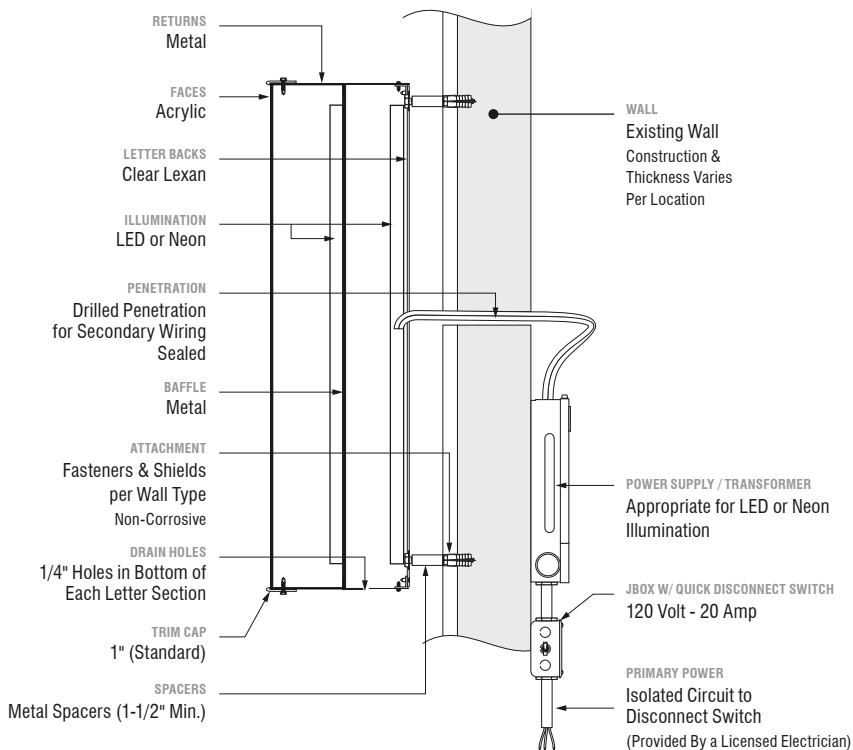
SAMPLE SECTION DETAILS - RECOMMENDED SIGNAGE



Reverse Pan Channel Letter
Halo-Illuminated

NOTE: Back-Plate for Halo Illumination May be Required on Signs Installed on Awnings.

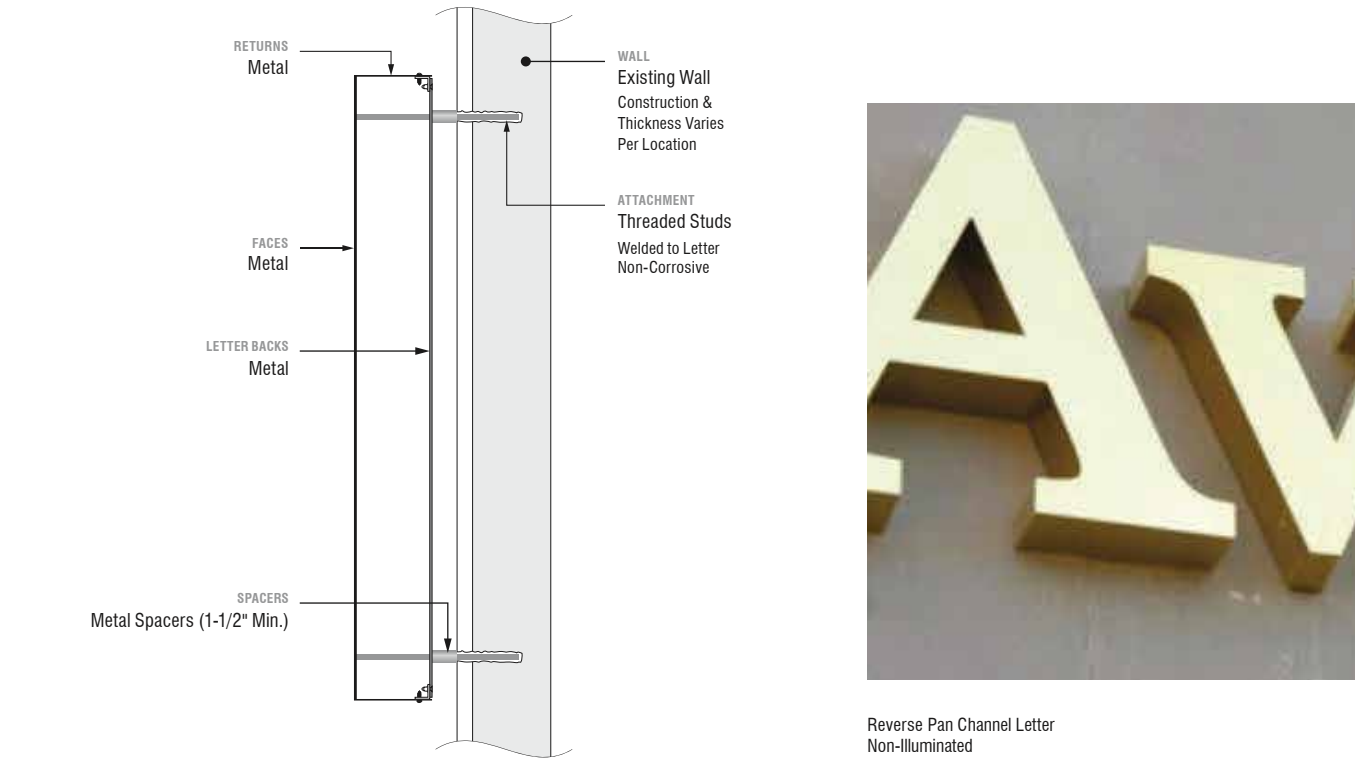
B Section Detail - Typical
Reverse Pan Channel Letter / LED Halo-Illuminated / Mounted Off Wall



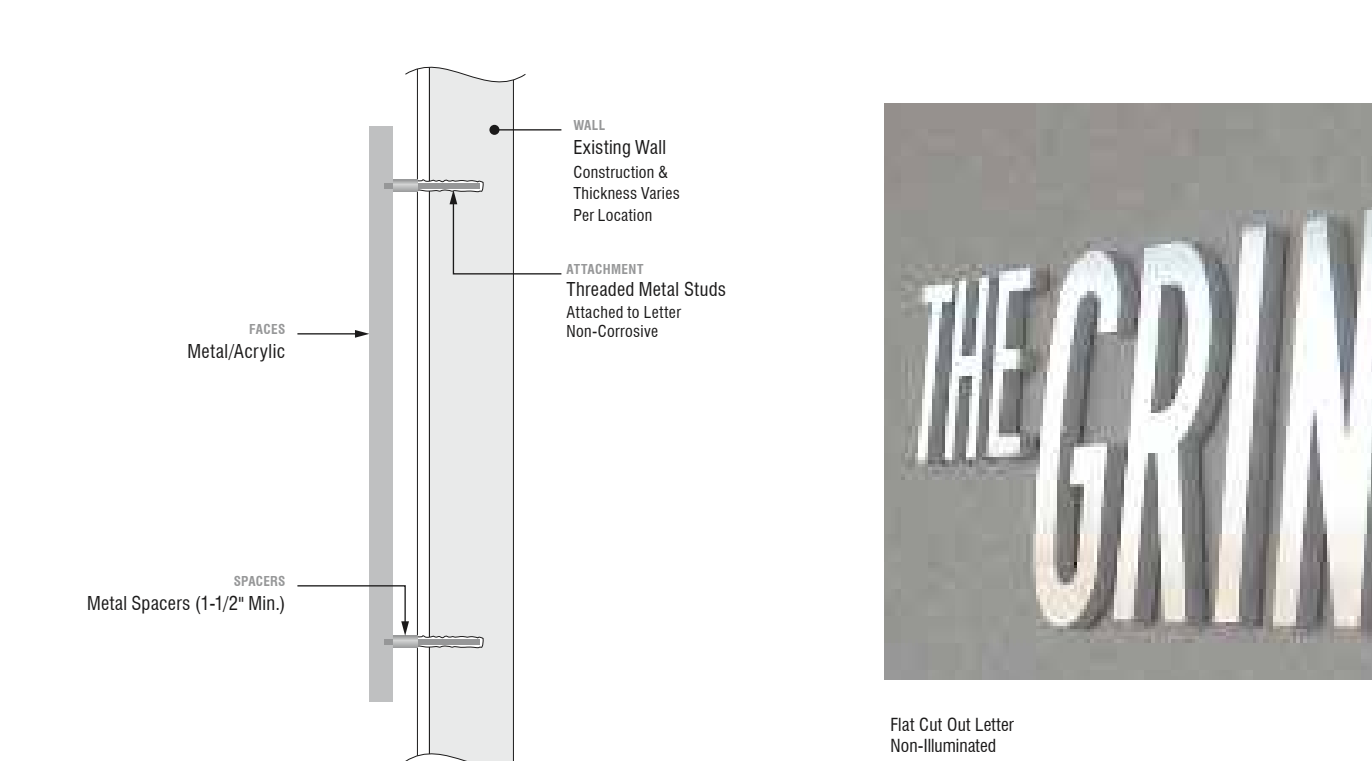
Channel Letter
Face and Halo Illuminated

NOTE: Back-Plate for Halo Illumination May be Required on Signs Installed on Awnings.

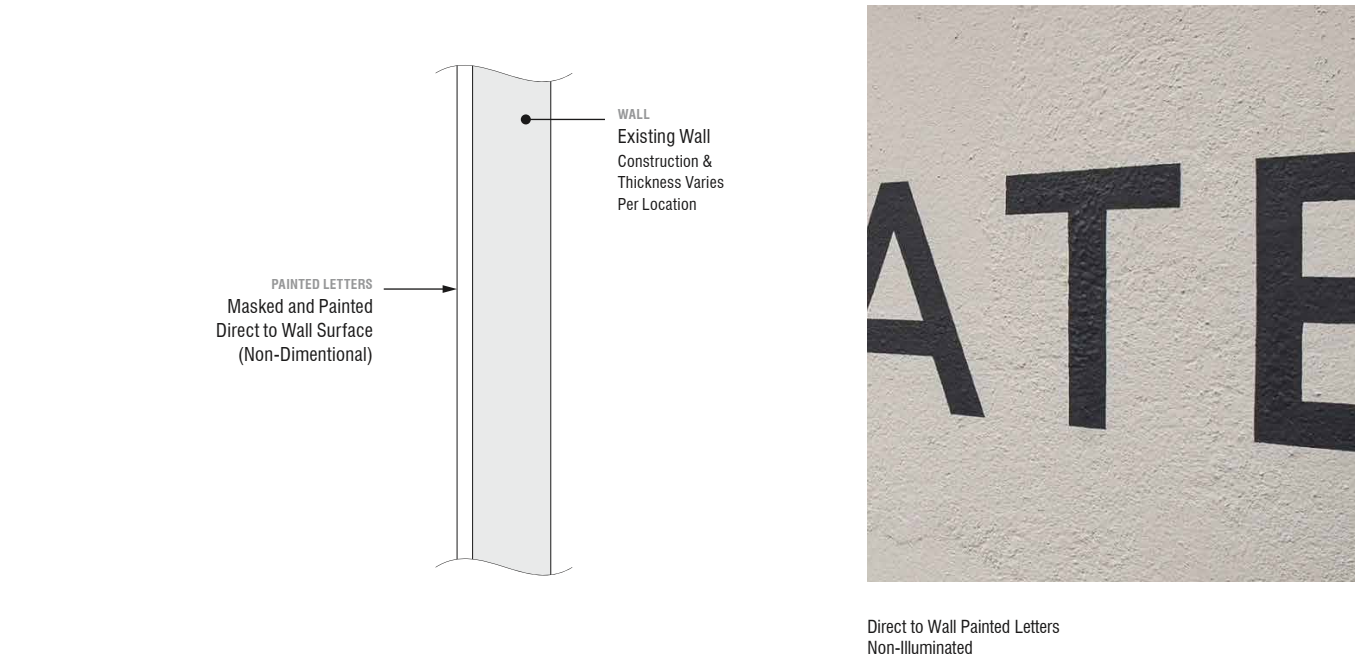
C Section Detail - Typical
Channel Letter / Face and Halo Illuminated



D Section Detail - Typical
Reverse Pan Channel Letter / Non-Illuminated / Stud Mount With Spacers



E Section Detail - Typical
Flat Cut Out Letter / Non-Illuminated / Stud Mount With Spacers

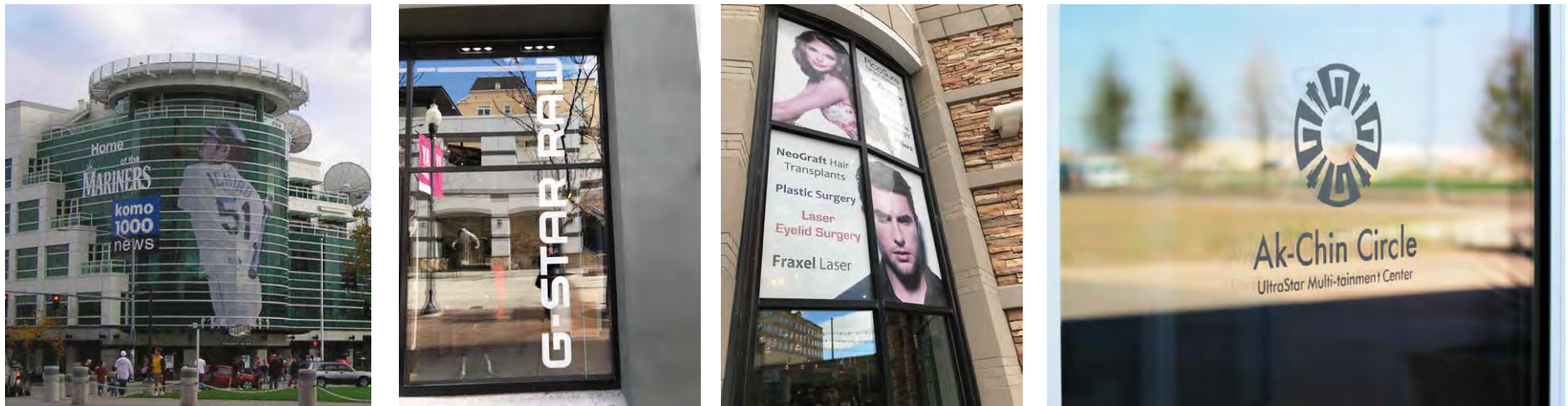


F Section Detail - Typical
Direct to Wall Painted Letters

INDUSTRIAL TENANT SIGNS - MISC. TENANT ID SIGNS

WINDOW SIGNS

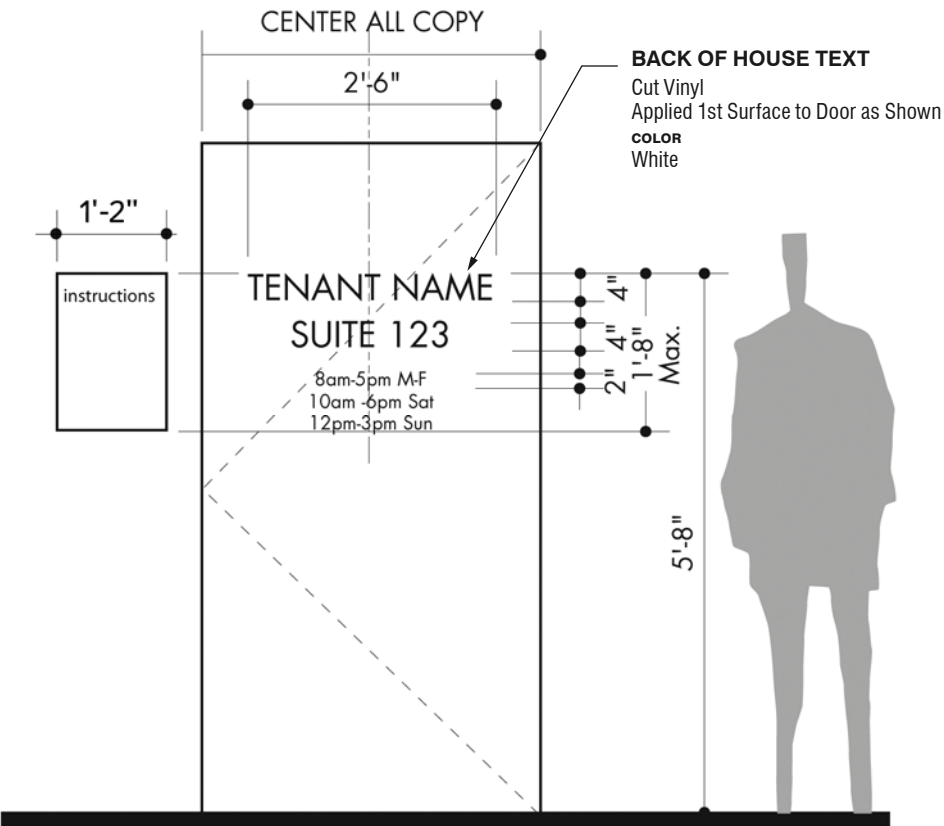
Window signs or applied graphics shall be any sign placed on, affixed to, painted on, or located within the casement or sill area of a mineral glass window or other glazing. Dimensional letters attached to the glazing must have matching dimensional letters on each side of the glazing or a consistent and permanent opaque finish. Window sign area shall not exceed 25% of each window area.

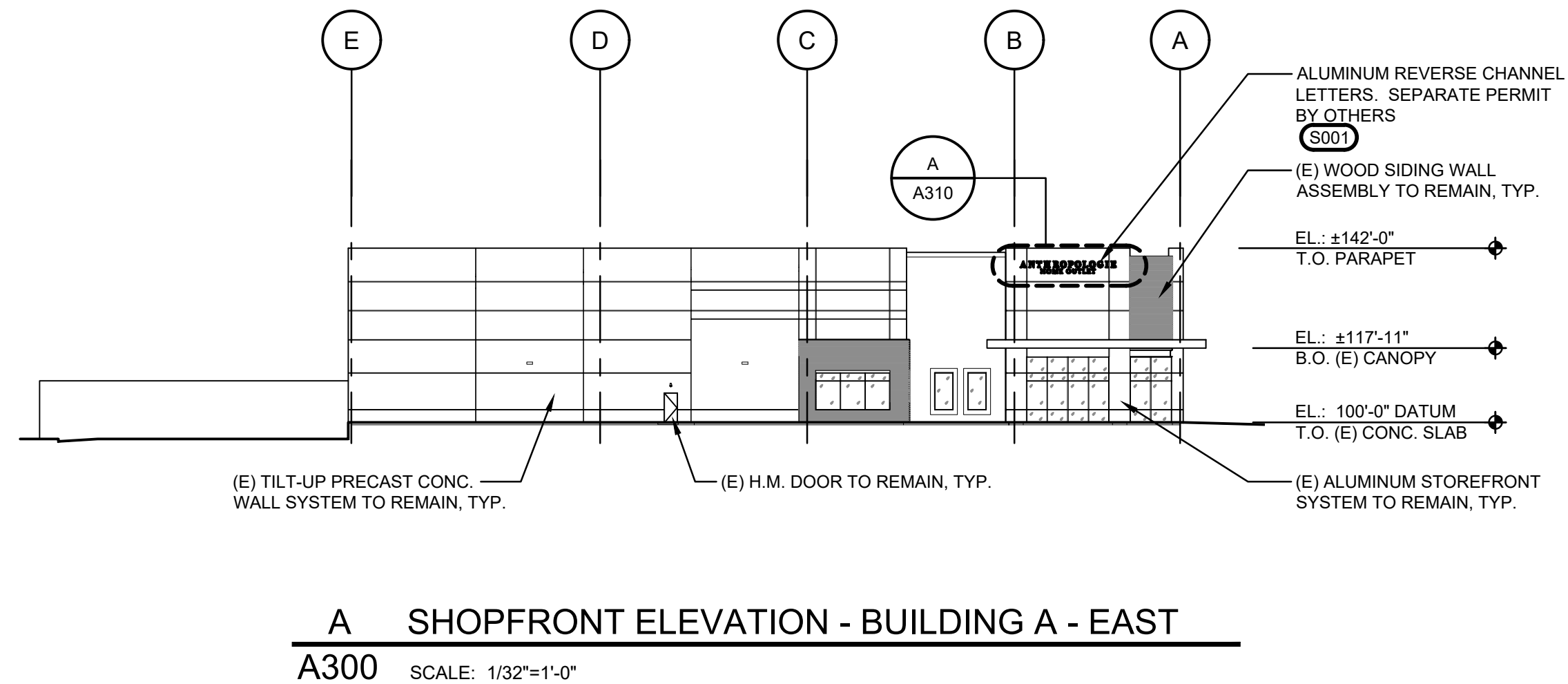
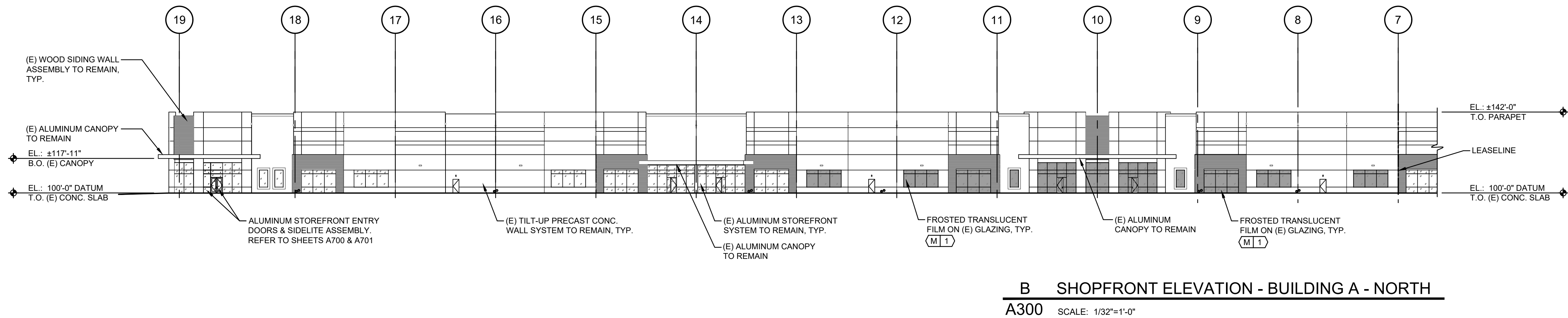
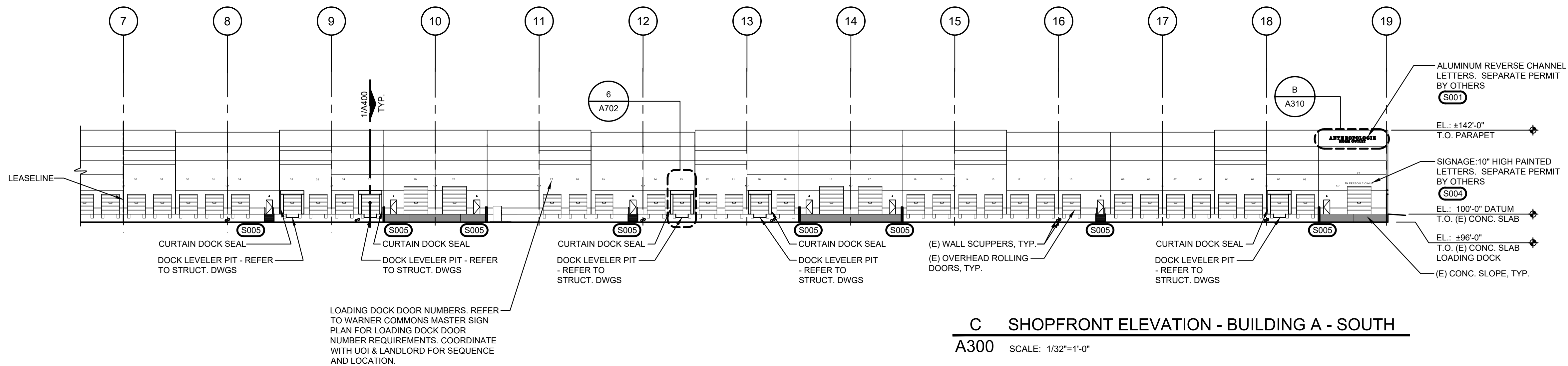


EXAMPLE WINDOW SIGNS

BACK OF HOUSE SIGNS

Shop Tenants: Back of house signs shall include signage located in and around a back door entrance to a building and shall be permitted as shown at right, without counting against the maximum sign area.





DAVID A. LEVY & ASSOCIATES

> Retail Design & Development

345 SPRINGSIDE DRIVE TEL 330 / 666-6767
AKRON, OHIO 44333-2434 FAX 330 / 666-8334

ANTHROPOLOGIE
WAREHOUSE COLLECTION CENTER

WARNER COMMONS
BUILDING A
4290 EAST WARNER RD
GILBERT, AZ 85296

CONSULTANT :

DRAWN BY:

KHP

ISSUE / DATE:

ISSUE 1 CHECK SET

03-24-2023

ISSUE 2 BID - PERMIT SET

04-04-2023

mm-dd-yy-PER CLIENT COMMENTS

-XXX

SHEET TITLE :
SHOPFRONT ELEVATIONS

SHEET NO. :

A300

ANTHROPOLOGIE HOME OUTLET

INTERIOR & EXTERIOR SIGN PACKAGE

06.21.2023

4290 EAST WARNER ROAD
BUILDING A
GILBERT, AZ 85296
WARNER COMMONS

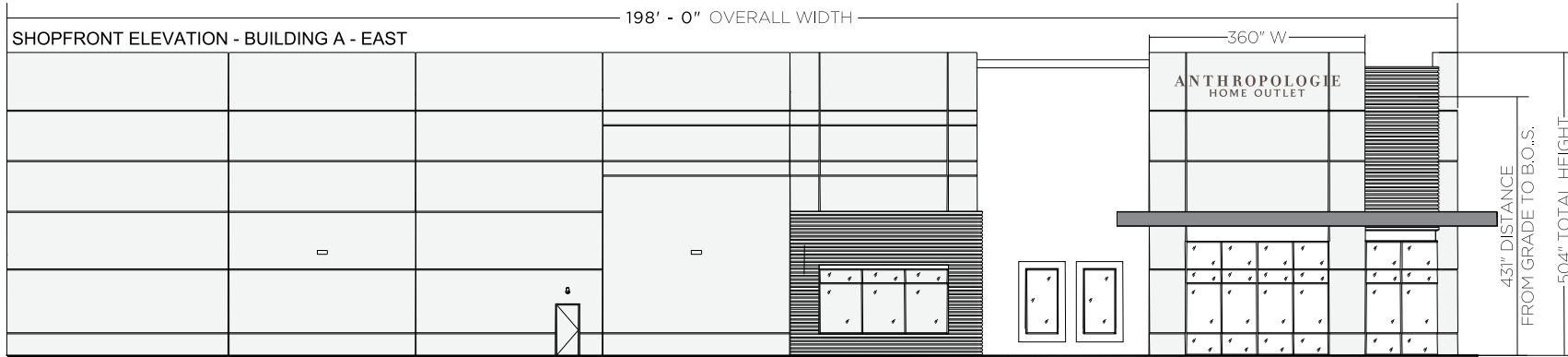


7981 Mainline Parkway
Fort Myers, Florida 33912
239-936-9154

S001

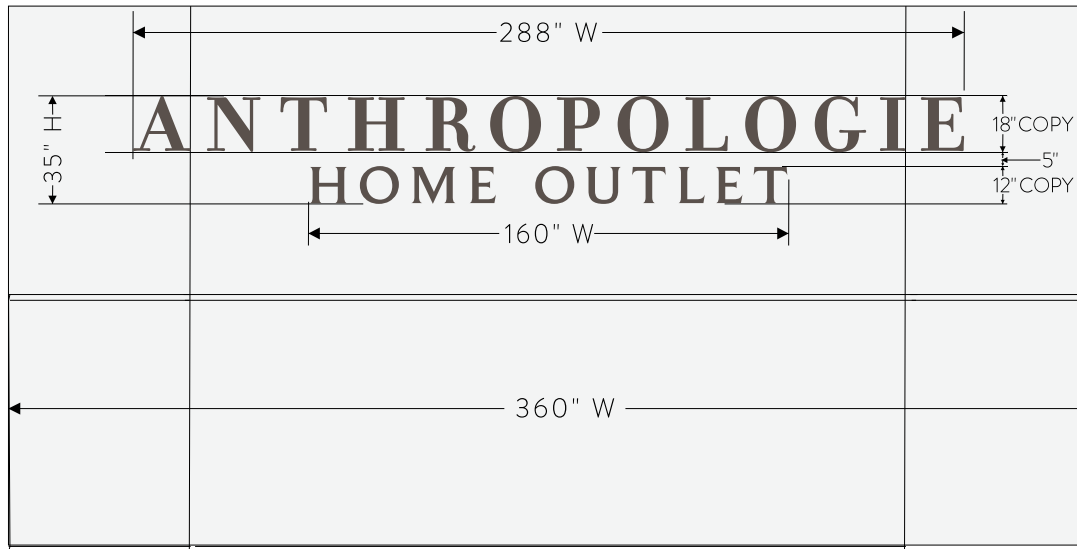
☒ SCALED - NOT VERIFIED BY SURVEY

ANTHROPOLOGIE
HOME OUTLET



EAST ELEVATION

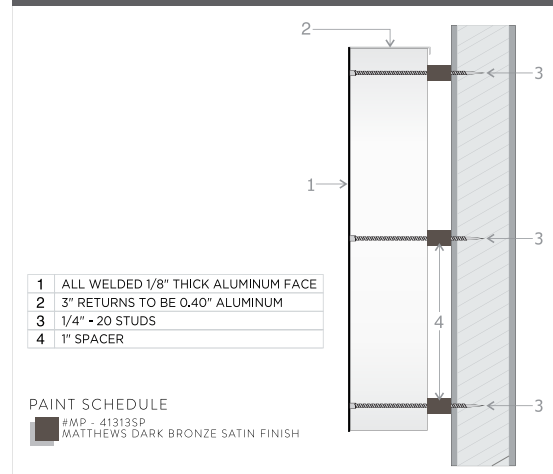
70.0 TOTAL SF



3" DEEP ALUMINUM NON LIT COPY
PAINTED DARK BRONZE - SATIN FINISH

FLOAT MOUNTED 1" OFF SURFACE OF WALL

NON LIT REVERSE LETTER - FLOAT MOUNTED



JOBSITE:

4290 EAST WARNER RD

BUILDING A

GILBERT, AZ 85296

WARNER COMMONS

PROJECT MANAGER:

MARCI AULD

DESIGNER:

JL

PROJECT #:

230338 - 04

ORIG DATE: 03.02.2023

REV DATE: 04.10.2023

REV DATE: 06.21.2023

REV DATE: 08.02.2023

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I HAVE REVIEWED THE ABOVE SPECIFICATIONS & FULLY UNDERSTAND THE CONTENT OF WORK TO BE PERFORMED & I APPROVE THIS PROJECT TO BEGIN

SIGNATURE:

Date



US SIGN
MILL CORPORATION
CBC 1263730

PAGE 2

The purchaser agrees to hold the seller harmless against any cause for action for damages which may occur as a result of drilling for piers & foundations, including but not limited to sewer, gas lines or any underground obstacles which the purchaser or others may deem valuable.

S001

☒ SCALED - NOT VERIFIED BY SURVEY

ANTHROPOLOGIE
HOME OUTLET

JOBSITE:

4290 EAST WARNER RD


BUILDING A

GILBERT, AZ 85296

WARNER COMMONS

PROJECT MANAGER:

MARCI AULD

DESIGNER: 

PROJECT #:

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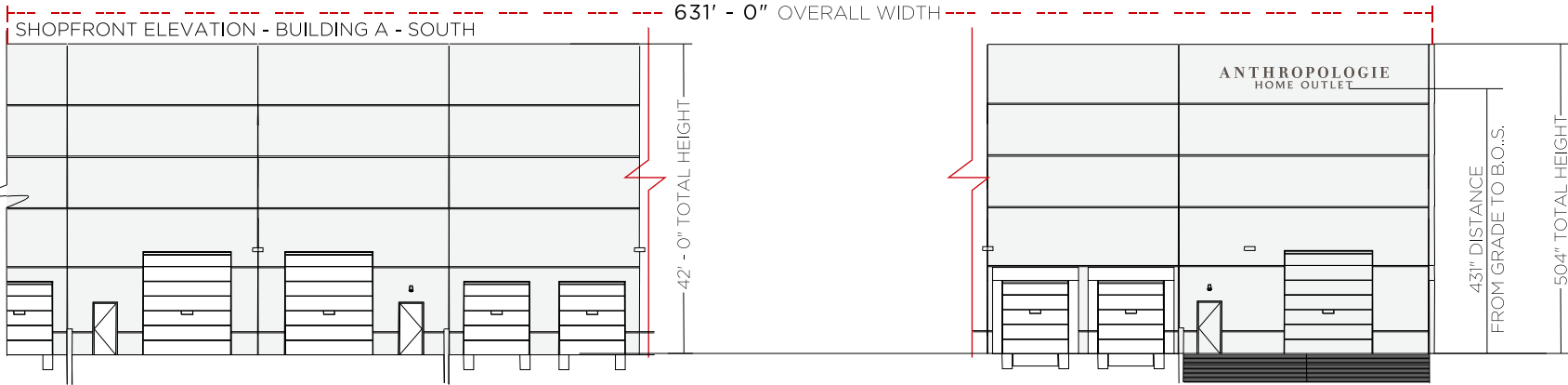
SIGNATURE:

Date



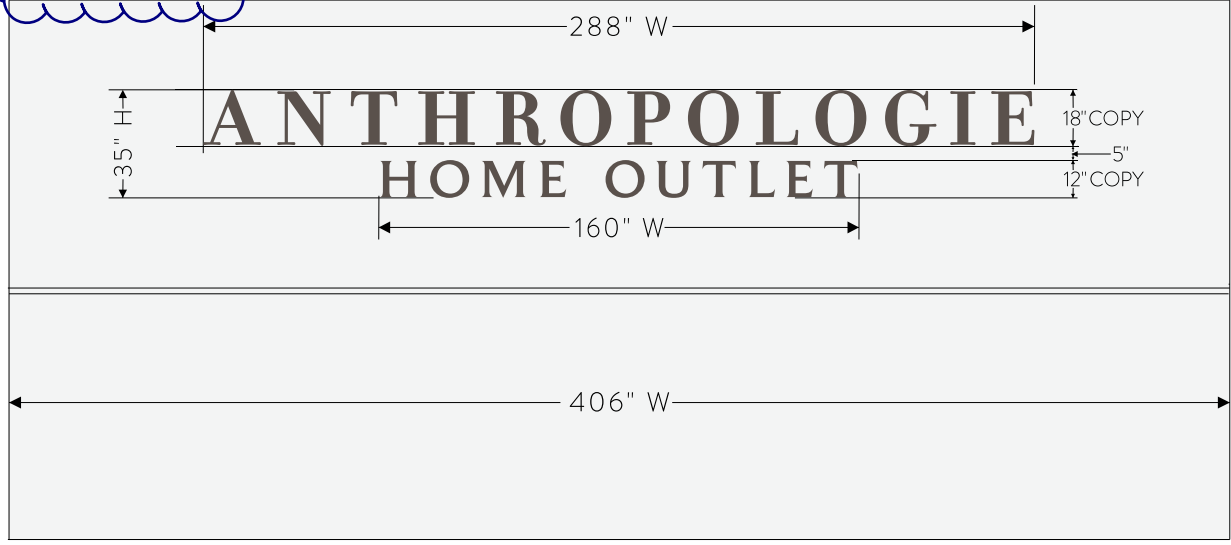
PAGE 3

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SOUTH ELEVATION

70.0 TOTAL SF



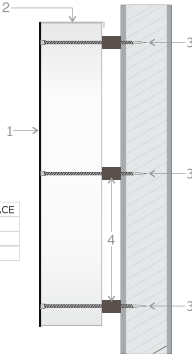
3" DEEP ALUMINUM NON LIT COPY
PAINTED DARK BRONZE - SATIN FINISH

FLOAT MOUNTED 1" OFF SURFACE OF WALL

NON LIT REVERSE LETTER - FLOAT MOUNTED

- 1 ALL WELDED 1/8" THICK ALUMINUM FACE
- 2 3" RETURNS TO BE 0.40" ALUMINUM
- 3 1/4" - 20 STUDS
- 4 1" SPACER

PAINT SCHEDULE
#MP - 41313SP
MATTHEWS DARK BRONZE SATIN FINISH



S004

☒ SCALED - NOT VERIFIED BY SURVEY

ANTHROPOLOGIE
HOME OUTLET

JOBSITE:

4290 EAST WARNER RD

BUILDING A

GILBERT, AZ 85296

WARNER COMMONS

PROJECT MANAGER:

MARCI AULD

DESIGNER:



PROJECT #:

230338 - 04

ORIG DATE: 03.02.2023

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& FULLY UNDERSTAND
THE CONTENT OF WORK
TO BE PERFORMED & I
APPROVE THIS PROJECT
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Date



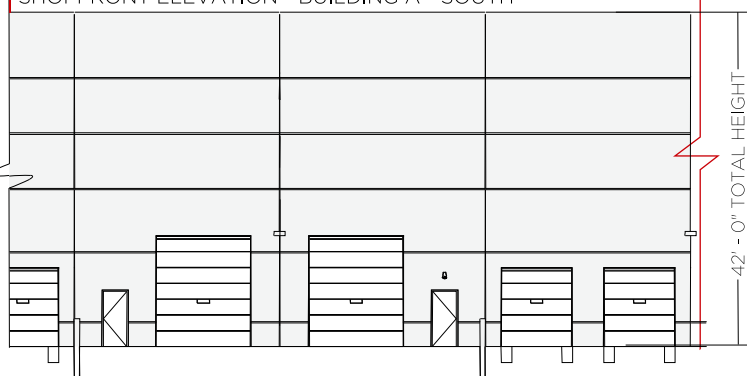
PAGE 4

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foundations, including but not limited to sewer, gas lines or any
underground obstacles which the purchaser or others may deem valuable.

SHOPFRONT ELEVATION - BUILDING A - SOUTH

631' - 0" OVERALL WIDTH

42' - 0" TOTAL HEIGHT



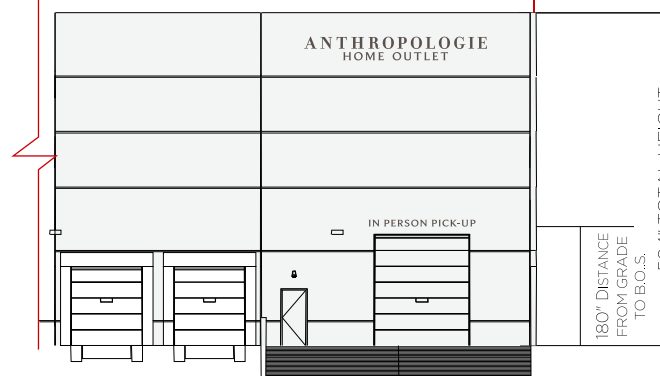
SOUTH ELEVATION

ANTHROPOLOGIE
HOME OUTLET

IN PERSON PICK-UP

180" DISTANCE
FROM GRADE
TO B.O.S.

504" TOTAL HEIGHT



PAINTED 10" SIZE LETTERS

PAINT MASK PROVIDED - LETTERS TO BE
PAINTED DARK BRONZE - SATIN FINISH

11.3 TOTAL SF

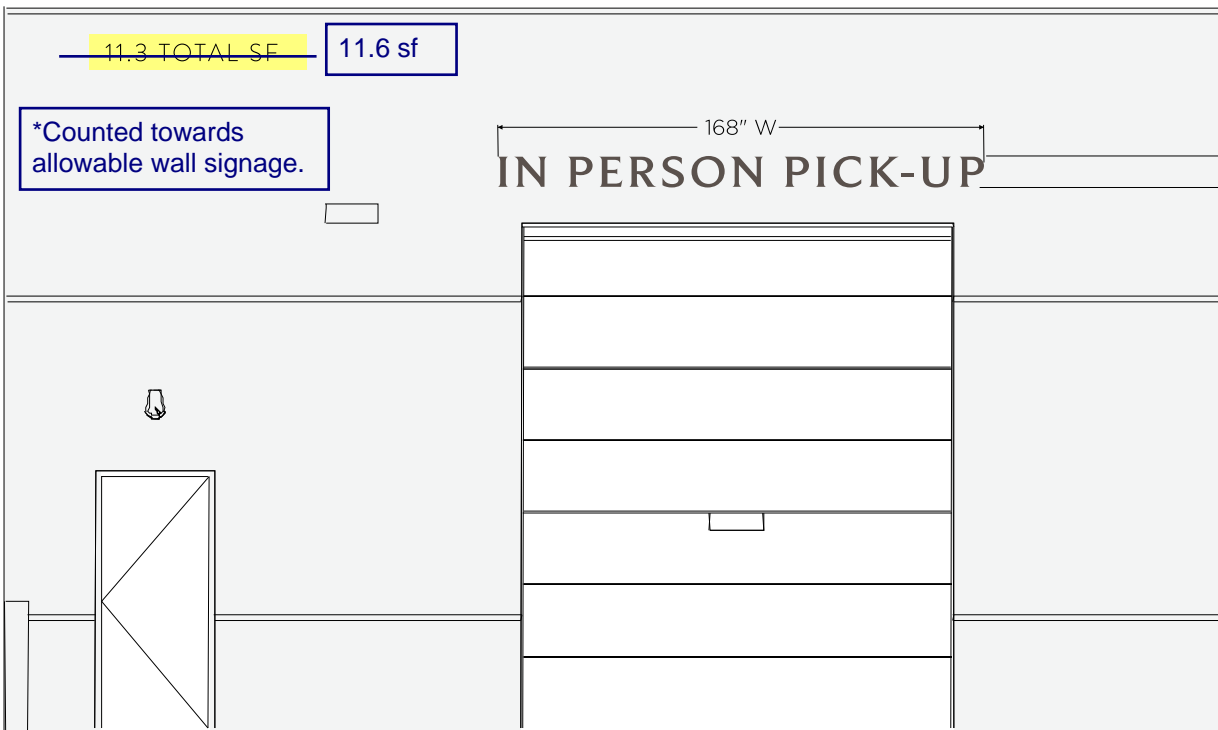
11.6 sf

*Counted towards
allowable wall signage.

168" W
IN PERSON PICK-UP

10" COPY

180" DISTANCE FROM GRADE TO B.O.S.



PAINT SCHEDULE

#MP - 41313SP
MATTHEWS DARK BRONZE SATIN FINISH

S003 - INTERIOR SIGN - LOCATED AT CHECKOUT COUNTER



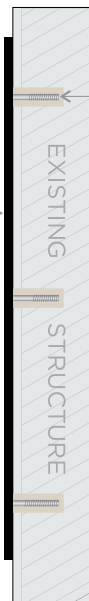
QTY: ONE (1x) SET



RAISED FCO 1/4" THICK ACRYLIC COPY
PAINTED DARK BRONZE - SATIN FINISH
STUD FLUSH MOUNTED TO INTERIOR WALL

1/4" THICK
ACRYLIC
LETTERS

1/4" THREADED
ROD INSTALLED
USING VHB
DOUBLE SIDED TAPE
& CONSTRUCTION
GRADE SILICONE



PAINT SCHEDULE

#MP - 41313SP
MATTHEWS DARK BRONZE SATIN FINISH

NOTE: Sign permit not
required for interior signs.

ANTHROPOLOGIE
HOME OUTLET

JOBSITE:

4290 EAST WARNER RD

BUILDING A

GILBERT, AZ 85296

WARNER COMMONS

PROJECT MANAGER:

MARCI AULD

DESIGNER:



PROJECT #:

230338 - 04

ORIG DATE: 03.02.2023

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CONSENT OF US SIGN & MILL.

I HAVE REVIEWED THE
ABOVE SPECIFICATIONS
& FULLY UNDERSTAND
THE CONTENT OF WORK
TO BE PERFORMED & I
APPROVE THIS PROJECT
TO BEGIN

SIGNATURE:

Date



PAGE 5

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action for damages which may occur as a result of drilling for piers &
foundations, including but not limited to sewer, gas lines or any
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ANTHROPOLOGIE
HOME OUTLET

JOBSITE:

4290 EAST WARNER RD

BUILDING A

GILBERT, AZ 85296

WARNER COMMONS

PROJECT MANAGER:

MARCI AULD

DESIGNER:



PROJECT #:

230338 - 04

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TO BEGIN

SIGNATURE:

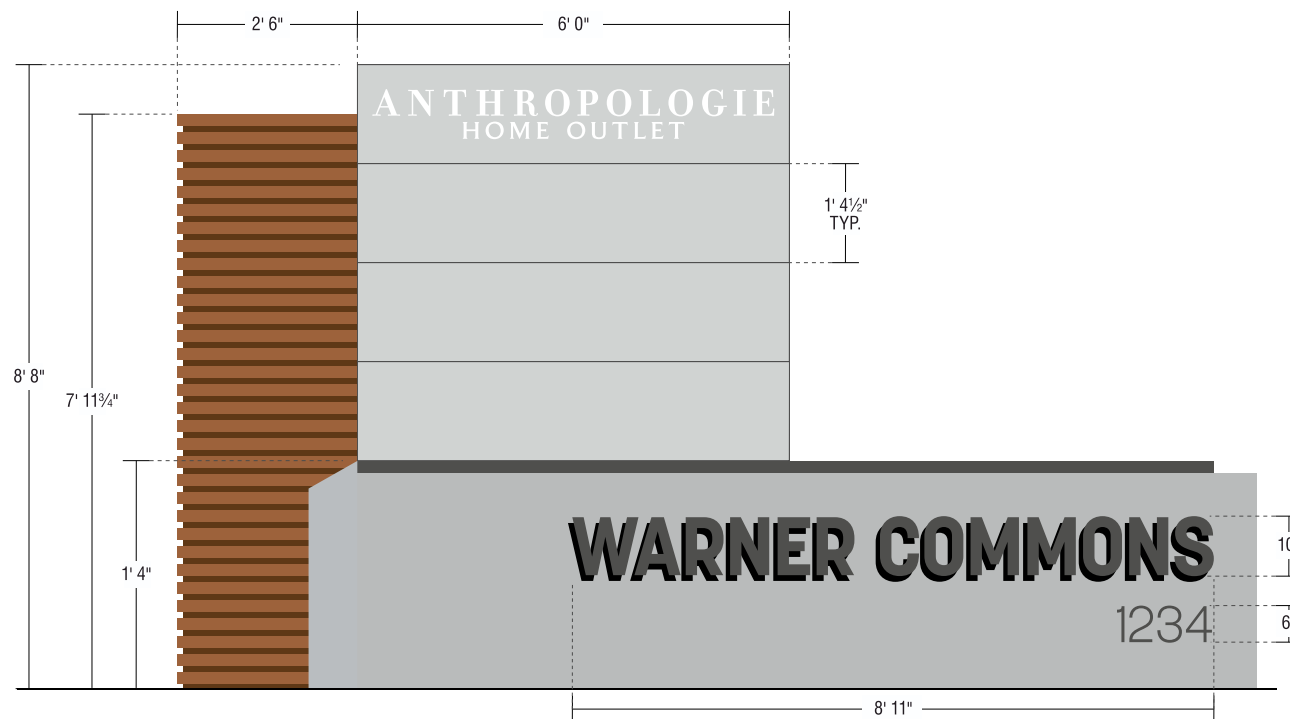
Date



PAGE 6

The purchaser agrees to hold the seller harmless against any cause for
action for damages which may occur as a result of drilling for piers &
foundations, including but not limited to sewer, gas lines or any
underground obstacles which the purchaser or others may deem valuable.

GROUND SIGN BY OTHERS



INTERNAL ILLUMINATION

White LED - GE TetraMAX 7100K

*Address Number Shown is for Display Purposes Only.
Street Address TBD at time of this Submittal.*

QTY: ONE (1x) ROUTED FACE - BACKED WITH WHITE ACRYLIC



1/8" Aluminum Panel

Painted; Satin Finish

MP to Match 'Silver Spoon' (DE 6366)

TENANT NAME/LOGO

Routed From Panel Face

BACKER

3/16" White Acrylic

TENANT PANEL INSTALLATION

Placed on to Structure

with Required Hardware

Hardware Painted to Match Panel

PAINT SCHEDULE

MP to Match 'Silver Spoon' (DE 6366)



April 11, 2022

Ana Jones
Trademark Visual
3825 S 36th St
Phoenix AZ 85040
ajones@trademarkvisual.com

RE: PC Approval: DR20-179-S
Warner Commons Master Sign Plan

On April 6, 2022, the Planning Commission (PC) after making the findings of fact required for approval, issued its final design review approval of the Master Sign Plan for the Warner Commons Development on approximately 27.45 acres submitted in the above-referenced case for Warner Commons Master Sign Plan located at the NWC of Warner Road and Wren Drive.

The approved plans as presented to and approved by the PC are subject to the following conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the April 6, 2022 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. All signage will require a sign permit.

The draft minutes from the PC meeting are available at
<http://www.gilbertaz.gov/departments/clerk-s-office/draft-final-meeting-minutes>.

Plan approval is subject to all limitations set forth in the Gilbert Land Development Code (LDC), including any dates of expiration. Specifically, this design review approval shall expire automatically three years after the effective date unless a building permit has been issued and work authorized by such permit has

commenced, as set forth in the LDC, Section 6.6.5. The effective date is the eleventh (11th) day after approval, if no appeal has been filed. No building, grading, or construction permit shall be issued until the final design review decision becomes effective.

If changes are required as a condition of design review approval by the PC, no building or grading permit shall be issued until the applicant submits a final design review plan showing the required changes. All future development shall conform to the approved final design review plan unless modifications or changes are approved pursuant to the requirements set forth in the LDC.

Please ensure that all public hearing notice signs installed on the site are removed immediately.

If you have any questions regarding the design review approval or the approved plans, please contact Kristen Devine at (480) 503-6742 or by email at Kristen.Devine@gilbertaz.gov.

Sincerely,

A handwritten signature in cursive script, appearing to read "Eva Cutro".

Eva Cutro, AICP
Planning Services Manager

Enclosure: Findings of Fact

FINDINGS OF FACT
DR21-159: Warner Commons MSP

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

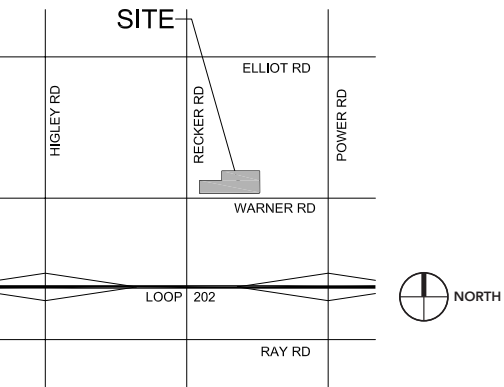
SITE DATA

ZONING: LI

TOTAL SITE AREA: 27.45 ACRE (1,195,888 SF)

PROPOSED USE: LIGHT INDUSTRIAL

VICINITY MAP



KEY

WARNER COMMONS SIGNS

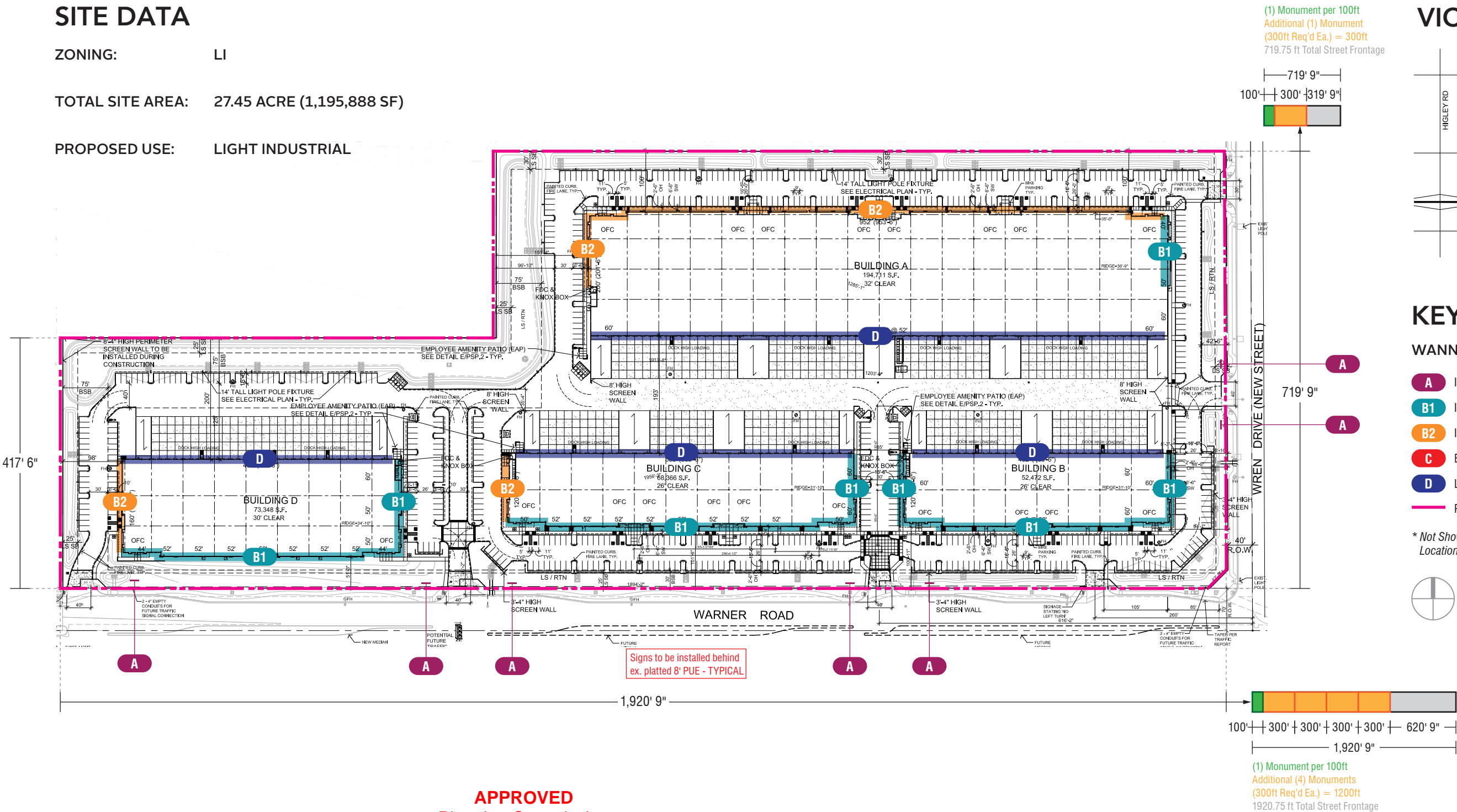
- A** INDUSTRIAL MULTI-TENANT MONUMENT SIGN
- B1** INDUSTRIAL TENANT WALL SIGNS (ILLUMINATED)
- B2** INDUSTRIAL TENANT WALL SIGNS (NON-ILLUMINATED)
- C** BUILDING STREET ADDRESS SIGNS*
- D** LOADING DOOR NUMBER SIGNS
- Property Line

* Not Shown on Map at time of this Submittal.
Locations to be Determined by the Fire Department.



GENERAL NOTES
MONUMENT SIGNAGE IS PERMITTED AS FOLLOWS:

- (1) For the first 100ft of street frontage
- + (1) For every 300ft of frontage



WARNER COMMONS

4250 EAST WARNER ROAD | GILBERT, ARIZONA 85296

APPROVED
Planning Commission
Case # DR20-179-S
Date 4/6/22
Subject to Conditions of Approval

CONTENTS

GENERAL INFORMATION

SIGN CRITERIA

SITE MAP

INDUSTRIAL MULTI-TENANT MONUMENT SIGNS

BUILDING STREET ADDRESS SIGNS

LOADING DOOR NUMBER SIGNS

INDUSTRIAL TENANT SIGNS

GENERAL INFORMATION

PROJECT ADDRESS

Warner Commons
4250 E. Warner Rd.
Gilbert, AZ 85296

DEVELOPER

Petsas Commercial, LLC
8925 E. Pima Center Pkwy. Ste. 200
Scottsdale, AZ 85258

Bill Petsas
480-362-9611
bill.petsas@outlook.com

SIGNAGE CONSULTANT

Trademark Visual, Inc.
3825 S. 36th St.
Phoenix, AZ 85040
602-272-5055

Jim Bacher
jbacher@trademarkvisual.com

PARCEL INFORMATION

PARCEL NUMBER
304-18-010E

AREA IN ACRES
27.45 +/-

ZONING
LI - Light Industrial

ARCHITECT

Butler Design Group, Inc.
5017 E. Washington St. Ste. 107
Phoenix, AZ 85034

Toby Rogers
602-957-1800
trogers@butlerdesigngroup.com

NARRATIVE

Warner Commons consists of a proposed 388,897 sq building area split among four light industrial use freestanding buildings at the Northwest corner of E. Warner Road & Wren Drive in Gilbert, AZ. The purpose of this Master Sign Plan is to set a visually consistent fabrication and location sign standard for all future exterior signs at this site.

APPROVED

Planning Commission
DR20-179-S

Case # _____
Date 4/6/22 _____

Subject to Conditions of Approval

SIGN CRITERIA

These criteria have been developed to insure design compatibility among all signs at Warner Commons located at the Northwest corner of E. Warner Road and Wren Drive in Gilbert, Arizona. These criteria exist to maintain a continuity of quality and aesthetics throughout the site for the mutual benefit of all tenants, and to comply with the regulations of the local municipal sign and electrical codes. Conformance to these criteria will be strictly enforced. Any sign installed that is non-conforming to these criteria not approved by the Landlord must be removed or brought into conformance by the Tenant and/or its sign contractor.

Landlord shall approve all signs, in writing, prior to installation. Approval shall be for appearance only and not for code compliance. Sign permits must be obtained from the Town of Gilbert prior to the installation of permit required signs only.

I. GENERAL SIGNAGE REQUIREMENTS

1. The Landlord shall review the detailed shop drawings indicating the location, size, layout, design color, illumination materials and method of attachment (2 sets) and return one (1) set to Tenant marked "Approved", "Approved as Noted", or "Revise and Re-Submit".
2. "Revise and Re-Submit" drawings will be returned to the Tenant with comments. These drawings shall be revised by Tenant and re-submitted to the Landlord for its approval.
3. Upon receipt of Landlord approval, Tenant shall proceed with the Town of Gilbert permit process. Permit required signs shall not be installed prior to Town approval.
4. No signs, advertisements, notices or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of the Landlord.
5. Tenant and/or its representatives shall obtain all permits for any permit required exterior signs and their installation. Landlord shall be responsible for all requirements, specifications and costs.

6. Tenant shall have the sole responsibility for compliance with all applicable statutes/codes, ordinances or other regulations for all work performed on the premises by or on behalf of the Tenant.
7. The Landlord's approval of Tenant’s plans, specifications, calculations, or work shall not constitute an implication, representation, or certification by the Landlord that said items are in compliance with applicable statutes, codes, ordinances or other regulations.
8. All permit required signage is subject to Town of Gilbert approval and this Comprehensive Sign Plan. Landlord will support all applications for signs in compliance with this plan but cannot guarantee Town approval.
9. All signage shall be constructed and installed at Tenant's expense.
10. Tenant and the Tenant's contractor shall be responsible for the repair of any damage caused by installation or removal of any sign.
11. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
12. All signs shall be fabricated using full welded construction.
13. All penetrations of the building structure required for sign installation shall be neatly sealed in a water tight condition.
14. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
15. All exposed metals shall be painted to render them inconspicuous.
16. No exposed raceways, crossovers, tubing or conduit will be permitted. All conductors, transformers, and other equipment shall be concealed.

17. All electrical signs shall be constructed to UL Standards.
18. All signs shall conform to International Building Code Standards.
19. All electrical signs shall conform to National Electrical Code Standards.
20. Tenant shall be liable for the operation of their sign contractor. Tenant shall be responsible for selecting a sign company that carries workers' compensation and commercial general liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs with limits of liability satisfying the requirements of the Lease.

21. Flashing, moving, or audible signs will not be permitted.
22. Tenant logo styled letters may be used. Copy content of the signage shall not include the product sold without prior approval of the Landlord.

II. WALL SIGNS

1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by the Landlord. Each tenant sign located on the first floor of a one or two story building shall be permitted a minimum sign area of thirty-two (32) square feet. Each tenant sign located on the second floor of a two story building shall not exceed seventy-five (75) square feet in allowable sign area.
2. Sign Allowance under this subsection shall mean “for buildings set back seventy-five (75) feet or less from the right-of-way, one (1) square foot of Sign Area for each one (1) lineal foot of the building elevation adjacent to the suite,” and “for buildings set back more than seventy-five (75) feet from the right-of-way, one and one-half (1.5) square feet of Sign Area for each one (1) lineal foot of building elevation adjacent to the suite.” The maximum sign allowance area, including all tenant signs and building signs, shall not exceed 50% of the lineal building elevation on the 2nd floor.

3. *Height and Length.* The height of a Wall Sign shall not exceed eighty (80) percent of the vertical dimension of the sign band or wall space on which the sign is placed. The length of a Wall Sign shall not exceed eighty (80) percent of the horizontal length of the exterior building elevation of a tenant suite.
4. Wall signs shall consist of individual LED or Neon illuminated or non-illuminated pan channel or reverse pan channel letters with 3" to 5" Deep returns. FCO Aluminum may be used for smaller letters if necessary. Cabinet signs & Projecting signs are prohibited.
5. All sign materials shall be quality in nature and include Aluminum, Steel, Stainless Steel, Acrylic, and Polycarbonate.
6. Corporate Letterstyles, Logotype, Logo, and Colors may be used per Landlord Approval. In instances where a Tenant has no corporate color or identity, the Wall Sign is to be typeset in the font Korolev Bold and the color is to match DE 6371 ‘Black Jack’.
7. *Placement.* Wall Signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character. Top floor signage located on multi-story buildings may span floor plates.
8. All Tenant Wall Signs must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

III. STORE FRONT GRAPHICS

1. Standard white vinyl die cut copy may be used to display hours of business, emergency numbers, etc. All window graphics and displays shall be subject to the approval of the Landlord prior to fabrication or implementation. Not to exceed 25% of each first floor window area.
2. Corporate Letterstyles, Logotype, Logo, and Colors may be used with Landlord Approval.
3. All Store Front Graphics are to be installed to Tenant frontage windows/doors.

SIGN CRITERIA

4. All window signs shall meet the requirements of the Town of Gilbert:

- a. *Window Signs.* Window Signs are permitted in all zoning districts but may be placed in single-family residential zoning districts only in conjunction with non-residential uses as a permanent Wall Sign, provided that the Window Sign does not cover more than twenty-five percent (25%) of the area of any window. Window Signs may be internally illuminated. A sign permit is not required for a Window Sign.
- b. *Door Signs.* Door Signs are permitted provided that the Door Sign does not cover more than twenty-five percent (25%) of the area of any door. Door Signs shall not be illuminated. A sign permit is not required for a Door Sign.

IV. INDUSTRIAL MULTI-TENANT MONUMENT SIGN & TENANT PANELS

- 1. Nine (9) Single-Faced Multi-Tenant Monuments are permitted within the site for Industrial Tenant usage.
- 2. The height of these Monument Signs shall be no greater than twelve (12) feet to the top of design embellishments, and the Sign Faces shall be located between two (2) feet and ten (10) feet above grade with design embellishments added to the top, sides or bottom of the signs. The size of these Monument Signs shall not exceed sixty (60) square feet in area.
- 3. Monument Signs shall be set back a minimum of three (3) feet from the right of-way. Monument Signs shall maintain a minimum spacing of one hundred (100) feet from any other Monument Sign on the same street frontage.
- 4. Monument Sign Panels are to be fabricated of routed aluminum backed with acrylic. All panel faces are to be painted to monument cabinet color.
- 5. Corporate Letterstyles, Logotype, Logo, and Colors may be used. In instances where a Tenant has no corporate color or identity, tenant text is to be typeset in the font Korolev

Medium and the color is to match DE 6371 ‘Black Jack’ during the day and illuminate white during the evening/night.

6. Tenant copy/logo not to exceed the monument face panel boundary.

7. All Industrial Multi-Tenant Monument Sign Panels must be approved by the Landlord prior to proceeding with the Town of Gilbert permit process.

V. BUILDING STREET ADDRESS SIGNS

Each location of a business or non-residential use shall be clearly identified by or associated with a street address for first responders to locate the same as necessary to respond to any fire or public safety issue. These signs shall serve as visible street address and identifiers for delivery of mail and official governmental notification. Street Address Signs shall consist of non-illuminated reverse pan channel letters with 3" Deep returns. The numerals of all Street Address Signs shall be typeset in the font Korolev Bold and the color is to match DE 6371 ‘Black Jack’. Final size and placement of these signs is to be determined by the fire department.

VI. LOADING DOOR NUMBER SIGNS

Each loading door of a business or non-residential use shall be clearly identified by number. These number signs will be provided by the Landlord in order to keep a uniform appearance. The Loading Door Number Signs shall be non-illuminated 12" tall black numbers applied or printed to white .040 aluminum screwed flush to the wall above each dock door.

VII. BACK OF HOUSE SIGNS

Back of House Signs shall include signage located in and around a back door entrance to a building and shall be permitted as shown on page 18 of this document, without counting towards the maximum sign area.

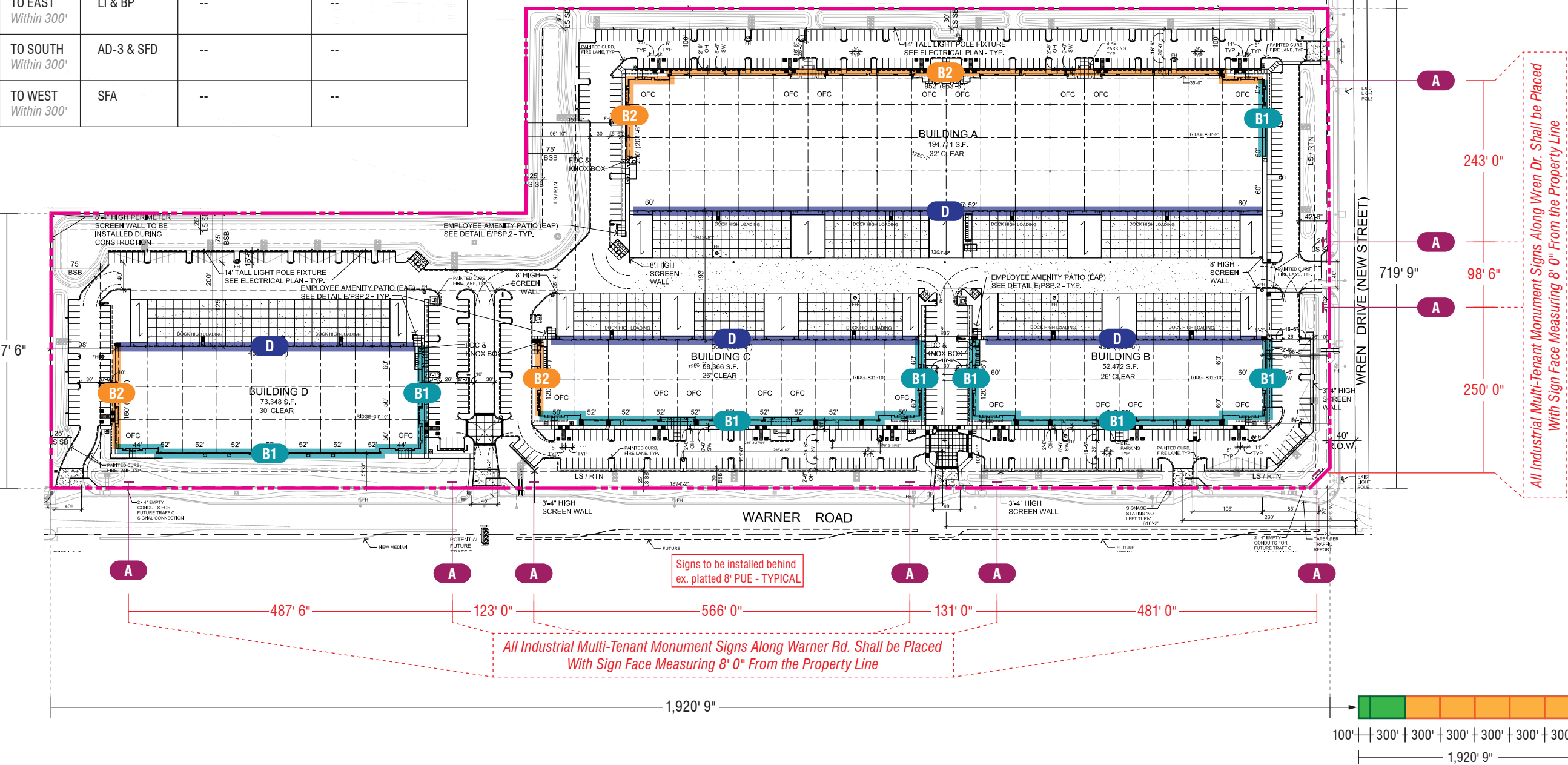
VIII. TEMPORARY SIGNS

All temporary signs are allowed per the Town of Gilbert Land Development Code Section 5.6.9.

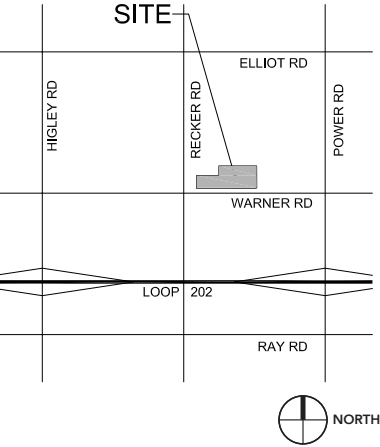
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Date 4/6/22
Subject to Conditions of Approval

SITE MAP

PARCEL	ZONING	NET SITE AREA	FREESTANDING SIGNS
EXISTING	LI	27.45 ACRES	9 TOTAL (PROPOSED)
TO NORTH <i>Within 300'</i>	SFA & SFD	--	--
TO EAST <i>Within 300'</i>	LI & BP	--	--
TO SOUTH <i>Within 300'</i>	AD-3 & SFD	--	--
TO WEST <i>Within 300'</i>	SFA	--	--



VICINITY MAP



KEY

WARNER COMMONS SIGNS

- A INDUSTRIAL MULTI-TENANT MONUMENT SIGN
- B1 INDUSTRIAL TENANT WALL SIGNS (ILLUMINATED)
- B2 INDUSTRIAL TENANT WALL SIGNS (NON-ILLUMINATED)
- C BUILDING STREET ADDRESS SIGNS*
- D LOADING DOOR NUMBER SIGNS
- Property Line

* Not Shown on Map at time of this Submittal.
Locations to be Determined by the Fire Department.

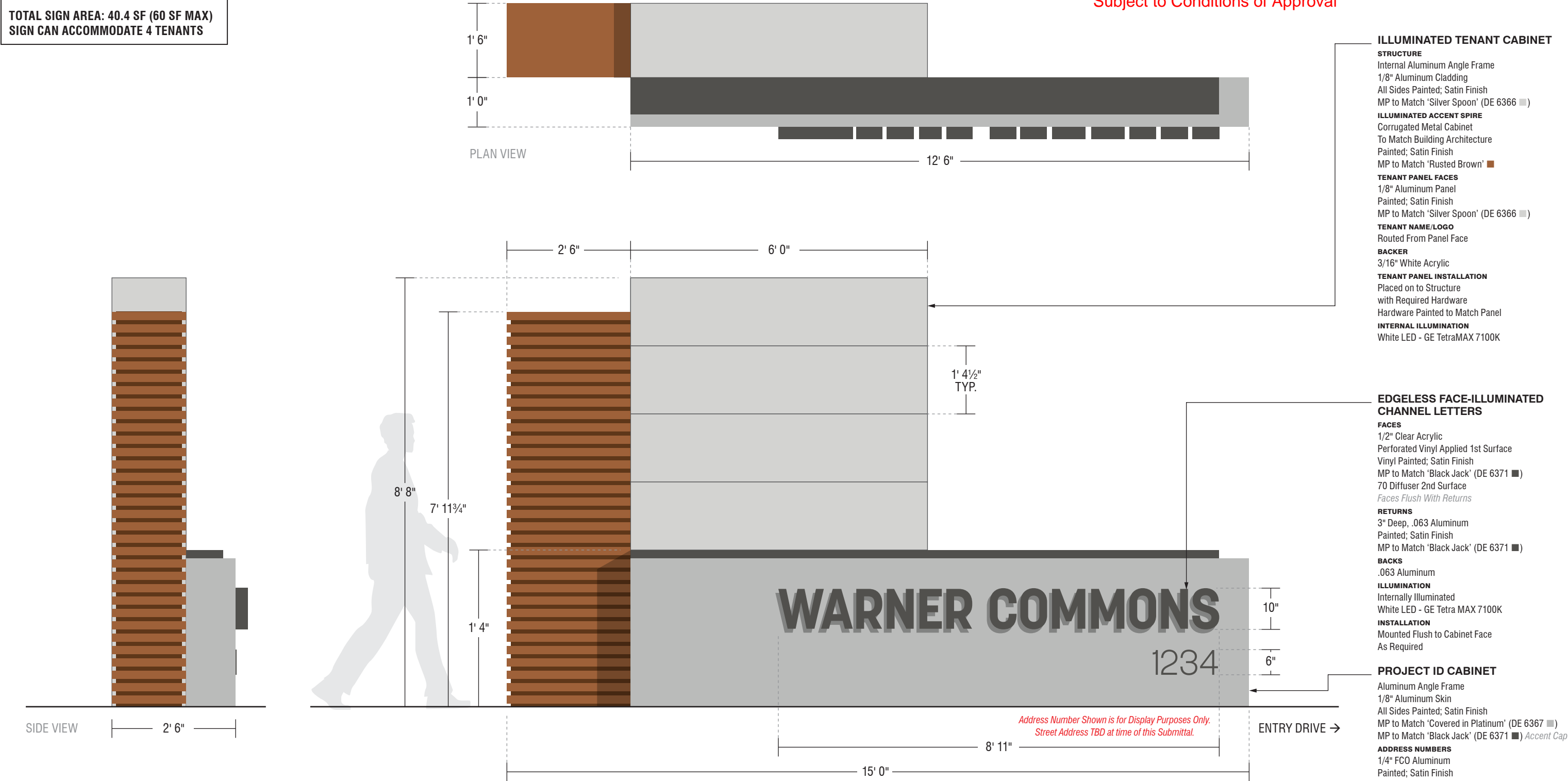


INDUSTRIAL MULTI-TENANT MONUMENT SIGNS

TENANT PANEL AREA = 33 SF
'WARNER COMMONS' AREA = 7.4 SF

TOTAL SIGN AREA: 40.4 SF (60 SF MAX)
SIGN CAN ACCOMMODATE 4 TENANTS

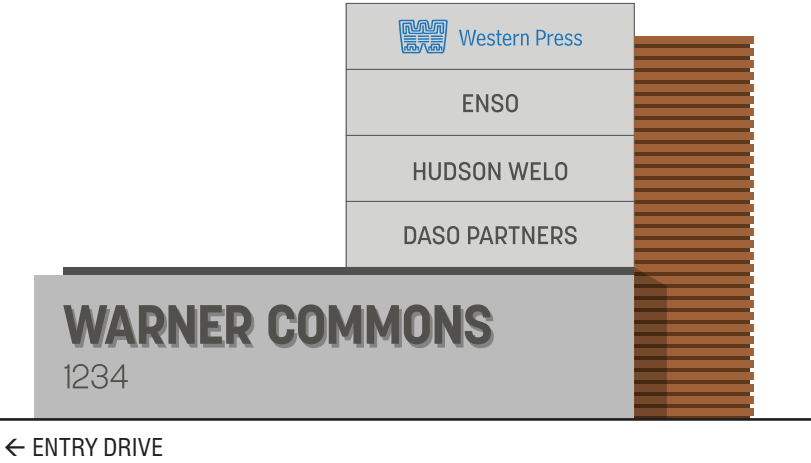
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A Sign Detail - Orientation A
SCALE 1/2" = 1'0"

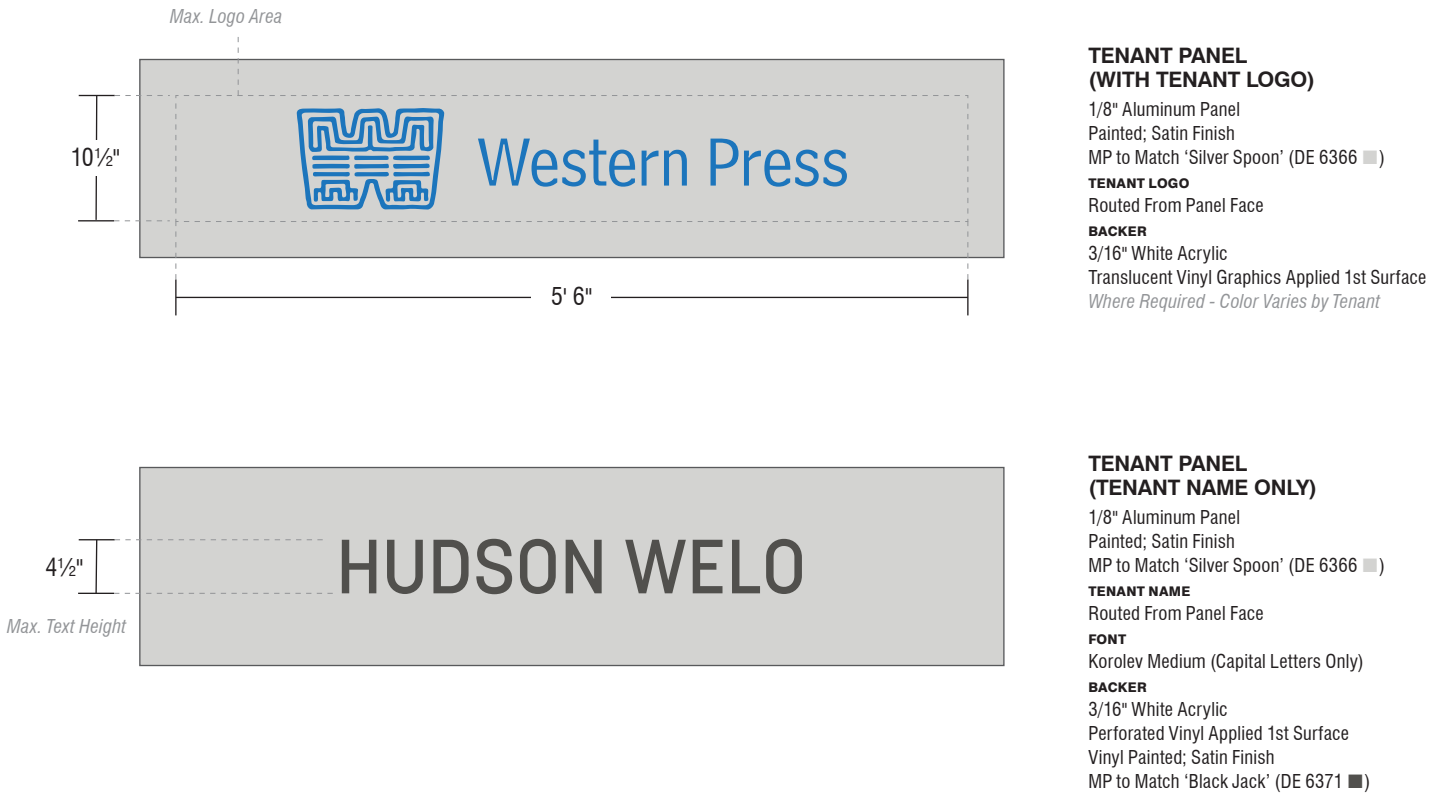
INDUSTRIAL MULTI-TENANT MONUMENT SIGNS

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B Simulated Night View
SCALE 3/8" = 1'0"

C Orientation B
SCALE 1/4" = 1'0"



D Tenant Panel Detail
SCALE 3/4" = 1'0"



Address Number Shown is for Display Purposes Only.
Street Address TBD at time of this Submittal.

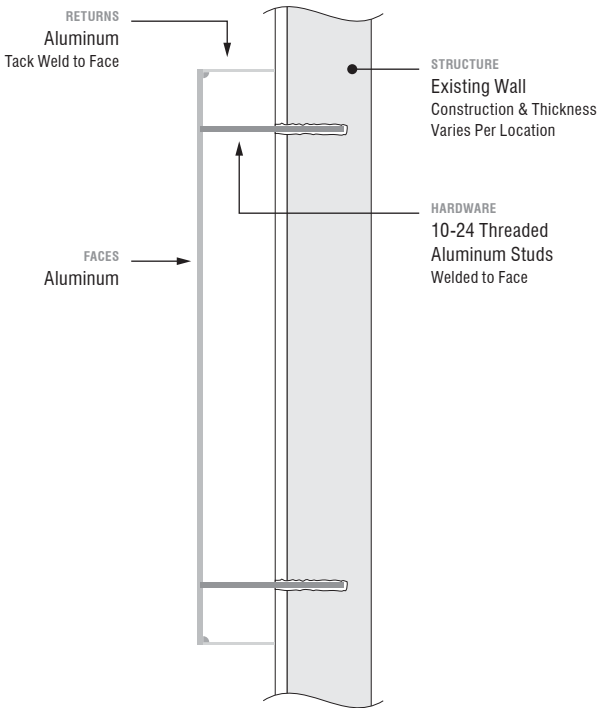
NON-ILLUMINATED
RPC LETTERS

FACES
1/8" Aluminum
Painted; Satin Finish
MP to Match 'Black Jack' (DE 6371 ■)

RETURNS
3" Deep, .063 Aluminum
Painted; Satin Finish
MP to Match 'Black Jack' (DE 6371 ■)

FONT
Korolev Bold

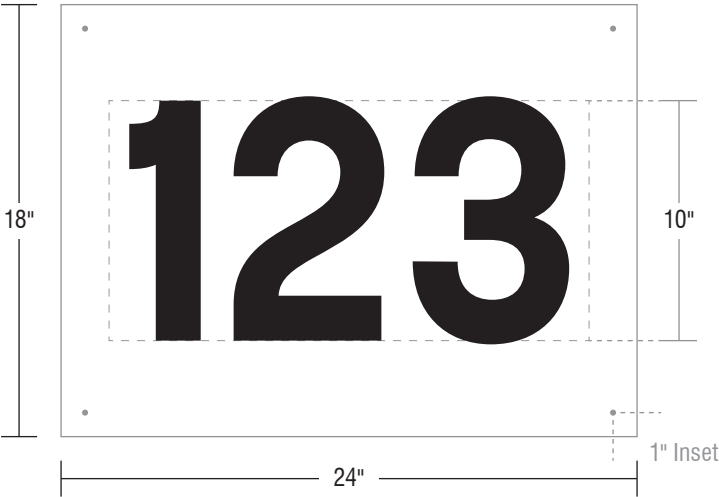
INSTALLATION
Stud Mounted Flush to Building Surface
in Locations Determined by the Fire Department



A Sign Detail
SCALE 1-1/2" = 1'0"

B Section Detail - Typical
Reverse Pan Channel / Non-Illuminated / Stud Mount Flush

LOADING DOOR NUMBER SIGNS



Number Varies Per Door

FLAT PANEL DOCK ID

NUMBER
Direct Digital Print or Cut Vinyl to Face
Vinyl Color: Black (Gerber 220-12 ■)

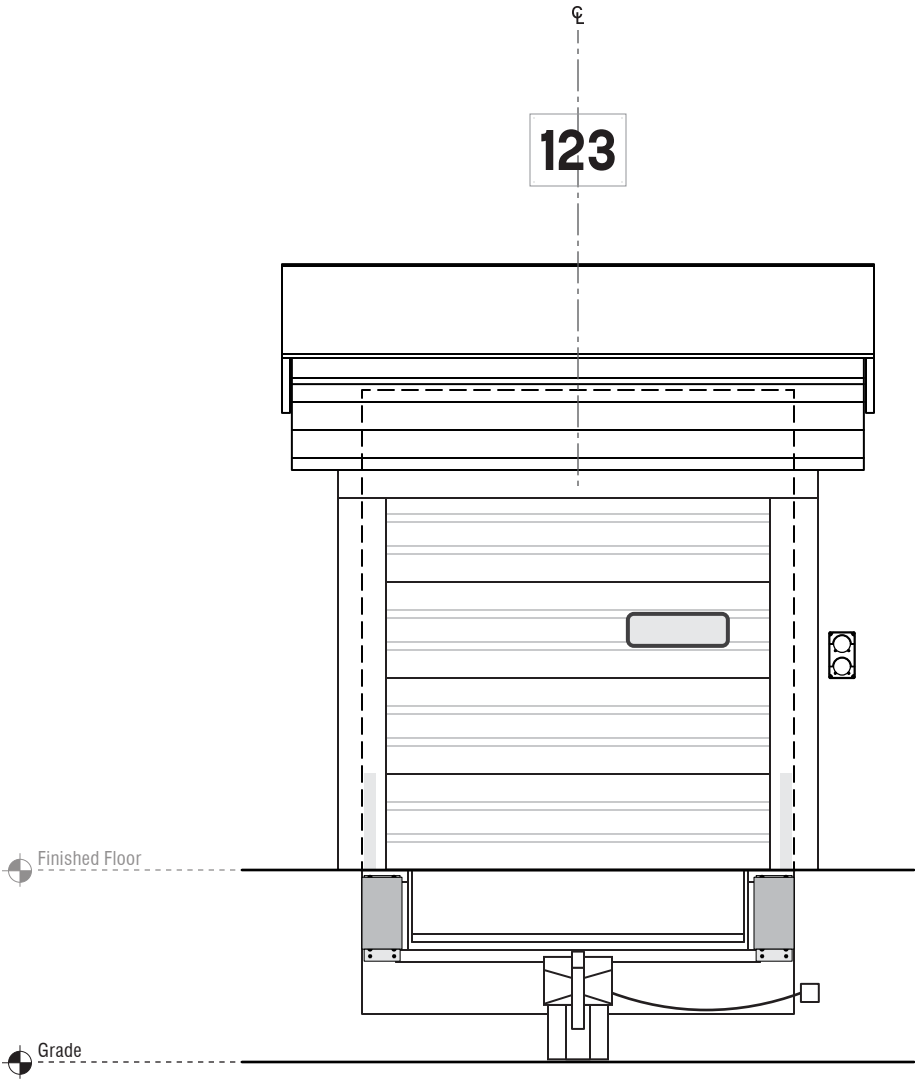
ORIENTATION
S/S

SUBSTRATE
.480 White Aluminum

FINISHING
1/4" Holes: 4 Corners

FONT
Korolev Bold

INSTALLATION
Screwed Flush to Building Surface
Above Dock Door



A Sign Detail
SCALE 1-1/2" = 1'0"

B Installation Detail (Typical)
SCALE 1/4" = 1'0"

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SIGN AREA & SIZE RESTRICTIONS

SIGN AREA CALCULATION Allowable Sign Area for Attached Signs is calculated as follows: The total sign area for tenant occupied buildings up to 75' from Right of Way shall not exceed one (1) square feet for each front foot of building occupancy. The total sign area for tenant occupied buildings 75' or more from Right of Way shall not exceed one and a half (1.5) square feet for each front foot of building occupancy (See Figure 3 at right for examples). The maximum wall sign area of signs located on the second floor of a two story building shall not exceed fifty (50) percent of the lineal building elevation on the second floor. Where a sign consists only of individual letters, numerals, symbols or other similar components, the total area of the sign shall be calculated by the sum of the areas of the smallest square or rectangle that encloses all the text and graphics as shown in Figure 1 at right. More than one bounding box can be used in defining Sign Area as long as all bounding boxes are conjoined to an adjacent bounding box. If more than one bounding box is used, they must all be connected in some way - see Figure 2 at right.

ALLOWED SIGN AREA Each tenant sign located on the first floor of a one or two story building shall be permitted a minimum sign area of thirty-two (32) square feet. Each tenant sign located on the second floor of a two story building shall not exceed seventy-five (75) square feet in allowable sign area.

SIGN ENVELOPE is an area not to exceed 80% of the vertical and 80% of the horizontal background of the building surface upon which the sign is to be installed. Sign envelope does not define the total allowable sign area. It defines the outermost reaches that a sign can occupy. Sign area calculations based on lineal feel of leased space still apply. See Figure 3 at right.

SIGN LOCATION All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Landlord. In general, all signs shall fit appropriately into architectural sign areas. Margins left by the sign should be in balance around the sign. Color breaks, control joints, high variation in surface texture or other obvious architectural delineation of spaces shall define the architectural sign area. Wall Signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character. Top floor signage located on multi-story buildings may span floor plates.



FIGURE 1



FIGURE 2

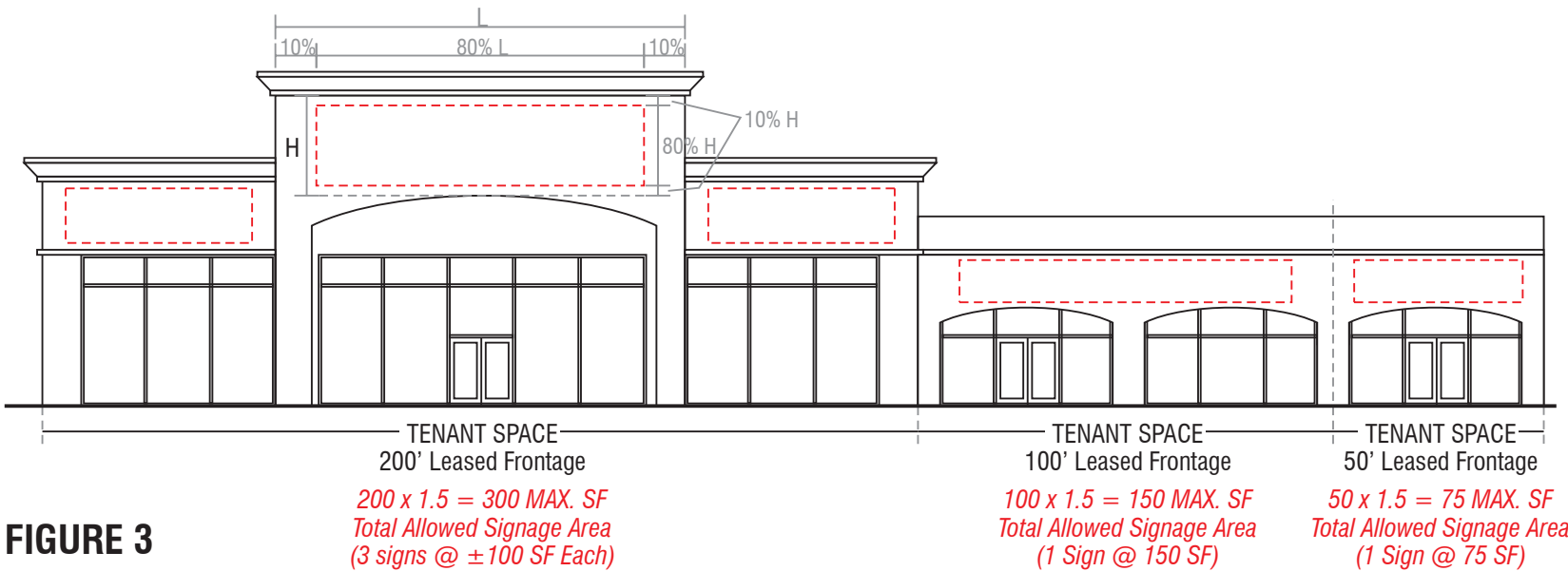


FIGURE 3

Tenant Building Located
75' or More from ROW

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INDUSTRIAL TENANT SIGNS - WALL SIGNS



NORTH ELEVATION **B2** *Non-Illuminated Sign Types Allowed Only*



EAST ELEVATION **B1** *All Sign Types Allowed*



WEST ELEVATION **B2** *Non-Illuminated Sign Types Allowed Only*

SOUTH ELEVATION (No Sign Envelopes)



TOP SECTION ENVELOPES

A1 6' 5" Tall x 24' 0" Wide	A3 6' 5" Tall x 21' 0" Wide	A5 6' 5" Tall x 21' 0" Wide	A7 6' 5" Tall x 21' 0" Wide	A9 6' 5" Tall x 21' 0" Wide	A11 6' 5" Tall x 21' 0" Wide	A13 6' 5" Tall x 24' 0" Wide
A2 6' 5" Tall x 21' 0" Wide	A4 6' 5" Tall x 21' 0" Wide	A6 6' 5" Tall x 21' 0" Wide	A8 6' 5" Tall x 21' 0" Wide	A10 6' 5" Tall x 24' 0" Wide	A12 6' 5" Tall x 24' 0" Wide	A14 6' 5" Tall x 21' 0" Wide

MID SECTION ENVELOPES

A1 5' 0" Tall x 24' 0" Wide	A3 5' 0" Tall x 21' 0" Wide	A5 5' 0" Tall x 21' 0" Wide	A7 5' 0" Tall x 21' 0" Wide	A9 5' 0" Tall x 21' 0" Wide	A11 5' 0" Tall x 21' 0" Wide	A13 5' 0" Tall x 24' 0" Wide
A2 5' 0" Tall x 21' 0" Wide	A4 5' 0" Tall x 21' 0" Wide	A6 5' 0" Tall x 21' 0" Wide	A8 5' 0" Tall x 21' 0" Wide	A10 5' 0" Tall x 24' 0" Wide	A12 5' 0" Tall x 24' 0" Wide	A14 5' 0" Tall x 21' 0" Wide



SOUTH ELEVATION **B1** All Sign Types Allowed



WEST ELEVATION **B1** All Sign Types Allowed



EAST ELEVATION **B1** All Sign Types Allowed

NORTH ELEVATION (No Sign Envelopes)



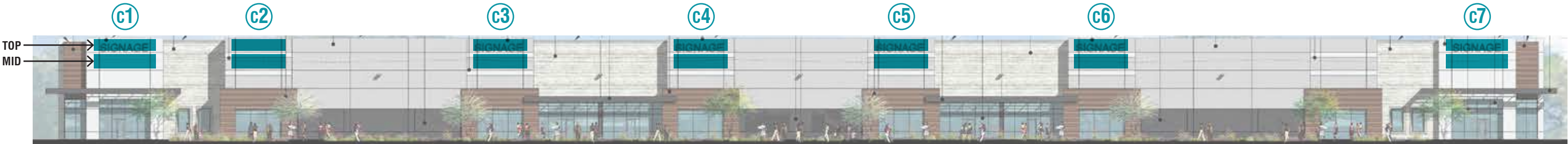
TOP SECTION ENVELOPES

B1 4' 6" Tall x 24' 0" Wide	B3 4' 6" Tall x 21' 0" Wide	B5 4' 6" Tall x 21' 0" Wide	B7 4' 6" Tall x 18' 6" Wide	B9 4' 6" Tall x 24' 0" Wide
B2 4' 6" Tall x 21' 0" Wide	B4 4' 6" Tall x 21' 0" Wide	B6 4' 6" Tall x 24' 0" Wide	B8 4' 6" Tall x 24' 0" Wide	B10 4' 6" Tall x 18' 6" Wide

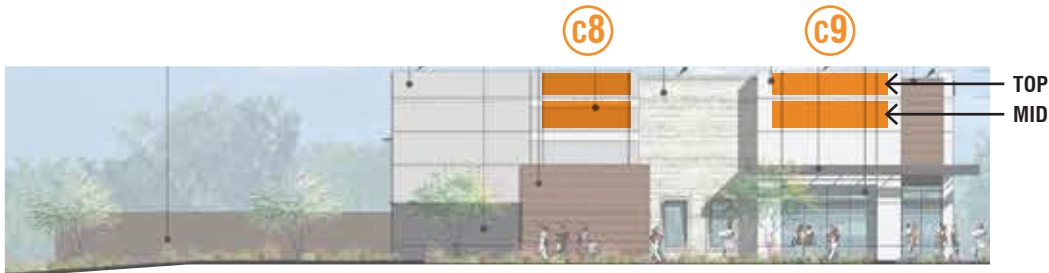
MID SECTION ENVELOPES

B1 5' 6" Tall x 24' 0" Wide	B3 5' 6" Tall x 21' 0" Wide	B5 5' 6" Tall x 21' 0" Wide	B7 5' 6" Tall x 18' 6" Wide	B9 5' 6" Tall x 24' 0" Wide
B2 5' 6" Tall x 21' 0" Wide	B4 5' 6" Tall x 21' 0" Wide	B6 5' 6" Tall x 24' 0" Wide	B8 5' 6" Tall x 24' 0" Wide	B10 5' 6" Tall x 18' 6" Wide

INDUSTRIAL TENANT SIGNS - WALL SIGNS



SOUTH ELEVATION **B1** All Sign Types Allowed



WEST ELEVATION **B2** Non-Illuminated Sign Types Allowed Only



EAST ELEVATION **B1** All Sign Types Allowed

NORTH ELEVATION (No Sign Envelopes)



TOP SECTION ENVELOPES

- | | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|-------------------------------------|
| c1 4' 6" Tall x 24' 0" Wide | c3 4' 6" Tall x 21' 0" Wide | c5 4' 6" Tall x 21' 0" Wide | c7 4' 6" Tall x 24' 0" Wide | c9 4' 6" Tall x 24' 0" Wide | c11 4' 6" Tall x 18' 6" Wide |
| c2 4' 6" Tall x 21' 0" Wide | c4 4' 6" Tall x 21' 0" Wide | c6 4' 6" Tall x 21' 0" Wide | c8 4' 6" Tall x 18' 6" Wide | c10 4' 6" Tall x 24' 0" Wide | |

MID SECTION ENVELOPES

- | | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|-------------------------------------|
| c1 5' 6" Tall x 24' 0" Wide | c3 5' 6" Tall x 21' 0" Wide | c5 5' 6" Tall x 21' 0" Wide | c7 5' 6" Tall x 24' 0" Wide | c9 5' 6" Tall x 24' 0" Wide | c11 5' 6" Tall x 18' 6" Wide |
| c2 5' 6" Tall x 21' 0" Wide | c4 5' 6" Tall x 21' 0" Wide | c6 5' 6" Tall x 21' 0" Wide | c8 5' 6" Tall x 18' 6" Wide | c10 5' 6" Tall x 24' 0" Wide | |



SOUTH ELEVATION **B1** All Sign Types Allowed



WEST ELEVATION **B2** Non-Illuminated Sign Types Allowed Only



EAST ELEVATION **B1** All Sign Types Allowed

NORTH ELEVATION (No Sign Envelopes)



TOP SECTION ENVELOPES

- | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|
| D1 4' 6" Tall x 24' 0" Wide | D3 4' 6" Tall x 21' 0" Wide | D5 4' 6" Tall x 21' 0" Wide | D7 4' 6" Tall x 18' 6" Wide | D9 4' 6" Tall x 24' 0" Wide |
| D2 4' 6" Tall x 21' 0" Wide | D4 4' 6" Tall x 21' 0" Wide | D6 4' 6" Tall x 24' 0" Wide | D8 4' 6" Tall x 24' 0" Wide | D10 4' 6" Tall x 18' 6" Wide |

MID SECTION ENVELOPES

- | | | | | |
|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------------------|
| D1 5' 6" Tall x 24' 0" Wide | D3 5' 6" Tall x 21' 0" Wide | D5 5' 6" Tall x 21' 0" Wide | D7 5' 6" Tall x 18' 6" Wide | D9 5' 6" Tall x 24' 0" Wide |
| D2 5' 6" Tall x 21' 0" Wide | D4 5' 6" Tall x 21' 0" Wide | D6 5' 6" Tall x 24' 0" Wide | D8 5' 6" Tall x 24' 0" Wide | D10 5' 6" Tall x 18' 6" Wide |

INDUSTRIAL TENANT SIGNS - WALL SIGNS

INDIVIDUAL LETTER SIGNS

Individual letter signs are signs that feature text and/or logo symbols that are individually attached to a building surface.

Individual letter signs shall consist of individual LED or Neon illuminated or non-illuminated pan channel or reverse pan channel letters with 3" to 5" Deep returns. FCO Aluminum may be used for smaller letters if necessary. All Individual letter signs are to be mounted off wall surface with 1-1/2" (Min.) spacers.

Corporate Letterstyles, Logotype, Logo, and Colors may be used per Landlord Approval. In instances where a Tenant has no corporate color or identity, the Wall Sign is to be typeset in the font Korolev Bold in all capital letters and the color is to match DE 6371 'Black Jack' (See Figure 4 below).



TENANT NAME

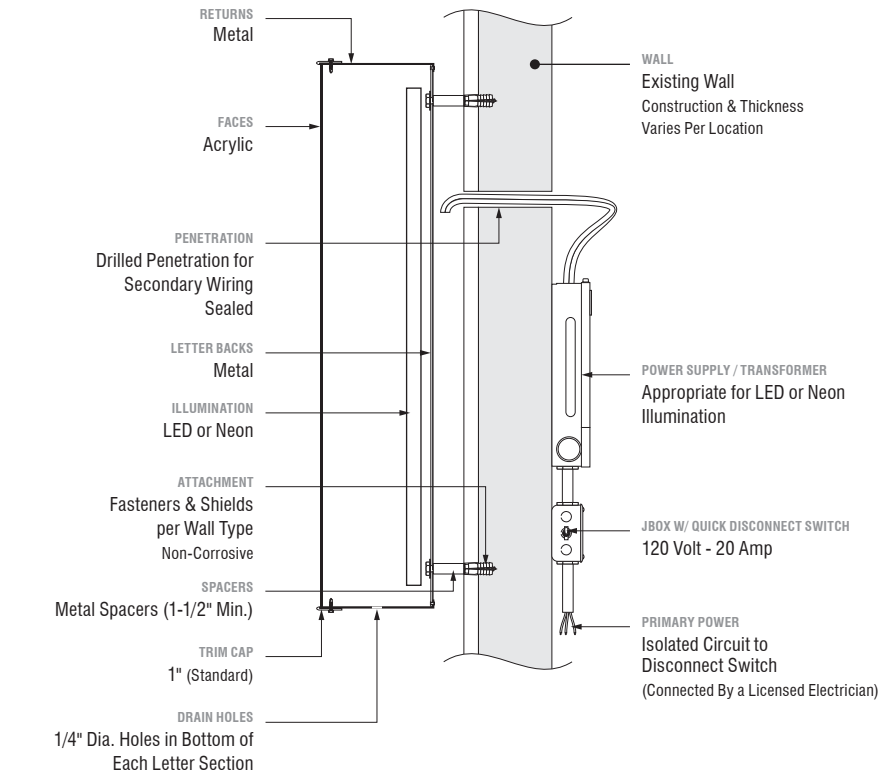
Font - Korolev Bold (all capital letters)
Color - Match DE 6371 'Black Jack'
Face to Illuminate White During Evening/Night (if illuminated)

FIGURE 4

EXAMPLE INDIVIDUAL LETTER SIGN WITHOUT CORPORATE IDENTITY

EXAMPLE INDIVIDUAL LETTER SIGNS WITH CORPORATE IDENTITIES

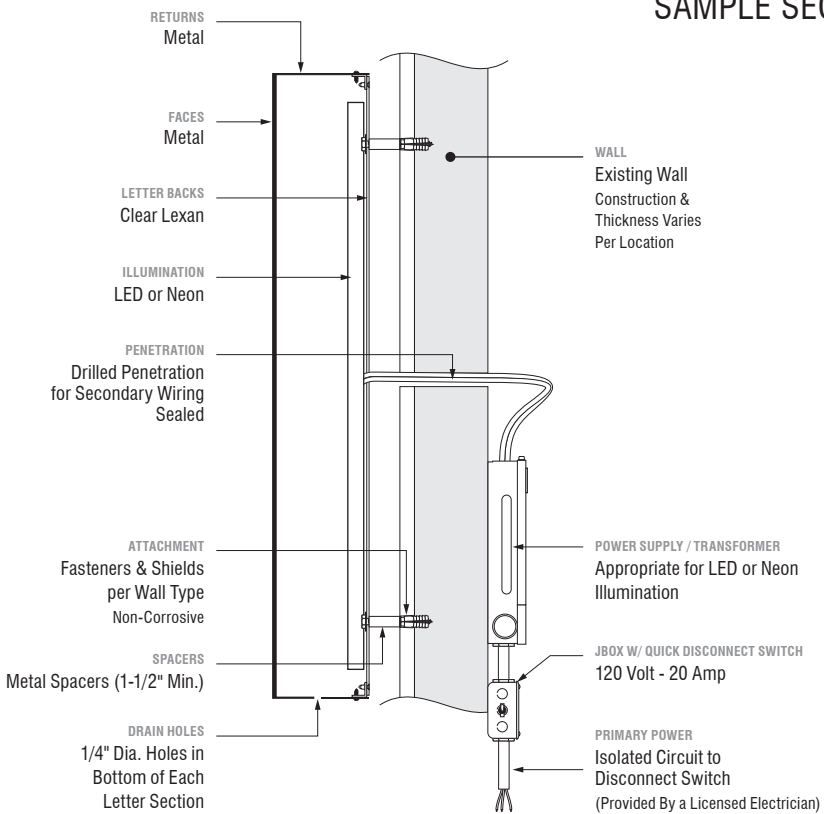
INDUSTRIAL TENANT SIGNS - WALL SIGNS (ILLUMINATED SIGN TYPES)



Pan Channel Letter
Internally Illuminated

A Section Detail - Typical
Pan Channel Letter / LED Internally Illuminated / Flush Mounted

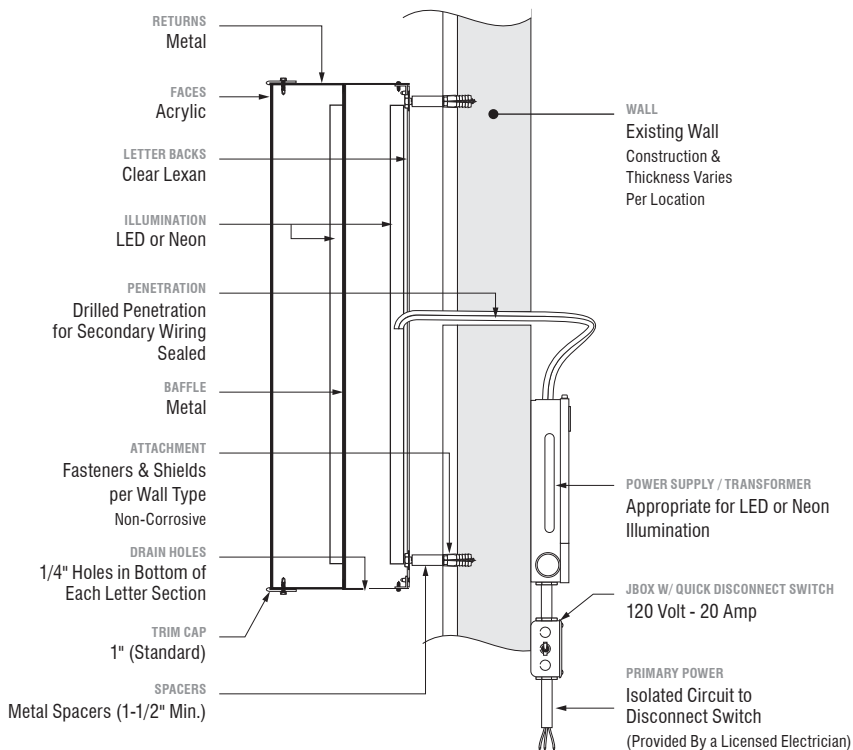
SAMPLE SECTION DETAILS - RECOMMENDED SIGNAGE



Reverse Pan Channel Letter
Halo-Illuminated

NOTE: Back-Plate for Halo Illumination May be Required on
Signs Installed on Awnings.

B Section Detail - Typical
Reverse Pan Channel Letter / LED Halo-Illuminated / Mounted Off Wall

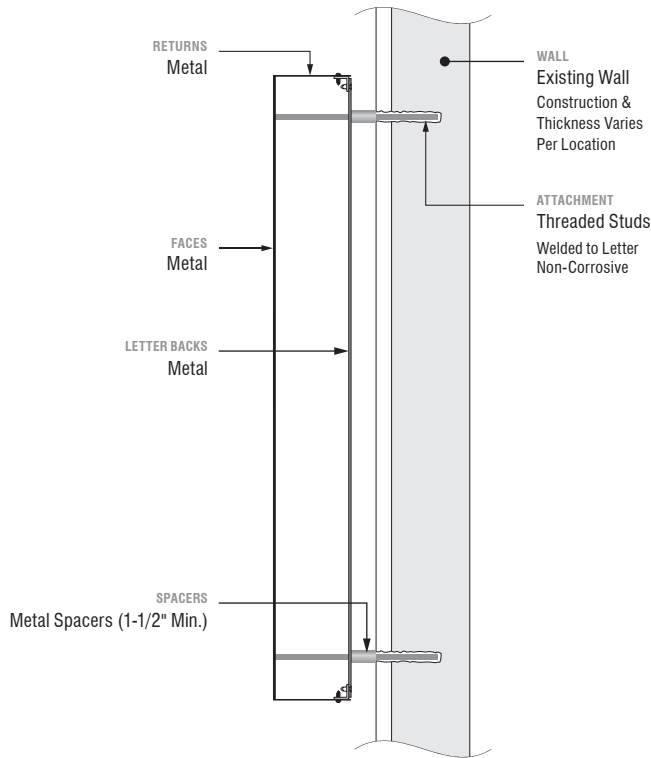


Channel Letter
Face and Halo Illuminated

NOTE: Back-Plate for Halo Illumination May be Required on
Signs Installed on Awnings.

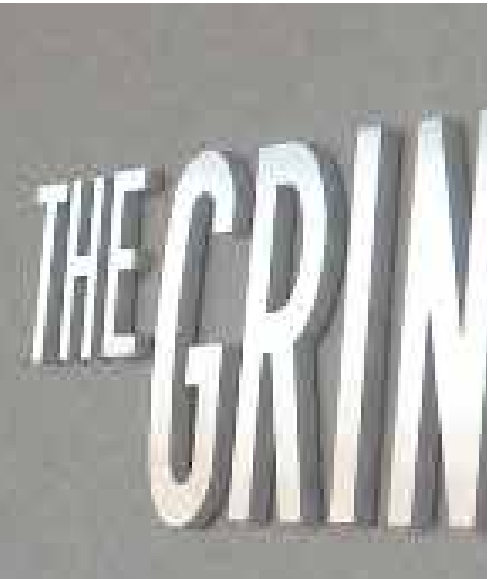
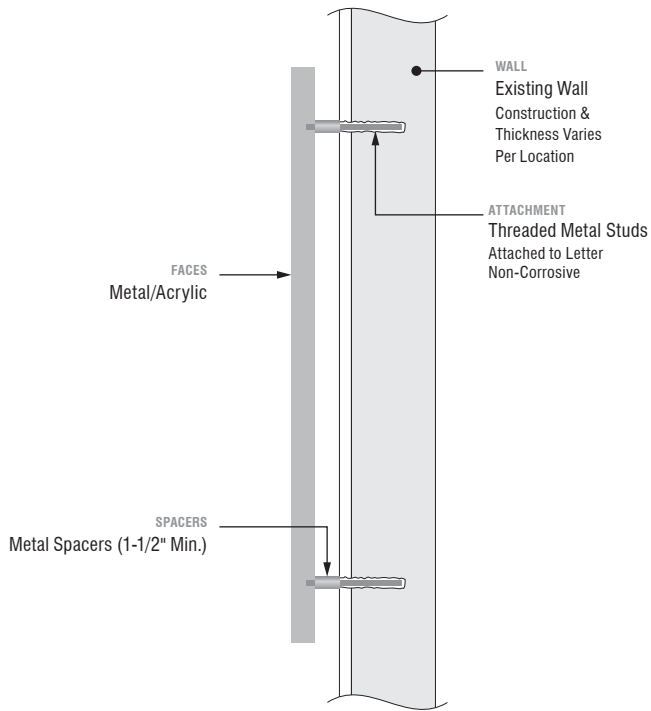
C Section Detail - Typical
Channel Letter / Face and Halo Illuminated

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Reverse Pan Channel Letter
Non-Illuminated

D Section Detail - Typical
Reverse Pan Channel Letter / Non-Illuminated / Stud Mount With Spacers



Flat Cut Out Letter
Non-Illuminated

E Section Detail - Typical
Flat Cut Out Letter / Non-Illuminated / Stud Mount With Spacers

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INDUSTRIAL TENANT SIGNS - MISC. TENANT ID SIGNS

WINDOW SIGNS

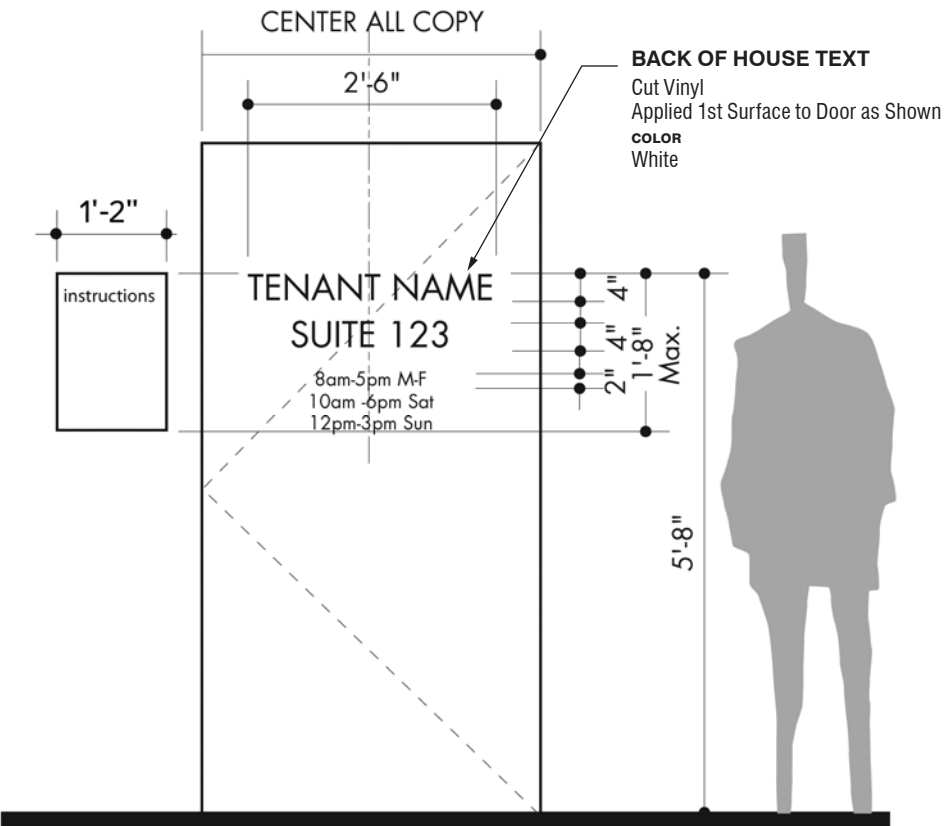
Window signs or applied graphics shall be any sign placed on, affixed to, painted on, or located within the casement or sill area of a mineral glass window or other glazing. Dimensional letters attached to the glazing must have matching dimensional letters on each side of the glazing or a consistent and permanent opaque finish. Window sign area shall not exceed 25% of each window area.



EXAMPLE WINDOW SIGNS

BACK OF HOUSE SIGNS

Shop Tenants: Back of house signs shall include signage located in and around a back door entrance to a building and shall be permitted as shown at right, without counting against the maximum sign area.



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