



12

**Planning Commission Staff Report**  
**ADDENDUM**

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** NOAH SCHUMERTH, PLANNER II  
(480) 503-6729, NOAH.SCHUMERTH@GILBERTAZ.GOV

**THROUGH:** ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER  
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

**MEETING DATE:** JUNE 1, 2022

**SUBJECT:** DR21-121, GRAVITY ENERGY

**STRATEGIC INITIATIVE:** Exceptional Built Environment

Provide new services in a functional and visually appealing manner in an area of rapid growth in the Town.

**RECOMMENDED MOTION**

Approve the Findings of Fact and approve DR21-121, Gravity Coffee: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.15 acres, generally located north of the NEC of Val Vista Drive and Germann Road and zoned Commercial Center (CC) with Planned Area Development zoning (PAD).

**APPLICANT**

Company: Archicon Architects  
Name: Tim Rasnake  
Address: 5055 Washington Street  
Phoenix, Arizona, 85034  
Phone: (602) 222-4266  
Email: timr@archicon.com

**OWNER**

Company: Verde Building Corporation  
Name: N/A  
Address: 18251 E Queen Creek Road  
Queen Creek, Arizona, 85142  
Phone: (480) 833-0971  
Email: info@verdebuild.com

**BACKGROUND/DISCUSSION**

**History**

Date	Description
December 14, 2004	Town Council approved GP04-13 (Resolution No. 2548), a Major General Plan Amendment to prepare 160 acres of property east of Val Vista Road, north of Germann Road, south of Willis Road alignment and west of 156 <sup>th</sup> Street alignment for higher-density development. Approved amendment changed the land use designation from Residential >0-1 DU/Acre to a range of uses including Residential >14-25 DU/Acre, Neighborhood Office (NO), General Office (GO), Business Park (BP), and Community Commercial (CC).
November 9, 2005	Town Council approved A05-19 (Ordinance No. 1699) annexing 160 acres east of Val Vista Road, north of Germann Road, south of Mercy Road and west of 156 <sup>th</sup> Street into the Town of Gilbert.
August 29, 2006	Town Council approved Z06-55 (Ordinance No. 1813) rezoning 160 acres from Maricopa County zoning districts R1-43 and C-1 to Community Center (CC), Business Park (BP), General Office (GO), Neighborhood Office (NO), and Multi-Family Medium (MF/M) with a Planned Area Development (PAD).
December 4, 2007	Town Council approved Resolution No. 2852 and No. 2860, creating an Improvement District for capital improvements in the Mercy Medical District. Planned capital improvements deemed officially complete on April 21, 2011 (Resolution No. 3064).
September 20, 2021	Design Review Board approved DR20-186, Circle K retail store to the south of the site, including improving driveway and cross-access easements for Gravity Energy site.

## Overview

The applicant is proposing the construction of a single-story commercial structure totaling 796 square feet of indoor space (1,800 square feet including areas under proposed canopies), located on a 1.15 acre site at 3939 S Val Vista Drive. The site is generally located north of the NEC of Val Vista Drive and Germann Road. The site is connected internally to commercial-zoned sites to the south and the east via existing cross-access easements (DR20-186).

The structure will provide an automobile-oriented use in the form of a drive-through service establishment (Gravity Energy determined to be tenant for site). The proposed building has no indoor service area, and indoor space is reserved for employees and vendors only. The site features two drive-through lanes designed to handle a higher capacity of drive-through traffic commonly caused by this type of use. The site provides a small parking area for employees and vendors and a large retention area.

## Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	General Office (GO)	Business Park (BP)	Vacant
South	Residential > 2-3.5 DU/Acre (R > 2-3.5)	Single-Family Residential (SF-15)	Commercial - Retail
East	General Commercial (GC)	Community Commercial (CC)	Vacant
West	Regional Commercial (RC)	Regional Commercial (RC)	Agricultural
Site	General Commercial (GC)	Community Commercial (CC)	Vacant

## Project Data Table:

Site Development Regulations	Required per LDC	Proposed
Maximum Building Height (ft.)/(Stories)	35'	21'
Minimum Building Setback (ft.)		
Front	20'	20'
Side (Street)	20'	N/A
Side (Residential)	20'	N/A
Side (Non-residential)	15'	56'

Rear (Residential)	40'	N/A
Rear (Non-residential)	15'	154'
Separation Between Buildings (ft.)	15'	N/A
Minimum Required Perimeter Landscape Area (ft.)		
Front	20'	20'
Side (Street)	20'	N/A
Side (Residential)	25'	N/A
Side (Non-residential)	15'	15'
Rear (Residential)	30'	N/A
Rear (Non-residential)	15'	15'
Landscaping (% of net lot area)	15%	39%
Off-Street Parking and Loading	11 spaces	11 spaces

## DISCUSSION

### Site

The site features a single building designed to host a drive-through service establishment (Gravity Energy). The building is approximately 796 square feet. The site design is heavily influenced by the fact that there is no public ingress into the structure; the building is accessed by the public through the use of two full-service drive-through windows. The dual drive-through lanes wrap around the northern and western portions of the proposed site, and the entrances to these lanes are staggered in a manner which manages potential queueing conflicts. The combined exit for the two drive-through lanes is appropriately designed per the LDC and is coordinated with the driveway of the previously approved Circle K retail store to the south (DR20-186).

A small parking area is sited adjacent to the new structure, containing 11 parking spaces with accompanying pedestrian improvements. The parking area is accessed by a large drive aisle looping around the rear of the site and connecting to the proposed drive-through lanes, which was altered during the design review process to accommodate concerns about fire accessibility. The proposed retention basin is located within this drive loop. The building is sited to promote building visibility while minimizing the prominence of parking and access aisles from Val Vista Drive.

The primary access to the site is provided by the driveway adjacent to the cross-access easement (Doc. No. 2021-1129082). Additional points of access are provided with a driveway connected to the approved Circle K development to the south of the site and drive aisle stub reserved for future development to the east of the site. Pedestrian access is provided to Val Vista Drive in a visually pleasing manner with consistent use of decorative pavements across drive lanes.

### **Landscape**

The site provides appropriate landscaping and screening per Land Development Code standards. The site features significantly more landscaped area on the site than required (39% vs. 15%). Plant selections on the site are non-invasive, properly placed to avoid potential storm damage, and meet requirements for Streetscape Theme Tree Maps. Additional trees were added to landscape areas during the design review process, which improved screening to future development on the eastern portion of the site and eliminated non-compliant trees within Town right-of-way.

### **Grading and Drainage**

Proposed improvements to grading and drainage are acceptable and pursuant to Public Works requirements and the Land Development Code. A large retention basin exists within the proposed drive loop on the site. The basin is connected to underground retention chambers located under the parking area of the structure.

*As a condition for approval, drainage and grading plans must be adjusted to demonstrate a 6:1 slope above 3.5' depth within the retention basin, which will cause minor changes to the design of the basin and not affect the overall design of the site. Drawings shall be provided prior to the approval of construction documents and the issuance of building permits.*

The front of the site features a temporary 40' drainage easement. The Town Manager will need to execute a termination of this drainage easement preceding construction and incorporating the designated retention volumes at this site. The site features required improvements to maintain a small portion of the retention basin which continues within the temporary easement on the undeveloped property to the north.

### **Elevations, Floor Plan, Colors and Materials**

The proposed structure is situated in such a way that the most detailed elevation is oriented to the street and service entries and equipment are screened or turned away from the street toward employee parking areas. Elevations were adjusted during the design review process to reduce the prominence of the top canopy of the building, which created a single dominant roofline across the top of the building. Recommendations were accepted to lower the canopies on both sides of the proposed structure to provide greater roofline articulation.

The proposed structure utilizes a grey color palate deemed compatible with surrounding buildings. The elevations are dominated by the use of a grey stone veneer which adds visual quality to the drive-through building, and the building provides an appropriate amount of variation across the building. Signage consistent with branding will add further detail and interest to each elevation of the building. Materials are deemed compatible with surrounding structures and are similar to those proposed for other Gravity Coffee branded establishments in the Town.

### **Lighting**

Lighting is provided with the use of two types of lighting: parking pole lighting with a height of 15' and canopy lighting underneath both drive-through canopies of the proposed structure with a height of 15'. All lighting meets standards in the Town Municipal Code and the Land Development Code. Lighting does not affect neighboring properties and is sufficient to provide safe movement and occupation of the site.

### **Signage**

Signage is not included in this approval. Signage will be approved through a separate sign permitting process. Monument signage location is conceptual on plans and must be approved through Administrative Design Review.

## PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205. Signage and neighborhood notice were provided ahead of the May 17<sup>th</sup>, 2022 deadline and affidavits provided ahead of the May 19<sup>th</sup>, 2022 deadline.

Staff has received one comment from the public, pointing to concerns about infrastructure encroachments into the common access easement designed for access to properties east of the proposed site. The comment also included concerns regarding toxins present in landscaping and the location of signage. Applicant will address comments via conditions of approval.

## STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR21-121, Gravity Coffee: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.15 acres, generally located north of the NEC of Val Vista Drive and Germann Road and zoned Commercial Center (CC) with Planned Area Development zoning (PAD), subject to conditions:

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the June 1, 2022 public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
- c. Drainage and grading plans must be adjusted to demonstrate a 6:1 slope above 3.5' depth within the retention basin, which will cause minor changes to the design of the basin and not affect the overall design of the site. Revised drawings shall be submitted prior to the approval of construction documents and the issuance of building permits to the applicant.
- d. All improvements (including water meters, curbing, and retention features, drive aisles exempt) shall be removed from the 30' common access easement recorded on the southern edge of the proposed site. Applicant shall submit revised drawings prior to the approval of construction documents and the issuance of building permits to the applicant.

- e. Signage is not included in this approval. Administrative Design Review approval is required for monument signs prior to submitting for sign permits. All signage shall require a sign permit prior to installation.

Respectfully submitted,



Noah Schumerth  
Planner II

**Attachments and Enclosures:**

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Elevations
- 8) Colors and Materials
- 9) Floor Plans
- 10) Lighting
- 11) Applicant's Narrative



## FINDINGS OF FACT DR21-121, GRAVITY ENERGY

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

# Notice of Public Hearing

**PLANNING COMMISSION DATE:**

*Wednesday, June 1, 2022\* TIME: 6:00 PM*

**LOCATION:** *Gilbert Police Department - Amphitheater  
75 E Civic Center Dr., Gilbert, AZ 85296*

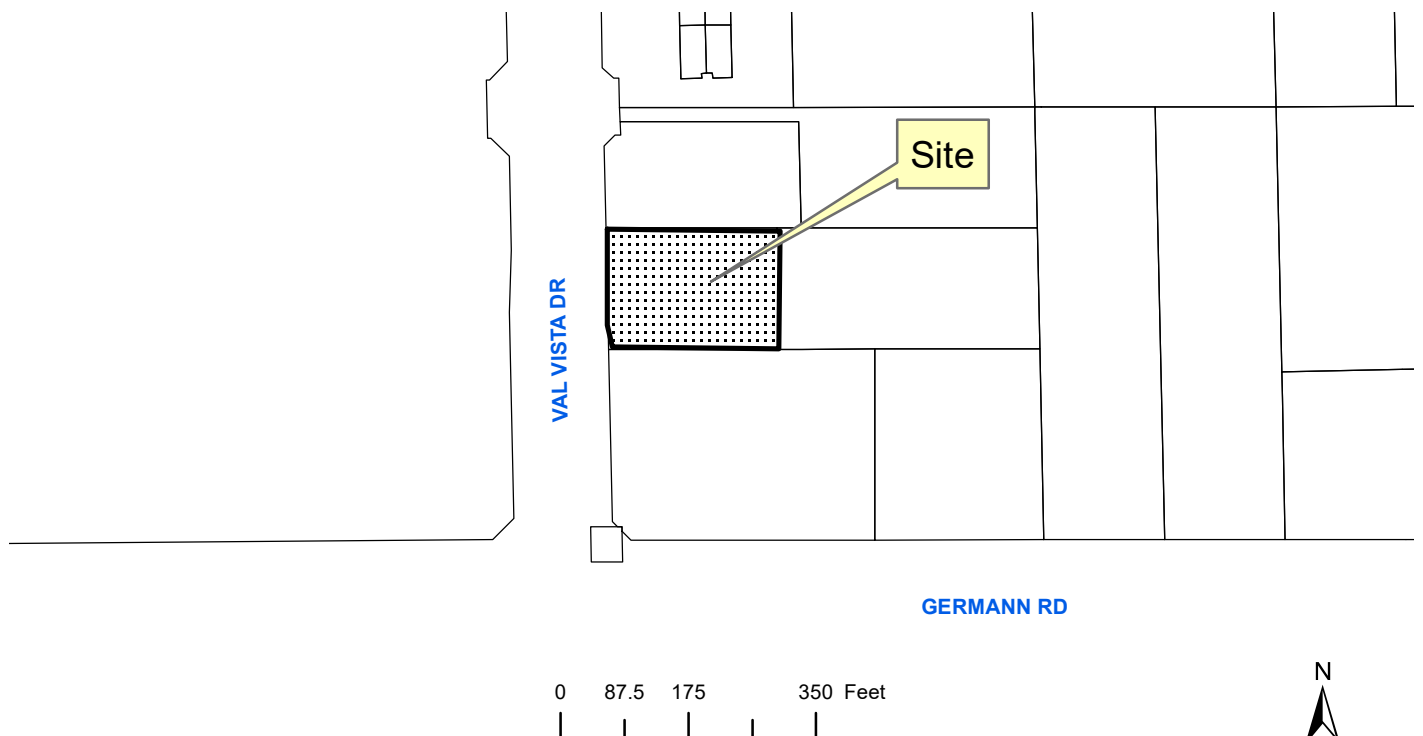
\*Call Case Planner to verify date and time: (480) 503-6729

The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at [www.gilbertaz.gov/departments/development-services/planning/planning-commission](http://www.gilbertaz.gov/departments/development-services/planning/planning-commission)

## REQUESTED ACTION:

**DR21-121 Gravity Energy:** Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.15 acres, generally located at the NEC of Val Vista Drive and Germann Road, and zoned Commercial Center (CC).

## SITE LOCATION:

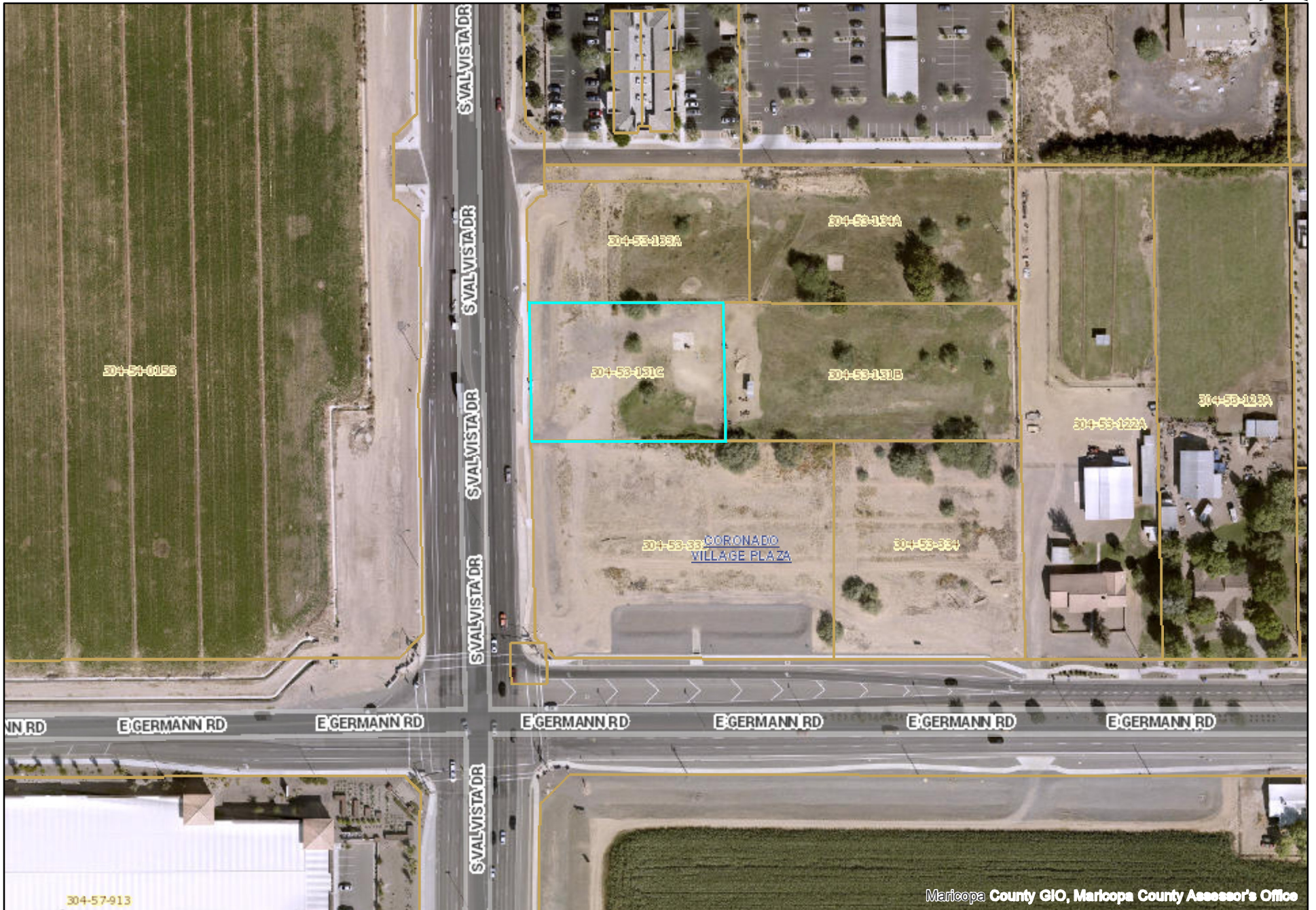


**APPLICANT:** *Archicon Architecture & Interiors*  
**CONTACT:** *Tim Rasnake*  
**ADDRESS:** *5055 Washington St.*  
*Phoenix, AZ 85034*

**TELEPHONE:** *(602) 222-4266*  
**E-MAIL:** *timr@archicon.com*



# Map



A.P.N. 304-53-133A  
VAL VISTA INVESTMENT LLC  
2004-0529439 M.C.R.

**OWNER:**  
VERDE CONSTRUCTION  
1852 E QUEEN CREEK ROAD  
SUITE #105-621  
QUEEN CREEK, AZ 85142  
CONTACT: ANDY GOFORTH  
PH: 602-920-1598  
EMAIL: andy@verdebuild.com

**ARCHITECT:**  
ARCHICON ARCHITECTURE  
AND INTERIORS, L.C.  
5055 E WASHINGTON ST.  
SUITE 200  
PHOENIX, AZ 85034  
CONTACT: JEFFREY A KOSKI  
PH: 602.222.4266  
EMAIL: jefrk@archicon.com

**PROJECT DESCRIPTION:**  
THIS PROJECT WILL CONSIST OF A NEW 797 SF DRIVE-THRU WITH A DUAL LANE ORDER POINTS.

**SITE DATA:**  
ADDRESS: 3939 SOUTH VAL VISTA DRIVE  
GILBERT, ARIZONA 85297

ASSESSOR PARCEL #: 304-53-131C

ZONING: CC

APPROX. SITE AREA: (NET): 38,647.80 S.F. (0.887 ACRES)  
(GROSS): 50,238.00 S.F. (1.153 ACRES)

BUILDING AREA: 797 SQ. FT.

BUILDING AREA WITH CANOPIES: 1,802 SQ.FT.

FLOOR AREA RATIO: 1,802 / 38,647 = 0.0466

BUILDING COVERAGE: (INCLUDES CANOPY)= 4.67%

LANDSCAPE COVERAGE:  
OFFSITE: 1,182 S.F.  
ON-SITE: 14,627 S.F.  
TOTAL: 15,809 S.F.  
PERCENT: 38%

OCCUPANCY: B

CONSTRUCTION: V-B W/ A.F.E.S.

BUILDING HEIGHT PROVIDED: 20'-11 1/4" (TOP OF ROOF PEAK)

**REQUIRED PARKING CALCULATIONS:**

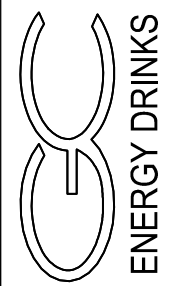
OCCUPANCY	S.F.	FACTOR	TOTAL
RETAIL	797	1/75	10.6 SPACES
TOTAL PARKING SPACES REQUIRED:			11 SPACES
TOTAL PARKING SPACES PROVIDED:			11 SPACES
ACCESSIBLE PARKING SPACES PROVIDED:			1 SPACES - VAN ACCESSIBLE
BICYCLE SPACES:			2 SPACES



**ARCHICON**  
Architecture & Interiors, L.C.

5055 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
www.ARCHICON.COM

3939 S. VAL VISTA DR  
N.E.C. VAL VISTA & GERMANN  
GILBERT, ARIZONA



PROJECT NUMBER: 2184410-01  
PROJECT MANAGER: J. KOSKI  
DRAWN BY: J. KOSKI  
CHECKED BY: J. KOSKI

NO	REVISION	DATE

SHEET DESCRIPTION

SITE PLAN

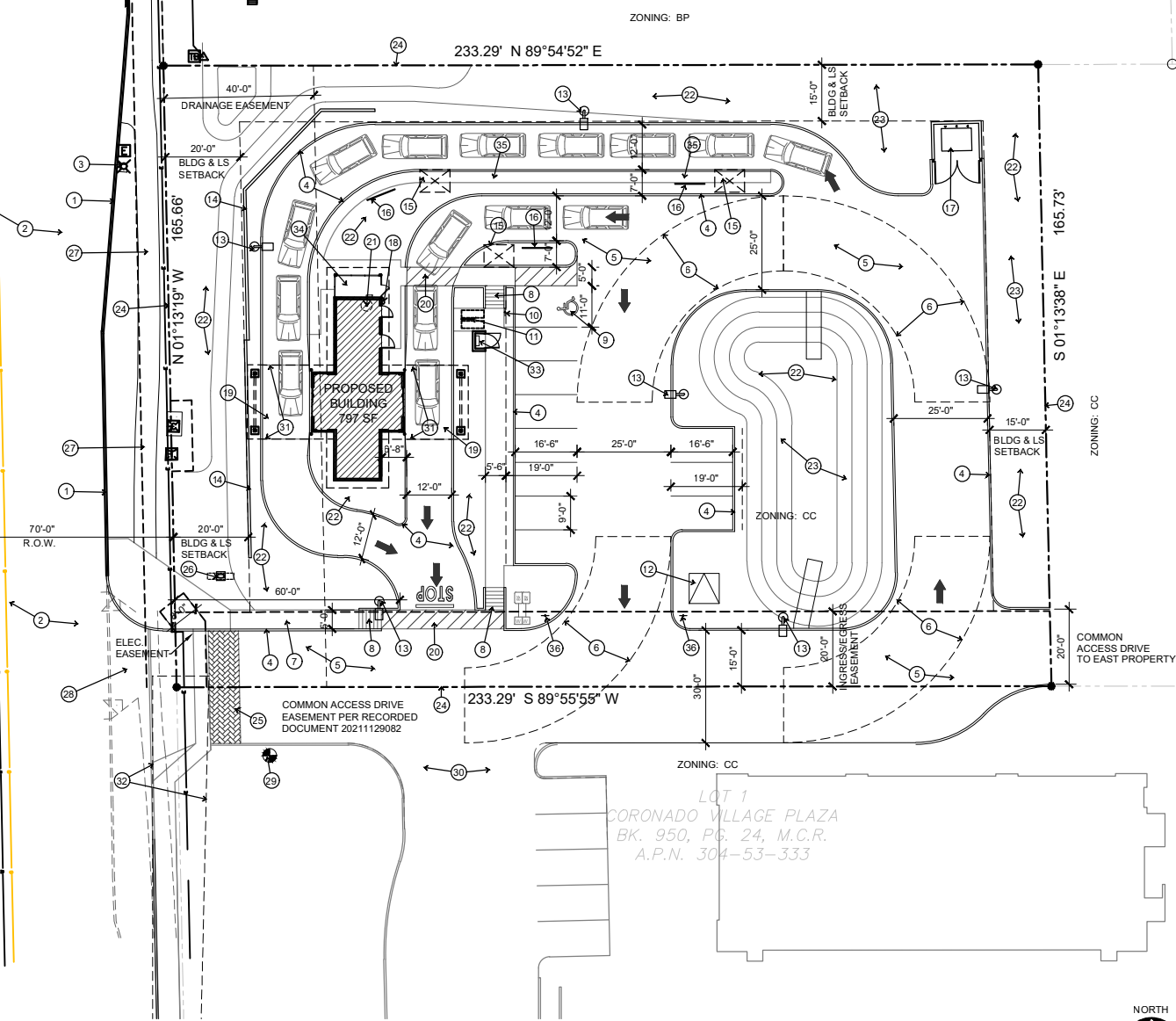


SHEET NO.

**DR100**

ISSUE DATE: 31 JAN 2022

SOUTH VAL VISTA DRIVE



**1 SITE PLAN**

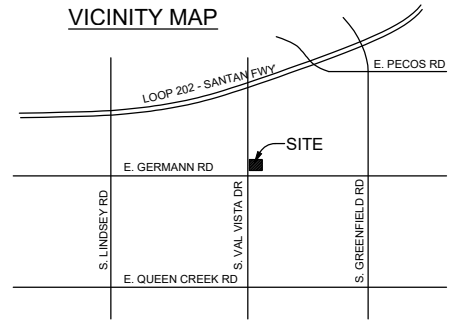
**KEYNOTES**

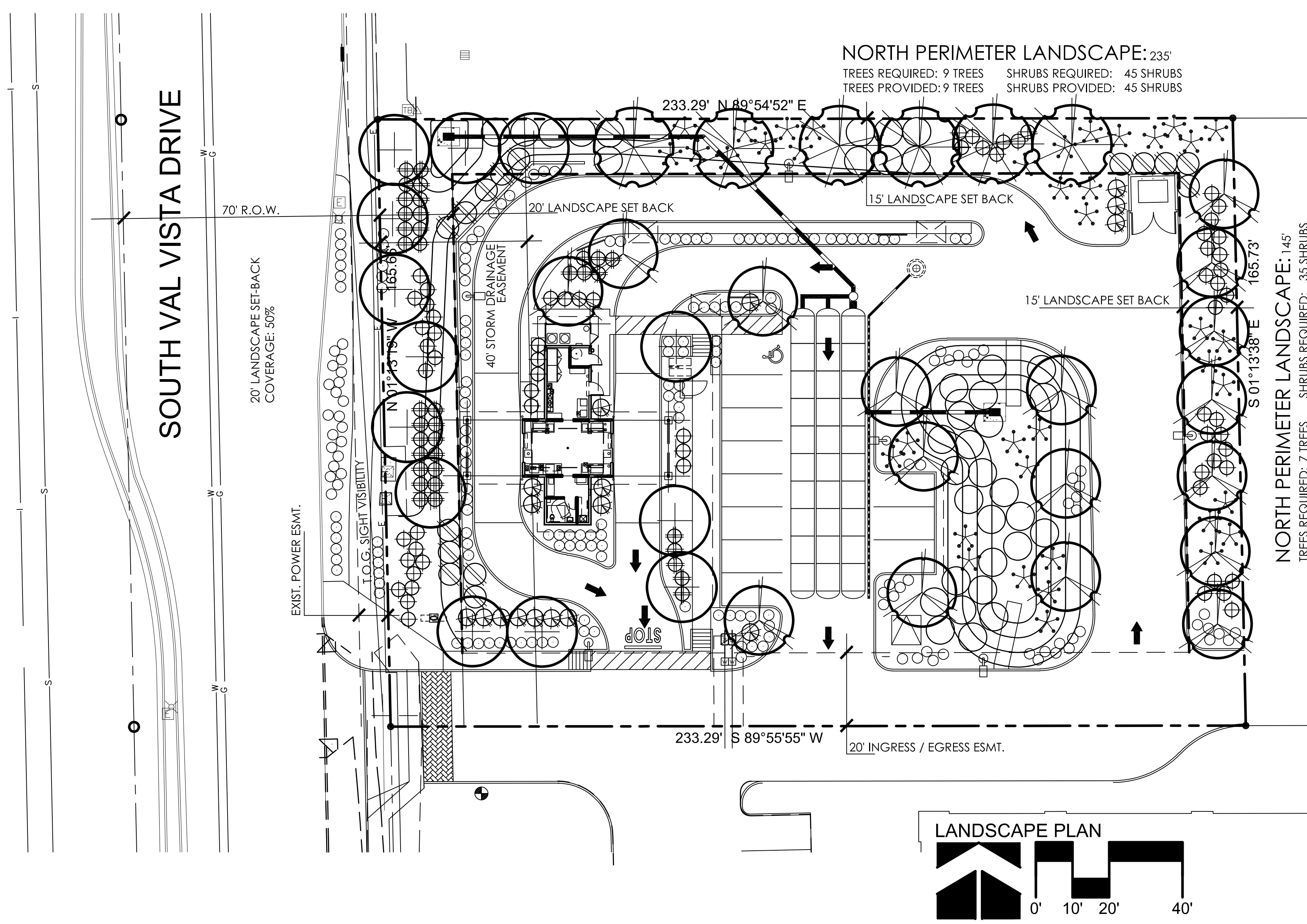
- |  |  |
|--|--|
| 1 EXISTING CURB  | 19 COVERED CANOPY AT BUILDING  |
| 2 EXISTING STREET  | 20 PAINTED CROSSWALK   |
| 3 EXISTING STREELIGHT TO REMAIN  | 21 FIRE RISER ROOM   |
| 4 NEW 6" HIGH CONCRETE CURB  | 22 LANDSCAPE AREA  |
| 5 ASPHALT PAVING   | 23 RETENTION AREA  |
| 6 FIRE TRUCK TURNING RADIUS, 35' INSIDE RADIUS, 55' OUTSIDE RADIUS                             | 24 EXISTING PROPERTY LINE  |
| 7 NEW 5'-0" WIDE CONCRETE SIDEWALK   | 25 DECORATIVE PAVING BY CIRCLE K                                     |
| 8 ADA RAMP   | 26 SIGNAGE. UNDER SEPARATE PERMIT                                    |
| 9 ADA PARKING SPACE  | 27 EXISTING SIDEWALK TO REMAIN                                       |
| 10 ADA SIGNAGE   | 28 NEW DRIVEWAY PER T.O.G. STANDARDS. PER CIRCLE K IMPROVEMENT PLANS |
| 11 BICYCLE RACK. SEE SHEET DR110   | 29 FIRE HYDRANT  |
| 12 ELECTRICAL TRANSFORMER  | 30 ACCESS TO CIRCLE K PROJECT  |
| 13 PARKING LOT LIGHT   | 31 CONCRETE PAVING AT DRIVE-THRU TO CANOPY DRIP EDGE                 |
| 14 3'-4" TALL CMU SCREEN WALL. STAGGERED A MINIMUM OF 1'-0" FOR EVERY 100'-0". SEE SHEET DR110 | 32 SIGHT VISIBILITY TRIANGLE PER GIL-212                             |
| 15 SHADE STRUCTURE. SEE SHEET DR111  | 33 S.E.S. IN ENCLOSURE WITH DOOR, FULLY SCREENED. SEE SHEET DR111    |
| 16 PREVIEW MENU BOARD  | 34 SCREENED MECHANICAL YARD  |
| 17 TRASH ENCLOSURE PER T.O.G. DETAIL GIL-180. SEE SHEET DR110                                  | 35 3'-0" WIDE CONCRETE SIDEWALK AT DRIVETHRU                         |
| 18 F.D.C. LOCATION   | 36 DO NOT ENTER - EXIT ONLY SIGN                                     |

SCALE: 1" = 20'-0"



**VICINITY MAP**





**LANDSCAPE LEGEND**

- |              |  |               |   |                     |   |  |   |
|--------------|--|---------------|---|---------------------|---|--|---|
| <b>TREES</b> |  | <b>SHRUBS</b> |   |                     |   |  |   |
|              | ULMUS PARVIFOLIA<br>CHINESE ELM<br>24" BOX (6)           |               | LEUCOPHYLLUM FRUTESCENS<br>'GREEN CLOUD'<br>5 GALLON (17)         |                     | HESPERALOE PARVIFLORA<br>RED YUCCA<br>5 GALLON (66)   |  | LANTANA MONTEVIDENSIS<br>TRAILING PURPLE<br>1 GALLON (62)                               |
|              | PISTACHE 'RED-PUSH'<br>RED PUSH PISTACHE<br>24" BOX (13) |               | CAESALPINIA MEXICANA<br>MEXICAN BIRD OF PARADISE<br>5 GALLON (39) |                     | DASYLIRION WHEELERII<br>DESERT SPOON<br>5 GALLON (37) |  | ACACIA REDOLENS<br>'DESERT CARPET' 1m<br>1 GALLON (37)                                  |
|              | ULMUS PARVIFOLIA<br>CHINESE ELM<br>24" BOX (17)          |               | TECOMA 'ORANGE JUBILEE'<br>ORANGE JUBILEE<br>5 GALLON (15)        | <b>GROUND COVER</b> |   |  | 1/2" SCREENED MDI IRON SPRINGS<br>DECOMPOSED GRANITE<br>2" DEPTH IN ALL LANDSCAPE AREAS |

**LANDSCAPE DATA:**

OFF-SITE LANDSCAPE: 1,182 SQ.FT.  
 ON-SITE LANDSCAPE: 14,627 SQ.FT.  
 TOTAL LANDSCAPE: 15,809 SQ.FT.  
 NET SITE AREA: 38,647 SQ.FT.  
 PERCENT OPEN SPACE: 38%  
 GROSS SITE AREA: 50,238 SQ.FT.

**TOWN OF GILBERT  
 LANDSCAPE NOTES:**

A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD IN PDF FORMAT RECORD SET IS ALSO REQUIRED.

BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED. THE DEVICE MUST BE TESTED BY A STATE CERTIFIED TESTER, AND THE RESULTS FORWARDED TO THE TOWN OF GILBERT'S BACKFLOW SPECIALIST. THE TOWN OF GILBERT WILL PROVIDE AN UP-TO-DATE LIST OF STATE CERTIFIED TESTERS. ALL RELATED TESTING FEES SHALL BE AT THE EXPENSE OF THE INSTALLER.

DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HERIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND REMADAS.

NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.

NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS. CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED. INSTALL ALL SIDEWALKS PER ADA REQUIREMENTS.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING LANDSCAPE AREAS. CAGE, CONTROLLER, ASSOCIATED EXPOSED CONDUITS, AND ETC. SHALL CONFORM TO PREDOMINANT COLOR OF BUILDING.

**ATTENTION:**

THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS ONLY. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

**MAINTENANCE NOTE:**

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE SPECTRUM CENTRE OWNER'S ASSOC.

ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#869) OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECS., SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX.

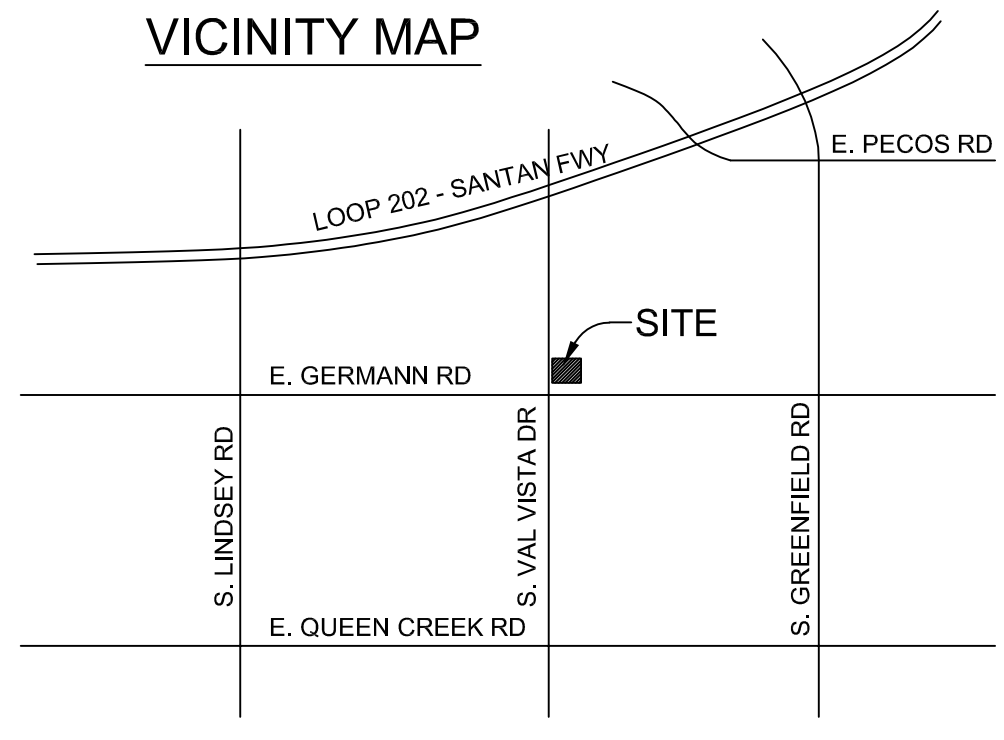
ALL BACKFLOW DEVICE SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

**REMAIN IN PLACE LANDSCAPE:**

ALL EXISTING LANDSCAPE AREAS NOTED TO "PROTECT EXISTING LANDSCAPE" SHALL BE PROTECTED. ANY DAMAGE WILL REQUIRE REPLACEMENT WITH LIKE SIZE AND LIKE TYPE.

**EXISTING IRRIGATION NOTE:**

THE EXISTING IRRIGATION SYSTEM AT STREET CORNER IS IN POOR CONDITION WITH SEVERAL LEAKS OBSERVED. THE EXISTING SYSTEM WILL NEED TO BE REPAIRED AND OR REPLACED AS PART OF THIS PROJECT.

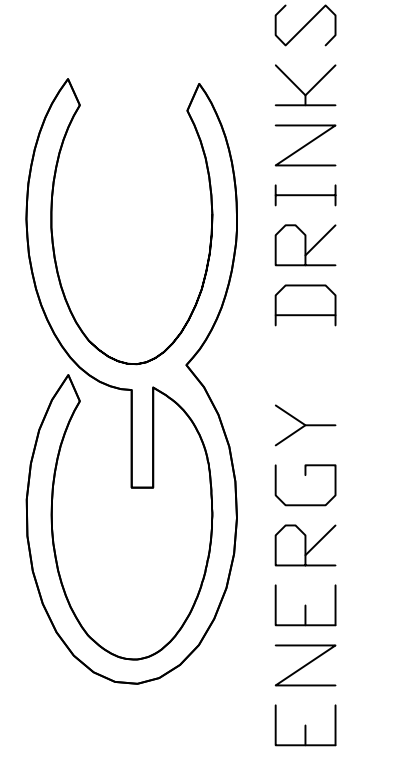


**T.J. McQUEEN & ASSOCIATES, INC.**  
 LANDSCAPE ARCHITECTURE  
 URBAN DESIGN  
 SITE PLANNING  
 10450 N. 74th Street, Suite 120  
 Scottsdale, Arizona 85258  
 P. (602)265-0320  
 EMAIL: timmcqueen@tjma.net



**ARCHICON**  
 Architecture & Interiors, L.C.  
 5055 E WASHINGTON STREET  
 SUITE 200  
 PHOENIX, ARIZONA 85034  
 (602) 222-4266  
 FAX (602) 279-4305  
 www.ARCHICON.COM

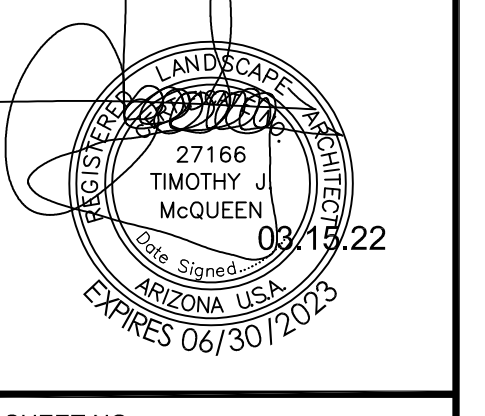
3939 S. VAL VISTA DR  
 VISTA DR  
 N.E.C. VAL VISTA & GERMANN  
 GILBERT, ARIZONA



PROJECT NUMBER: 2184410-01  
 PROJECT MANAGER: J. KOSKI  
 DRAWN BY: J. KOSKI  
 CHECKED BY: J. KOSKI

NO.	REVISION	DATE

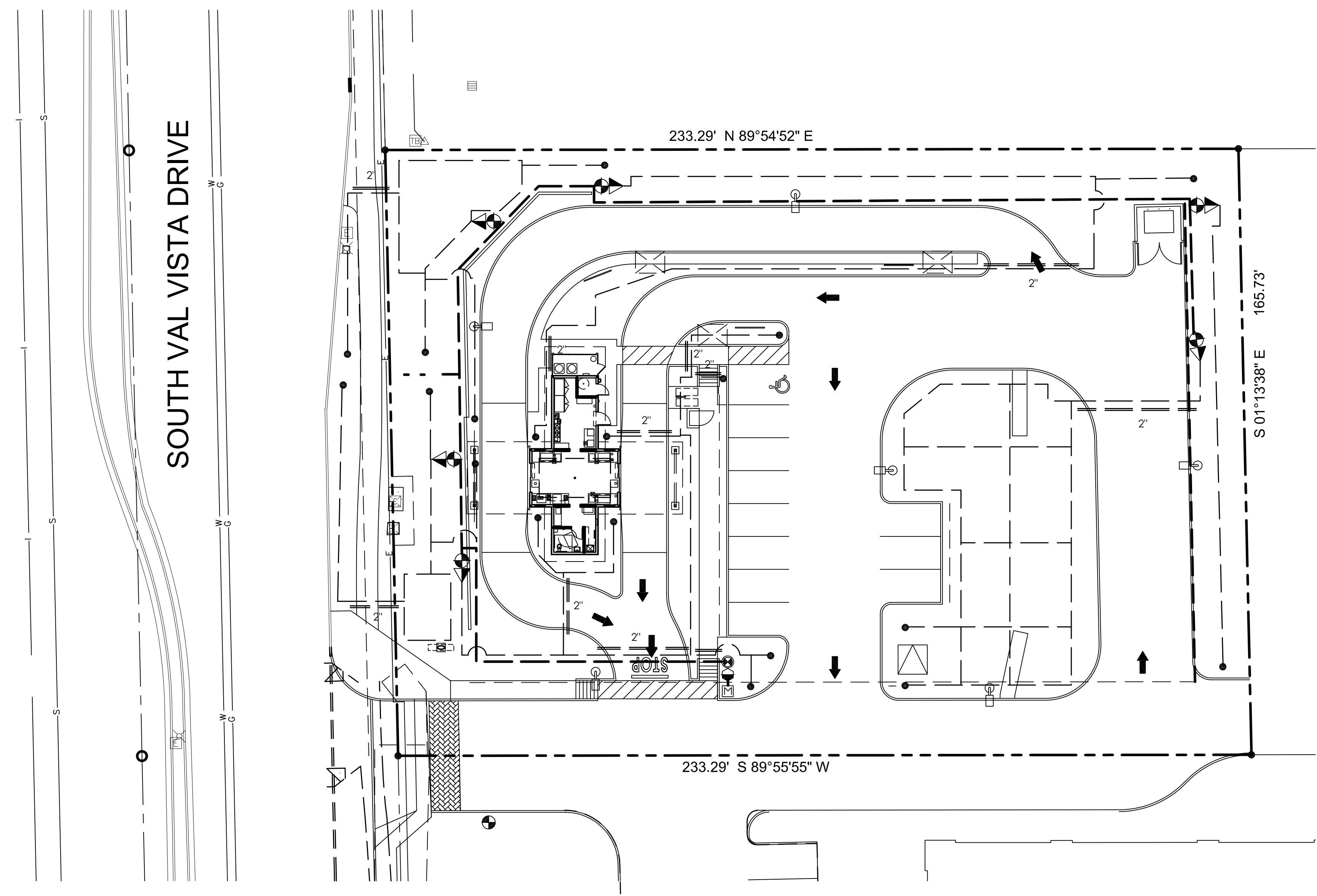
SHEET DESCRIPTION  
 LANDSCAPE PLAN



SHEET NO.  
**La.01**

ISSUE DATE: 03.15.22

DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF ARCHICON ARCHITECTURE & INTERIORS, L.C. AND SHALL REMAIN THE PROPERTY OF ARCHICON ARCHITECTURE & INTERIORS, L.C. AND SHALL NOT BE REPRODUCED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF ARCHICON ARCHITECTURE & INTERIORS, L.C. WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONSENT FROM ARCHICON ARCHITECTURE & INTERIORS, L.C.



SOUTH VAL VISTA DRIVE

**CLARITY NOTE:**

FOR GRAPHIC CLARITY THE EMITTERS HAVE NOT BEEN SHOWN  
VERIFY EMITTER COUNT WITH PLANT COUNT AND EMITTER SCHEDULE.

FOR GRAPHIC CLARITY THE SLEEVES HAVE NOT BEEN SHOWN. THE  
IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL SLEEVES PER  
THE FOLLOWING SCHEDULE.

**SLEEVING SCHEDULE:**

WIRES 2" SCH. 40 PVC (QTY AS REQUIRED)  
MAIN LINE 4" SCH. 40 PVC (OR DBL THE MAINLINE SIZE)  
DRIP LATERAL 2" SCH. 40 PVC  
TURF LATERAL 3" SCH. 40 PVC (OR DBL THE LATERAL LINE SIZE)

**EMITTER SCHEDULE**

PLANT SIZE	GA. PER HR.	EMITTER SIZE
36" BOX	6	(1) HUNTER MPE-20
24" BOX	4	(1) HUNTER MPE-20
15 GALLON	4	(1) HUNTER MPE-10
5 GALLON	1	(1) HUNTER HEB-10
1 GALLON	1	(1) HUNTER HEB-10

**NOTES:**

EMITTER SIZING AND QUANTITIES MAY VARY DEPENDING ON SOIL  
TYPE AND CLIMATE CONDITIONS VERIFY PRIOR TO BID. ALL  
NON-METALIC WATER AND IRRIGATION PIPING LARGER THAN  
2" REQUIRE MIN. 18 AWA INSULATED COPPER TRACER WIRE  
SUITABLE FOR DIRECT BURIAL

THE IRRIGATION CONTRACTOR MAY SUBSTITUTE  
(1) MULTI EMITTER FOR (6) SINGLE EMITTERS IN  
GROUND AREAS AS LONG AS DIST. TUBING DOES  
NOT EXCEED 5 FT

**FOUNDATION NOTE:**

NO END CAPS ARE TO BE PLACED WITHIN 15' OF ANY FOUNDATION  
OR FOOTING. ADJUST LAYOUT AS REQUIRED.  
NO HIGH WATER USE, OR HIGH FLOW PRODUCTS ARE TO BE USED  
WITHIN 15' OF ANY FOUNDATION OR FOOTING. THE IRRIGATION  
IS TO BE MONITORED ON A REGULAR BASIS TO AVOID SOIL SATURATION  
AROUND FOUNDATIONS AND FOOTINGS. THIS IRRIGATION PLAN IS  
DIAGRAMATIC ADJUST LAYOUT AS REQUIRED.

**IRRIGATION LEGEND**

- 1" LANDSCAPE METER
- FEBCO 825-YA-1" R.P. ASSY.  
W/ GUARDSHACK CAGE PAINTED TO MATCH BUILDING
- HUNTER ICV-(SIZE PER MAINLINE) MASTER VALVE  
INSTALL IN VALVE BOX ADJACENT TO BACKFLOW
- HUNTER DRIP CONTROL ZONE KIT  
PCZ-101-25 (30gph to 600gph) (.5gpm to 10gpm)  
ICZ-101-25 (601gph to 1,200gph) (10gpm to 20gpm)
- HUNTER I-CORE-1C-600-M (MODULES AS REQUIRED)  
6 STATION CONTROLLER  
(POWER PER GENERAL CONTRACTOR)
- HUNTER HEB-10 (1/2" THREADED) PRESSURE COMP.  
SINGLE PORT EMITTER
- HUNTER MPE-(SIZE PER SCHEDULE) (1/2" THREADED)  
PRESSURE COMP. MULTI PORT EMITTER
- 1.5" MAINLINE (SCH40)
- CLASS 200-3/4" DRIP LATERAL LINE
- AG. PRODUCTS SELF FLUSHING ENDCAP  
(SEE FOUNDATION NOTE)
- SCH 40 PVC SLEEVE  
(SEE SLEEVING SCHEDULE)

**PIPE SCHEDULE**

PIPE SIZE	GPM	PIPE CLASS
1/2"	0-5	315
3/4"	6-10	200
1"	11-15	200
1 1/4"	16-25	200
1 1/2"	26-35	200
2"	36-60	200

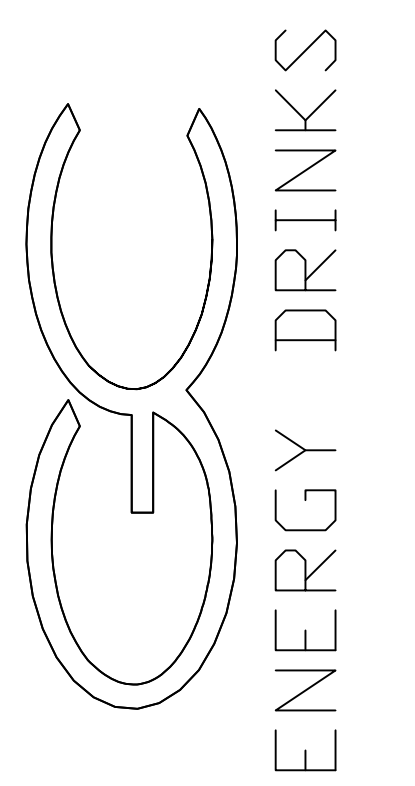
NOT SHOWN FOR GRAPHIC CLARITY

T.J. McQUEEN & ASSOCIATES, INC.  
LANDSCAPE ARCHITECTURE  
URBAN DESIGN  
SITE PLANNING  
10450 N. 74th Street, Suite 120  
Scottsdale, Arizona 85258  
P. (602)265-0320  
EMAIL: timmqueen@tjmla.net



**ARCHICON**  
Architecture & Interiors, L.C.  
5055 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
www.ARCHICON.COM

3939 S. VAL VISTA DR  
NE.C. VAL VISTA & GERMANN  
GIBLERT, ARIZONA

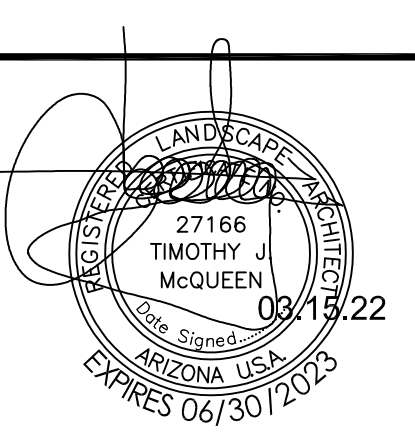


PROJECT NUMBER: 2184410-01  
PROJECT MANAGER: J. KOSKI  
DRAWN BY: J. KOSKI  
CHECKED BY: J. KOSKI

NO.	REVISION	DATE

SHEET DESCRIPTION

LANDSCAPE PLAN



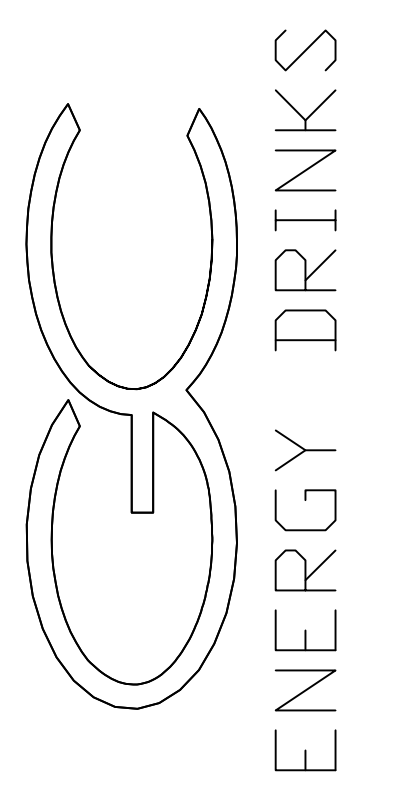
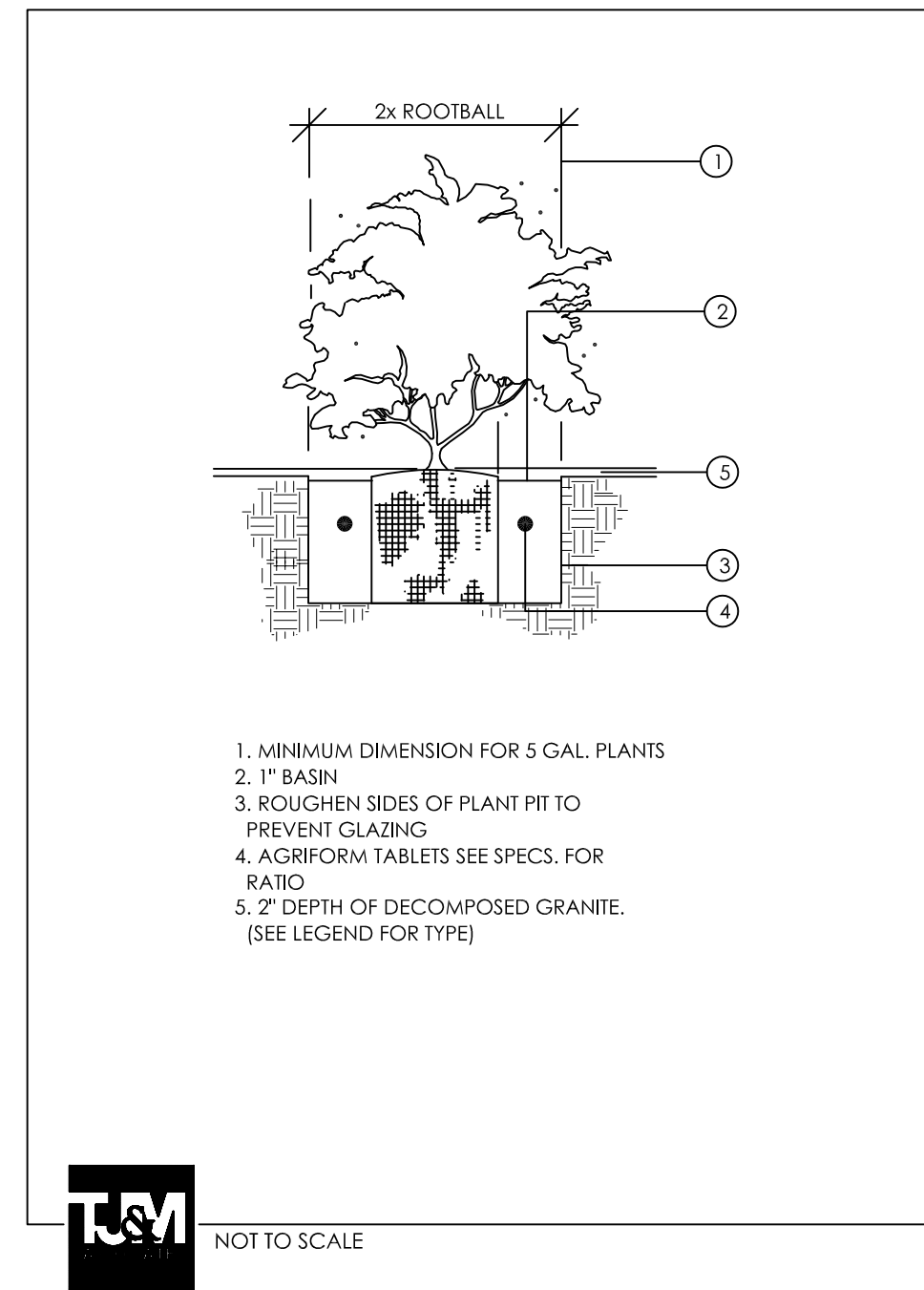
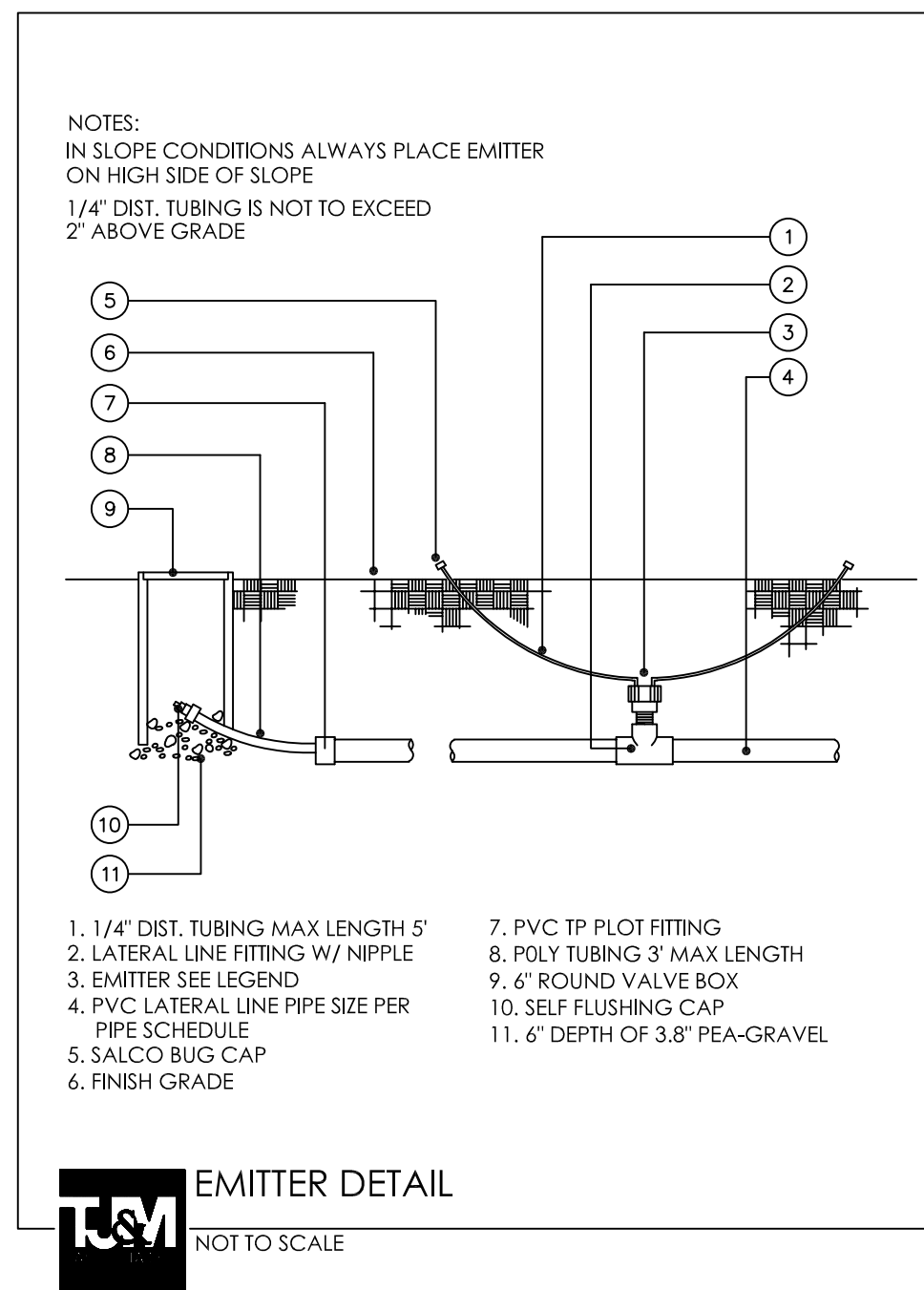
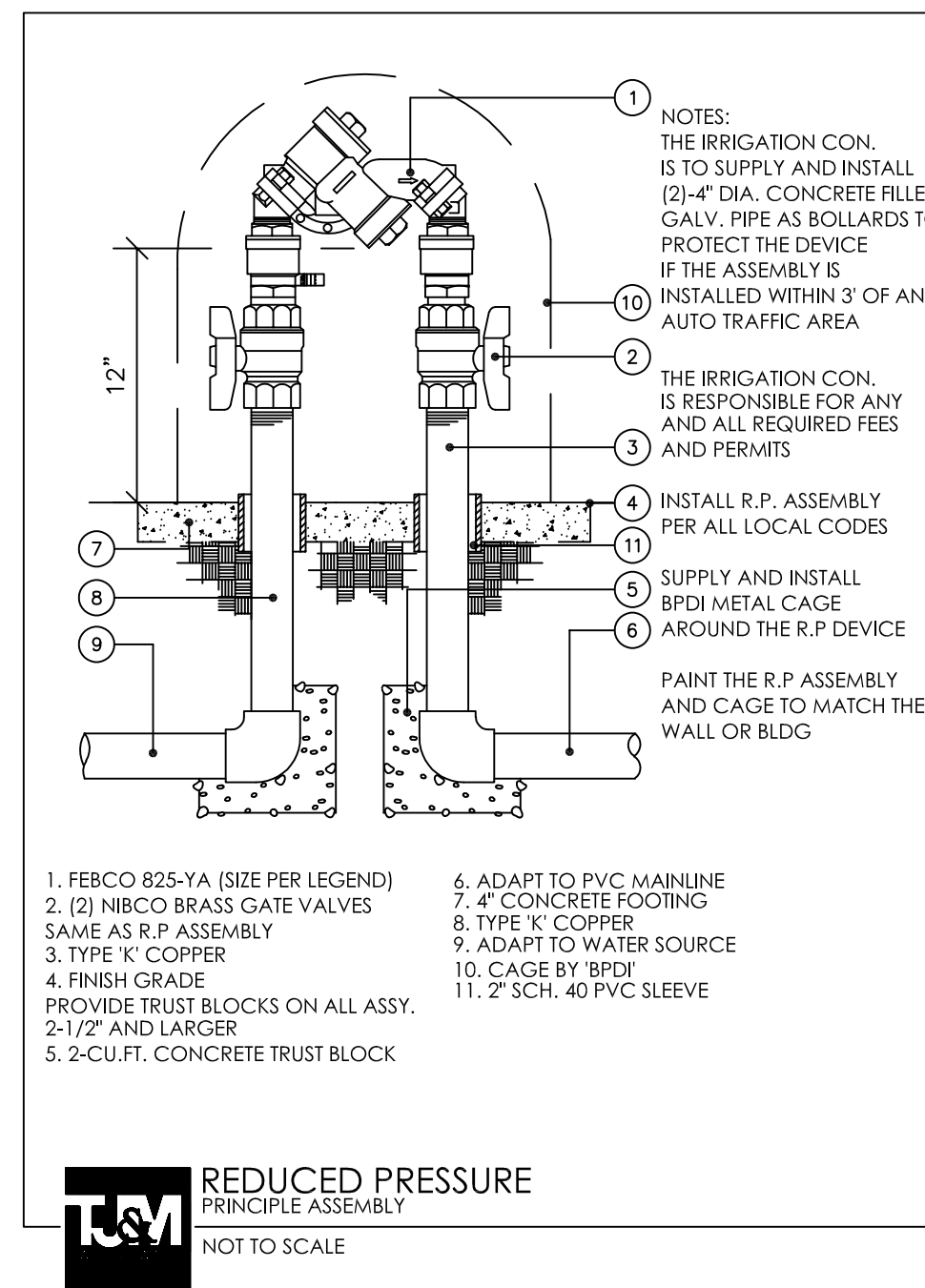
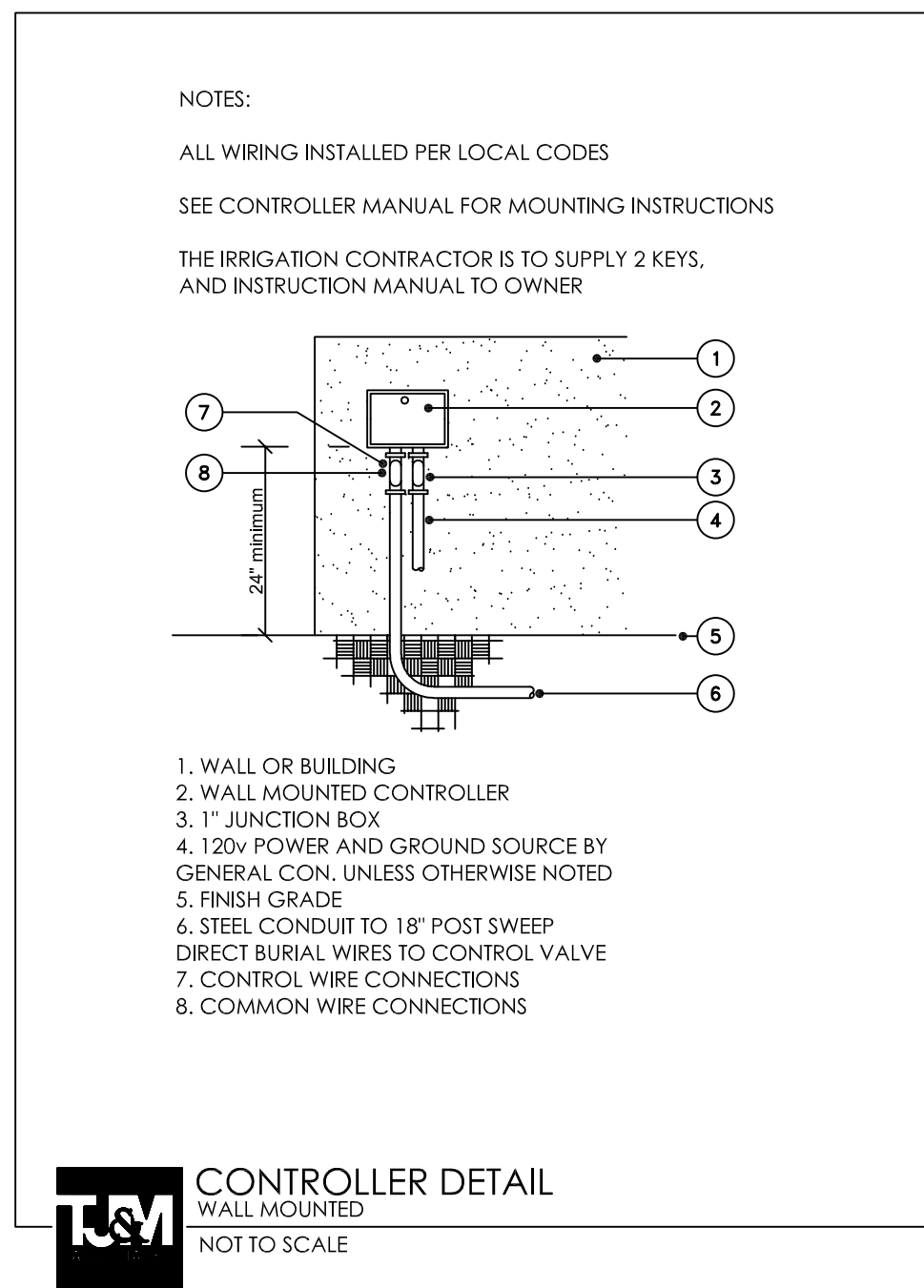
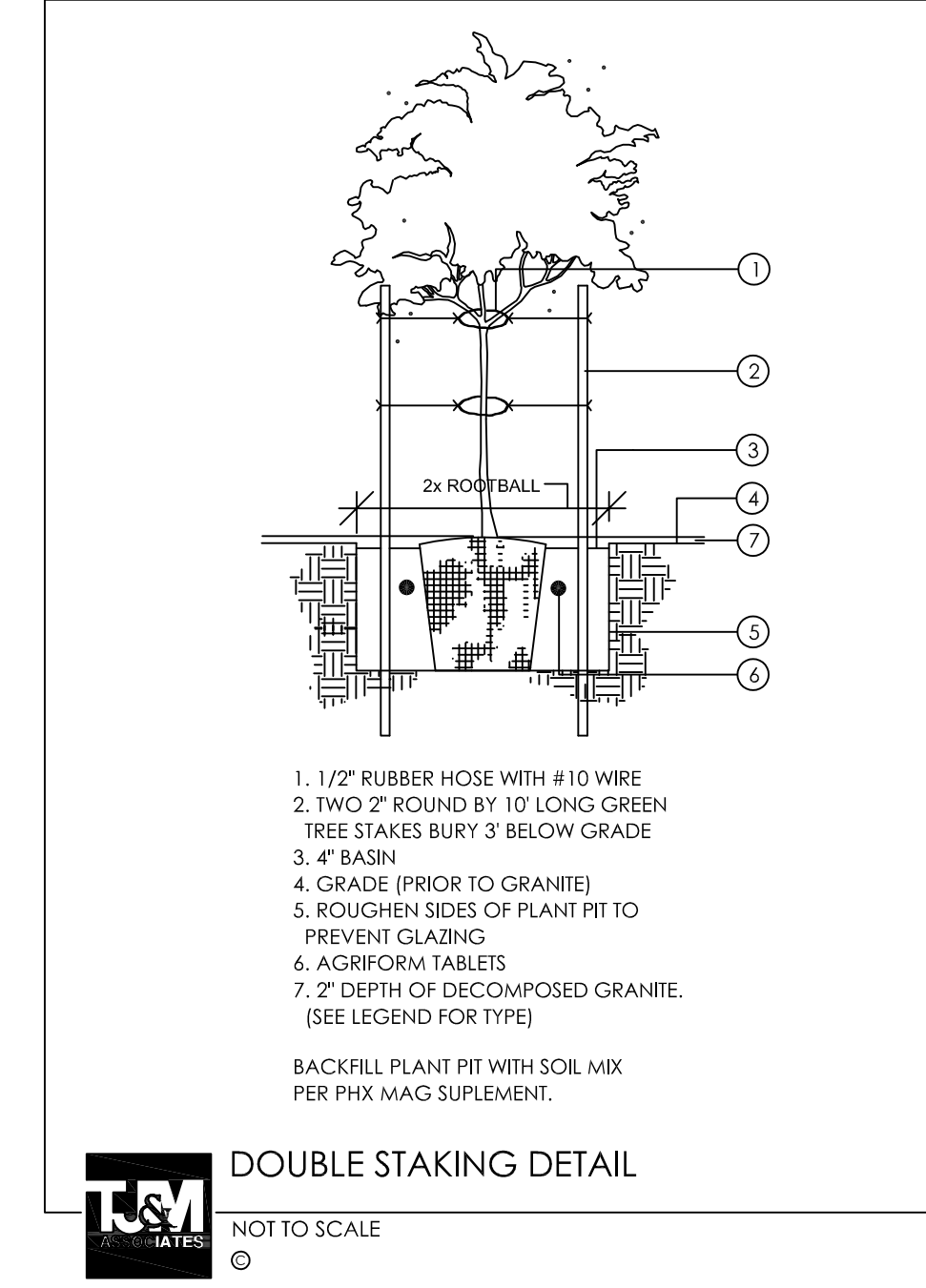
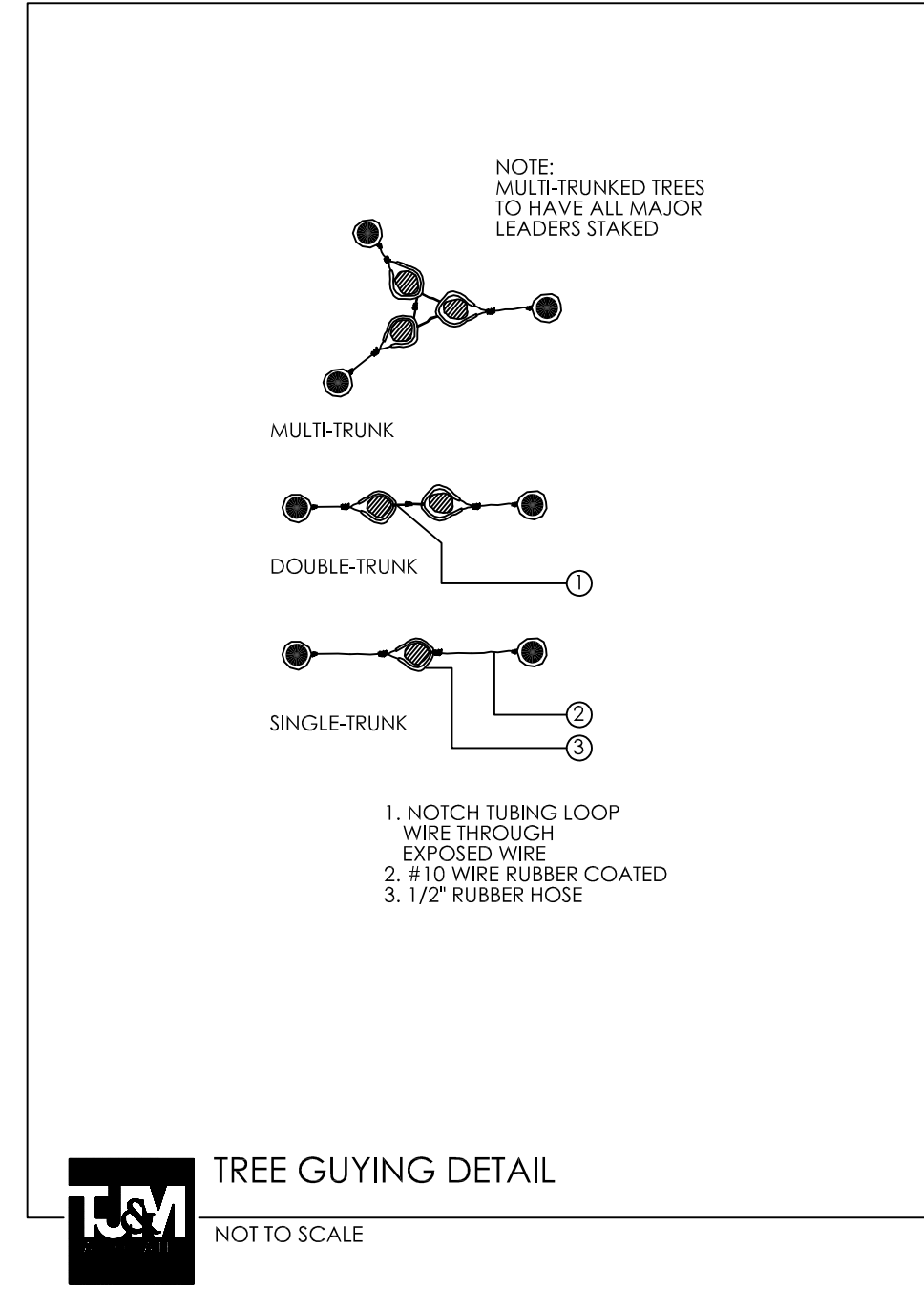
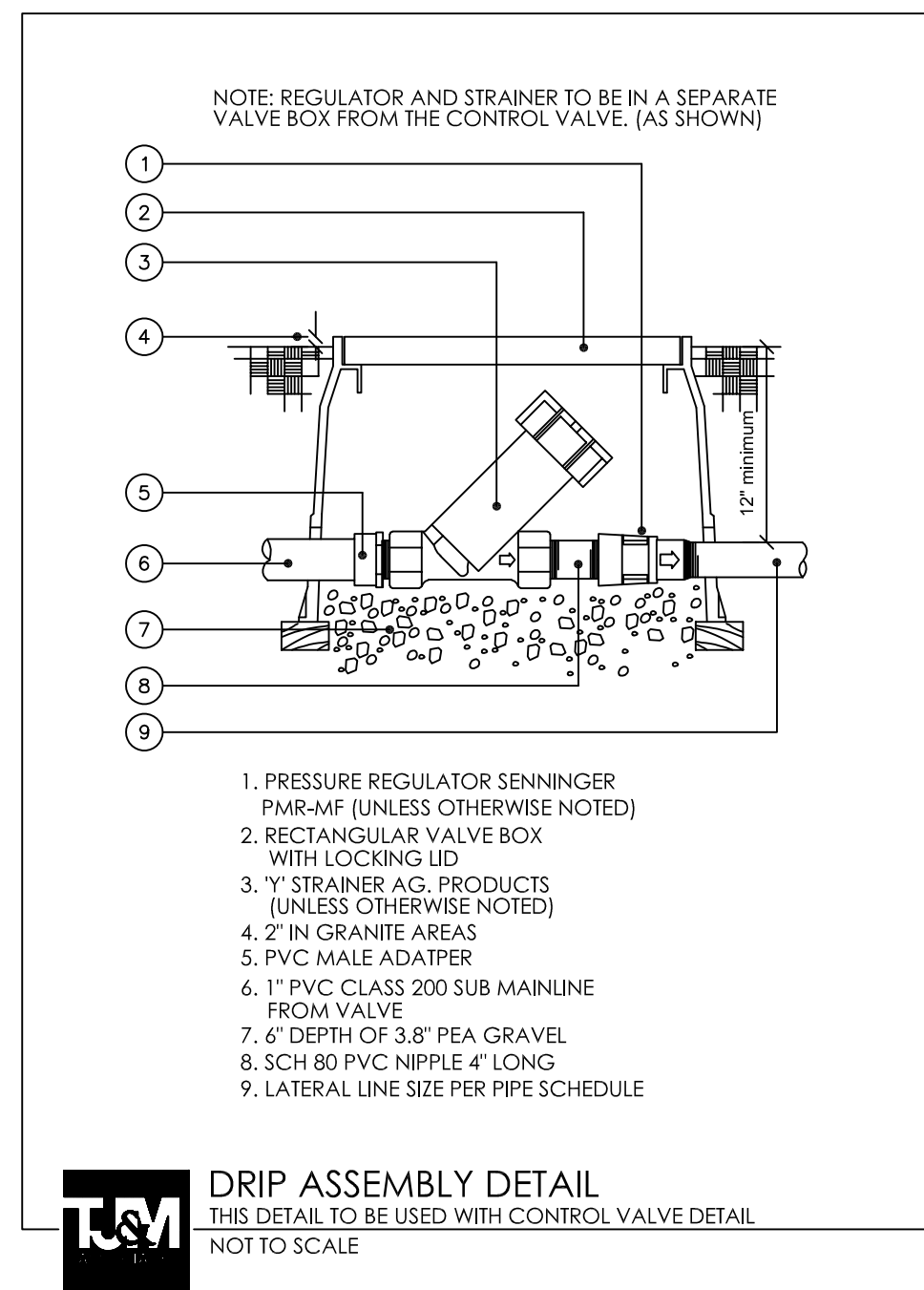
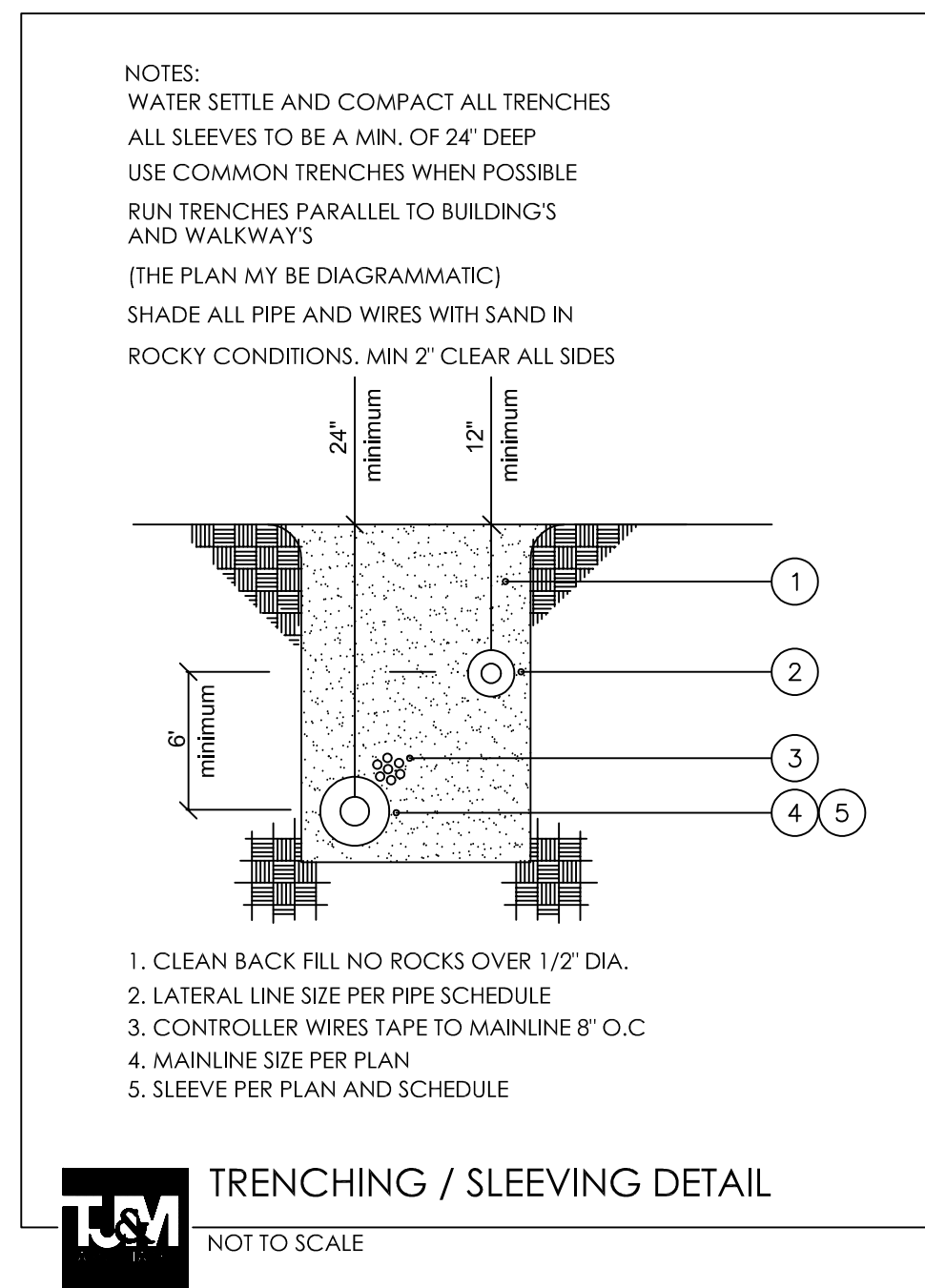
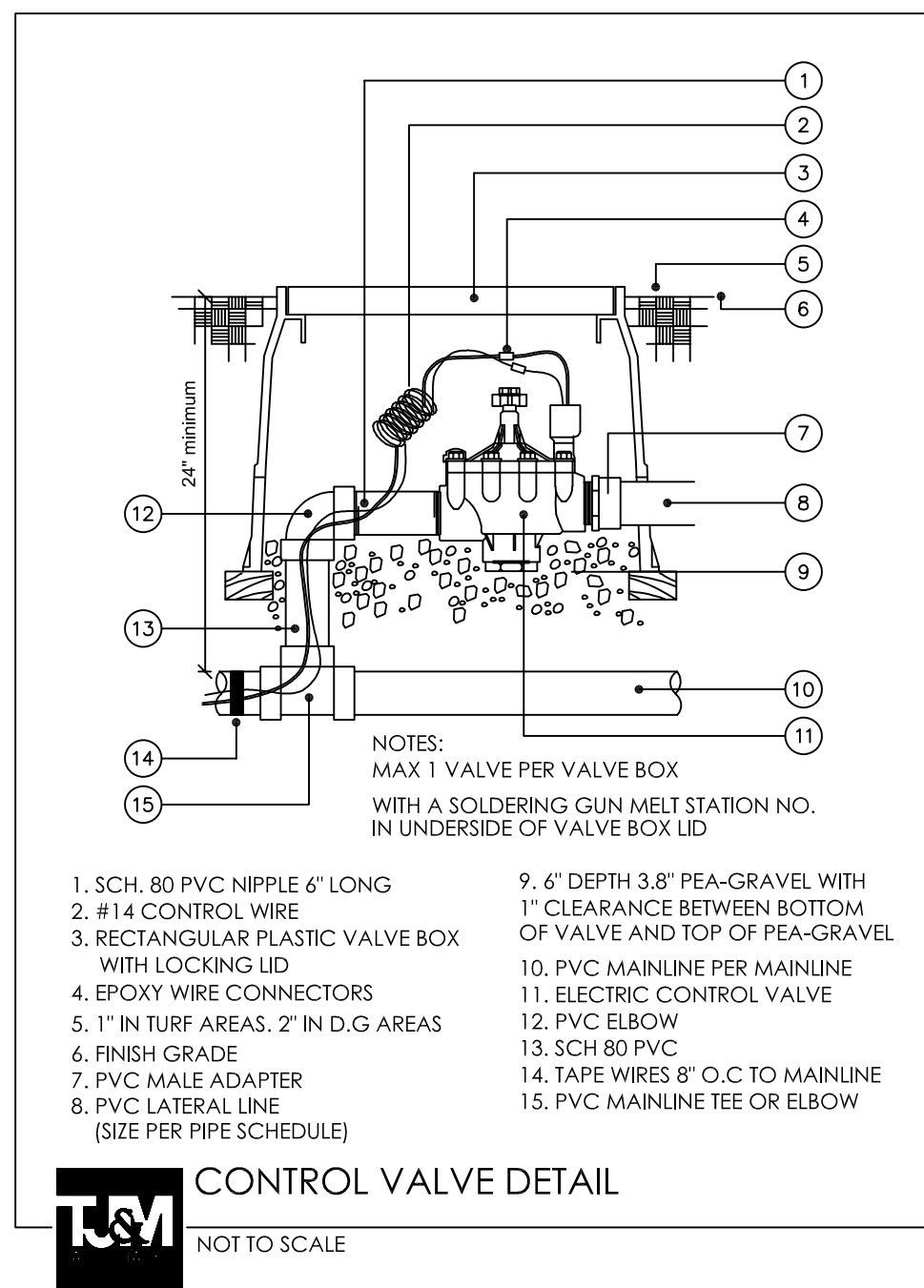
SHEET NO.

La.02

ISSUE DATE: 03.15.22

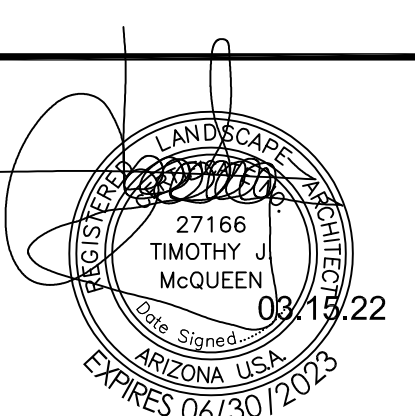
DRAWING IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF ARCHICON ARCHITECTURE & INTERIORS, L.C. AND SHALL REMAIN THEIR PROPERTY. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH IT WAS PREPARED AND SHALL NOT BE REPRODUCED, CHANGED, OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT FROM ARCHICON ARCHITECTURE & INTERIORS, L.C.

T.J. McQUEEN & ASSOCIATES, INC. LANDSCAPE ARCHITECTURE (TJMLA) EXPRESSLY RESERVES ITS COMMON LAW, COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT FROM TJMLA.



NO.	REVISION	DATE

SHEET DESCRIPTION  
LANDSCAPE PLAN



SHEET NO.  
La.03



UNDERGROUND SPRINKLER SYSTEM

Part 1 - General
1.01 WORK INCLUDED
A. The work included under these specifications shall consist of the furnishing of all labor, materials, permits, tools, and equipment necessary for the complete installation of a sprinkler irrigation system in accordance with the following specifications and accompanying drawings.
B. It is the intent of these drawings and specifications to form a guide for a complete installation, and although some items may not be specifically noted, but are reasonably necessary for a complete installation, they shall be furnished under this contract. Sprinklers shall be located and spaced so that adequate overlapping of the spray will provide uniform head to head 100% coverage. The system shall efficiently and evenly irrigate all areas, and shall be complete in every respect, ready for operation by the Owner.
C. It is the responsibility of the Irrigation Contractor to provide 100% coverage to all landscape areas.
1.02 CONTRACTOR'S QUALIFICATIONS
A. Installers shall be licensed irrigation contractors with experience in the installation of automatic underground lawn sprinkling systems. All work shall be performed in a professional workmanlike manner by mechanics skilled in the trade.
B. The contractor is responsible for any damage to any existing conditions until final acceptance of his work.
C. The Contractor shall obtain all permits from, pay required fees to, and arrange any necessary inspections by any government agency having jurisdiction over the work.
1.03 VERIFICATION OF DRAWINGS AND SPECIFICATIONS
A. It shall be the Contractor's responsibility to carefully examine the drawings and specifications, and to visit the site in order to check existing conditions prior to bidding. Any conflict or error shall be immediately brought to the attention of the Landscape Architect for interpretation or instructions. Otherwise, any changes necessary to meet existing conditions, shall be made at the Contractor's expense.
B. It is the Irrigation Contractor's responsibility to verify water pressure, water source, and size in the field prior to construction. Should a discrepancy exist between design pressure and the field pressure the Landscape Architect shall be notified immediately.
1.04 WORKING CONDITIONS
A. The Contractor shall confine his operations to the areas allotted to him by the Owner, for his work for material and equipment storage.
B. The Contractor shall continuously maintain a competent superintendent, satisfactory to the Owner, on the work during progress, with authority to act for the Contractor in all matters pertaining to the work.
C. The Contractor shall not assign nor sublet any portion of this work without written approval by the Owner.
D. The Contractor shall be responsible for staking out the system from the drawings, using the property lines and building dimensions as a guide.
E. The Contractor shall coordinate his work with that of the other trades, so as to avoid any conflict, and carry the installations to a rapid completion without any unnecessary delays.
PART 2 - PRODUCTS
2.01 PIPING
A. All pressure main piping, on the supply side of the zone valves, shall be class 200 PVC with integrally formed bell-tite joint couplers. All fittings shall be solvent welded, schedule 40 PVC.
B. All lateral piping, on the discharge side of the zone valves, two inches (2") and under, shall be class 200 PVC. Fittings shall be schedule 40 PVC material. 1/2" pipe to be class 315.
C. All plastic to metal shall be made with PVC schedule 40 male adapters or PVC schedule 80 nipples. Joint compound for such connections shall be Permatex Type II teflon tape or a prior approved equivalent.
D. Where pipes are installed under roads, drives, parking areas or walks, schedule 40 PVC sleeves shall be provided for the lines. In planting areas, where cultivation might damage shallow plastic piping, protective sleeves must be provided, unless copper tubing is installed. Risers in flower beds and shrubbery shall be schedule 80 PVC.
2.02 SPRINKLER HEADS
A. Emitter heads shall be on PVC laterals, or prior approved equivalent.
2.03 AUTOMATIC CONTROLLER
A. Unit features shall include mechanical time control design, adjustable time setting up to 60 minutes per station, 24-hour clock, 14-day calendar, and automatic rapid advance. Unit shall be UL listed and shall operate on 120 volt, 1 phase, 60 Hertz power. General Contractor to bring power to controller. Irrigation Contractor to hardwire to controller, see detail.
2.04 QUICKCOUPLING VALVES
A. Furnish and install where shown on the drawings quick-coupler with swivel and hose bib, 3/4" size or prior approved equivalent. They shall be mounted on one inch (1") copper swing joint risers, and the tops shall be set flush with the top of the planters. Furnish and deliver to the Owner double-lug coupler key complete with one inch (1") hose swivel for connecting to the above valves. Also furnish two (2) lockout cover key.
2.05 ELECTRICAL CONTROL CABLE
A. All electrical control and ground wire shall be irrigation control cable of size as required. All wiring to be used for connecting the automatic remote control valves to the automatic controllers shall be Type "UF", 600 volt, stranded, or solid core single conductor wire with PVC insulation and bear UL approval for direct underground burial wiring cable.
B. All control or "hot" wires shall be on one color and all common or "ground" wire shall be in another color(white).
C. Verifications of wire types and installation procedures shall be checked to conform to local codes.
D. All electric control cable shall be of size as determined by the equipment manufacturer and shall be installed in the piping trenches where possible and in the manner recommended by the manufacturer, leaving slack in the wire. Expansion joints in the wire may be provided at 200-foot intervals by making 5 or 6 turns of the wire around a piece of 1/2 inch pipe. Where it is necessary to run wire in a separate trench, the wire shall be a minimum cover of twelve (12") inches.
PART 3 - INSTALLATION
3.01 PROTECTION OF UTILITIES, IRRIGATION SYSTEM, ETC.
A. The Contractor shall verify the location of all utilities and note location of utilities, irrigation piping and underground obstructions. The contractor shall be responsible for the cost of repairing buried conduit, cables or pipelines damaged during the installation of the irrigation system.
B. The Contractor shall clearly mark and maintain markers showing locations of irrigation system wiring and piping installed in order that other contractors may avoid damaging this work.
C. The Contractor shall take necessary precautions to protect site conditions and plant materials which are to remain. Should damage be incurred, Contractor shall repair damage to its original condition or furnish and install equal replacement at his expense.
D. The Contractor shall coordinate with the Landscape Architect to provide irrigation to existing materials.
E. Contact blue stake prior to digging.
3.02 EXCAVATION
A. The Contractor shall do all necessary excavation for the proper installation of his work. Machine trenchers used on the site shall be of approved type to cut smooth-bottom trenches on uniform slopes. Trenches shall be no wider than necessary to lay the pipe, except where necessary to make joints. Over excavating shall be backfilled and carefully tamped to provide a smooth and firm base necessary for laying the pipe. When necessary, Contractor must provide barricades and lights for public protection. Minimum depth of cover shall be at least twenty four, 24" depth for the main piping, and at least twelve 12" depth for the lateral branch lines.
3.03 PIPE INSTALLATION
A. All pipe lines shall be installed in the locations and of the sizes indicated, and of the materials specified. Parallel piping may be installed in the same trench. Piping shall be laid accurately to the line and grade required, with full uniform bearing on the trench bottom. No piping shall be laid on soft fill or other unstable material. No direct contact, with other piping or structures, will be permitted at crossing. Interior of piping shall be kept clear of foreign matter before installation, and shall be kept clean by means of plugged or capped ends after lowering into the trench. The supply main lines shall be flushed out and tested for leaks, with control valves in place, before backfilling the joints. All lateral piping sections shall be flushed out before sprinkler heads are attached. All pipe shall be installed in strict accordance with recommendations of the manufacturer. This shall apply to thrust blocking, handling, storage, depth of cover, expansion allowances, testing, etc.
B. Under existing drives or sidewalks, the Contractor shall either saw cut concrete and replace it to the former condition or install the pipe by boring or jacking under the area, pvc sleeves to be at a 24" depth
3.04 BACKFILLING
A. As soon as the work has been installed, inspected and accepted, all excavations and trenches shall be filled and water settled with fine filter materials, free from clods, rocks, or other unsuitable substances. Trenches must be left flush with adjacent finished grade after compacting to the original density of the soil. Flooding of trenches will be permitted downstream of zone valves. Care shall be taken to place any previously tilled and fertilized soil in the top portion of the trench, and subsoil will not be allowed in the top six (6) inches of the backfill.
3.05 SPRINKLER HEADS
A. Sprinklers shall be set plumb and level with the turf at locations shown on the drawings. In lawn areas where grass has not been established, the heads shall be installed in temporary risers at least three (3) inches above the grade. After the turf is established, the Contractor shall, within ten (10) days after notification, lower the heads to their permanent positions flush with the finished grade. This elevation is critical and Contractor shall exercise care to set them exactly at grade - never below.
3.06 AUTOMATIC VALVES
A. Each sprinkler zone shall be operated by automatic electric valves in the sizes indicated on the drawings. Each valve shall be provided with a built-in pressure regulator capable of holding a steady downstream pressure, regardless of fluctuations in the main supply pressure. The valves shall be installed where shown and supplied with a tag on which the valve's zone number shall be plainly marked.
B. All valves to be in valve boxes, valve boxes to have a pea-gravel sump per detail.
C. Each valve shall be housed in an Ametex valve box, or prior approved equivalent. Place valve boxes in an orderly fashion. In the lawn place valve boxes in such a manner that mowing and weeding can easily be performed.
3.07 WATER SUPPLY
A. Connection shall be made to the sprinkler outside the building as shown on the drawings.
B. Water meter to be supplied by general contractor. Unless otherwise noted.
3.08 ELECTRICAL WORK
A. The Electrical Contractor will provide a single source of electrical power for the irrigation system as shown on the drawings. The Underground Sprinkler System Contractor shall furnish and install complete and properly operating all the required electrical work for the lawn irrigation system. This shall include all power and control wiring along with switches, safety switches, relays, transformers, fuses, conduit, wiring devices, etc. required for a properly

operating system.
B. All electrical work shall be done in accordance with the National Electrical Code and local ordinances.
C. All wire connections, at remote control valves (either direct buried or in control boxes) and at all wire splices, shall be left with sufficient "slack" so that in case of repair the valve bonnet or splice may be brought to the surface without disconnecting the wiring in the ground.
D. Each remote control valve or group of remote control valves, which are to be connected to one station of a controller, shall have remote valves as shown in the wiring diagrams on the drawings or as specified. All remote control valves, which are to be connected to the same controller, shall be connected to a common ground wire to size as shown on the drawings or as specified. Each individual controller shall have a separate common ground wire system entirely independent of the common ground wire system of all other controllers. Only those remote control valves which are being controlled by one specific controller shall be connected to that controller's common ground wire system.
3.09 TESTING
A. After all supports, anchors, and thrust blocks are in place, the line shall be tested at a pressure of 150 psi for 30 minutes. Should any leaks be found, they shall be repaired and the line retested until satisfactory. Zone lines shall be tested at 80 psi in like manner. After testing, the system shall be thoroughly flushed out before the heads may be installed. Upon completion, an operating test shall be performed to visually check the coverage of the system. Any heads, which do not function according to the manufacturer's data shall be replaced with sprinklers that do or the installation shall be otherwise corrected to provide satisfactory performance. Final adjustment to the sprinkler heads and automatic equipment will be done by the Contractor upon completion of the installation to the satisfaction of the Landscape Architect. Minor adjustment from then on shall be made by the Owner's Maintenance Staff.
3.10 DRAWINGS OF RECORD
A. The Contractor shall provide and keep up to date a complete "as-built" record set of mylar copies which shall be corrected to show any changes from the original drawings. These record drawings shall show location of all control lines, valves, valve boxes, main lines, flush caps, controllers, and any substitutions as well as any deviation in piping or location of buried valves, etc. with accurate dimensions indicated.
B. After completion of the sprinkler installation, the Contractor shall deliver to the Owner three prints of the correct and completed "as-built" set of drawings, along with three bound instruction folders covering the equipment installed. Contractor shall present the above information as a condition precedent to his completion payment.
3.11 GUARANTEE
A. Within ten (10) days after the Contractor's notification that the sprinkler installation is complete, the Landscape Architect will inspect the system and, if necessary, submit a "punch list" to the Contractor. Acceptance by the Landscape Architect of these corrections will signify final acceptance by the Owner.
B. The entire sprinkler system shall be guaranteed for a period of one year from this final acceptance date. The Contractor shall promptly replace, without cost to the Owner, any defective materials of faulty workmanship which may develop within this guarantee period, including restoration of any property damaged during repairs. He shall also be responsible for damages resulting from leaks which may occur in the piping system installed by him, and he shall repair, at his expense, all damage so caused, in a manner satisfactory to the Owner. However the Contractor shall not be held liable for damages occasioned by strikes, fire, weather, violence or theft, acts of God, acts of other contractors, or any other caused beyond the control of the Contractor.
C. It will be the Owner's responsibility to maintain the system in working order during the guarantee period, performing necessary minor maintenance, keeping grass from obstructing the sprinkler heads, protecting against vandalism and preventing damage during the landscape maintenance operation.
D. The Contractor shall service the system at the Owner's request during the guarantee period, and shall be paid for work performed which is not covered by the guarantee, in accordance with a predetermined schedule of fees.
LANDSCAPING
PART 1 - GENERAL
1.01 WORK INCLUDED
A. The work included under these specifications shall consist of the furnishing of all labor, material, permits, tools, and equipment necessary for the complete installation of the landscaping materials as shown on the drawings and as described in the following specifications.
1.02 QUALITY ASSURANCE
A. For standard products, the manufacturer's analysis will be acceptable. For all other materials, analysis shall be by a recognized laboratory.
B. Analysis shall be made in accordance with the current methods of the Association of Official Agricultural Chemists.
C. Soils shall be analyzed for their composition and fertility in sustaining plant growth and health.
D. All plants furnished under this specification shall be from nursery grown stock, and they shall meet the ARIZONA NURSERY ASSOCIATION of the American Association of Nurserymen, Inc. requirements as to sizing, grading, and quality. Plant materials specified shall conform with the nomenclature of STANDARDIZED PLANT NAMES, Second Edition. The Landscape Architect reserves the right to refuse all plant material based on overall appearance and quality regardless of specifications.
E. Plants of the species specified shall be furnished in the variety, size, grade and quality indicated. Specifications and planting plans shall be strictly adhered to and no changes or substitutions will be allowed prior to bidding without written permission of the Landscape Architect, Owner, or Owner's Representative.
F. By submitting a proposal and accepting award of the Contract, the Contractor acknowledges that he has investigated the supply of planting stock available and has obtained firm commitments from his suppliers assuring delivery of the specific plant materials as required for completion of the project.
G. All plant materials shall be grown in accordance with good horticulture practices and shall bear evidence of proper nursery care during growth under climatic conditions similar to those in the locality of the project for at least two years. They shall have been previously transplanted or root pruned according to standard nursery practice and inspected by State Control Agencies.
H. All plants shall be freshly dug. No heeled in plant or plants from cold storage will be accepted. Plants shall be typical of their species or variety and have normal habits of growth, be healthy and vigorous, well branched and have dense foliage when in leaf. All plants, including root systems, shall be free of disease, disfiguring knots, sunscald, insect pests, eggs or larvae, dead or broken branches, bark abrasions, and have healthy well developed root systems. The root system of container grown plants shall be sufficiently developed to hold the earth intact upon removal of the container.
I. Planting, sodding and seeding shall be performed by personnel familiar with planting procedures and under the supervision of a qualified planting foreman.
1.03 SUBMITTALS
A. Submit a soil fertility test of the planting soil for approval by the Landscape Architect prior to delivery of soil to the project site.
B. Upon completion of the work, submit a schedule satisfactory to the Landscape Architect for the maintenance of all plant material.
PART 2 - PRODUCTS
2.01 SOIL
A. Approved nursery grade cultivated grass seed, species and cultivar as indicated on the drawings with strong, fibrous root system, free from stones and buds or bare spots.
2.02 PLANTING SOIL FOR PLANT PITS AND BEDS
A. Fertile, friable, natural loam containing a liberal amount of humus, capable of sustaining vigorous plant growth. The pH value of the planting soil shall not be higher than 7.5 or lower than 5.5. It shall be free of any odors of urea, subsoil, stones, lumps, clods or hard earth, plants, or their roots, sticks, and other extraneous matter. Do not use planting soil for planting operations while in a frozen or muddy condition.
2.03 PEAT
A. Acceptable peat moss consisting of at least 73% organic content of natural occurrence. It shall be brown, clean, low in content of mineral and woody materials, mildly acidic, and granulated or shredded.
2.04 FERTILIZER
A. Commercial Fertilizer: A complete fertilizer, conforming to FS 0-F-241, Type I, Grade A, part of the elements of which are derived from organic sources containing the following percentages by weight:
10% nitrogen 5% nitrogen
10% phosphoric acid-10% phosphoric acid
10% potash 5% potash
B. Organic Fertilizer: An organic activated fertilizer containing a minimum of five percent nitrogen, three percent phosphoric acid and other basic elements by weight.
C. Deliver fertilizer mixed as specified in standard size bags, showing weights, analysis and name of manufacturer. Store in weatherproof storage place in such manner that it will be kept dry and its effectiveness not impaired.
D. The Landscape Architect reserves the right to vary the percentages of the components of the fertilizers subject to the results of the soil fertility tests.
2.05 WATER
A. Shall be furnished by the Owner. The Contractor shall furnish all necessary hose, equipment, attachments, and accessories for the adequate irrigation of all planted areas as may be required to complete the work as specified.
2.06 PLANT MATERIAL
A. All old abrasions and cuts shall be completely calloused over. All shrubs shall be measured when their branches are in their normal position. Height and spread dimensions specified refer to the main body of the plant and not from branch or root tip to tip.
B. Shrubs shall be matched specimens from single block source.
C. Evergreen trees not fully branched from top to bottom will be rejected, and those with terminal leaders exceeding twelve (12) inches in length will also be rejected. During the spring planting seasons, any evergreen plant delivered with new growth in an advanced stage of conding out will be rejected.
D. Plants shall not be pruned before delivery. Trees which have damaged or crooked leaders, or multiple leaders, unless specified will be rejected. Trees with bark abrasions, sunscald, disfiguring knots, or fresh cuts of limb over 1 1/4 inches which have not completely calloused over will be rejected. Plants shall be freshly dug or container grown. Heeled in plants or plants from cold storage will not be accepted.
E. Plants shall be true to species and variety, and shall conform to measurements specified on the Drawings. Plants larger than specified may be used if approved by the Landscape Architect. Use of such plants shall not increase contract price. If larger plants are approved, the ball of earth shall be increased proportionally with the size of the plant.
F. Substitutions of plant materials will not be permitted unless authorized in writing by the Landscape Architect. Proof must be submitted that use of nearest equivalent size of variety with corresponding adjustment of Contract Price. Such proof shall be substantiated and submitted in writing.
G. It shall be the responsibility of the Contractor to determine required quantities of plants, as no compensation will be made for error in plant quantities. If plant counts occur on plant legend, it is for the convenience of the contractor

only. Verify plant counts with plan. In case of discrepancy, plan shall govern.
H. Each plant shall be properly identified with legible waterproof tags securely fastened. Tags shall remain on the plants until after final acceptance and then be promptly removed by the Contractor.
PART 3 - INSTALLATION
3.01 INSPECTION OF PLANT MATERIAL
A. Plants shall be subject to inspection and approval by Landscape Architect at place of growth and upon delivery. Written request for inspection of plant materials at place of growth shall be submitted to Landscape Architect at least ten (10) calendar days prior to delivery. This written request shall state place of growth and quantity of plants to be inspected. Landscape Architect reserves the right to waive inspection. Such approval shall not impair the right of inspection and rejection upon delivery at the project site or during the progress of the work for size and condition of balls or roots, diseases, insects, and latent defects or injuries. Rejected plants shall be immediately removed from the project site.
B. Certificates of inspection of plant materials as may be required by Federal, State or other authorities to accompany shipments and be furnished to Owner upon completion of project.
3.02 DIGGING AND HANDLING
A. Digging shall be done the same season of planting and shall be done by hand as to not injure plants and to meet size requirements. No plant other than the required samples shall be dug or delivered to the site until the required inspections have been made and the plants or samples approved.
B. Dig ball and burrlapped (BB) plants with firm, unbroken natural balls of earth, of sufficient diameter and depth to include the fibrous and feeding roots. No synthetic or mudded in balls will be accepted. No plants moved with a ball will be accepted if the ball is cracked or broken before or during planting operations.
C. Roots or balls of all plants shall be adequately protected at all times from excessive exposure to wind, sun, rain, hail, etc. Balled and burrlapped plants shall be planted immediately on delivery shall be set out on the ground and well protected with soil, wet moss and other acceptable material. Bare rooted plants shall be planted or heeled-in immediately upon delivery.
D. All plant material shall be handled carefully to prevent injury to rootballs, trunks, or branches. Any plant suffering damage sufficient to impair its health and/or natural form will be rejected. No plant shall be bound with wire or rope at any time so as to damage the bark or break branches.
3.03 TIME OF PLANTING
A. The contractor shall notify the Landscape Architect in writing when other divisions of the work have progressed sufficiently to commence landscaping work, including placing of topsoil to finish grade. Thereafter, conduct planting operations under favorable weather conditions.
B. Any plant material installed during typical off seasons (not summer months or freezing winter months) shall be done at the Contractor's own risk and the Contractor shall be held responsible for replacement of any plant material damaged due to these adverse conditions.
3.04 PLANTING OPERATIONS
A. General
1. The Contractor shall coordinate all aspects of the landscape operations with all aspects of the site construction. The work shall proceed as the indicated portions of the site become available, consistent with the seasonal limitations for landscape planting.
2. The Contractor shall be responsible for any damage to utilities construction, sitework construction, and landscape sprinkler systems and shall bear the full cost to repair the damage. Accomplishment of repairs shall be equal to the original installation. Any damage shall be immediately reported to the Landscape Architect and repairs shall be approved by him before it is buried.
3. Maintain all trench or grade stakes for work under other Sections until their removal is approved by the Landscape Architect.
4. The Contractor shall stake plant location, shrub pits and other planting areas and secure the Landscape Architect's approval before starting excavation of same, making adjustments as necessary.
5. Unless otherwise directed by the Landscape Architect, indication of plant on drawings is to be interpreted as including digging of hole, furnishing plant of specified size, work of planting, mulching, guying, staking, wrapping and watering.
B. Plant Pits and Beds
1. Plant pits shall be excavated with vertical sides, large enough to allow twelve (12) inches of space around the ball in all directions. Adjust depth as necessary to permit a minimum of twelve (12) inches planting soil over the ball when the plant is set on the proper depth.
2. Planting pit backfill for all trees and shrub shall be as follows:
a. 2/3 parts by volume forest mulch.
b. 1/3 parts by volume forest mulch.
c. One pound 16-20-0 per cubic yard of mix.
3. Planting pits shall be backfilled and be water settled to a grade sufficient that in the setting of the plant, the finish grade level after settlement will be the same as that at which plants were grown. Agriform tablets to be used with each planting (six for 36-inch box, three for 15 gallon, two for 5 gallon, and one for 1 gallon).
C. Installations
1. Set plants in center of pits, plumb and straight and at such a level that after settlement the crown of the plant shall be two (2) inches below the finish grade and forming a shallow trough directly over the ball of earth and slightly smaller than the pit to facilitate watering. Space all plants as shown.
2. Set balled and burrlapped plants upon a well tamped layer of planting soil. Backfill around ball with planting soil in six to eight (6 - 8) inch lifts, each thoroughly tamped and puddled to top of pit. Avoid air pockets. Remove all ropes and wires from tops and sides of balls. No burtop shall be pulled out from under the balls. Plants supplied with roots immediately upon delivery shall be installed in their containers.
3. Removal of plants from containers shall be in a manner that will not disturb the root system of the soil in which they were planted. Under no conditions shall the plant be removed from the container by pulling on the main stem or by cutting the stem. No plants shall be installed in pits or containers remaining attached. Before install bare root plants, planting soil shall be placed and compacted to a depth of twelve (12) inches in the bottom of the planting pit. The plants shall be installed with their roots evenly distributed and spread in their natural position, with the planting soil being carefully placed and compacted around the roots so as to leave no air space.
D. Pruning, Wrapping, Mulching, Staking and Spraying
1. Pruning
a. Plants shall not be pruned prior to delivery unless Landscape Architect gives written permission. Pruning will occur only at time of planting and according to standard horticultural practice and at the direction of the Landscape Architect. Amount of pruning shall be limited and is not to exceed thirty-three percent (33%) of total plant as necessary to remove dead or injured twigs and branches and to compensate for root loss resulting from transplanting. Do not cut leaders.
b. Remove all dead wood, suckers, and broken or badly bruised branches.
c. Pruning shall be done with clean, sharp tools according to standard horticultural practices. Cuts shall be made flush leaving no splits.
d. Cuts over 1/2 inch diameter shall be painted over with approved tree paint. Paint shall cover all exposed cambium as well as other exposed living tissue. Injured cambium and bruises and scars shall be trocked back to living tissue and removed. Smooth and shove wounds so as not to retain water. Treat wound with paint.
2. Staking and Guying
a. Stake or guy all trees per detail. Trees which blow down, sway excessively, or are otherwise injured because of improper bracing shall be replaced at Contractor's expense.
3. Spraying
a. All ground cover and non-lawn areas shall be treated with pre-emergent.
4. Decomposed Granite
a. Prior to placing, the area shall be totally free of weeds using chemical control. Apply a pre-emergence control (Surflan or prior approved equivalent) according to manufacturer's recommendations. The decomposed granite shall be evenly distributed at the designated areas to a depth of two (2) inches. After placing and grading, lightly water to remove fine material from the surface and water settle or roll to an extent satisfactory to the Landscape Architect. Apply second application of pre-emergence control according to manufacturer's recommendations.
b. Decomposed granite shall be "Madison Gold" in color, 1/2 inch minus in size, shall be free from lumps or balls of clay and shall not contain calcareous coating, coliche, organic matter or deleterious substances. Color and source of decomposed granite shall be approved by Landscape Architect. All material shall be from a single production source and shall present a uniform appearance. Material containing clumps which will not disintegrate with a shovel blow shall be rejected.
5. Workmanship - Decomposed Granite
a. Install rock to a depth as indicated on the plans (typically two inches thick).
6. Workmanship - Berms
a. Earth berms (mounding) shall take the form indicated on the plans. The Landscape Architect shall inspect and approve all finished grades prior to any planting.
7. Cleaning Up
a. Keep all areas of this project in a clean, neat and orderly condition at all times. Trash burning and disposal shall not be done on the site. Prior to acceptance put all areas of the work in a finished condition acceptable to the Landscape Architect.
3.05 OBSTRUCTIONS BELOW GROUND
A. In the event that rock or underground construction work or obstructions are encountered in the excavation of plants pits, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed, remove the obstructions (but not new construction work) to a depth of not less than six (6) inches below the required pit depth.
B. Proper drainage of plant pits is necessary. Bring subsoil conditions permitting the retention of water in planting pits for more than twenty-four hours to that attention of the Landscape Architect with proposals for corrections. If soil conditions indicate modifications as directed by Landscape Architect, the changes required will not increase the contract price.
3.06 MAINTENANCE
A. Protect and maintain plant material (trees, shrubs, groundcover, lawn and vines) immediately after planting. Maintenance to be provided for sixty (60) days after acceptance by the Landscape Architect. At the end of sixty (60) days the Landscape Architect may extend the maintenance period if during that period the maintenance is not acceptable. Maintenance includes watering, weeding, cultivating, mulching, tightening and repairing of guys, removal of dead material, resetting plants to proper grade or upright positions and restoration of the planting saucer and other construction work until acceptance.

3.09 INSPECTION FOR ACCEPTANCE
A. Inspection of the landscaping work to determine completion of contract work, exclusive of the possible replacement of plants, will be made by the Landscape Architect at the conclusion of the maintenance period.
B. Acceptance: After inspection, the Contractor will be notified in writing by the Landscape Architect of acceptance of all work of this Section, exclusive of the possible replacement of plants subject to reinspection and guarantee, or if there are any deficiencies of the requirements for completion of the work.
C. Upon acceptance made by the Landscape Architect, the Contractor maintenance is terminated and the guarantee period begins.
3.10 PLANT GUARANTEE AND REPLACEMENT/FINAL ACCEPTANCE
A. The tree guarantee is for a period of one year from date of acceptance by the Landscape Architect. The guarantee is for all new plant material.
b. The shrub guarantee is for a period of 90 days from date of acceptance by the Landscape Architect. The guarantee is for all new plant material.
c. At the end of the guarantee period, the Landscape Architect shall reinspect all guaranteed work for Final Acceptance upon written request of Contractor. Request shall be received at least ten (10) calendar days before anticipated date for final inspection.
Upon final inspection and reinspection of replacements or repairs necessary in judgment of Landscape Architect at that time, Landscape Architect shall certify in writing to Owner as to Final Acceptance of plantings. Contractor shall replace, without cost to Owner, as soon as weather conditions permit, and within specified planting period, all dead plants and all plants not in vigorous, thriving conditions as determined by Landscape Architect at end of guarantee period. Plants shall be free of dead or dying branches and branch tips, and shall bear foliage of normal density, size and color. Replacements shall closely match adjacent specimens of same species and shall be equal in size to previously planted specimens, including increased growth since planting Replacement shall be subject to all requirements of this Specification.
d. Portions of lawns and/or plantings may be accepted in part upon Landscape Architect's approval.
PART 4 - MISCELLANEOUS AND GENERAL NOTES
4.01 FINISH GRADING AND GRADING
A. The General Contractor to provide Landscape Contractor finish grade within + 0.1 of a foot as shown on the civil grading plan and landscape plan.
B. All mounding, berms and finish grading to be approved by the Landscape Architect prior to planting or irrigation work.
4.02 GENERAL NOTES
A. The Landscape Contractor at his own expense shall procure all permits, certificates, and licenses required of him by law for the execution of this work. He shall comply with all state, county, and local laws, ordinances, rules or regulations relating to the performance of this work. All deductions or additions will be made through a change order issued by the Architect. Changes made without a change order are not considered part of the contract and payment cannot be guaranteed.
B. The Contractor shall visit and inspect site to thoroughly inform himself of all existing conditions. Any discrepancies between existing conditions and those shown on drawings should immediately be brought to the attention of the Landscape Architect.
NOTES:
1. Field locate all irrigation equipment in landscape areas - some lines are schematic.
2. Coordinate programs to avoid station overlap.
3. Reduce radius as necessary to prevent overspray on turf and shrub sprays.
4. Size and provide Schedule 40 PVC sleeves (approx. twice diameter of pipe) under all walkways, kooledge, curbs & drives as necessary on all irrigation equipment, at a depth of 24" below grade.
5. Contractor shall install all equipment as per manufacturer's specifications and as per city codes.
6. Any substitutions are to be approved by the Landscape Architect.
7. Length of poly to be no greater than five (5) feet from PVC lateral (typical for all rigid drip systems).
8. Install vacuum breaker twelve (12) inches above highest head or lateral pipe in system. Install per local plumbing codes.
9. Contractor shall guarantee 100% coverage in all landscape areas.
10. Contour or berm planter areas to achieve adequate coverage from flood buffers.
11. All heads to be adjusted so that there is minimum overthow onto pavement, walls and buildings.
12. All pots and points to be on a separate valve.
13. Contractor to receive a minimum 48 hour notice prior to sleeving.
14. Mainline to have a minimum of twenty four (24) inches of cover. Lateral lines to have a minimum twelve (12) inches of cover. Lines under paving shall be Sch. 40 PVC. All trenches to be backfilled, compacted, and water settled.
15. All drawings to be bid per plan. No value engineering or substitutions will be accepted during bidding.

ARCHICON Architecture & Interiors, L.C.
5055 E WASHINGTON STREET SUITE 200 PHOENIX, ARIZONA 85034
(602) 222-4266 FAX (602) 279-4305 WWW.ARCHICON.COM
3939 S. VAL VISTA DR N.E.C. VAL VISTA & GERMANN GIBLERT, ARIZONA
ENERGY DRINKS
PROJECT NUMBER: 2184410-01
PROJECT MANAGER: J. KOSKI
DRAWN BY: J. KOSKI
CHECKED BY: J. KOSKI
NO. REVISION DATE
SHEET DESCRIPTION
LANDSCAPE PLAN
T.J. McQUEEN & ASSOCIATES, INC. LANDSCAPE ARCHITECTURE URBAN DESIGN SITE PLANNING
10450 N. 74th Street, Suite 120 Scottsdale, Arizona 85258 P.(602)265-0320
EMAIL: timmqueen@tjma.net
SHEET NO. La.04
ISSUE DATE: 03.15.22





# ARCHICON ARCHITECTURE & INTERIORS, L.C.

---

March 17, 2022

Town of Gilbert  
Development Services  
Planning Department  
90 E. Civic Center Drive  
Gilbert, AZ 85296

Re: Gravity Energy Drinks  
3939 S. Val Vista Dr.  
NEC S. Val Vista Dr. & E. Germann Rd.  
DR 2021-00121

This response letter is regarding the project referenced above to address Town of Gilbert Planning landscape comments from the Design Review meeting. Responses to comments are in bold text.

Landscape:

1. These 2 trees must be located in the 20' landscape setback area facing S. Val Vista Dr.

**Response: Complied. Trees have been relocated as per new landscaping plan.**

2. Provide 1 additional tree. Only 6 have been provided on East side of property.

**Response: Complied. Trees have been added as per new landscaping plan.**

3. See site plan comments concerning this drive aisle on Circle K's site.

**Response: Complied. Issue has already been addressed.**

4. Update Water Conservation Form to include Smart Controller

**Response: Complied. See Exhibit 6f for updated form.**

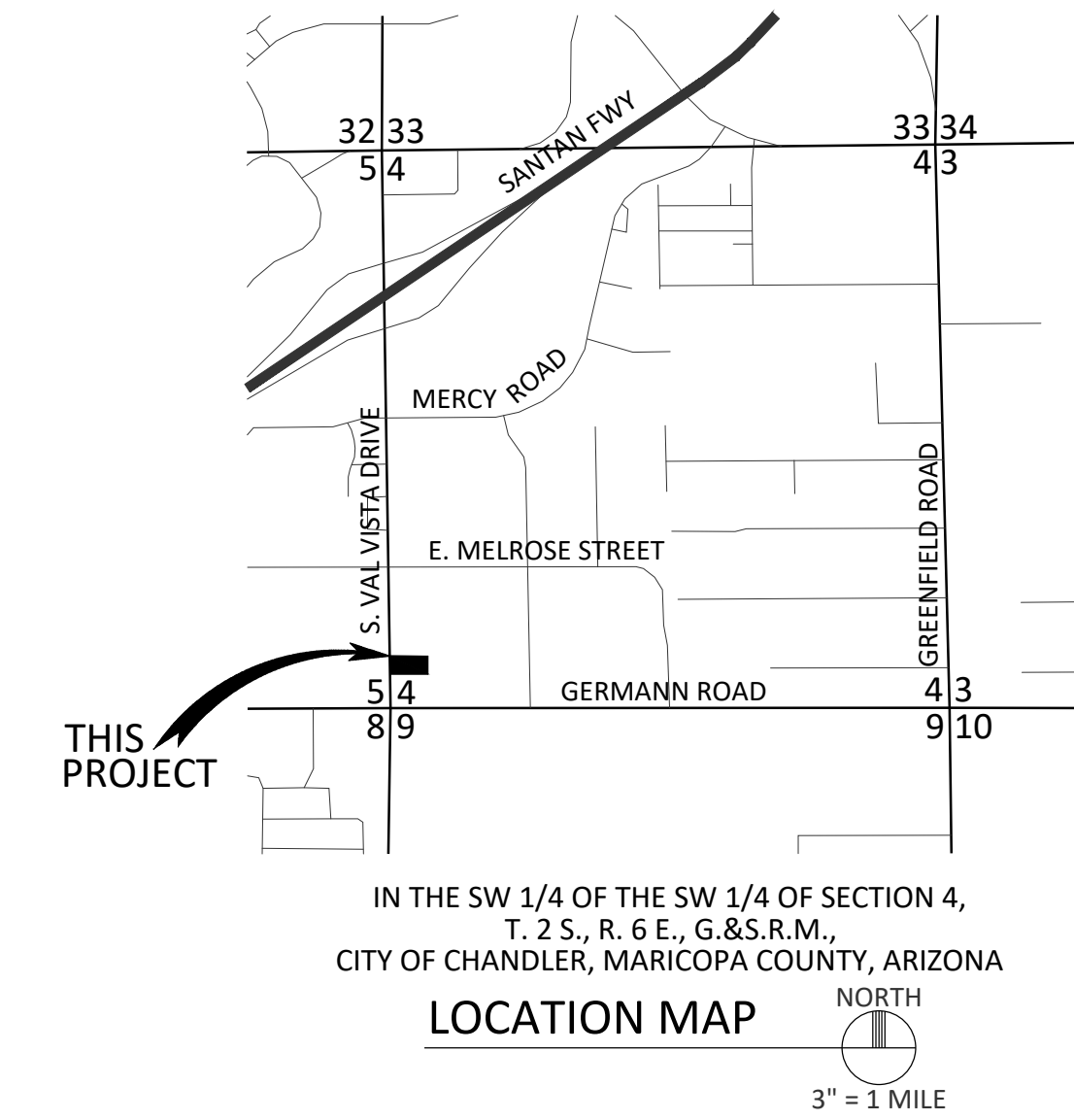
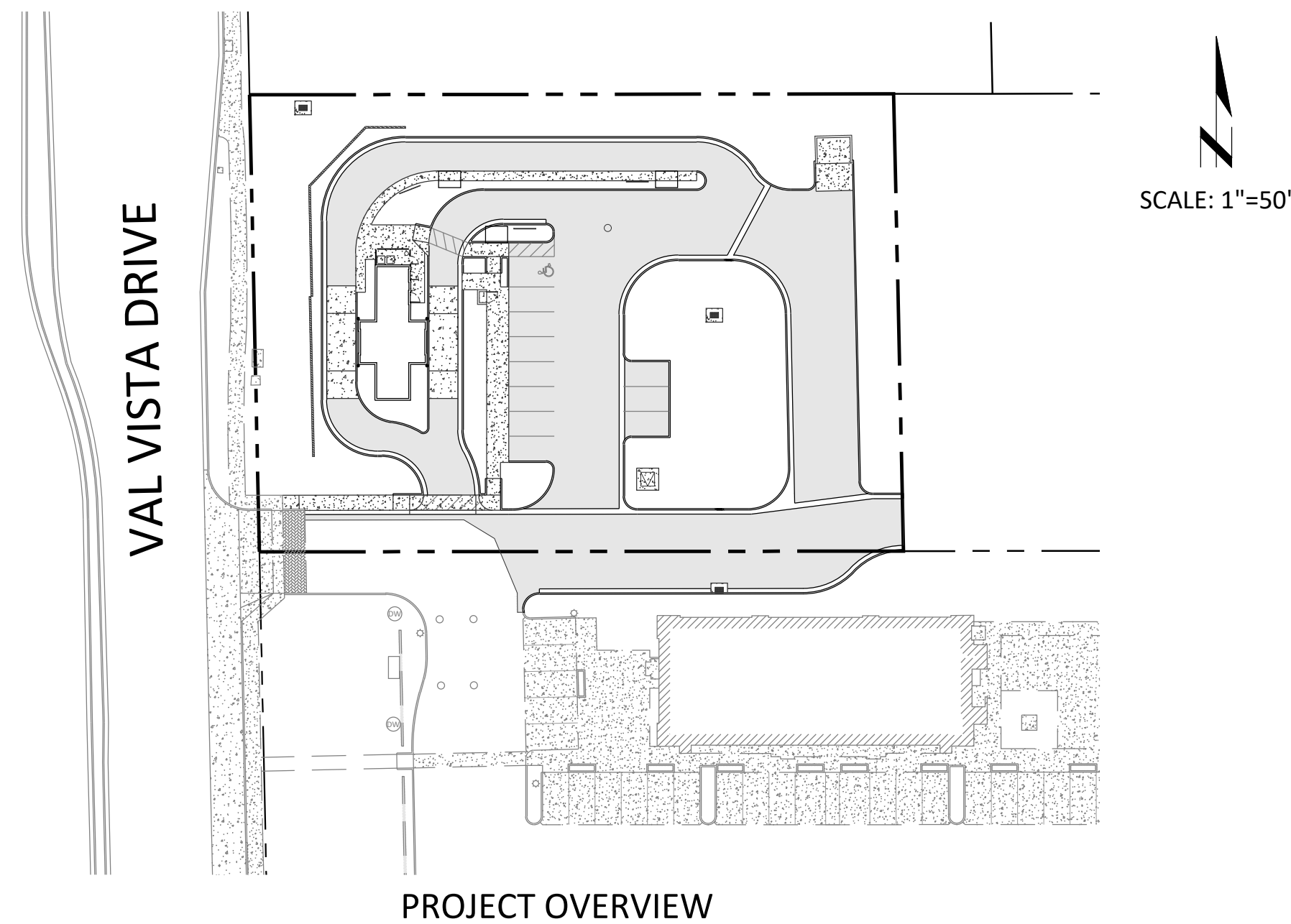
If you have any questions, please let me know.

Sincerely,

Jeffrey A Koski, Principal

# PRELIMINARY IMPROVEMENT PLAN for GRAVITY ENERGY DRINKS - VAL VISTA AND GERMANN

18619 SOUTH VAL VISTA DRIVE GILBERT, ARIZONA  
 A PORTION SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN MARICOPA COUNTY, ARIZONA



**CYPRESS CIVIL**  
 4450 north 12th street  
 suite 228  
 phoenix, arizona 85014  
 p: 623.282.2498  
 e: jphunt@cypresscivil.com

NO.	DATE	REVISION

**PRELIMINARY IMPROVEMENT PLAN for GRAVITY ENERGY DRINKS - VAL VISTA + GERMANN**  
 18619 SOUTH VAL VISTA DRIVE GILBERT, ARIZONA  
**cover**

## PROJECT INFORMATION

- PROJECT DESCRIPTION:**  
THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE-STORY RESTAURANT WITH ALL REQUIRED GRADING & DRAINAGE, PARKING, UTILITY AND PAVING REQUIREMENTS.
- ADDRESS:**  
18619 SOUTH VAL VISTA DRIVE  
GILBERT, ARIZONA 85297  
  
APN: 304-53-131C
- ZONING:** CC
- SITE AREA:** 38,635 SF (0.89 AC)

## LEGAL DESCRIPTION

THE WEST 1 ACRE OF THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THE WEST 70 FEET.

## SURVEY NOTES

- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:  
SUPERIOR SURVEYING SERVICES, INC.  
2122 WEST LONE CACTUS DRIVE, SUITE 11  
PHOENIX, ARIZONA 85027  
PH: 623-869-0223  
CONTACT: DAVID S. KLEIN, R.L.S.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF VAL VISTA DRIVE, ALSO BEING THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 4, USING A BEARING OF N 01°13'19" W, AS PER THE AMENDED FINAL PLAT OF "MERCY POINT MEDICAL CENTER" IN BOOK 932 OF MAPS, PAGE 34, RECORDS OF MARICOPA COUNTY, ARIZONA.
- THE BASIS OF ELEVATION FOR THIS PROJECT IS THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION BENCHMARK UNIQUE POINT ID: 12733, BEING A 3" TOWN OF GILBERT BRASS CAP IN HANDHOLE, LOCATED AT THE INTERSECTION OF GERMANN ROAD AND GREENFIELD ROAD, HAVING AN ELEVATION OF 1294.233', (NAVD88).

## BENCHMARK

THE BENCHMARK USED FOR THIS PLAN IS THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION BENCHMARK UNIQUE POINT ID: 12733, BEING A 3" TOWN OF GILBERT BRASS CAP IN HANDHOLE, LOCATED AT THE INTERSECTION OF GERMANN ROAD AND GREENFIELD ROAD, HAVING AN ELEVATION OF 1294.233', (NAVD88).

## PROJECT RETENTION

REQUIRED ONSITE RETENTION VOLUME (50-YEAR, 24-HOUR = 3.0")  
 VOLUME [CF] = (D [IN] / 12) x AREA [SF] x Cw

ONSITE:  
 Cw = CALCULATED IN PROJECT DRAINAGE REPORT  
 Cw = 0.81

V = D x A x Cw  
 V = [3/12] x 33,925 x 0.81  
 V = 6,870 CF

OFFSITE (VAL VISTA DRIVE HALF-STREET):  
 Cw = 0.90  
 V = [3/12] x 11,785 x 0.90  
 V = 2,652 CF

TOTAL REQUIRED RETENTION = 9,522 CF

PROVIDED:  
 SURFACE RETENTION BASIN = 4,000 CF  
 U/JG MC-3500 CHAMBER RETENTION = 5,643 CF  
 • 30 CHAMBERS @ 178.9 CF/EA  
 • 6 ENDCAPS @ 46.0 CF/EA  
 • ASSUMES 9" STONE BASE  
 • ASSUMES 40% ROCK VOID RATIO

TOTAL PROVIDED = 9,643 CF

REQUIRED RETENTION BASIN VOLUME FROM SOUTH SHARED DRIVE TO CONTRIBUTE TO RETENTION SYSTEM ON ADJACENT DEVELOPMENT (50-YEAR, 24-HOUR = 3.0")  
 VOLUME [CF] = (D [IN] / 12) x AREA [SF] x Cw

Cw = 0.90  
 V = D x A x Cw  
 V = [3/12] x 1,740 x 0.90  
 V = 392 CF

## DRYWELL CALCULATIONS

TOTAL RETAINED VOLUME = 9,522 CF

DRYWELL DISSIPATION RATE = 0.1 CFS

TIME [SEC] = VOLUME [CF] / RATE [CFS]

t = 9,522 / 0.1 = 95,220 SEC = 26.5 HOURS

## DRAINAGE STATEMENT

- SITE IS IN A SPECIAL FLOOD HAZARD AREA - NO
- OFFSITE FLOWS AFFECT THIS SITE - YES, VAL VISTA DRIVE HALF-STREET.
- RETENTION PROVIDED IS 50-YR, 24-HR
- EXTREME STORM OUTFALLS THE SITE AT THE SOUTHWEST DRIVEWAY AT THE ELEVATION OF 1280.73.

## FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NUMBER 04013C2744M, DATED NOVEMBER 4TH, 2015 THE PARCEL IS LOCATED IN THE ZONE X (UN-SHADED) AREA, WHICH IS DEFINED AS AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOOD AREA.

## OWNER/DEVELOPER

VERDE BUILDING CORPORATION  
 18521 EAST QUEEN CREEK ROAD, #105  
 QUEEN CREEK, ARIZONA 85142  
 PH: 480-883-0971  
 ATTN: SUZANNE FROST

## CIVIL ENGINEER

CYPRESS CIVIL DEVELOPMENT  
 4450 NORTH 12TH STREET, #228  
 PHOENIX, ARIZONA 85014  
 PH: 623-282-2498  
 ATTN: JEFF HUNT

## ARCHITECT

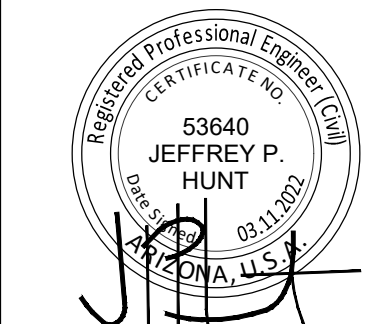
ARCHICON ARCHITECTURE & INTERIORS, LC  
 5055 E. WASHINGTON STREET, SUITE 200  
 PHOENIX, ARIZONA 85034  
 PH: 602-222-4266  
 ATTN: JEFFREY A. KOSKI

## UTILITIES

WATER: TOWN OF GILBERT  
 SEWER: TOWN OF GILBERT  
 ELECTRIC: SALT RIVER PROJECT  
 GAS: SOUTHWEST GAS  
 TELEPHONE: CENTURY LINK  
 CABLE: COX COMMUNICATIONS

## SHEET INDEX

- COVER SHEET
- GRADING AND DRAINAGE PLAN
- ONSITE UTILITY PLAN



DRAWN:	PT
DESIGNED:	BT
CHECKED:	JH
DATE:	03-11-2022
JOB NO:	21.059
SHEET NUMBER	



FOUND 3" TOWN OF GILBERT  
BRASS CAP FLUSH WEST  
CORNER OF SECTION 4, T25,  
R6E

E. MELROSE STREET

S. VAL VISTA DRIVE

N 0°13'19" W 1325.11' (BASIS OF BEARINGS)

828.20'

N 0°13'19" W 165.66'

1280

1280

1280

1280

1280

1280

1280

FOUND 3" TOWN OF GILBERT  
BRASS CAP IN HANDHOLE  
SOUTHWEST CORNER OF  
SECTION 4, T25, R6E

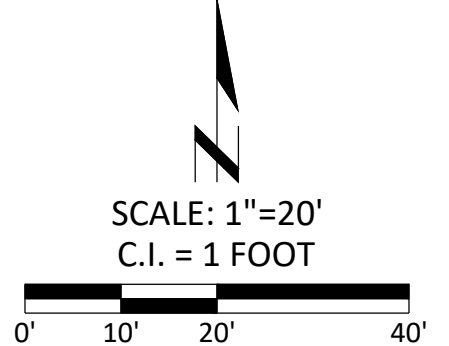
GERMANN ROAD

APN: 304-53-133A  
VAL VISTA INVESTMENT LLC.  
2004-0529439 M.C.R.  
(NOT A PART)

APN: 304-53-131B  
LAMMERS DONALD J/NADINE B TR  
2016-0694746 M.C.R.  
(NOT A PART)

PROPOSED BUILDING  
BY OTHERS  
FFE=1281.53

LOT 1  
CORONADO VILLAGE PLAZA  
PER BK 950, PG. 24, M.C.R.  
APN: 304-53-333  
(NOT A PART)



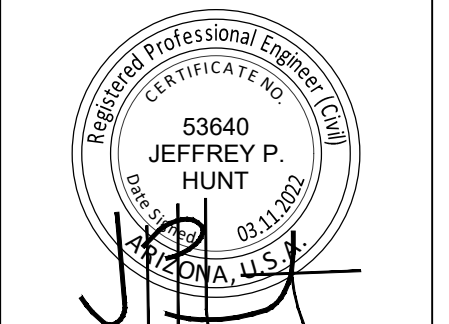
**KEYNOTES**

- 1 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 2 EXISTING CATCH BASIN AND BUBBLE-UP STRUCTURE TO REMAIN.
- 3 STORM DRAIN STUB BY OTHERS.
- 4 NEW RIGHT TURN LANE BY OTHERS.
- 5 NEW CONCRETE DRIVEWAY BY OTHERS.
- 6 NEW ASPHALT PAVEMENT.
- 7 NEW CONCRETE PAVEMENT.
- 8 NEW CONCRETE VERTICAL CURB.
- 9 NEW CONCRETE VERTICAL CURB AND GUTTER.
- 10 NEW VALLEY GUTTER.
- 11 NEW CONCRETE SIDEWALK.
- 12 NEW ACCESSIBLE RAMP.
- 13 NEW CURB OPENING AND RIP-RAP SPILLWAY.
- 14 NEW TRASH ENCLOSURE AND CONCRETE APRON.
- 15 NEW MASONRY SCREEN WALL.
- 16 NOT USED.
- 17 NEW STORM DRAIN INLET.
- 18 NEW STORM DRAIN PIPE.
- 19 NEW SINGLE-CHAMBER DRY WELL.
- 20 NEW STORMTECH MC-3500 STORM WATER CHAMBERS. TOTAL INSTALLED VOLUME = 5,643 CF.

**CYPRESS CIVIL**  
4450 north 12th street  
suite 228  
phoenix, arizona 85014  
p: 623.282.2498  
e: jphunt@cypresscivil.com

NO.	DATE	REVISION

**PRELIMINARY IMPROVEMENT PLAN for  
GRAVITY ENERGY DRINKS - VAL VISTA + GERMANN**  
18619 SOUTH VAL VISTA DRIVE GILBERT, ARIZONA  
grading and drainage plan



DRAWN: PT  
DESIGNED: BT  
CHECKED: JH  
DATE: 03-11-2022  
JOB NO: 21.059  
SHEET NUMBER



THESE PLANS ARE PRELIMINARY AND ARE NOT FOR CONSTRUCTION OR RECORDING



② NORTH ELEVATION

SCALE: 1/4" = 1'-0"



① EAST ELEVATION

SCALE: 1/4" = 1'-0"



③ SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



④ WEST ELEVATION

SCALE: 1/4" = 1'-0"

### MATERIAL SPECIFICATIONS

STUCCO:	MANUFACTURER	WESTERN 1-KOTE
	TYPE	FIBER REINFORCED PORTLAND CEMENT EXTERIOR PLASTER
	FINISH	PREMIUM ACRYLIC FINISH
	COLOR	INTEGRAL COLOR - PROPER GRAY, SHERWIN WILLIAMS SW 6003
		INSTALL PER ICC-ES AC11, ER 382
STONE VENEER:	MANUFACTURER	EL DORADO STONE
	TYPE	STACKED STONE
	COLOR	SILVER LINING
		PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT
		INSTALL PER ICC-ES EVALUATION REPORT ESR-1215
STONE WAINSCOT:	MANUFACTURER	EL DORADO STONE
	TYPE	STACKED STONE
	CAP	SNAPPED EDGE WAINSCOT CAP
	COLOR	PEWTER
		PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT
ROOFING:	STANDING SEAM METAL ROOFING	
	PAC-CLAD, SNAP-CLAD 16" COVERAGE	OR EQUAL
	COLOR: BLACK FINISH	
ALUMINUM STOREFRONT:	DARK BRONZE ANODIZED ALUMINUM FINISH	
GLAZING:	SOLARBAN 70XL	
	SHGC: 0.27, U-VALUE: 0.24, VLT 64%	



STANDING SEAM METAL ROOF  
PC CLAD SNAP CLAD 16"  
BLACK FINISH



METAL SCREEN  
BLACK FINISH



SMOOTH GRAY CMU  
PAINTED  
SW7016 - MINDFUL GRAY



SPLIT FACE CMU  
PAINTED  
SW7019 - GAUNTLET GRAY



ELDORADO STONE VENEER  
STACKED STONE  
COLOR - SILVER LINING



ELDORADO STONE WAINSCOT  
SNAPPED EDGE  
COLOR - PEWTER



WESTERN 1-KOTE  
PLASTER ACRYLIC FINISH  
SW6003 - PROPER GRAY



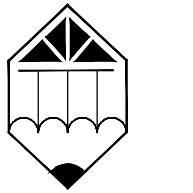
PAINT  
SW6003  
PROPER GRAY



PAINT  
SW7016  
MINDFUL GRAY



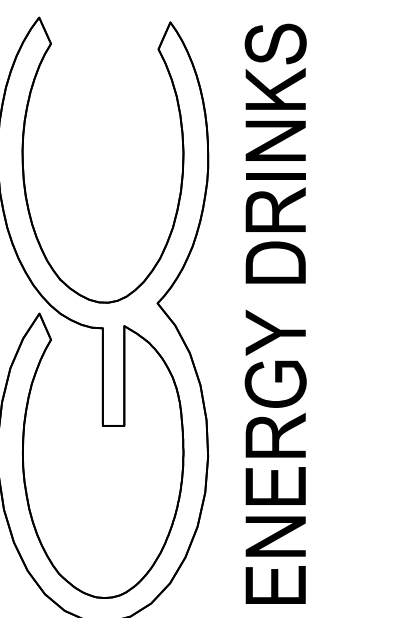
PAINT  
SW7019  
GAUNTLET GRAY



**ARCHICON**  
Architecture & Interiors, L.C.

5055 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
www.ARCHICON.COM

3939 S. VAL VISTA DR  
N.E.C. VAL VISTA & GERMANN  
GIBLERT, ARIZONA



PROJECT NUMBER: 2184410-01  
PROJECT MANAGER: J. KOSKI  
DRAWN BY: J. KOSKI  
CHECKED BY: J. KOSKI

NO.	REVISION	DATE

SHEET DESCRIPTION  
COLOR ELEVATIONS



SHEET NO.

**DR300**

ISSUE DATE: 12 APR 2022



STUCCO:  
**ST**

MANUFACTURER WESTERN 1-KOTE  
TYPE FIBER REINFORCED PORTLAND CEMENT EXTERIOR PLASTER  
FINISH PREMIUM ACRYLIC FINISH  
COLOR INTEGRAL COLOR - PROPER GRAY, SHERWIN WILLIAMS SW 6003



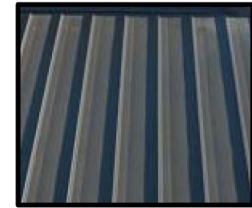
STONE VENEER:  
**SV**

MANUFACTURER EL DORADO STONE  
TYPE STACKED STONE  
COLOR SILVER LINING  
PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT  
INSTALL PER ICC-ES EVALUATION REPORT ESR-1215



STONE WAINSCOT:  
**SW**

MANUFACTURER EL DORADO STONE  
TYPE STACKED STONE  
CAP SNAPPED EDGE WAINSCOT CAP  
COLOR SILVER LINING  
PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT



ROOFING:  
**MT**

STANDING SEAM METAL ROOFING  
PAC-CLAD, SNAP-CLAD 16" COVERAGE OR EQUAL  
COLOR: BLACK FINISH

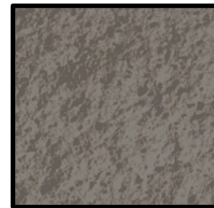


ALUMINUM STOREFRONT:  
**AL**

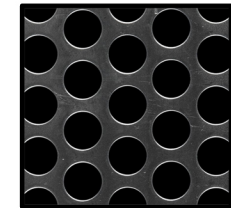
DARK BRONZE ANODIZED ALUMINUM FINISH  
GLAZING: SOLARBAN 70XL  
SHGC: 0.27, U-VALUE: 0.24, VLT 64%



SMOOTH GRAY CMU  
PAINTED FINISH - SW 7016 MINDFUL GRAY



SPLIT FACE CMU  
PAINTED FINISH - SW 7019 GAUNTLET GRAY



PERFORATED METAL



**ARCHICON**  
ARCHITECTURE & INTERIORS, L.C.

5055 E. WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602)222-4266  
FAX (602)279-4305  
WWW.ARCHICON.COM

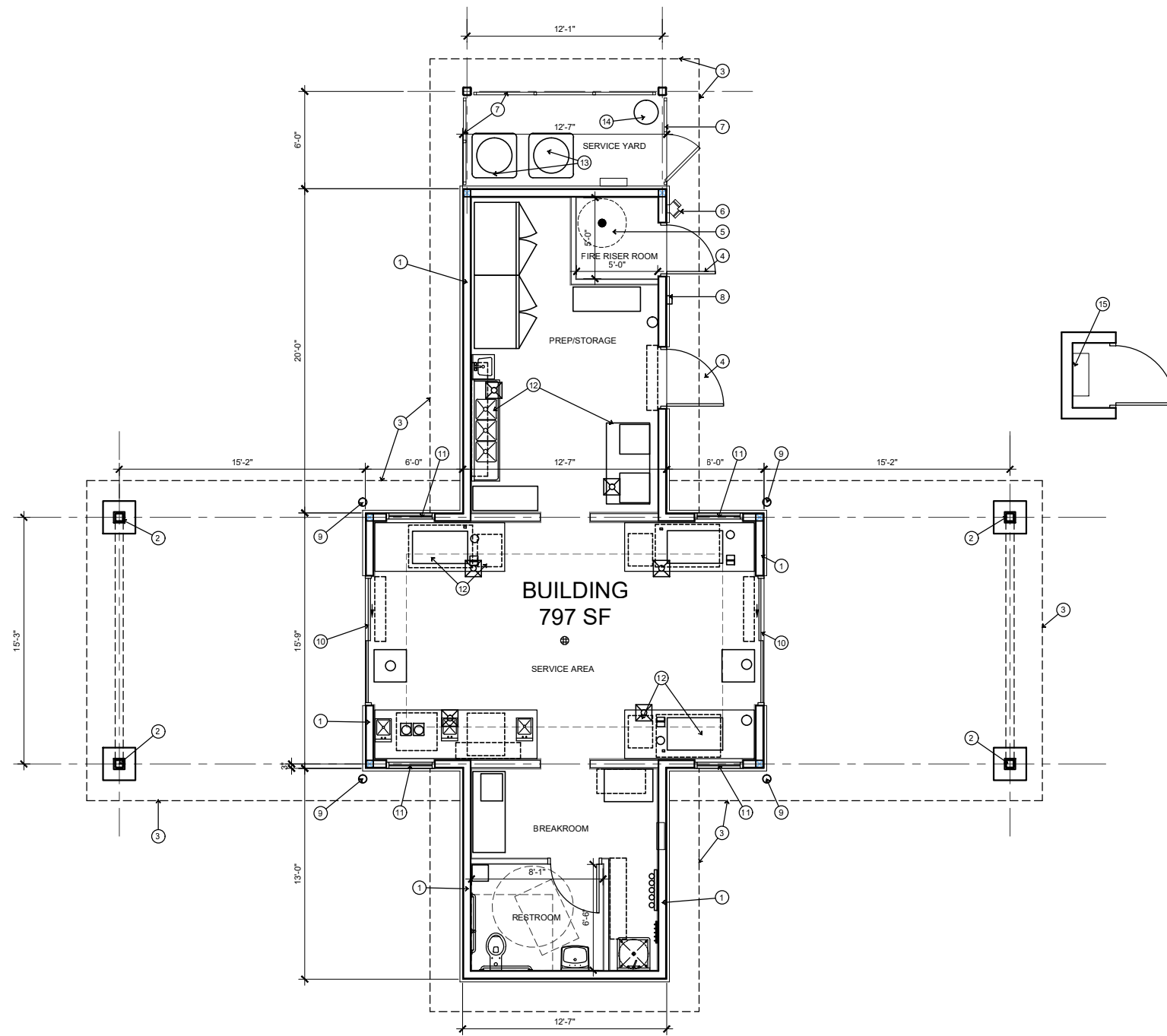
# GRAVITY ENERGY DRINKS

3939 S. VAL VISTA DR  
N.E.C. VAL VISTA & GERMAN  
GILBERT ARIZONA



SHEET NO.

2184410-01



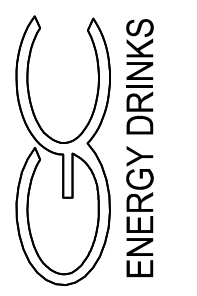
**KEYNOTES**

- 1 EXTERIOR WOOD STUD WALL WITH STONE VENEER AND STUCCO FINISH
- 2 CMU COLUMN WITH STONE VENEER AND STEEL COLUMN ABOVE
- 3 ROOF OVERHANG (DASHED)
- 4 HOLLOW METAL DOOR AND FRAME, PAINTED
- 5 FIRE RISER LOCATION
- 6 FIRE DEPARTMENT CONNECTION (F.D.C.)
- 7 PERFORATED METAL SCREENED MECHANICAL YARD
- 8 KNOX BOX LOCATION
- 9 6" DIA. STEEL BOLLARD
- 10 SLIDING GLASS DOOR
- 11 ALUMINUM WINDOW
- 12 KITCHEN EQUIPMENT
- 13 GROUND MOUNTED CONDENSER WITHIN SCREENED MECHANICAL YARD
- 14 CO2 TANK WITHIN SCREENED MECHANICAL YARD
- 15 400AMP MAIN ELECTRICAL SERVICE ENTRY SECTION IN CMU ENCLOSURE WITH DOOR. EXPOSED TO SKY. FULLY SCREENED. SEE SITE PLAN FOR LOCATION



**ARCHICON**  
Architecture & Interiors, L.C.  
5055 E WASHINGTON STREET  
SUITE 200  
PHOENIX, ARIZONA 85034  
(602) 222-4266  
FAX (602) 279-4305  
www.ARCHICON.COM

3939 S. VAL VISTA DR  
N.E.C. VAL VISTA & GERMANN  
GIBLERT, ARIZONA



PROJECT NUMBER: 2184410-01  
PROJECT MANAGER: J. KOSKI  
DRAWN BY: J. KOSKI  
CHECKED BY: J. KOSKI

NO.	REVISION	DATE

SHEET DESCRIPTION  
FLOOR PLAN

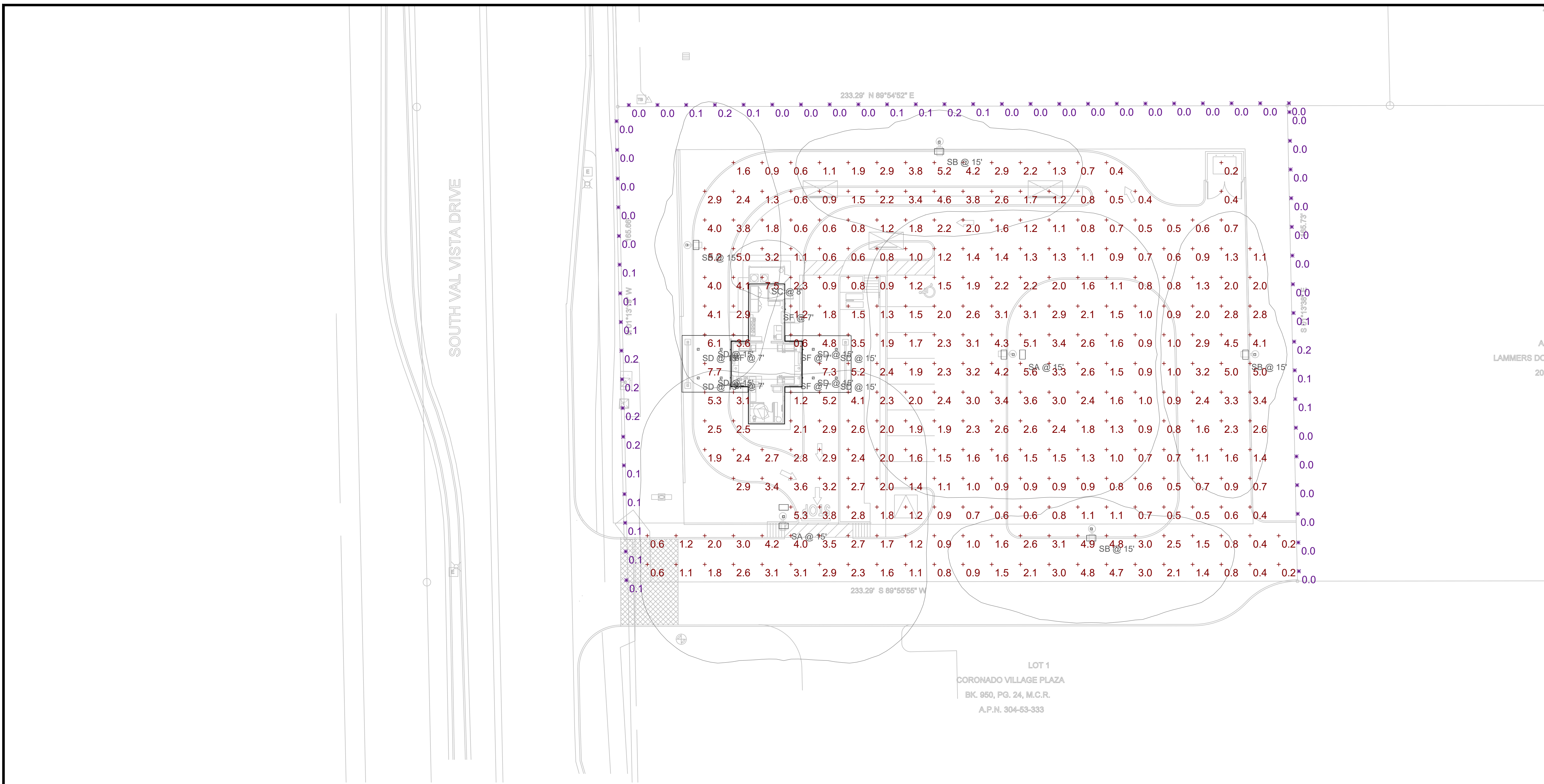


SHEET NO.  
**DR200**  
ISSUE DATE: 31 JAN 2022

① FLOOR PLAN

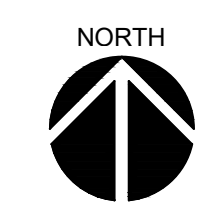
SCALE: 1/8" = 1'-0"





1 PHOTOMETRIC SITE PLAN

SCALE: 1" = 20'-0"

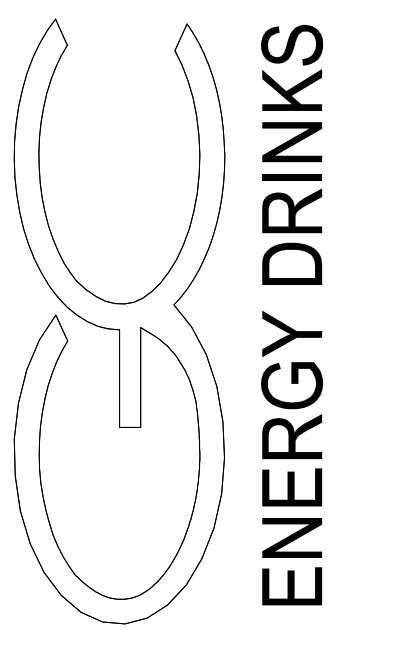


Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	SA	2	Lithonia Lighting	(2) DSX0 LED P4 30K T5W MVOLT SPA (FINISH) / SSS 12.5' W/2.5' BASE	TWIN-HEAD DSX0 LED P4 30K T5W MVOLT	LED - 3000K	DSX0_LED_P4_30K_T5W_MVOLT.ies	10108	0.91	184
	SB	4	Lithonia Lighting	DSX0 LED P4 30K T2M MVOLT SPA HS (FINISH) / SSS 12.5' W/2.5' BASE	DSX0 LED P4 30K T2M MVOLT with houseside shield	LED - 3000K	DSX0_LED_P4_30K_T2M_MVOLT_HS.ies	8014	0.91	92
	SC	1	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VF MVOLT (FINISH)	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	LED - 3000K	WDGE1_LED_P1_30K_80CRI_VF.ies	1161	0.91	10.0002
	SD	8	TGS	TWSF 0818 C U (3000K)	THINTEK WAFER S	LED - 3000K	TWSF-0818-C-U (2700K)_IESNA 2002.IES	1427	0.91	17.5
	SF	5	TERON LIGHTING	ZENS L16.2-TE500 120-277V TBS (FINISH) 30K	ZENITH SM TBS LED WALL MOUNT	LED - 3000K	Zenith SM LED 23.4 30K.IES	1184	0.53	16

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE - FC @ 5' AFG	X	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
SITE - FC @ GRADE	+	2.1 fc	7.7 fc	0.2 fc	38.5:1	10.5:1

**ARCHICON**  
 Architecture & Interiors, L.C.  
 5055 E WASHINGTON STREET  
 SUITE 200  
 PHOENIX, ARIZONA 85034  
 (602) 222-4266  
 FAX (602) 279-4305  
 www.ARCHICON.COM

3939 S. VAL VISTA DR  
 N.E.C. VAL VISTA & GERMANN  
 GIBLERT, ARIZONA



PROJECT NUMBER: 2184410-01  
 PROJECT MANAGER: J. KOSKI  
 DRAWN BY: J. KOSKI  
 CHECKED BY: J. KOSKI

NO	REVISION	DATE

SHEET DESCRIPTION  
 SITE PHOTOMETRICS



SHEET NO.

**DR120**

ISSUE DATE: 3 AUG 2021



# ARCHICON ARCHITECTURE & INTERIORS, L.C.

---

## Project Narrative

This project is located on the east side of Val Vista Drive, approximately 300 feet North of Germann Road intersection.

The project consists of a new approximately 800 square foot ground-up building for Gravity Energy Drinks and will have two drive-thru lanes. Both lanes have drive-thru directional signs and both serve the drivers directly. There is no need for a solo driver dedication. The Gravity brand prides itself on personal customer service and the drink stands are designed specifically to have personal interaction with the driver from the passenger side window. In the passenger side lane, orders are both taken and delivered on the passenger side of the car. Our highest volume locations are based upon this model in Washington State. All of our customer polling data overwhelmingly shows that the customers prefer these locations because the queueing moves much more quickly and efficiently, and they get a much more personal service experience.

A small parking area will be provided as there is no indoor or outdoor public areas and parking is only for employees.

The site will have a common access drive in conjunction with the Circle K project that is currently in the planning process to the south. A connection will be provided for access to the property to the east.

The building will have a hip roof system with canopies that extend out over the drive-thru lanes. There will be 2 lower wings that will also have a hip roof system. The roofing material will be a standing seam black panel. The building will have both stucco finish which will be light gray and a stone veneer which is a silver/grey stacked stone system. A screened mechanical yard will be provided to screen the mechanical condensers.

Three small shade structures will be provided on the site for possible employee order taking along with a menu board.

This project under the LDC is a "Restaurants, Beverage Service" which is permitted in the CC zoning. All of the adjacent properties are zoned CC.