



19

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: NOAH SCHUMERTH, PLANNER II *N.S.*
(480) 503-6729, NOAH.SCHUMERTH@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *AM*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: JUNE 1, 2022

SUBJECT: DR22-28, LINDSAY AND BASELINE COMMERCIAL

STRATEGIC INITIATIVE: Exceptional Built Environment

Builds additional opportunities for neighborhood-scale services and increases access to popular Gilbert businesses in the northern portion of the community while managing drainage and other services on a functionally important site.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR22-28, Lindsay and Baseline: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 2.03 acres, generally located at the SEC corner of Lindsay and Baseline Roads and zoned General Commercial (GC).

APPLICANT

Company: Glenwood Development
Name: Travis Carter
Address: 4360 E Brown Road, #106
Mesa, Arizona, 85205
Phone: (480) 777-4650
Email: travis@glenwood.com

OWNER

Company: Titan Management LLC
Name: Robert Klepinger
Address: 1333 N Greenfield Road, #104
Mesa, Arizona, 85205
Phone:
Email:

BACKGROUND/DISCUSSION

History

Date	Description
April 8, 1974	Town Council approved A74-02 (Ordinance No. 155)), annexing the subject site into the Town of Gilbert as a portion of the “Porter Acres” annexation.
April 6, 1999	Town Council approved GP98-04 (Resolution No. 2038) a General Plan Amendment to change the land use designation from Low-Density Residential (0-3 DU/acre) to Community Commercial (CC).
April 6, 1999	Town Council approved Z98-35 (Ordinance No. 1161) rezoning the subject site from R1-43 to C-1 PAD zoning to allow for retail and office uses.

Overview

The applicant is proposing a new master site plan with two single-story commercial structures totaling 2,229 square feet, located on a 2.03-acre vacant site at 2833 E Baseline Road. The proposal is generally located at the SEC of Baseline Road and Lindsay Road. The site will be split into two parcels equaling approximately one acre with appropriate agreements and easements provided.

The two structures on the site are proposed to provide automobile-oriented uses with a moderate level of traffic, namely at Take 5 automobile care center and a Gravity Coffee drive-through coffee shop. The site design incorporates two sets of queueing lanes for drive-through uses, including a three-lane drive for the Take 5 automobile care facility and a two-lane drive for the Gravity Coffee drive-through coffee shop. The site is designed to accommodate automobile-oriented uses compatible with Gilbert’s minor arterial intersections.

Access to the site will be provided at right in/right out (RI/RO) driveways located on Lindsay Road and Baseline Road. The location of the RI/RO driveway on Baseline Road has been approved by City staff from the City of Mesa, who has primary right-

of-way jurisdiction along the arterial. Run-off volume from the existing drainage easement on the site accommodating half-street drainage from Lindsay Road will be retained on-site, and the easement will be terminated in conjunction with site development.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Neighborhood - City of Mesa General Plan	Limited Commercial (LC) - City of Mesa Zoning	Commercial - Retail
South	Residential > 0-1 DU (R > 0-1)	Single-Family Residential (SF-35)	Single-Family Residential
East	General Commercial (GC)	General Commercial (GC)	Commercial - Office
West	General Commercial (GC)	General Commercial (GC)	Commercial - Retail
Site	General Commercial (GC)	General Commercial (GC)	Vacant (incl. Drainage Easement)

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Maximum Building Height (ft.)/(Stories)	45'	20' (Take 5)/21' (Gravity)
Minimum Building Setback		
Front	25'	76' (Take 5)/54' (Gravity)
Side (Street)	20'	48' (Take 5)/ N/A (Gravity)
Side (Residential)	75'	N/A
Side (Non-residential)	20'	N/A (Take 5)/58' (Gravity)
Rear (Residential)	75'	190' (Take 5)/200' (Gravity)
Rear (Non-residential)	20'	N/A

Separation Between Buildings (ft.)	15'	70'
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	25'
Side (Street)	20'	50'
Side (Residential)	40'	N/A
Side (Non-residential)	20'	20'
Rear (Residential)	40'	40'
Rear (Non-residential)	20'	N/A
Landscaping (% of net lot area)	15%	49%
Off-Street Parking and Loading	21 spaces	27 spaces

DISCUSSION

Site/Buildings

The site features two buildings designed to host automobile-oriented commercial uses, including an automobile care center (Take 5 as tenant) and a drive-through service establishment (Gravity Coffee as tenant). The Take 5 automobile care center is approximately 1,433 square feet in size and will include three service bays and office space for employees. The Gravity Coffee drive-through will be approximately 796 square feet with two full-service drive-through windows.

The site is designed to mitigate the negative visual effect of automobile-oriented businesses by placing the buildings near the front of the site with minimized vehicle activity between the buildings and property frontage along Baseline. All parking is setback behind or to the side of structures. Buildings are oriented to maximize elevation frontage along Baseline Road. All drive-throughs and drive lanes are appropriately screened from arterial roadways.

The site has 27 parking spaces, reflecting the minimal indoor customer space on the site. Most parking on the site is for employees and vendors to park vehicles. Parking is designed to provide adequate pedestrian waiting areas near buildings in a visually pleasing manner (east of Take 5 building entrance; south of Gravity Coffee

building). Appropriate parking islands, space dimensions, and overhang/space combinations are provided on the site. Queueing is adequate on the site, with a minimum of four spaces behind the separate point-of-order windows for the Gravity Coffee drive-through and three spaces behind each service bay of the Take 5 automobile care center. Drive-aisles exiting each drive-through lane and service bay are coordinated to minimize conflict points within the site by creating a four-way intersection at the front of the site, meeting arterial setback requirements, and creating a second drive-through exit from the Gravity Coffee building with adequate spacing. Pedestrian access is sufficient and provided in a visually pleasing manner through the consistent use of decorative paving at all vehicle lane and drive aisle crossings.

Ultimately, the two structures will be located on separate parcels, each approximately one acre in size with the new parcel boundary bisecting the main access drive into the site which will be used to provide access to both businesses from Baseline Road. The two parcels will be created through a Minor Land Division application with Town staff, being processed concurrently with this site, and introduced by a pre-application meeting in 2021 (DR21-70). Minor Land Division will be completed before the issuance of any building permits or approval of construction documents (see conditions of approval). Side setback requirements between sites are eliminated because of the integrated nature of the two parcels through the master site plan.

As further discussed in the Grading and Drainage section of this report, the primary barrier to developing this site was an existing retention easement located on the western edge of the property to accommodate runoff from the eastern half-street section of Lindsay Road. The applicant has agreed to formally terminate this retention easement and accommodate the drainage volume in the large retention areas included on the site.

Access is provided to the site with a pair of RI/RO driveways, with one located on Lindsay Road and one on Baseline Road. The driveway on Lindsay is only approved contingent on the removal of the retention easement which currently prohibits development of the driveway. The driveway on Baseline was permitted in the selected location because of approval from planning staff of the City of Mesa, which allowed the driveway location so long as City requirements were met for visibility triangles and the ultimate design of the deceleration lane adjacent to the RI/RO driveway.

Landscape

The proposed landscaping on this site is vastly sufficient for the proposed building design. Landscaping encompasses nearly 50% of the site across both proposed parcels. This is primarily due to the large amount of area devoted to drainage retention surrounding the paved areas of the property. The site provides adequate screening from the low-density residential development with a dense row of Willow Acacia trees, with screening extended to the side setback adjacent to the Dana Stevens Honorary Professional Park. Appropriate landscaping around the base of buildings is provided in highly visible locations, such as the arterial-facing sides of the two buildings on the site. Landscaping material choice is appropriate for the site, eliminating invasive species, using drought-resistant plantings and screening weather-risked plantings (palo verdes, etc.) from potential wind/storm damage. Landscaping maintains the site visibility triangles required on this site by both the Town of Gilbert and the City of Mesa.

Grading and Drainage

The site meets Town standards for drainage and retention. The greatest impediment to the development of this site is a retention easement which exists on the western portion of the lot adjacent to Lindsay Road. This retention basin holds runoff captured and drained off of the eastern half-street of Lindsay Road ahead of development of this site, with scupper drains installed to handle heavy runoff flows. The applicant has indicated that the retention easement will be terminated and the runoff will be accommodated on-site in retention basins which surround the developed portion of the site.

A condition for approval is the production of a final drainage report exhibit and grading/drainage plans which explicitly indicate the retention of the total volume of the retention easement area on-site in planned retention areas, or adjusted plans to meet this requirement until another alternative drainage pattern is produced along Lindsay Road. Town staff has indicated with this approval that retention basin cannot be adjusted such that substantial amendments to the approved master site plan are made and retention areas cannot comprise greater than 50% of the total arterial landscape setback area.

Elevations, Floor Plan, Colors and Materials

Planning staff approves of the elevations presented by the applicant for both buildings on the site. Minor changes were made throughout the design review process. The drive-through canopies were adjusted in agreement between Town staff and the applicant to lower the side canopies in order to reduce the length of the tallest roofline of the structure, a change required for other Gravity Coffee

submittals in the Town of Gilbert. Canopies and additional structural details were required on the Take 5 elevations to minimize water intrusion and increase sun protection over doorways on the Take 5 building.

Material choice was designed to blend branding requirements for tenants (Take 5 and Gravity Coffee) with consistency between structures and compatibility with surrounding structures around the site. Both structures utilize the same grey stone as the dominant material providing detail to elevations. The Gravity Coffee relies on various tones of grey and black accents, while the Take 5 utilizes a cream color paired with the red branding color (minimized to avoid deviation from surrounding structures, minimized as an accent color with signage).

Lighting

Lighting is provided through the provision of two types of lighting: pole lighting (two designs) throughout the parking and queueing areas of the site and sconce lighting on the Take 5 structure. No light effects will impact any surrounding site per the photometric plan provided by the applicant. Parking light is sufficient to cover all areas for vehicles and pedestrians on the site. Lighting design meets Code requirements.

As a condition of approval, Town staff has expressed that canopy lighting shall be provided for the Gravity Coffee building to improve building security and function of building in mornings and evenings without sunlight. Updates shall be provided to the photometric plan to accurately depict the addition.

As a condition for approval, Town staff has requested updates to the photometric plan to accurately depict the sconce lights included on the Take 5 structure and accompanying updates to lighting cut sheets to provide information about the sconce lights included on the building.

Signage

Signage is not included in this approval. Signage locations are provided on site plan and elevation drawings to provide location for signage. Comprehensive/Master Sign Plan will be required prior to applying for sign permits for any future signage.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR22-28, Lindsay and Baseline: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 2.03 acres, generally located at the SEC corner of Lindsay and Baseline Roads and zoned General Commercial (GC), subject to conditions:

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the June 1, 2022 public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
- c. The Minor Land Division application concurrent with this application shall be approved by Town engineering staff prior to the final approval of construction documents and issuance of building permits to the applicant.
- d. Retention easement shall be formally terminated prior to the issuance of building permits, provided condition (e) of this approval is met.
- e. A final updated drainage report and grading and drainage exhibit shall be provided to Town staff indicating the following information:
 - Statement that retention areas on site are suitable to retain runoff from proposed site and volume of the existing retention easement on the western portion of the site, including updated volume calculations and the identification of any dedicated retention areas or the addition of retention areas in compliance with Code.

- f. Canopy lighting shall be provided for the Gravity Coffee structure in accordance with Code, with photometric plan updated to identify effects of lighting on surroundings from canopy lighting prior to submittal for construction documents and the issuance of building permits.
- g. Applicant shall submit to planning an updated photometric plan to include lighting effects created by sconce lighting on Take 5 structure prior to submittal for construction documents and the issuance of building permits.
- h. The approval of a Comprehensive Sign Package encompassing both sites is required prior to submitting for sign permits. Administrative Design Review required for monument signage if specific locations are not identified within the CSP.

Respectfully submitted,



Noah Schumerth
Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Elevations
- 8) Colors and Materials
- 9) Floor Plans
- 10) Lighting
- 11) Applicant's Narrative
- 12) City of Mesa Traffic Letter

**FINDINGS OF FACT
DR22-28, BASELINE AND LINDSAY COMMERCIAL**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

DR22-28 Baseline and Lindsay Commercial
Notice of Attachment 2 - Notice of Public Hearing/Vicinity Map

PLANNING COMMISSION DATE:

Wednesday, June 1, 2022 TIME: 6:00 PM*

LOCATION: *Gilbert Police Department - Amphitheater
75 E Civic Center Dr., Gilbert, AZ 85296*

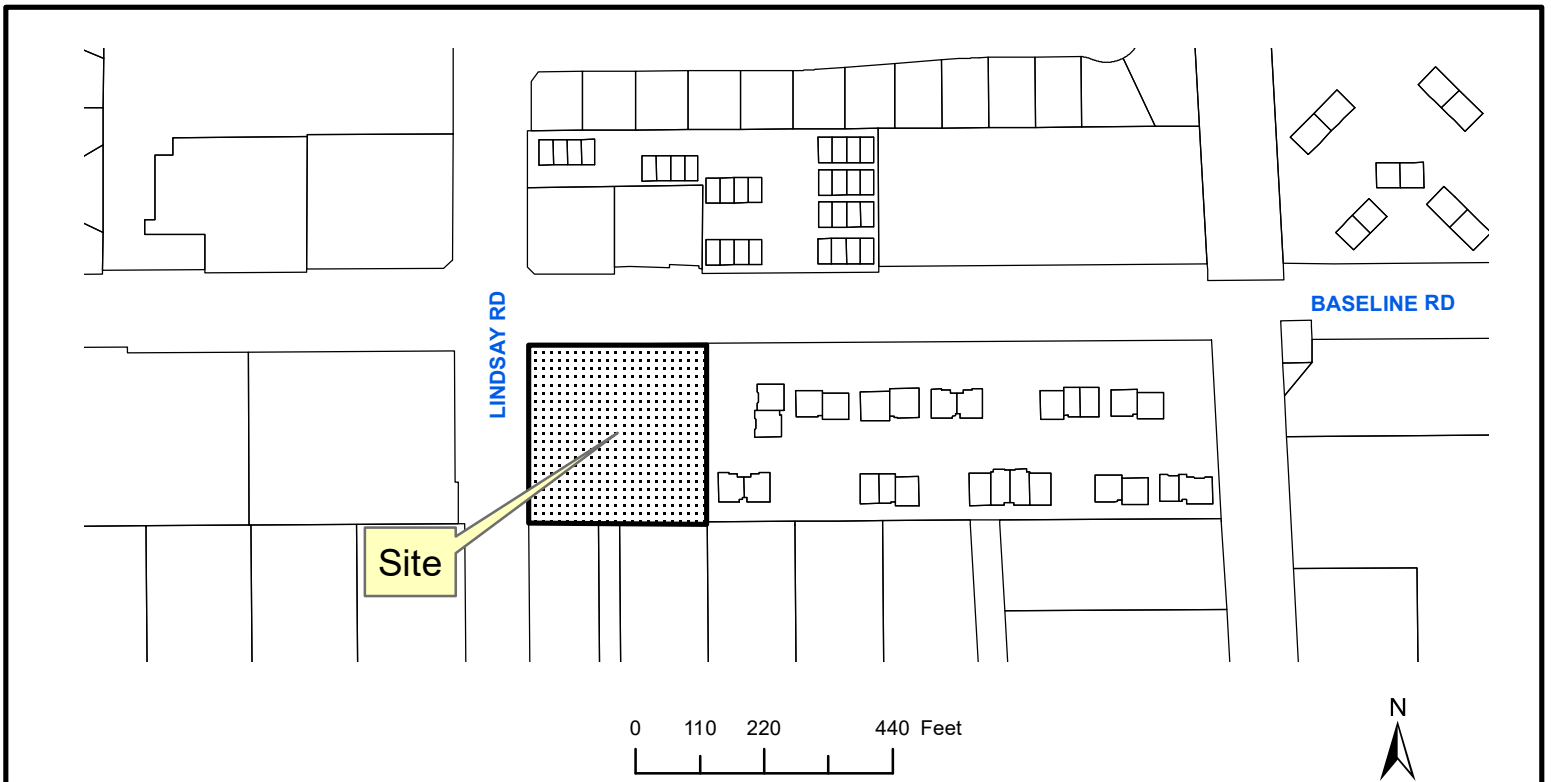
*Call Case Planner to verify date and time: (480) 503-6729

The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission

REQUESTED ACTION:

DR22-28 - SEC Baseline and Lindsay Commercial: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting and colors and materials for approximately 1.01 acres, generally located at the SEC of Lindsay Road and Baseline Road, and zoned General Commercial (GC).

SITE LOCATION:



APPLICANT: *Archicon Architecture & Interiors*
CONTACT: *Tim Rasnake*
ADDRESS: *5055 Washington St.*
Phoenix, AZ 85034

TELEPHONE: *(602) 222-4266*
E-MAIL: *timr@archicon.com*

**DR22-28 Baseline and Lindsay Commercial
Attachment 3 - Aerial Photo**



AERIAL MAP

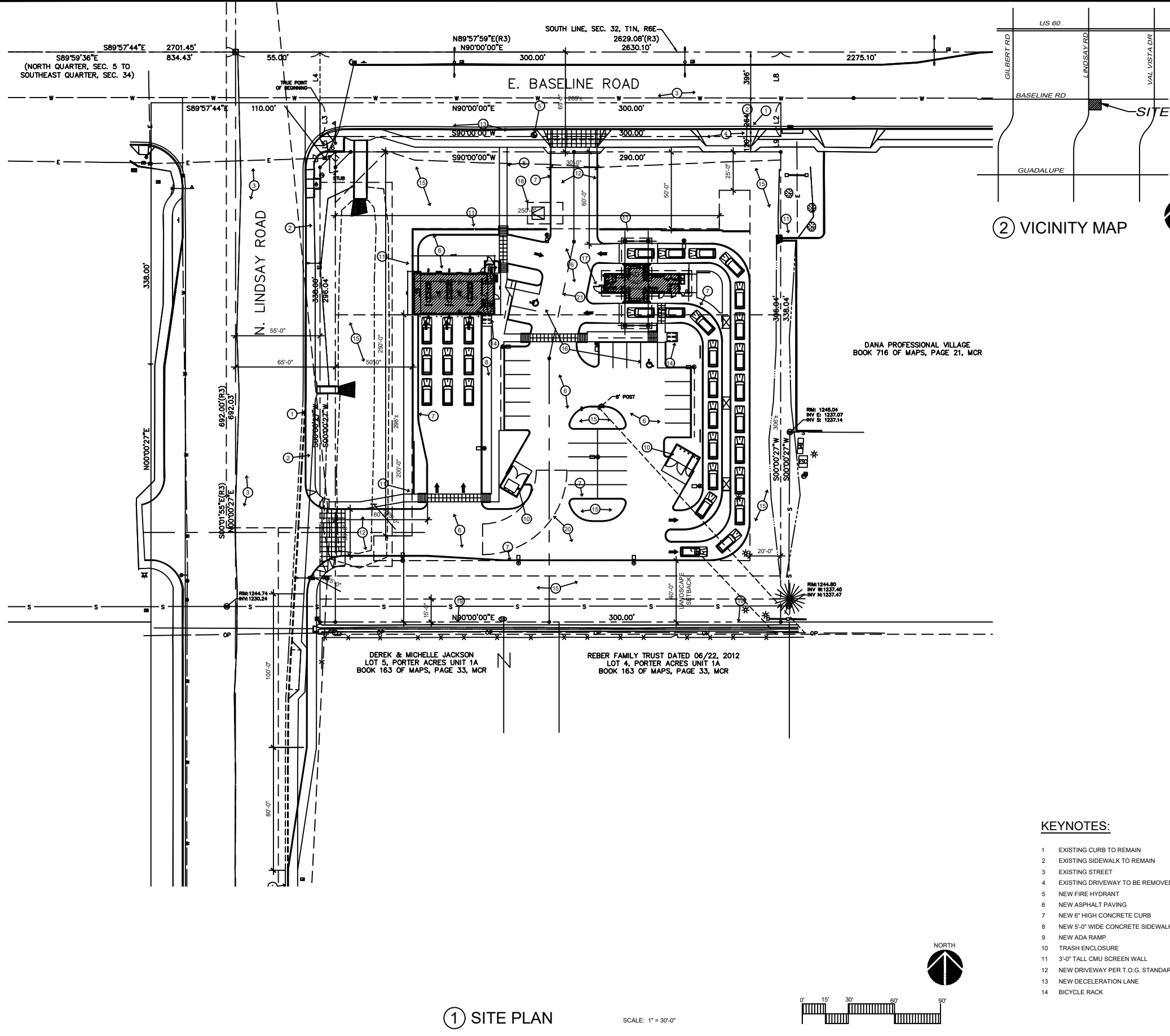
PARCEL 304-10-955A

GRAVITY ENERGY DRINKS - 2645 E BASELINE RD

TAKE 5 - 2625 E BASELINE RD

SEC BASELINE & LINDSAY GILBERT, ARIZONA

DR22-28 Baseline and Lindsay Commercial Attachment 4 - Site Plan



2 VICINITY MAP



OWNER:
 GLENWOOD COMMERCIAL REAL ESTATE
 4360 E BROWN ROAD SUITE 106
 MESA, AZ 85205
 CONTACT: JEFF KOST
 PH: 480.777.4650
 EMAIL: jeff@glenwood.com

ARCHITECT:
 ARCHICON ARCHITECTURE AND INTERIORS, L.C.
 5055 E. WASHINGTON ST. SUITE 200
 PHOENIX, AZ 85034
 CONTACT: JEFFREY A KOSKI
 PH: 602.222.4266
 EMAIL: jeffk@archicon.com

PROJECT DESCRIPTION:
 THIS PROJECT WILL CONSIST OF TWO NEW GROUND-UP BUILDINGS ON AN EXISTING VACANT SITE. PAD A IS AN AUTOMOTIVE SERVICE USER AND PAD B IS A 796 SF DRIVE-THRU RESTAURANT USER.

SITE DATA:

ASSESSOR PARCEL #: 304-10-955A
 ZONING: GC
 EXISTING SITE AREA: 91,761 S.F. (2.10 ACRES)
 NEW SITE AREA: 68,700 S.F. (2.03 ACRES)

PAD A

1,454 SF OIL CHANGE FACILITY
 PARCEL SIZE: 44,287.51SF (1.01AC)
 LOT COVERAGE: 1433/44287 = 3.23%
 PARKING REQUIRED: (VEHICLE SERVICES)
 3 SPACES PER SERVICE BAY PLUS 1 SPACE PER 100 SF OF OFFICE AND SALES AREA
 3 SERVICE BAYS X 3 SPACES = 9 SPACES
 100 SF MAX OFFICE = 1 SPACE
 TOTAL REQUIRED: 10 SPACES

PAD B

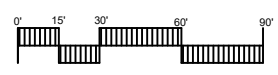
796 SF GRAVITY ENERGY DRINKS
 PARCEL SIZE: 44,412.49 SF (1.019AC)
 LOT COVERAGE: 796/4412 = 1.79%
 PARKING REQUIRED: (BEVERAGE SERVICE)
 1 SPACE PER 75 SF, PLUS 1 SPACE PER 400 SF OF OUTDOOR DINING
 796 / 75 = 10.53 SPACES
 TOTAL REQUIRED: 11 SPACES

TOTAL PARKING REQUIRED FOR PAD A & PAD B: 21 SPACES
 TOTAL PARKING PROVIDED ON SITE: 27 SPACES

OCCUPANCY: PAD A: B/S-1
 PAD B: B (PER IBC 303.1.1)
 CONSTRUCTION: V-B W/ A.F.E.S.
 BUILDING HEIGHT ALLOWED: 45 FEET
 BUILDING HEIGHT PROVIDED: 30 FEET

KEYNOTES:

- 1 EXISTING CURB TO REMAIN
- 2 EXISTING SIDEWALK TO REMAIN
- 3 EXISTING STREET
- 4 EXISTING DRIVEWAY TO BE REMOVED
- 5 NEW FIRE HYDRANT
- 6 NEW ASPHALT PAVING
- 7 NEW 6" HIGH CONCRETE CURB
- 8 NEW 5'-0" WIDE CONCRETE SIDEWALK
- 9 NEW ADA RAMP
- 10 TRASH ENCLOSURE
- 11 3'-0" TALL CMU SCREEN WALL
- 12 NEW DRIVEWAY PER T.O.G. STANDARDS
- 13 NEW DECELERATION LANE
- 14 BICYCLE RACK
- 15 LANDSCAPE AREA
- 16 ADA PARKING AND SIGNAGE
- 17 SES LOCATION FULLY SCREENED
- 18 NEW ELECTRICAL TRANSFORMER
- 19 NEW 6'-0" TALL CMU SCREEN WALL
- 20 FIRE TRUCK TURNING RADIUS. 35' INSIDE/55' OUTSIDE
- 21 PROPOSED NEW PARCEL LINE



Architecture & Interiors, L.C.
 5055 E WASHINGTON STREET
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 (602) 222-4266
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RETAIL DEVELOPMENT
 LINDSAY RD & BASELINE RD
 GILBERT, ARIZONA

PROJECT NUMBER: 2136010-05
 PROJECT MANAGER: JEFF K
 DRAWN BY: JEFF K
 CHECKED BY: JEFF K

NO.	REVISION	DATE

SHEET DESCRIPTION
 SITE PLAN



SHEET NO.

DR100

ISSUE DATE: 22 APR 2022



**DR22-28 Baseline and Lindsay Commercial
Attachment 5 - Landscape**

- LANDSCAPE LEGEND**
- JULMUS PARVIFOLIA
CHINESE ELM
36" BOX (MATCHING)
 - CERCIIDIUM 'HYBRID'
DESERT MUSEUM PALO VERDE
36" BOX (MATCHING)
 - PISTACHE 'RED-PUSH'
RED PUSH PISTACHE
36" BOX
 - ACACIA SALICINA
WILLOW ACACIA
24" BOX
 - CEASALPINIA CACALACO
CASALOTE
24" BOX
 - MUHLENBERGIA RIGENS
DEER GRASS
5 GALLON
 - HESPERALOE PARVIFLORA
RED YUCCA
5 GALLON
 - TRADESCANTIA PALLIDA 'PURPUREA'
PURPLE HEART
1 GALLON
 - PEDILANTHUS SP.
LADY SLIPPER
5 GALLON
 - TECOMA 'BELLS OF FIRE'
BELLS OF FIRE
5 GALLON
 - PACHYCEREUS MARGINATUS
MEXICAN FENCE POST
3 TRUNK, 3' TALL MIN.
 - DODONEA VISCOSA 'PURPUREA'
PURPLE HOP BUSH
5 GALLON
 - RUELLIA PENINSULARIS
BAJA RUELLIA
5 GALLON
 - PODREANEA RICASOLIANA
PINK TRUMPET VINE
5 GALLON
 - LANTANA MONTEVIDENSIS
'GOLD MOUND'
1 GALLON
 - LANTANA MONTEVIDENSIS
'TRAILING PURPLE'
1 GALLON
 - ACACIA REDOLENS
'DESERT CARPET' 1m
5 GALLON

1/2" SIZED MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE DATA:

NET SITE AREA: 91,760 SQ.FT.
OFF-SITE LANDSCAPE AREA: 2,376 SQ.FT.
ON-SITE LANDSCAPE AREA: 44,636 SQ.FT.
TOTAL LANDSCAPE AREA: 47,012 SQ.FT.
PERCENT OPEN SPACE: 49%

**TOWN OF GILBERT
LANDSCAPE NOTES:**

A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD IN PDF FORMAT RECORD DRAWINGS ARE ALSO REQUIRED.

BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED. THE DEVICE MUST BE TESTED BY A STATE CERTIFIED TESTER, AND THE RESULTS FORWARDED TO THE TOWN OF GILBERT'S BACKFLOW SPECIALIST. THE TOWN OF GILBERT WILL PROVIDE AN UP-TO-DATE LIST OF STATE CERTIFIED TESTERS. ALL RELATED TESTING FEES SHALL BE AT THE EXPENSE OF THE INSTALLER.

DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HERIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND REMADAS.

NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.

NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA _SPECIFICATIONS)

CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

INSTALL ALL SIDEWALKS PER ADA REQUIREMENTS.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING LANDSCAPE AREAS. CAGE, CONTROLLER, ASSOCIATED EXPOSED CONDUITS, AND ETC. SHALL CONFORM TO PREDOMINANT COLOR OF BUILDING.

ATTENTION:

THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS ONLY. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

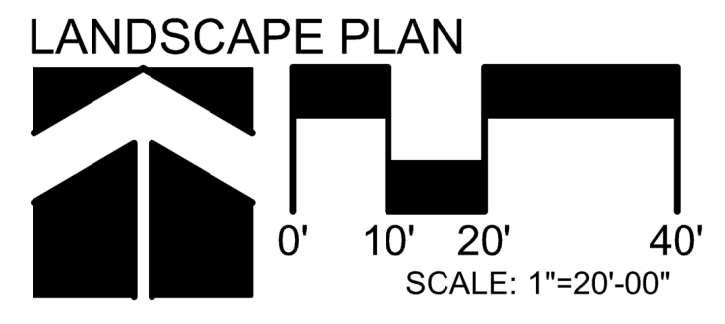
CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#869) OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECS., SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX.

ALL BACKFLOW DEVICE SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.



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**RETAIL DEVELOPMENT
LINDSAY RD & BASELINE RD
GILBERT, ARIZONA**

PROJECT NUMBER: 2136010-05
PROJECT MANAGER: JEFF K
DRAWN BY: JEFF K
CHECKED BY: JEFF K

NO.	REVISION	DATE

SHEET DESCRIPTION



T.J. McQUEEN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

10450 N. 74th Street, Suite 120
Scottsdale, Arizona 85258
P.(602)265-0320

EMAIL: timmcqueen@tjmla.net



SHEET NO.
La.01

ISSUE DATE:

T.J. McQUEEN & ASSOCIATES, INC. LANDSCAPE ARCHITECTURE (TJMA) EXPRESSLY RESERVES ITS COMMON LAW, COPYRIGHT & OTHER PROPERTIES RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, COPIED, OR OTHERWISE USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF TJMA. THE USE OF THESE PLANS IS LIMITED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. THE USE OF THESE PLANS FOR ANY OTHER PROJECT WITHOUT THE EXPRESS WRITTEN PERMISSION OF TJMA IS STRICTLY PROHIBITED.



EAST ELEVATION











SOUTH ELEVATION




WEST ELEVATION



NORTH ELEVATION

 STANDING SEAM METAL ROOF PC CLAD SNAP CLAD 16" BLACK FINISH	 METAL SCREEN BLACK FINISH
 SMOOTH GRAY CMU PAINTED SW7016 - MINDFUL GRAY	 SPLIT FACE CMU PAINTED SW7019 - GAUNTLET GRAY
 ELDORADO STONE VENEER STACKED STONE COLOR - SILVER LINING	 ELDORADO STONE WAINSCOT SNAPPED EDGE COLOR - PEWTER
 WESTERN 1-KOTE PLASTER ACRYLIC FINISH SW6003 - PROPER GRAY	 PAINT SW6003 PROPER GRAY  PAINT SW7016 MINDFUL GRAY  PAINT SW7019 GAUNTLET GRAY


ENERGY DRINKS


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PHOENIX, AZ 85034

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glenwood
COMMERCIAL REAL ESTATE

RETAIL DEVELOPMENT
GRAVITY COFFEE - 2645 E BASELINE RD
TAKE 5 - 2625 E BASELINE RD
GILBERT, ARIZONA

PROJECT NUMBER: 2136010-05
PROJECT MANAGER: JEFF K
DRAWN BY: JEFF K
CHECKED BY: JEFF K

NO.	REVISION	DATE

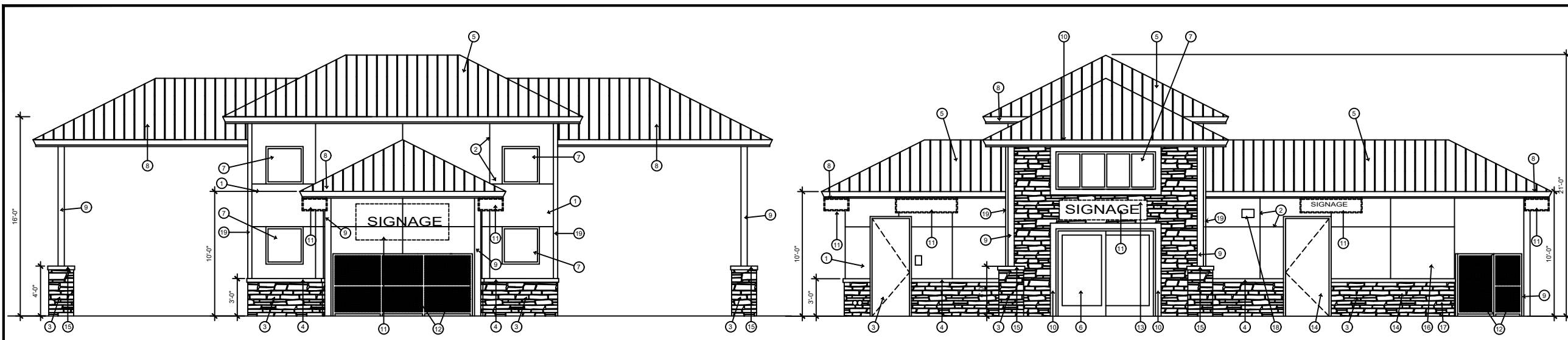
SHEET DESCRIPTION
COLOR
EXTERIOR ELEVATIONS



SHEET NO.

DR 310

ISSUE DATE: 22 APR 2022

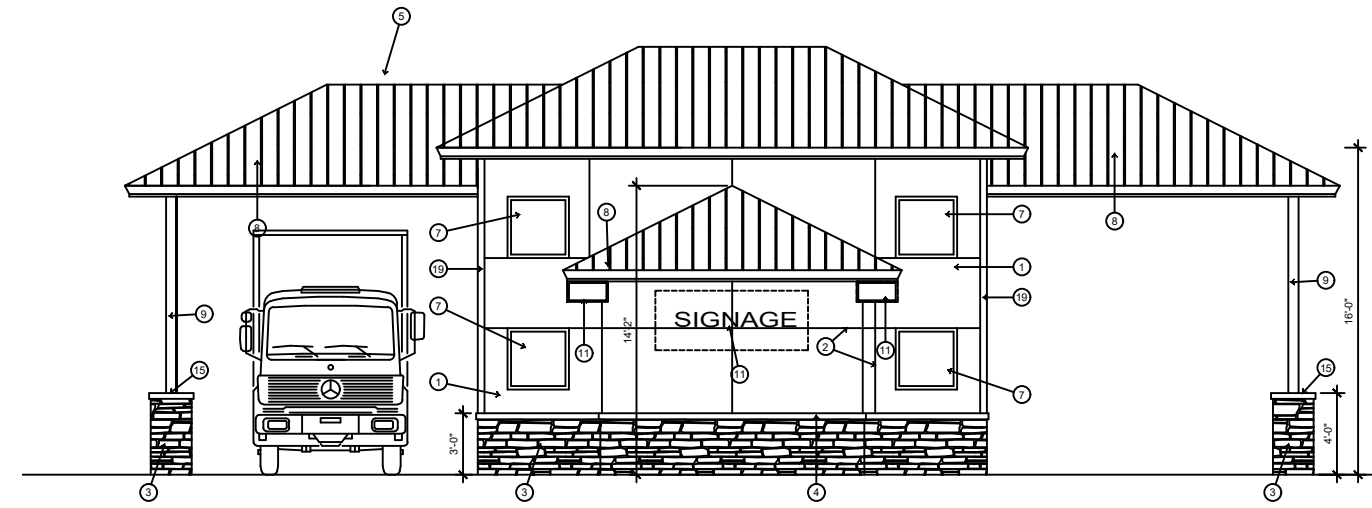


② EAST ELEVATION

① SOUTH ELEVATION

ELEVATION NOTES

1. ROOF DRAINAGE IS SHEET FLOW OFF OF ROOF WITH NO GUTTERS OR DOWNSPOUTS
2. MECHANICAL EQUIPMENT IS SCREENED IN MECHANICAL YARD WITH PERFORATED METAL
3. SIGNAGE IS UNDER SEPARATE REVIEW AND PERMIT



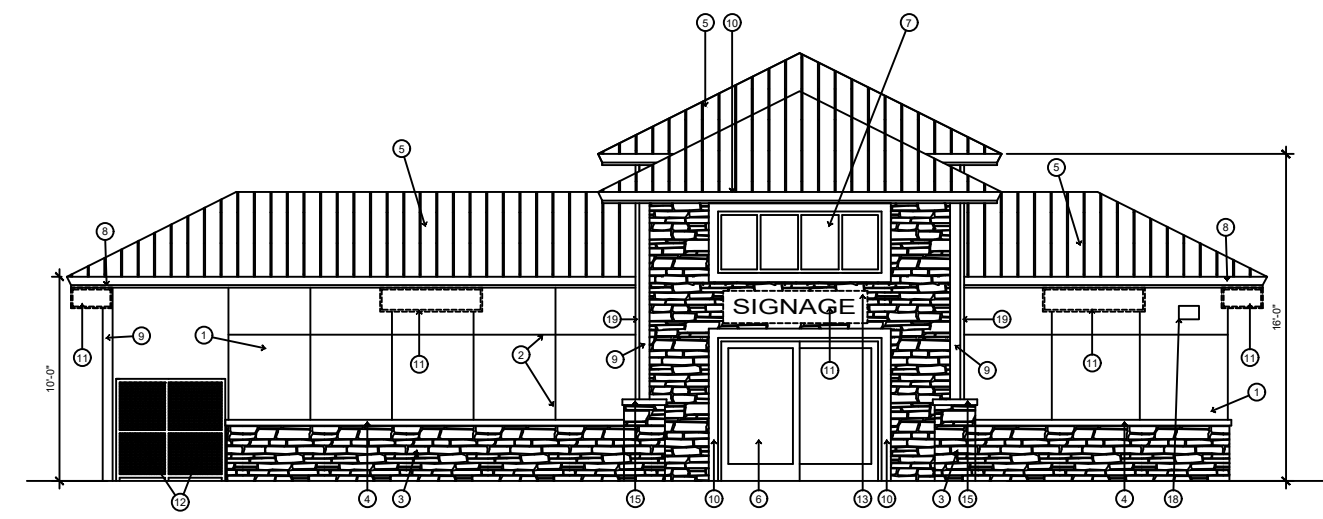
③ WEST ELEVATION

MATERIAL SPECIFICATIONS

- STUCCO:**
[ST] MANUFACTURER: WESTERN 1-KOTE
 TYPE: FIBER REINFORCED PORTLAND CEMENT EXTERIOR PLASTER
 FINISH: PREMIUM ACRYLIC FINISH
 COLOR: INTEGRAL COLOR - GRAY
 INSTALL PER ICC-ES AC11, ER 382
- STONE VENEER:**
[SV] MANUFACTURER: EL DORADO STONE
 TYPE: STACKED STONE
 COLOR: SILVER LINING
 PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT
 INSTALL PER ICC-ES EVALUATION REPORT ESR-1215
- STONE WAINSCOT:**
[SW] MANUFACTURER: EL DORADO STONE
 TYPE: STACKED STONE
 CAP: SNAPPED EDGE WAINSCOT CAP
 COLOR: PEWTER
 PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT
- ROOFING:**
[RT] STANDING SEAM METAL ROOFING
 PAC-CLAD, SNAP-CLAD 16" COVERAGE OR EQUAL
 COLOR: BLACK FINISH
- ALUMINUM STOREFRONT:**
[AL] DARK BRONZE ANODIZED ALUMINUM FINISH
- GLAZING:**
 SOLARBAN 70XL
 SHGC: 0.27, U-VALUE: 0.24, VLT 64%

KEYNOTES

- 1 STUCCO WITH SYNTHETIC FINISH AND INTEGRAL COLOR
- 2 STUCCO JOINT (TYP)
- 3 STONE VENEER
- 4 STONE WAINSCOT CAP (SNAPPED EDGE)
- 5 STANDING SEAM BLACK METAL ROOFING
- 6 ALUMINUM SLIDING GLASS WINDOW WITH INSULATED GLAZING
- 7 ALUMINUM STOREFRONT WINDOW WITH INSULATED GLAZING
- 8 FASCIA BOARD COVERED WITH BLACK METAL TO MATCH ROOFING
- 9 STEEL COLUMN, PAINTED BLACK
- 10 RIGID FOAM WITH STUCCO FINISH AROUND WINDOWS, 6" WIDE. STUCCO TO MATCH MAIN BUILDING COLOR
- 11 SIGNAGE LOCATION (UNDER SEPARATE PERMIT)
- 12 METAL TUBE FENCING WITH PERFORATED METAL PANEL INSERTS, PAINTED BLACK. SEE DETAIL 7 SHEET A500
- 13 STEEL TUBE WITH PERFORATED METAL PANEL FOR SIGNAGE, PAINTED BLACK
- 14 HOLLOW METAL DOOR AND FRAME, PAINTED BLACK
- 15 PRECAST CONCRETE CAP, PROVIDE SEALER
- 16 KNOX BOX PER JURISDICTION FIRE DEPARTMENT REQUIREMENTS
- 17 FIRE DEPARTMENT CONNECTION
- 18 EXHAUST FAN CAP, SEE MECHANICAL, PAINTED TO MATCH BUILDING.
- 19 ALUMINUM CORNER TRIM, ANODIZED BLACK



④ NORTH ELEVATION

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RETAIL DEVELOPMENT
 LINDSAY RD & BASELINE RD
 GILBERT, ARIZONA

PROJECT NUMBER: 2136010-05
 PROJECT MANAGER: JEFF K
 DRAWN BY: JEFF K
 CHECKED BY: JEFF K

NO.	REVISION	DATE

SHEET DESCRIPTION
 EXTERIOR ELEVATIONS



SHEET NO.

DR300

ISSUE DATE: 22 APR 2022

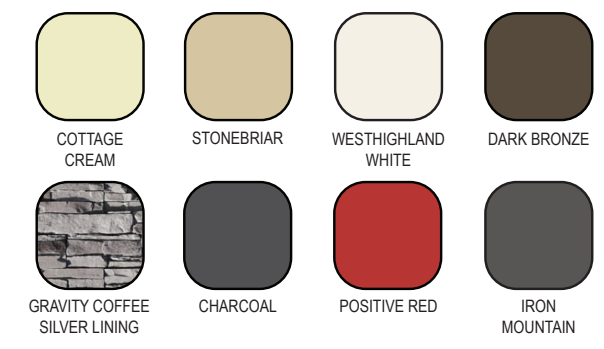


ELEVATION KEY NOTES

- 1 BUILDING ADDRESS - MIN 6" LETTERS W/CONTRASTING BACKGROUND
- 2 PRE-FINISHED METAL COPING-24GA GALVALUME
- 3 STUCCO SYSTEM MAIN BUILDING - PAINTED
- 4 STUCCO PAINTED ACCENT
- 5 SIGNAGE SHOWN FOR REF - UNDER SEPARATE PERMIT
- 6 STONE VENEER
- 7 ELECTRICAL ROOM
- 8 OVERHEAD ROLL UP DOOR PRE-FINISHED DARK BRONZE
- 9 BUILDING MOUNTED WALL SCONCE - DARK BRONZE
- 10 MASONRY SMOOTH VENEER - SUPERLITE PAINTED
- 11 STUCCO REVEAL
- 12 ROOF MTD UNITS - FULLY SCREENED
- 13 6" PIPE BOLLARD - PAINTED
- 14 VENT GRILLES - PREFINISHED DARK BRONZE
- 15 HM METAL DOOR - PAINTED TO MATCH ADJACENT WALL
- 16 STUCCO TRIM CAP - PAINTED
- 17 STEEL CANOPY - PAINTED
- 18 DARK BRONZE ALUM STOREFRONT SYSTEM

MATERIAL AND COLOR LEGEND

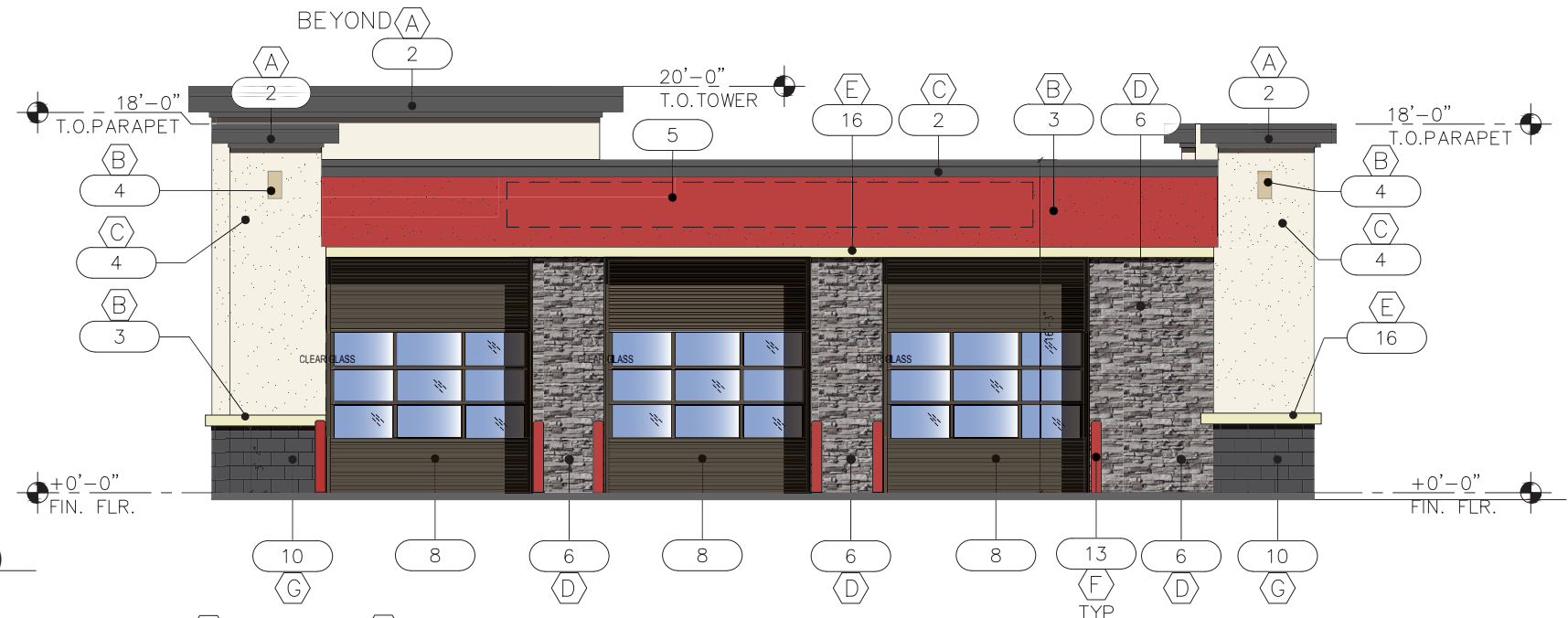
- (A) METAL COPING (PRE-FINISHED)-SW#7678 "IRON MOUNTAIN"
- (B) STUCCO SYSTEM-MAIN BUILDING COLOR SW#7693 "STONEBRIAR"
- (C) STUCCO ACCENT-SW#7566 "WESTHIGHLAND WHITE"
- (D) STONE VENEER MONTANA CUT LIMESTONE "GRAVITY COFFEE"
- (E) STUCCO TRIM CAP-SW#7678 "COTTAGE CREAM"
- (F) BOLLARDS/STL CANOPY - SW#6871 "POSITIVE RED"
- (G) SMOOTH MASONRY VENEER- SUPERLITE PAINTED "CHARCOAL"



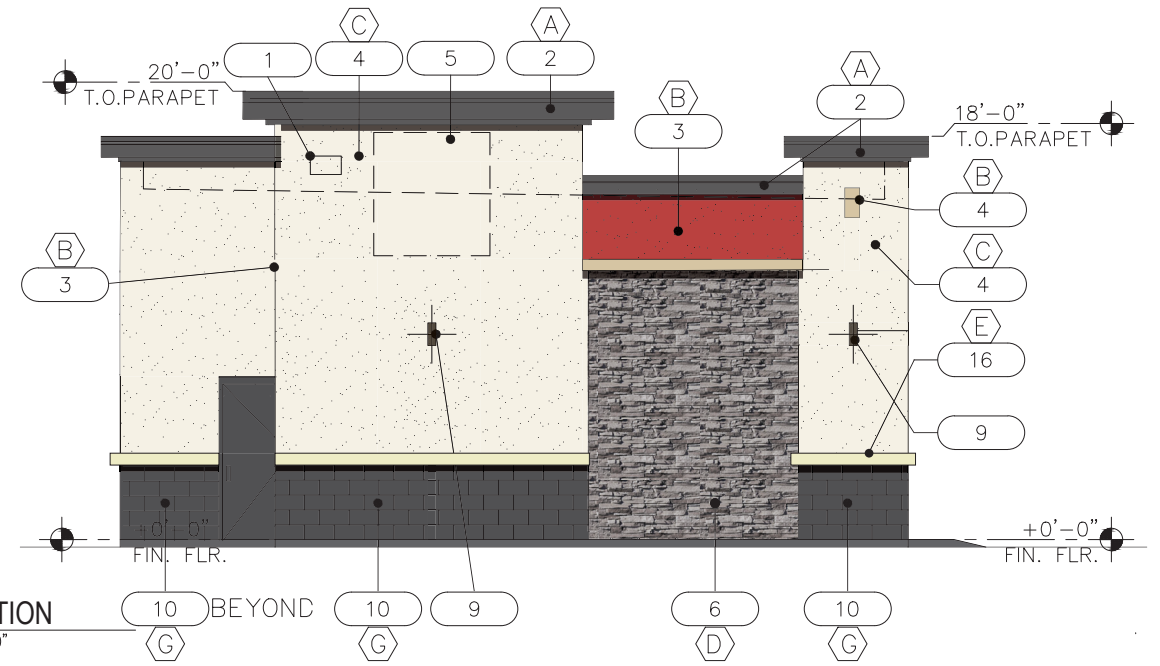
NORTH ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"



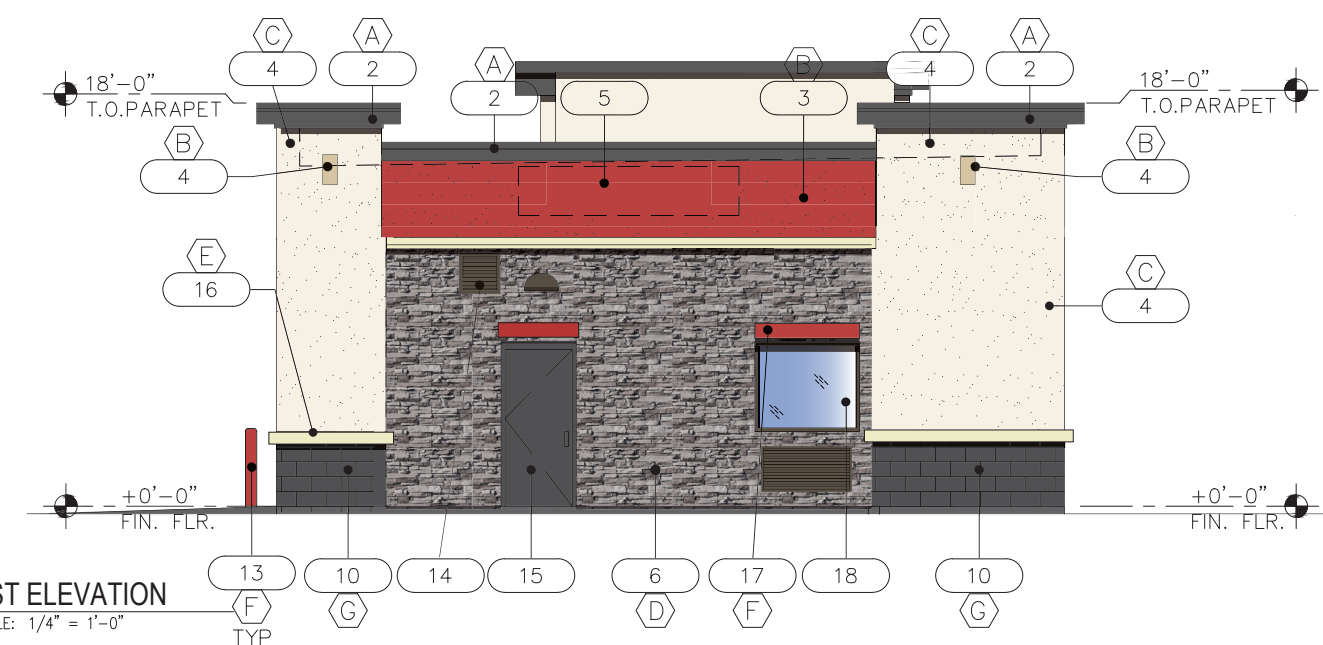
SOUTH ELEVATION (REAR)
SCALE: 1/4" = 1'-0"

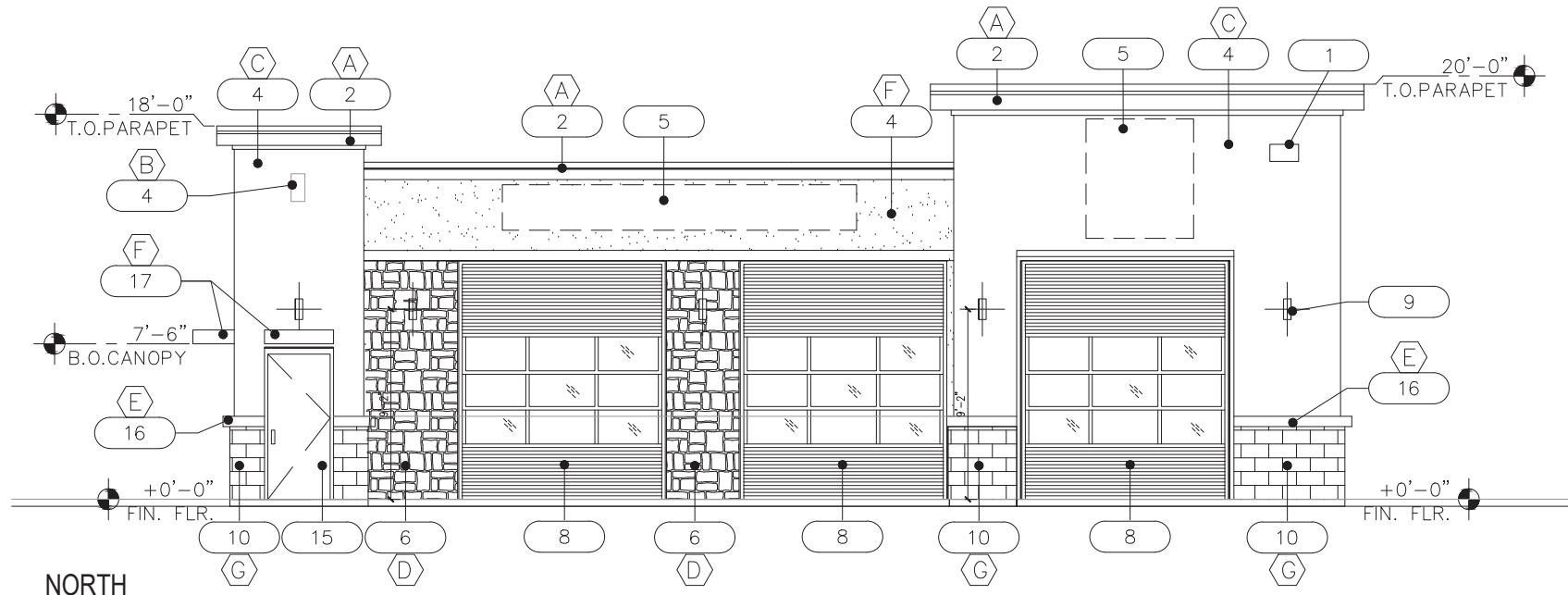


WEST ELEVATION
SCALE: 1/4" = 1'-0"

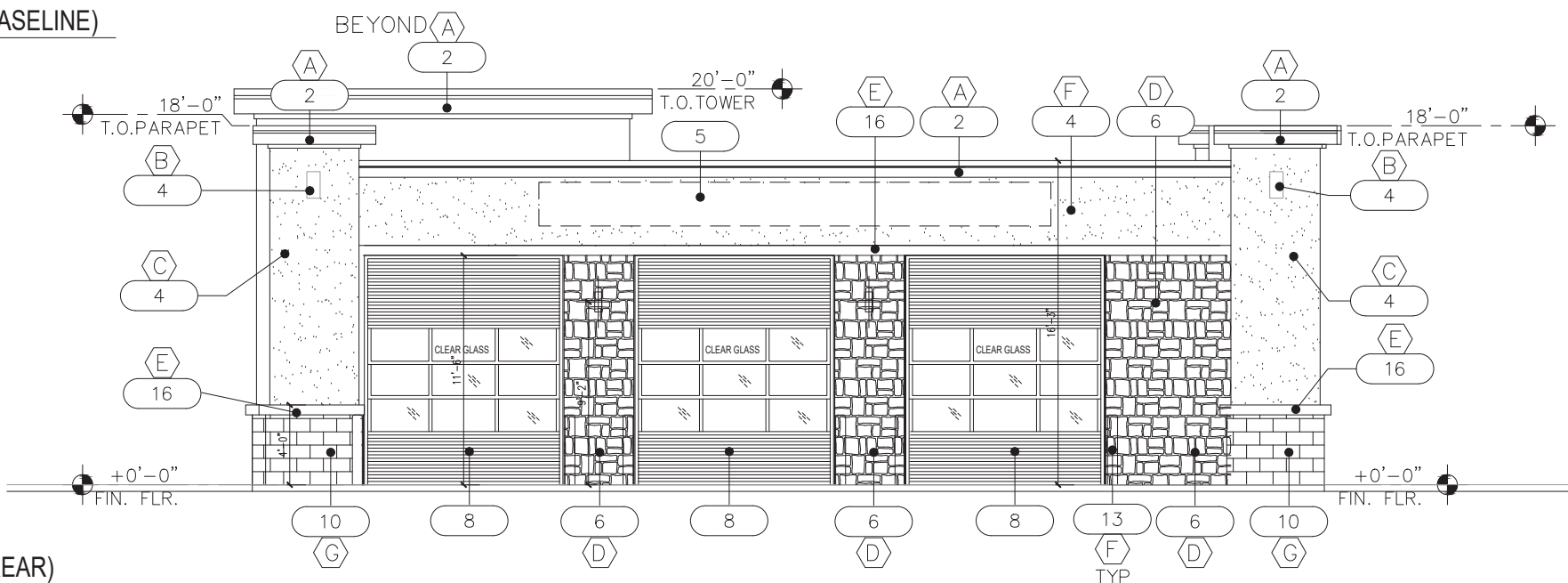


EAST ELEVATION
SCALE: 1/4" = 1'-0"

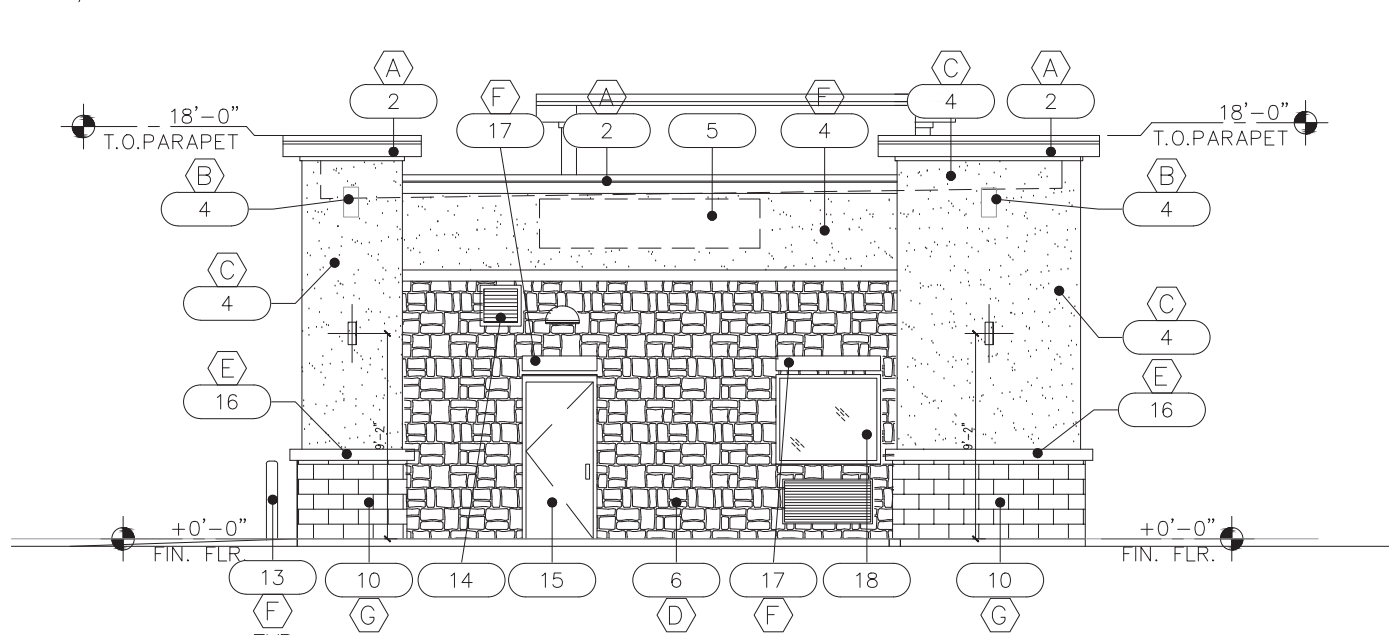




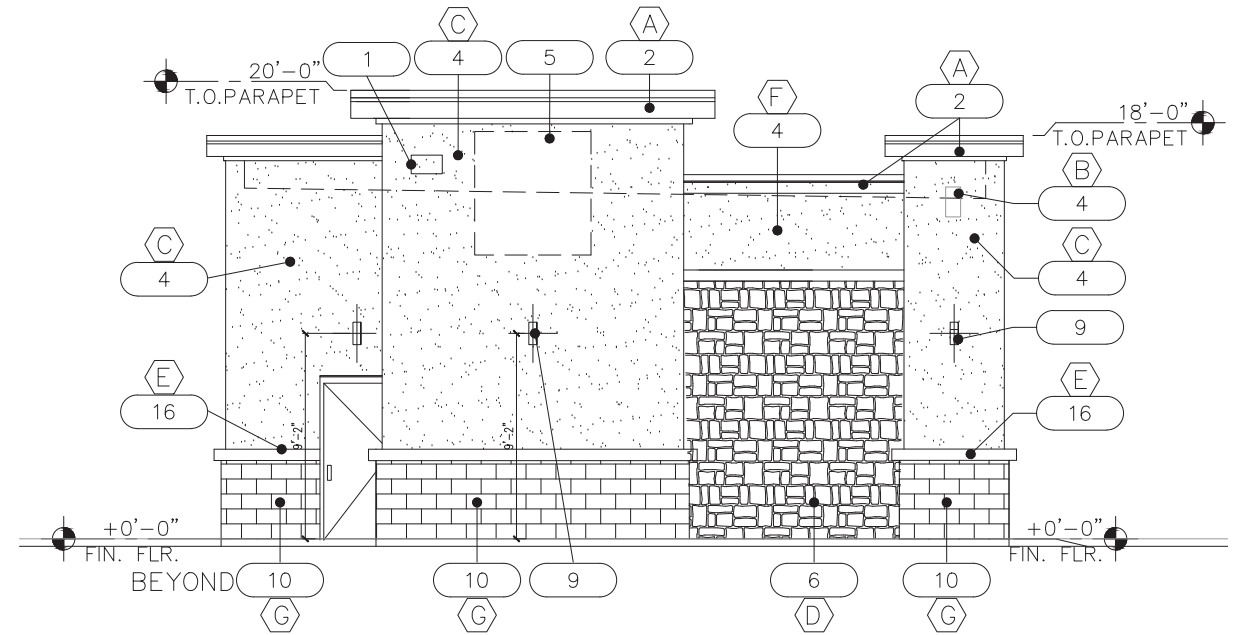
1 NORTH ELEVATION (BASELINE)
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION (REAR)
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION (LINDSAY)
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 BUILDING ADDRESS - MIN 6" LETTERS W/CONTRASTING BACKGROUND
- 2 PRE-FINISHED METAL COPING-24GA GALVALUME
- 3 STUCCO SYSTEM MAIN BUILDING - PAINTED
- 4 STUCCO PAINTED ACCENT
- 5 SIGNAGE SHOWN FOR REF - UNDER SEPARATE PERMIT
- 6 STONE VENEER
- 7 FIRE RISER/ELECTRICAL ROOM
- 8 OVERHEAD ROLL UP DOOR PRE-FINISHED DARK BRONZE
- 9 BUILDING MOUNTED WALL SCONCE - DARK BRONZE
- 10 MASONRY SMOOTH VENEER - SUPERLITE PAINTED
- 11 STUCCO REVEAL
- 12 ROOF MTD UNITS - FULLY SCREENED
- 13 6" PIPE BOLLARD - PAINTED
- 14 VENT GRILLES - PREFINISHED DARK BRONZE
- 15 HM METAL DOOR - PAINTED TO MATCH ADJACENT WALL
- 16 STUCCO TRIM CAP - PAINTED
- 17 STEEL CANOPY - PAINTED
- 18 DARK BRONZE ALUM STOREFRONT SYSTEM

MATERIAL AND COLOR LEGEND

- A METAL COPING (PRE-FINISHED)-BM2134-30 "IRON MOUNTAIN"
- B STUCCO SYSTEM-MAIN BUILDING COLOR SW#7693 "STONEBRIAR"
- C STUCCO ACCENT-SW#7566 "WESTHIGHLAND WHITE"
- D STACKED STONE VENEER ELDORADO "SILVER LINING"
- E STUCCO TRIM CAP-SW#7678 "COTTAGE CREAM"
- F BOLLARDS/CANOPY/ACCENT - SW#6871 "POSITIVE RED"
- G SMOOTH MASONRY VENEER- SUPERLITE PAINTED TO MATCH "CHARCOAL"

2008 NORTH 7th AVENUE
PHOENIX, ARIZONA 85007



TAKE FIVE
SEC BASELINE & LINDSAY
GILBERT, ARIZONA 85234
ELEVATIONS

DATE: 2022-01-5
SCALE: SCALE
DRAWN BY: JM
PROJECT NUMBER: TFO20017.0
SHEET:
DD2.0
REV:

DR22-28 Baseline and Lindsay Commercial
Attachment 8 - Colors and Materials



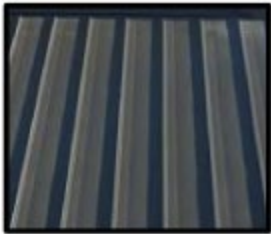
WESTERN 1-KOTE STUCCO
FIBER REINFORCED PORTLAND CEMENT EXT.
PLASTER ACRYLIC FINISH
"PROPER GRAY" SHERWIN WILLIAMS SW6003



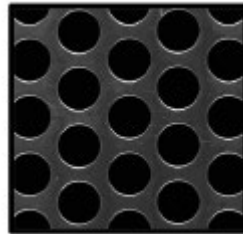
STONE VENEER
ELDORADO STACKED STONE
"SILVER LINING"
PROVIDE 2 COATS MAPEI ULTRACARE ENHANCING
SEALANT
INSTALL PER ICC-ES EVALUATION REPORT ESR-1215



STONE WAINSCOT
ELDORADO STACKED STONE
SNAPPED EDGE WAINSCOT CAP
"SILVER LINING"
PROVIDE 2 COATS MAPEI ULTRACARE
ENHANCING SEALANT



STANDING SEAM METAL ROOF
PC-CLAD SNAP-CLAD 16" COVERAGE
OR EQUAL - BLACK FINISH



METAL SCREEN
BLACK FINISH



SMOOTH GRAY CMU
PAINTED SW 7016
MINDFUL GRAY



SPLIT FACE CMU
PAINTED FINISH SW 7019
GAUNTLET GRAY

MATERIAL BOARD
GRAVITY ENERGY DRINKS
2645 E Baseline Rd
Gilbert, AZ



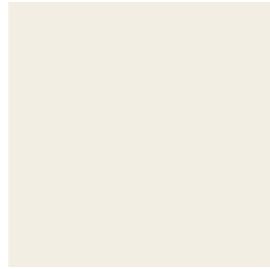
EXHIBIT 8



METAL COPING/STUCCO
TRIM CAP SW#7678
"COTTAGE CREAM"



STUCCO MAIN BUILDING
SW#7693
"STONEBRIAR"



STUCCO ACCENT
SW#7566
"WESTHIGHLAND WHITE"



STEEL CANOPY/BOLLARDS
SW#6871
"POSITIVE RED"



SMOOTH CMU VENEER
MAIN BUILDING
SUPERLITE "CHARCOAL"



STONE VENEER ACCENT
ELDORADO STONE
"SILVER LINING"



DARK BRONZE WINDOW
SYSTEM

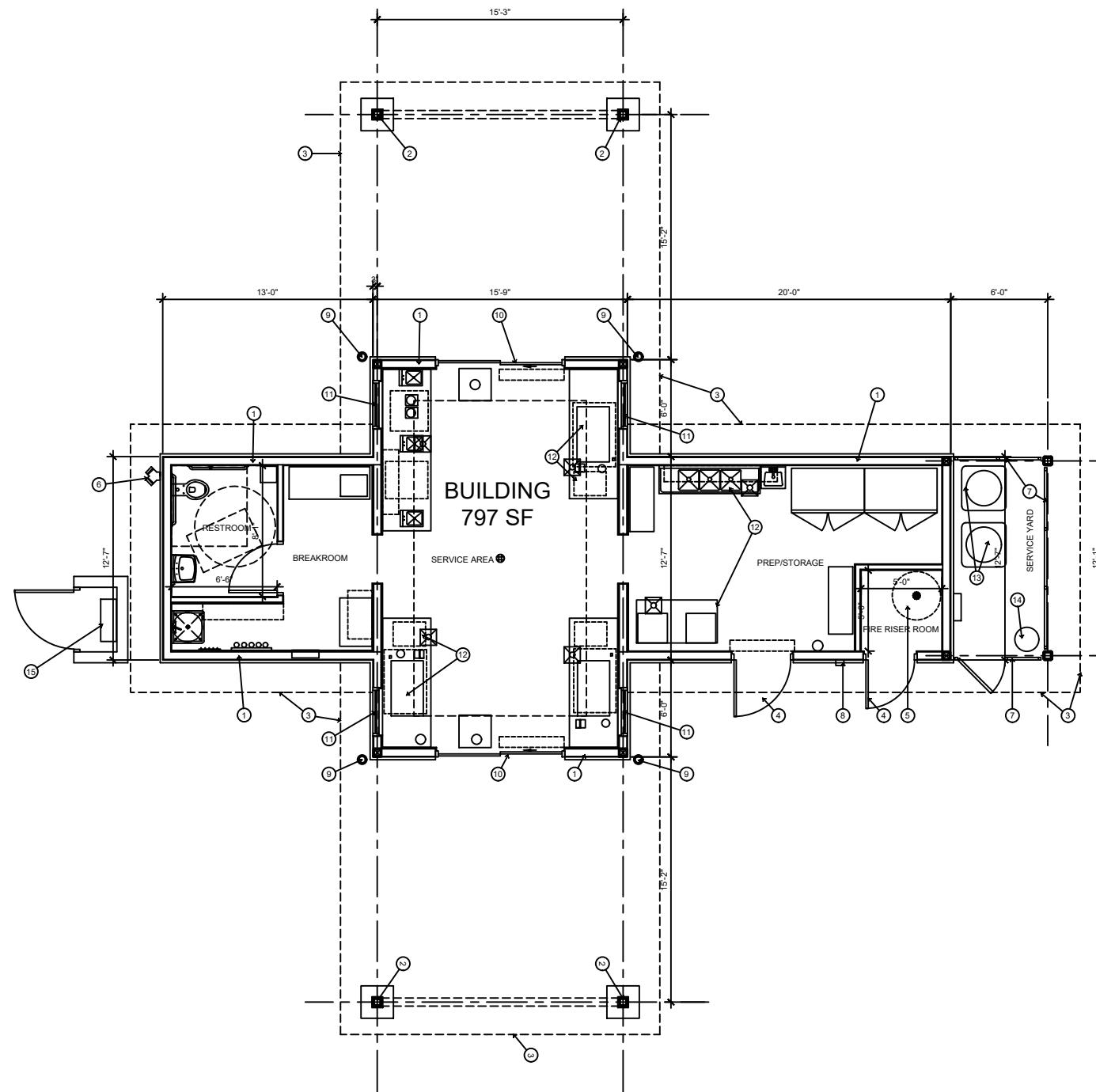
MATERIAL BOARD

TAKE 5

2625 E Baseline Rd

Gilbert, AZ





① FLOOR PLAN

SCALE: 1/8" = 1'-0"



KEYNOTES

- 1 EXTERIOR WOOD STUD WALL WITH STONE VENEER AND STUCCO FINISH
- 2 CMU COLUMN WITH STONE VENEER AND STEEL COLUMN ABOVE
- 3 ROOF OVERHANG (DASHED)
- 4 HOLLOW METAL DOOR AND FRAME. PAINTED
- 5 FIRE RISER LOCATION - W/FIRE ALARM MONITORING
- 6 FIRE DEPARTMENT CONNECTION (F.D.C.)
- 7 PERFORATED METAL SCREENED MECHANICAL YARD
- 8 KNOX BOX LOCATION
- 9 6" DIA. STEEL BOLLARD
- 10 SLIDING GLASS DOOR
- 11 ALUMINUM WINDOW
- 12 KITCHEN EQUIPMENT
- 13 GROUND MOUNTED CONDENSER WITHIN SCREENED MECHANICAL YARD
- 14 CO2 TANK WITHIN SCREENED MECHANICAL YARD
- 15 400AMP MAIN ELECTRICAL SERVICE ENTRY SECTION IN CMU ENCLOSURE WITH DOOR. EXPOSED TO SKY. FULLY SCREENED. SEE SITE PLAN FOR LOCATION



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RETAIL DEVELOPMENT
GRAVITY COFFEE - 2645 E BASELINE RD
TAKE 5 - 2625 E BASELINE RD
GILBERT, ARIZONA

PROJECT NUMBER: 2136010-05
PROJECT MANAGER: JEFF K
DRAWN BY: JEFF K
CHECKED BY: JEFF K

NO.	REVISION	DATE

SHEET DESCRIPTION

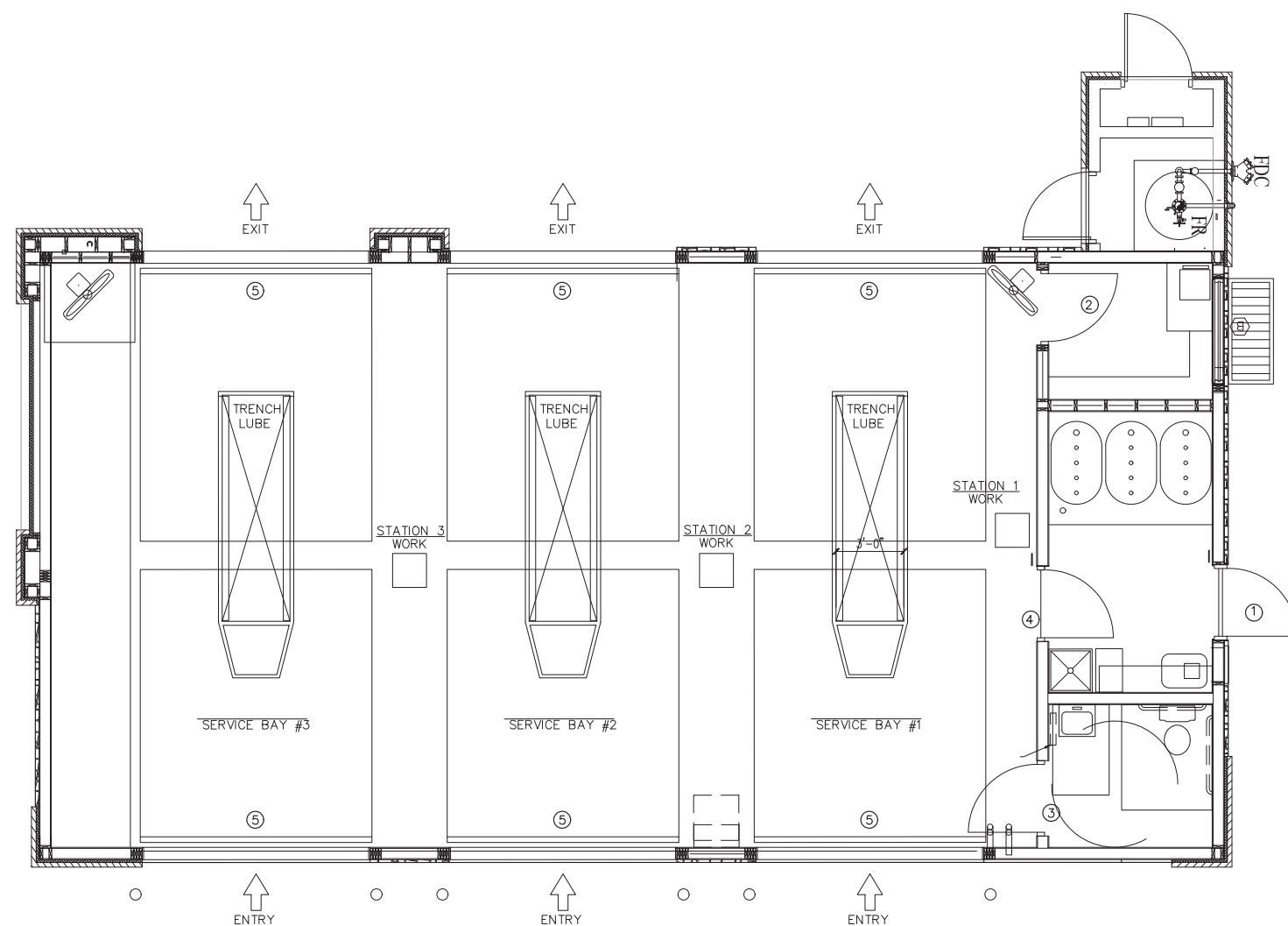
FLOOR PLAN



SHEET NO.

DR 200

ISSUE DATE: 22 APR 2022



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"



2645 NORTH 7th AVENUE
PHOENIX, ARIZONA 85007

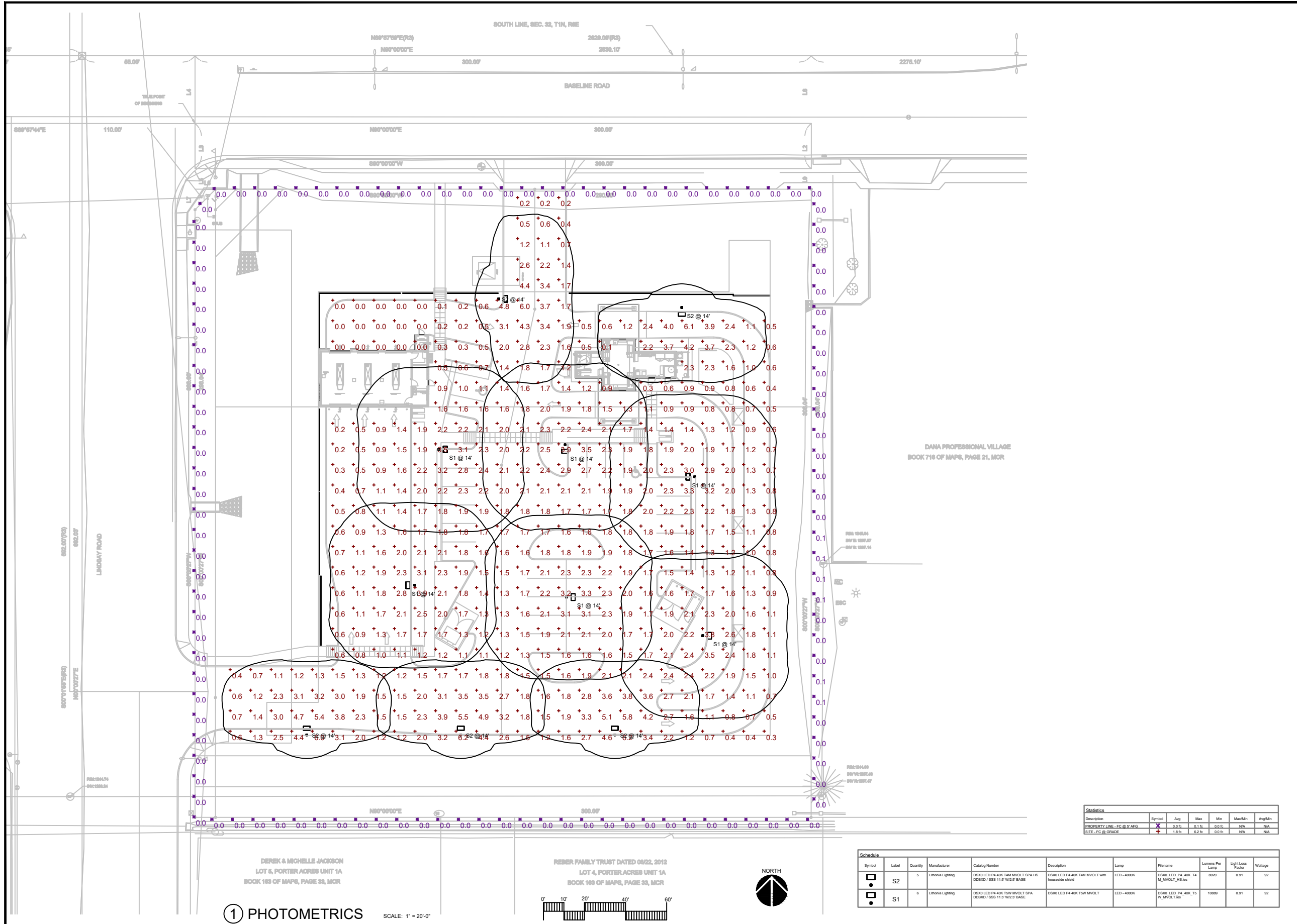


TAKE 5
2625 E. BASELINE RD
GILBERT, ARIZONA 85234

TAKE 5 FLOOR PLAN

DATE:	2022-01-5
SCALE:	
DRAWN BY:	JM
PROJECT NUMBER:	TF020017.0
SHEET:	DD4.0
REV:	

DR22-28 Baseline and Lindsay Commercial Attachment 10 - Lighting



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RETAIL DEVELOPMENT
GRAVITY COFFEE - 2645 E BASELINE RD
TAKE 5 - 2625 E BASELINE RD
GILBERT, ARIZONA

PROJECT NUMBER: 2136010-05
PROJECT MANAGER: JEFF K
DRAWN BY: JEFF K
CHECKED BY: JEFF K

NO	REVISION	DATE

SHEET DESCRIPTION



SHEET NO.
DR 120
ISSUE DATE: 21 FEB 2022

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE, FC @ 2' AFD	+	0.0%	0.1%	0.0%	N/A	N/A
SITE, FC @ GRADE	+	1.8%	6.2%	0.0%	N/A	N/A

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	S2	5	Lithonia Lighting	DSX0 LED P4 40K T4M MVCLT SPA HS CDBXD / 55S 11.5" W/2.5" BASE	DSX0 LED P4 40K T4M MVCLT with housings shield	LED - 4000K	DSX0_LED_P4_40K_T4_M_MVCLT_HS.as	8020	0.91	92
□	S1	6	Lithonia Lighting	DSX0 LED P4 40K T5W MVCLT SPA CDBXD / 55S 11.5" W/2.5" BASE	DSX0 LED P4 40K T5W MVCLT	LED - 4000K	DSX0_LED_P4_40K_T5_W_MVCLT_HS.as	10889	0.91	92

DEREK & MICHELLE JACKSON
LOT 6, PORTERACRES UNIT 1A
BOOK 163 OF MAPS, PAGE 33, MCR

① PHOTOMETRICS SCALE: 1" = 20'-0"

REBER FAMILY TRUST DATED 08/22, 2012
LOT 4, PORTERACRES UNIT 1A
BOOK 163 OF MAPS, PAGE 33, MCR





D-Series Size 0 LED Area Luminaire

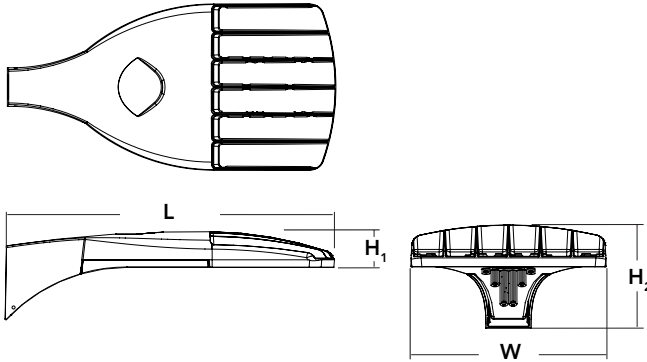


Buy American

d[#]series

Specifications

EPA:	0.95 ft ² (.09 m ²)
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height ₁ :	3" (7.62 cm)
Height ₂ :	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 400W metal halide with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

DSX0 LED	Series	LEDs	Color temperature	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics	P1 P5 P2 P6 P3 P7 ¹ P4 ¹	30K 3000 K 40K 4000 K 50K 5000 K	T1S Type I short (Automotive) T2S Type II short T2M Type II medium T3S Type III short T3M Type III medium T4M Type IV medium TFTM Forward throw medium TSVS Type V very short ³	T5S Type V short ³ T5M Type V medium ³ T5W Type V wide ³ BLC Backlight control ⁴ LCCO Left corner cutoff ⁴ RCCO Right corner cutoff ⁴	MVOLT (120V-277V) ^{5,6} XVOLT (277V-480V) ^{7,8,9} 120 ⁶ 208 ⁶ 240 ⁶ 277 ⁶ 347 ⁶ 480 ⁶	Shipped included SPA Square pole mounting RPA Round pole mounting ¹⁰ WBA Wall bracket ³ SPUMBA Square pole universal mounting adaptor ¹¹ RPUMBA Round pole universal mounting adaptor ¹¹ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ¹²
	Rotated optics	P10 ² P12 ² P11 ² P13 ^{1,2}					

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 nLight AIR generation 2 enabled ^{13,14} PIRHN Network, high/low motion/ambient sensor ¹⁵ PER NEMA twist-lock receptacle only (control ordered separate) ¹⁶ PER5 Five-pin receptacle only (control ordered separate) ^{16,17} PER7 Seven-pin receptacle only (leads exit fixture) (control ordered separate) ^{16,17} DMG 0-10V dimming extend out back of housing for external control (control ordered separate) ¹⁸	Shipped installed HS House-side shield ²² SF Single fuse (120, 277, 347V) ⁶ DF Double fuse (208, 240, 480V) ⁶ L90 Left rotated optics ² R90 Right rotated optics ² DDL Diffused drop lens ²² HA 50°C ambient operations ¹ BAA Buy America(n) Act Compliant Shipped separately BS Bird spikes ²³ EGS External glare shield	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
PIR High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc ^{19,20}		
PIRHN High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc ^{19,20}		
PIR1FC3V High/low, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc ^{19,20}		
PIRHN1FC3V High/low, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc ^{19,20}		
FAO Field adjustable output ²¹		



Ordering Information

Accessories

Ordered and shipped separately.

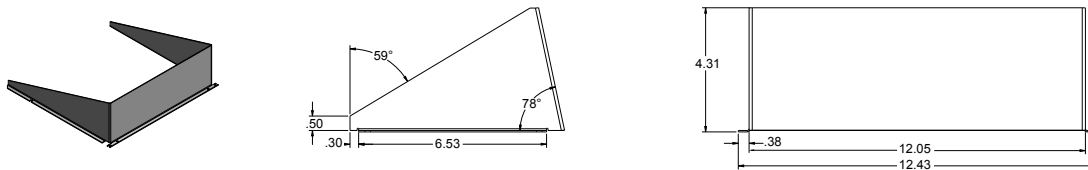
DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²⁴
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²⁴
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²⁴
DSHORT SBK U	Shorting cap ²⁴
DSX0HS 20C U	House-side shield for P1,P2,P3 and P4 ²²
DSX0HS 30C U	House-side shield for P10,P11,P12 and P13 ²²
DSX0HS 40C U	House-side shield for P5,P6 and P7 ²²
DSX0DDL U	Diffused drop lens (polycarbonate) ²²
PUMBA DDBXD U*	Square and round pole universal mounting bracket adaptor (specify finish) ²³
KMA8 DDBXD U	Mast arm mounting bracket adaptor (specify finish) ²³
DSX0EGS (FINISH) U	External glare shield

For more control options, visit [DTL](#) and [ROAM](#) online. Link to [nLight Air 2](#)

NOTES

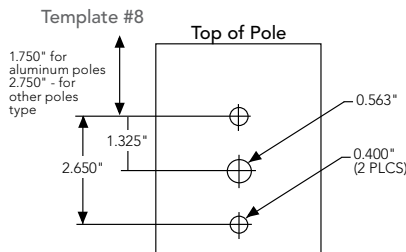
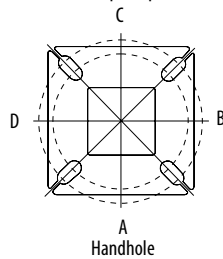
- 1 HA not available with P4, P7, and P13.
- 2 P10, P11, P12 and P13 and rotated options (L90 or R90) only available together.
- 3 Any Type 5 distribution with photocell, is not available with WBA.
- 4 Not available with HS or DDL.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 6 Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V. XVOLT not available with fusing (SF or DF).
- 7 XVOLT only suitable for use with P4, P7 and P13.
- 8 XVOLT operates with any voltage between 277V and 480V.
- 9 XVOLT not available with fusing (SF or DF) and not available with PIR, PIRH, PIR1FC3V, PIRH1FC3V.
- 10 Suitable for mounting to round poles between 3.5" and 12" diameter.
- 11 Universal mounting brackets intended for retrofit on existing pre-drilled poles only. 1.5 G vibration load rating per ANCI C136.31. Only usable when pole's drill pattern is NOT Lithonia template #8.
- 12 Must order fixture with SPA mounting. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" diameter mast arm (not included).
- 13 Must be ordered with PIRHN.
- 14 Sensor cover available only in dark bronze, black, white and natural aluminum colors.
- 15 Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [this link](#).
- 16 Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 17 If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Shorting Cap included.
- 18 DMG not available with PIRHN, PER5, PER7, PIR, PIRH, PIR1FC3V or PIRH1FC3V, FAO.
- 19 Reference Controls Options table on page 4.
- 20 Reference Motion Sensor Default Table on page 4 to see functionality.
- 21 Not available with other dimming controls options.
- 22 Not available with BLC, LCCO and RCCO distribution.
- 23 Must be ordered with fixture for factory pre-drilling.
- 24 Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.
- 25 For retrofit use only. Only usable when pole's drill pattern is NOT Lithonia template #8

EGS – External Glare Shield



Drilling

HANDHOLE ORIENTATION (from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	2-7/8"	2-7/8"	3.5"	3.5"		3.5"
RPA	#8	2-7/8"	2-7/8"	3.5"	3.5"	3"	3.5"
SPUMBA	#5	2-7/8"	3"	4"	4"		4"
RPUMBA	#5	2-7/8"	3.5"	5"	5"	3.5"	5"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 LED	0.950	1.900	1.830	2.850	2.850	3.544

Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°C	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings						
Option	Dimmed State	High Level (when triggered)	Photocell Operation	Dwell Time	Ramp-up Time	Ramp-down Time
PIR or PIRH	3V (37%) Output	10V (100%) Output	Enabled @ 5FC	5 min	3 sec	5 min
*PIR1FC3V or PIRH1FC3V	3V (37%) Output	10V (100%) Output	Enabled @ 1FC	5 min	3 sec	5 min

*for use when motion sensor is used as dusk to dawn control.

Electrical Load

					Current (A)					
	Performance Package	LED Count	Drive Current	Wattage	120	208	240	277	347	480
Forward Optics (Non-Rotated)	P1	20	530	38	0.32	0.18	0.15	0.15	0.10	0.08
	P2	20	700	49	0.41	0.23	0.20	0.19	0.14	0.11
	P3	20	1050	71	0.60	0.37	0.32	0.27	0.21	0.15
	P4	20	1400	92	0.77	0.45	0.39	0.35	0.28	0.20
	P5	40	700	89	0.74	0.43	0.38	0.34	0.26	0.20
	P6	40	1050	134	1.13	0.65	0.55	0.48	0.39	0.29
	P7	40	1300	166	1.38	0.80	0.69	0.60	0.50	0.37
Rotated Optics (Requires L90 or R90)	P10	30	530	53	0.45	0.26	0.23	0.21	0.16	0.12
	P11	30	700	72	0.60	0.35	0.30	0.27	0.20	0.16
	P12	30	1050	104	0.88	0.50	0.44	0.39	0.31	0.23
	P13	30	1300	128	1.08	0.62	0.54	0.48	0.37	0.27

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire
PIR or PIRH	Motion sensors with integral photocell. PIR for 8-15' mounting; PIRH for 15-30' mounting	Luminaires dim when no occupancy is detected.	Acuity Controls SBGR	Also available with PIRH1FC3V when the sensor photocell is used for dusk-to-dawn operation.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSDGR	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app.



WEDGE1 LED

Architectural Wall Sconce



Catalog Number

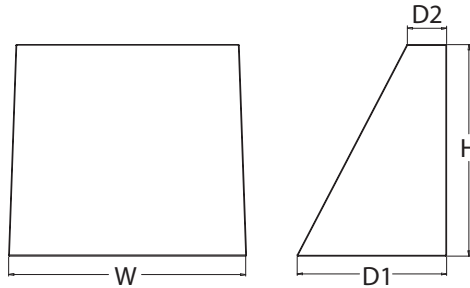
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- Depth (D1):** 5.5"
- Depth (D2):** 1.5"
- Height:** 8"
- Width:** 9"
- Weight:** 9 lbs
(without options)



Introduction

The WEDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.

WEDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WEDGE LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Sensor	Lumens (4000K)					
				P1	P2	P3	P4	P5	P6
WEDGE1 LED	4W	--	--	1,200	2,000	--	--	--	--
WEDGE2 LED	10W	18W	Standalone / nLight	1,200	2,000	3,000	4,500	6,000	--
WEDGE3 LED	15W	18W	Standalone / nLight	7,500	8,500	10,000	12,000	--	--
WEDGE4 LED	--	--	Standalone / nLight	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WEDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WEDGE1 LED	P1 P2	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT 347 ²	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁵ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry) Use when there is no junction box available.
		30K 3000K	90CRI	VW Visual comfort wide		
		35K 3500K				
		40K 4000K				
		50K ¹ 5000K				

Options	Finish
E4WH ³ Emergency battery backup, Certified in CA Title 20 MAEDBS (4W, 0°C min)	DDBXD Dark bronze
PE ⁴ Photocell, Button Type	DBLXD Black
DS Dual switching (comes with 2 drivers and 2 light engines; see page 3 for details)	DNAXD Natural aluminum
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DWHXD White
BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points.	DSSXD Sandstone
	DDBTXD Textured dark bronze
	DBLTXD Textured black
	DNATXD Textured natural aluminum
	DWHGXD Textured white
	DSSTXD Textured sandstone

Accessories

Ordered and shipped separately.

- WEDGEAWS DDBXD U WEDGE 3/8inch Architectural Wall Spacer (specify finish)
- WEDGE1PBBW DDBXD U WEDGE1 surface-mounted back box (specify finish)

NOTES

- 1 50K not available in 90CRI.
- 2 347V not available with E4WH, DS or PE.
- 3 E4WH not available with PE or DS.
- 4 PE not available with DS.
- 5 Not qualified for DLC. Not available with E4WH.



COMMERCIAL OUTDOOR

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WEDGE1 LED
Rev. 03/17/21

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					35K (3500K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P1	10W	VF	1,120	112	0	0	0	1,161	116	0	0	0	1,194	119	0	0	0	1,227	123	0	0	0	1,235	123	0	0	0
		VW	1,122	112	0	0	0	1,163	116	0	0	0	1,196	120	0	0	0	1,229	123	0	0	0	1,237	124	0	0	0
P2	15W	VF	1,806	120	1	0	0	1,872	125	1	0	0	1,925	128	1	0	0	1,978	132	1	0	0	1,992	133	1	0	0
		VW	1,809	120	1	0	0	1,876	125	1	0	0	1,929	128	1	0	0	1,982	132	1	0	0	1,996	133	1	0	0

Electrical Load

Performance Package	System Watts	Current (A)				
		120V	208V	240V	277V	347V
P1	10W	0.082	0.049	0.043	0.038	--
	13W	--	--	--	--	0.046
P2	15W	0.132	0.081	0.072	0.064	--
	18W	--	--	--	--	0.056

Lumen Multiplier for 90CRI

CCT	Multiplier
27K	0.845
30K	0.867
35K	0.845
40K	0.885
50K	0.898

Lumen Output in Emergency Mode (4000K, 80 CRI)

Option	Dist. Type	Lumens
E4WH	VF	646
	VW	647

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.98

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.95	>0.91



120~347VAC/0-10V Dimming

THINTEK™ WAFER S

Direct Mount Recessed

DESCRIPTION

The ThinTek™ Wafer series from TGS allows for easy installation from below the ceiling without the need for an existing can and is ideal for shallow ceiling plenum applications. The CCT switch allows for selection between 2700K, 3000K, 3500K, 4000K, and 5000K. With Title 24 certification, 90 CRI, and a variety of sizes and lumen packages, ThinTek™ Wafers provide versatility, reliable performance, and a fast, simple installation process.

APPLICATIONS

Residential, Institution, Hospitality, Retail, Offices, Schools, Basement remodels, Kitchens and Hallways.



FEATURES

Construction

Die-cast aluminum housing and PC lens.
Air-tight IC Rated.

Electrical

Input voltage: 120~347VAC, 60Hz
16W or 25W High Voltage Emergency Battery Backup option available.
12" Power Cable (Standard): Extension Cable option available in 3' or 10'.

Optical System

Glare controlling lens for comfortable light distribution.
Provides a 110° beam angle.

Installation/ Mounting

Recessed Mounting with adjustable spring loaded retention tabs for secure fixture.

Warranty

5 year warranty.
See warranty documentation for more information.

Controls/Dimming

0-10V Dimming (Dims to 10%)
Tunable White between 2700K, 3000K, 3500K 4000K, 5000K.

ThinTek™ Wafer S

- 3", 8W (500 lm)
- 4", 10W (650 lm)
- 4", 12W (850 lm)
- 6", 12W (900 lm)
- 6", 15W (1100 lm)
- 8", 18W (1500 lm)

Projected L70: 50,000+ hours
Warranty: 5 Years
0-10V Dimming (10%)



TITLE 24
Compliant



90+ CRI



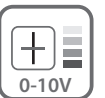
Wet Location
Rated



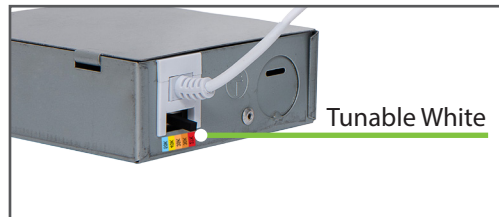
Tunable White



Air Tight



0-10V
Dimming
Dims to 10%



Ordering Information

EXAMPLE: TWSF-0308-C-U

Series	Size/Wattage	CCT Switchable	Input Voltage/Control
TWSF - ThinTek Wafer Square Flat	0308 - 3"/8W 0410 - 4"/10W 0412 - 4"/12W 0612 - 6"/12W 0615 - 6"/15W 0818 - 8"/18W	C - 2700K/3000K/3500K/4000K/5000K	U - 120~347VAC/ 0-10V Dimming

Accessories

- TW-EC03 (3' Extension Cable)
- TW-EC10 (10' Extension Cable)
- 90016-H (16W High Voltage Emergency Battery Backup)
- 90025-H (25W High Voltage Emergency Battery Backup)

Specifications and Dimensions subject to change without notice.

*MOQ and longer lead times may apply, please contact customer service for more information.

Accessories options are purchased separately.

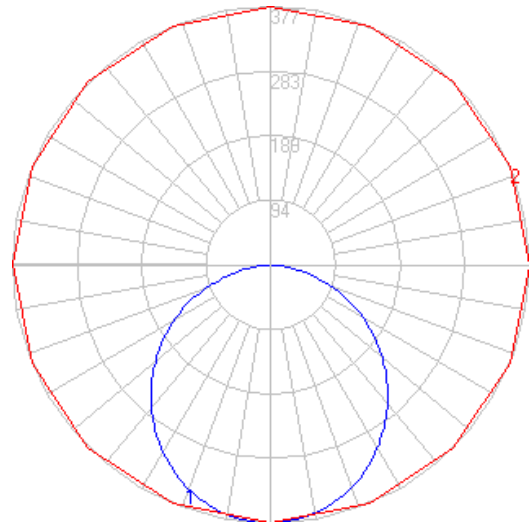
Performance Information

Input Voltage	120~347VAC
Input Frequency	60Hz
Wattage	See Performance Table
Delivered Lumens	See Performance Table
Efficacy	See Performance Table
CRI	>90
Available CCT	2700K, 3000K, 3500K, 4000K, 5000K
Projected L70	50,000+ hours
Power Factor	>0.9
THD	<20%
Dimming	0-10V Dimming (Dims To 10%)
Operating Temp.	32°~104°F

Photometric Data

6" 15W

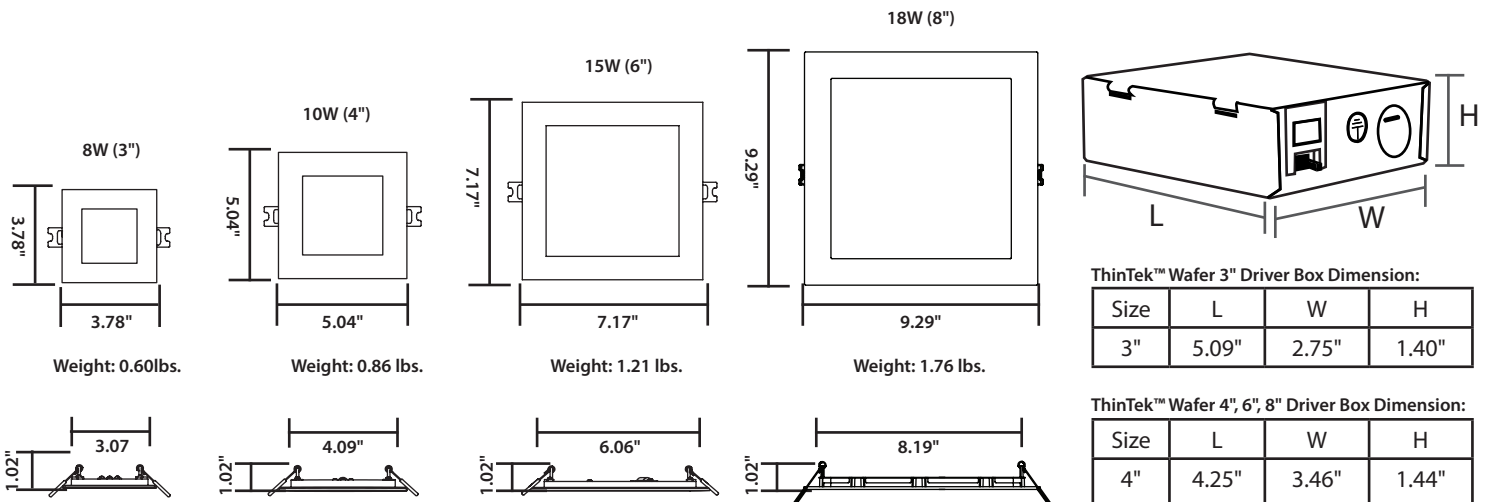
* IESNA LM-63 IES Available



Performance Table

SKU	Size (in)	Wattage (W)	5000K	
			Delivered Lumens (lm)	Efficacy (lm/W)
TWSF-0308-C-U	3	8	500	63
TWSF-0410-C-U	4	10	650	65
TWSF-0412-C-U	4	12	850	71
TWSF-0612-C-U	6	12	900	75
TWSF-0615-C-U	6	15	1100	73
TWSF-0818-C-U	8	18	1500	83

Product Dimensions



ZENITH SM TBS LED

Architectural Outdoor



PROJECT:	
TYPE:	
PO#:	QTY:
COMMENTS:	

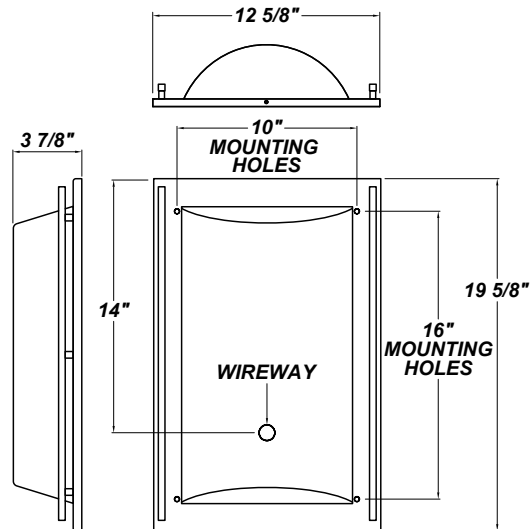


FEATURES

- ADA Compliant
- Aluminum Mounting Pan w/ High Reflectance White Powder Coat Finish
- Aluminum Trim w/ Matte Silver Powder Coat Finish
- CSA Listed Damp Location For Ceiling Mount
- CSA Listed Wet Location For Wall Mount
- Dimmable to <5%
- IES Files Available
- LED Light Fixture
- Mounts Direct to 4" Junction Box w/ 4 Wall Anchors (By Others) (Not Included)
- Surge Protector
- UL Class 2 ELV Driver - Over-Voltage, Over-Current, and Short-Circuit Protection w/ Auto Recovery
- Vandal Resistant
- White 75% DR Acrylic Lens

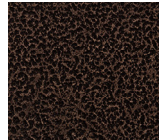
LINE DRAWING

LINE DRAWING NOT TO SCALE

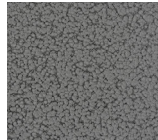


FINISHES

Antique Copper



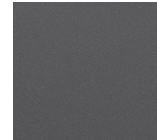
Antique Silver



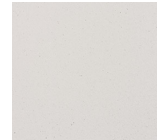
Bronze Mist



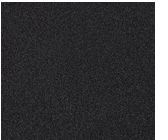
Matte Silver



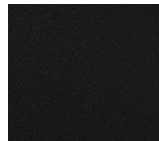
Sand



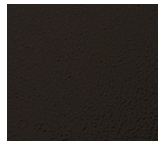
Swedish Steel



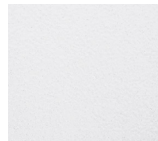
Textured Black



Textured Bronze



Textured White



For RAL Colors & Custom Match - Contact Teron Lighting Inc.

ZENITH SM TBS LED

Architectural Outdoor



Fixture Core

PROJECT:	
TYPE:	
PO#:	QTY:
COMMENTS:	

PRODUCT CODE	SOURCE/WATTAGE	VOLTAGE	DIMMING DRIVER
ZENS - Zenith SM	L16.2-TE500 - 16.2W @ 500mA ELV 2-Wire Dimmable Driver L24.3-TE875 - 24.3W @ 875mA ELV 2-Wire Dimmable Driver	120-277V	Not Applicable
ORDER INFO			
ZENS	L16.2-TE500	120-277V	Not Applicable

Example ^ (may not represent a manufacturable product)

Aesthetics & Options

TRIM	FINISH	COLOR TEMP	OPTIONS
TBS	AC - Antique Copper AS - Antique Silver BT - Bronze Mist SM - Matte Silver (Standard) SN - Sand SW - Swedish Steel TB - Textured Black BZ - Textured Bronze TW - Textured White	40K - 4000K Color Temp. 35K - 3500K Color Temp. 30K - 3000K Color Temp.	F - Fused MSI - Steinel HFLUM2-WR Internal Motion Sensor (120V / 277V Only) TP - Tamper Resistant Screws
ORDER INFO			
TBS	AC	40K	F

Example ^ (may not represent a manufacturable product)

PROD	SOURCE	30K SPECS			
ZENS	L24.3	<ul style="list-style-type: none"> 30K - 3000K Color Temp. 3280 LED Source Lumens 121 LED Source Lumens Per Watt 			
	L16.2	<ul style="list-style-type: none"> 30K - 3000K Color Temp. 1944 LED Source Lumens 121 LED Source Lumens Per Watt 			

REPLACEMENT PART	PART NO	NOTES
White 75% DR Acrylic Lens	3048960	

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 P: 513.858.6004 F: 513.858.6038
 E: SALES@TERONLIGHT.COM



We reserve the right to revise the design components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

TYPE 'E1'

Performance Data

Lumen Output		Lumen Ambient Temperature (LAT) Multipliers	
Temperature (°F)	Light Output (lm)	Multiplier	Light Output (lm)
68	500	1.0	500
77	480	0.96	480
86	450	0.90	450
95	410	0.82	410
104	360	0.72	360
113	310	0.62	310
122	250	0.50	250
131	190	0.38	190
140	130	0.26	130
149	60	0.12	60

Projected LED Lumen Maintenance

Hours	LM-80	M70	M50	M30
0	100%	100%	100%	100%
10,000	92%	88%	82%	72%
20,000	85%	78%	68%	55%
30,000	78%	68%	55%	42%
40,000	70%	58%	42%	28%
50,000	62%	48%	28%	15%

Photometric Diagrams

Isotroscopic plots for the WSQ LED P6 40K SR3 and SR4 distances are in units of mounting height (10').

FEATURES & SPECIFICATIONS

INTENDED USE
The classic architectural shape of the WSQ LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long-life LEDs and driver make this luminaire ready maintenance free.

CONSTRUCTION
The die-cast aluminum housing integrates secondary heat sink to optimize thermal transfer from the internal light engine heat sink and promote long life. The driver is mounted in direct contact with the housing for a long operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP53 rating for the luminaire.

FINISH
Custom parts are primed by a zinc-plated Super Durable TCC treatment powder coat finish that provides superior resistance to corrosion and weathering. A highly controlled multi-stage process ensures consistent finish. Standard Super Durable colors include dark bronze, black, brushed aluminum, sandstone and ivory. Available in brushed and anodized finishes.

OPTICS
The die-cast bezel is designed for superior distribution, uniformity, and spacing in real-world applications. Light engines are 4000K CRI. The WSQ LED has an upright and a gasket for a light engine. The WSQ LED is connected with the LEDDB and Green-Globes™ to ensure an aesthetically beautiful light.

ELECTRICAL
Light engine is comprised of a high-wattage LED mounted to a metal core circuit board and integral aluminum heat sink to maximize heat dissipation and promote long life (50,000 hrs at 25°C T10). Class 2 electronics driver has a power factor >90%, THD <25%, and a minimum 4:1 surge protection. When ordering the EPL option, a separate surge protection device is installed within the luminaire which meets a minimum Category C surge protection per ANSI/IEEE C62.41.2.

INSTALLATION
An internal wiring plate with integral mounting supports allows the fixture to be hung down for easy access while making wiring connections.

LEMING
CSA certified to U.S. and Canadian standards. Light engines are PF98 rated. Luminaire is IP53 rated and has a long service life. The luminaire is suitable for indoor and outdoor use. It is not to be used for outdoor lighting in wet or damp locations. The luminaire is not to be used in areas where it is subject to corrosive atmospheres. The luminaire is not to be used in areas where it is subject to high salt or salt crystalline deposits. The luminaire is not to be used in areas where it is subject to high humidity or high alkalinity. The luminaire is not to be used in areas where it is subject to high sulfur dioxide (SO2) concentrations. The luminaire is not to be used in areas where it is subject to high carbon dioxide (CO2) concentrations. The luminaire is not to be used in areas where it is subject to high ozone (O3) concentrations. The luminaire is not to be used in areas where it is subject to high radon concentrations. The luminaire is not to be used in areas where it is subject to high uranium concentrations. The luminaire is not to be used in areas where it is subject to high plutonium concentrations. The luminaire is not to be used in areas where it is subject to high americium concentrations. The luminaire is not to be used in areas where it is subject to high neptunium concentrations. The luminaire is not to be used in areas where it is subject to high polonium concentrations. The luminaire is not to be used in areas where it is subject to high radium concentrations. The luminaire is not to be used in areas where it is subject to high actinium concentrations. The luminaire is not to be used in areas where it is subject to high thorium concentrations. The luminaire is not to be used in areas where it is subject to high protactinium concentrations. The luminaire is not to be used in areas where it is subject to high uranium, neptunium, plutonium, americium, curium, berkelium, californium, einsteinium, fermium, mendelevium, nobelium, lawrencium, rutherfordium, dubnium, seaborgium, bohrium, hassium, meitnerium, darmstadtium, roentgenium, copernicium, nihonium, flerovium, tennessine, oganesson.

TYPE 'E1'

WSQ LED Architectural Wall Scone

Specifications Luminaire

Height: 9-3/8" (23.8 cm)
Width: 18" (457 mm)
Depth: 5" (127 mm)
Weight: 17 lbs (7.7 kg)

Optional Back Box (BBW)

Height: 4" (10.2 cm)
Width: 5-1/2" (13.9 cm)
Depth: 1-1/2" (3.8 cm)

Ordering Information

EXAMPLE: WSQ LED P2 40K SR3 MVOLT DBDBTX

Series	LEDs	Color Temperature	Beam Distribution	Voltage	Mounting	Optics	Finish (optional)
WSQLED	P5	30K	S2	120V	277V	DBDB	Black
	P7	40K	S4	277V	277V	DBDB	White

Emergency Battery Operation

The emergency battery backup (EBC) and EBCW option is integral to the luminaire. The emergency battery backup (EBC) is a rechargeable lithium-ion battery. The emergency battery backup (EBCW) is a rechargeable lithium-ion battery with a wireless remote control. The emergency battery backup (EBC) and EBCW option is available with the following configurations:

Series	LEDs	Color Temperature	Beam Distribution	Voltage	Mounting	Optics	Finish (optional)
WSQLED	P5	30K	S2	120V	277V	DBDB	Black
	P7	40K	S4	277V	277V	DBDB	White

TYPE 'C'

TUBE ARCHITECTURAL DS-WE05 WAC LIGHTING

LED Wall Mounts

Specifications

Inputs: Universal voltage 120V-277VAC, 50/60Hz
Dimming: Electronic low voltage (ELV): 100% - 5%
0-10V, 100%-1%, Energy Star™ 2 rated
Light Source: High output 3 Step Mac Adam Ellipse COB
Rated life of 60,000 hours at L70
Electrostatically powder coated, white, black, bronze and graphite
IP65 rated (UL ETL and ETL location listed)
Energy Star™ 2 rated Title 24 JAH-2016 Compliant
Operating Temp: 13°F to 122°F (-25°C to 50°C)

Ordering Information

Series	LEDs	Color Temperature	Beam Distribution	Voltage	Mounting	Optics	Finish (optional)
DS-WE05	S	2700K	16°	120V	277V	DBDB	Black
	N	2700K	25°	120V	277V	DBDB	White
	F	2700K	33°	120V	277V	DBDB	Black
	F	2700K	33°	120V	277V	DBDB	White
	F	2700K	33°	120V	277V	DBDB	Graphite

TYPE 'S2'

D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.95 ft (290 mm)
Length: 26" (660 mm)
Width: 13" (330 mm)
Height: 3" (76 mm)
Weight (max): 16 lbs (7.2 kg)

Ordering Information

Series	LEDs	Color Temperature	Beam Distribution	Voltage	Mounting	Optics	Finish (optional)
DSXLED	F1	3000K	T5	120V	277V	DBDB	Black
	P1	4000K	T5	120V	277V	DBDB	White
	P2	5000K	T5	120V	277V	DBDB	White

TYPE 'S2'

D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.95 ft (290 mm)
Length: 26" (660 mm)
Width: 13" (330 mm)
Height: 3" (76 mm)
Weight (max): 16 lbs (7.2 kg)

Ordering Information

Series	LEDs	Color Temperature	Beam Distribution	Voltage	Mounting	Optics	Finish (optional)
DSXLED	F1	3000K	T5	120V	277V	DBDB	Black
	P1	4000K	T5	120V	277V	DBDB	White
	P2	5000K	T5	120V	277V	DBDB	White

TYPE 'S1'

D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.1 ft (30 mm)
Length: 26" (660 mm)
Width: 13" (330 mm)
Height: 3" (76 mm)
Weight (max): 16 lbs (7.2 kg)

Ordering Information

Series	LEDs	Color Temperature	Beam Distribution	Voltage	Mounting	Optics	Finish (optional)
DSXLED	F1	3000K	T5	120V	277V	DBDB	Black
	P1	4000K	T5	120V	277V	DBDB	White
	P2	5000K	T5	120V	277V	DBDB	White

TYPE 'S1'

D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.1 ft (30 mm)
Length: 26" (660 mm)
Width: 13" (330 mm)
Height: 3" (76 mm)
Weight (max): 16 lbs (7.2 kg)

Ordering Information

Series	LEDs	Color Temperature	Beam Distribution	Voltage	Mounting	Optics	Finish (optional)
DSXLED	F1	3000K	T5	120V	277V	DBDB	Black
	P1	4000K	T5	120V	277V	DBDB	White
	P2	5000K	T5	120V	277V	DBDB	White

2645 NORTH 7th AVENUE
 PHOENIX, ARIZONA 85007

 45684
 PAUL D. HALUM
 P.E.
 EXPIRES 12/31/24



TAKE 5
 SWC SANTAN VILLAGE PARKWAY AND MARKET
 GILBERT, ARIZONA
 SITE LIGHTING FIXTURE CUT SHEETS
 DATE: 2021-11-21
 SCALE: NTS
 DRAWN BY: JM
 PROJECT NUMBER: TFO20014.0
 SHEET: E1.4
 REV:

TYPE 'S3'

Photometric Diagrams

To see complete photometric reports or download .asc files for this product, visit Lithonia Lighting's D-Series Area Size 0 homepage.

Isotopic candle plots for the DSXO LED 400K 1000-400K. Distances are in units of mounting height (D).

LEGEND
 0.1 ft
 0.5 ft
 1.0 ft

LITHONIA LIGHTING One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (5378) • www.lithonia.com DSXO LED Rev. 07/19/21 Page 3 of 8
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TYPE 'S3'

D-Series Size 0 LED Area Luminaire

d'series Buy American

Specifications
 EPA: 0.95 ft (0.9m)
 Length: 26" (660mm)
 Width: 13" (330mm)
 Height: 2" (51mm)
 Weight: 16 lbs (7.2kg)
 (max)

Ordering Information EXAMPLE: DSXO LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXO

Series	LEDs	Color temperature	Distribution	Mounting	Shipped/Included	
DSXO LED	Forward optics P1 P5 P2 P6 P3 P7 P4 Retained optics P10 P12 P11 P13	30K 3000K 4000K 5000K	T1S Type I short (Butterfly) T2S Type II short T3M Type I medium T3S Type II short T3M Type II medium T3M Forward three medium T3S Type II very short	T5S Type I short T5M Type I medium T5M Type II medium BLC Backlight control LCCD Left corner cast RCCD Right corner cast	MVOLT (120V-277V) VVOLT (277V-480V)	SP1 Square pole mounting BP1 Round pole mounting WBA Wall bracket SP100BA Square pole universal mounting adapter BP100BA Round pole universal mounting adapter MVAR DDBXO II Mount arm mounting bracket adapter (Specify finish)

Control options

Shipped/installed	Other options	Finish
NEZMB vLight 4.0 generation 2 enabled**	PIR High flow, medium ambient sensor, 8'-12' mounting height, ambient sensor enabled at 38" H	Dark bronze BLACK Natural aluminum White Textured dark bronze Textured black Textured natural aluminum Textured white
PIRHN Network, high flow, medium ambient sensor**	PIR High flow, medium ambient sensor, 12'-20' mounting height, ambient sensor enabled at 38" H	
PIR Network, high flow, medium ambient sensor, 12'-20' mounting height, ambient sensor enabled at 38" H	PIRHCYV High flow, medium ambient sensor, 12'-20' mounting height, ambient sensor enabled at 38" H	
PIR7 Smart-pilot (remote only) (dash out field) (control retained separately)**	PIRHCYV High flow, medium ambient sensor, 12'-20' mounting height, ambient sensor enabled at 38" H	
PIR7 Smart-pilot (remote only) (dash out field) (control retained separately)**	FAO Field adjustable output**	
DWG in 30V dimming (remote only) (dash out field) (control retained separately)**	FAO Field adjustable output**	

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TYPE 'S4'

Photometric Diagrams

To see complete photometric reports or download .asc files for this product, visit Lithonia Lighting's D-Series Area Size 0 homepage.

Isotopic candle plots for the DSXO LED 400K 1000-400K. Distances are in units of mounting height (D).

LEGEND
 0.1 ft
 0.5 ft
 1.0 ft

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TYPE 'S4'

D-Series Size 0 LED Area Luminaire

d'series Buy American

Specifications
 EPA: 0.95 ft (0.9m)
 Length: 26" (660mm)
 Width: 13" (330mm)
 Height: 2" (51mm)
 Weight: 16 lbs (7.2kg)
 (max)

Ordering Information EXAMPLE: DSXO LED P6 40K T3M MVOLT SPA NLTAR2 PIRHN DDBXO

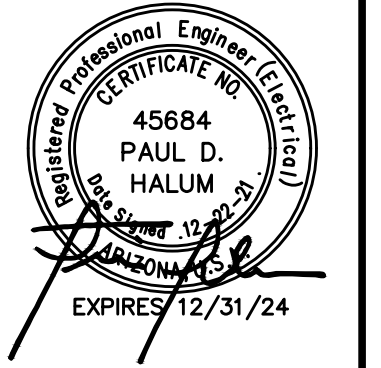
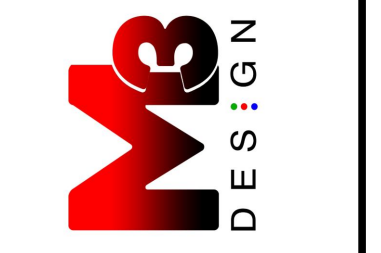
Series	LEDs	Color temperature	Distribution	Mounting	Shipped/Included
DSXO LED	Forward optics P1 P5 P2 P6 P3 P7 P4 Retained optics P10 P12 P11 P13	30K 3000K 4000K 5000K	T1S Type I short (Butterfly) T2S Type II short T3M Type I medium T3S Type II short T3M Type II medium T3M Forward three medium T3S Type II very short	MVOLT (120V-277V) VVOLT (277V-480V)	SP1 Square pole mounting BP1 Round pole mounting WBA Wall bracket SP100BA Square pole universal mounting adapter BP100BA Round pole universal mounting adapter MVAR DDBXO II Mount arm mounting bracket adapter (Specify finish)

Control options

Shipped/installed	Other options	Finish
NEZMB vLight 4.0 generation 2 enabled**	PIR High flow, medium ambient sensor, 8'-12' mounting height, ambient sensor enabled at 38" H	Dark bronze BLACK Natural aluminum White Textured dark bronze Textured black Textured natural aluminum Textured white
PIRHN Network, high flow, medium ambient sensor**	PIR High flow, medium ambient sensor, 12'-20' mounting height, ambient sensor enabled at 38" H	
PIR Network, high flow, medium ambient sensor, 12'-20' mounting height, ambient sensor enabled at 38" H	PIRHCYV High flow, medium ambient sensor, 12'-20' mounting height, ambient sensor enabled at 38" H	
PIR7 Smart-pilot (remote only) (dash out field) (control retained separately)**	PIRHCYV High flow, medium ambient sensor, 12'-20' mounting height, ambient sensor enabled at 38" H	
PIR7 Smart-pilot (remote only) (dash out field) (control retained separately)**	FAO Field adjustable output**	
DWG in 30V dimming (remote only) (dash out field) (control retained separately)**	FAO Field adjustable output**	

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2645 NORTH 7th AVENUE
PHOENIX, ARIZONA 85007



TAKE 5
SEC BASELINE & LINDSAY
GILBERT, ARIZONA 85234
SITE LIGHTING FIXTURE CUT SHEETS

DATE: 2021-11-21
 SCALE: NTS
 DRAWN BY: JM
 PROJECT NUMBER: TFO20014.0
 SHEET: E1.5

eDesign Group, Inc.
 2415 East Camelback Road, Suite 700
 Phoenix, AZ 85016
 T: 602-560-3344 E: info@edesigngroup.com
 Proj. Mgr.: SEDEN S. Proj. No.: 21-182

REV:



DR22-28 Baseline and Lindsay Commercial
Attachment 11 - Applicant's Narrative

**ARCHICON ARCHITECTURE
& INTERIORS, L.C.**

Project Narrative

This project is located at the southeast corner of Lindsay Road & Baseline Road and the current site is a vacant parcel.

This proposed project consists of two new buildings. Pad A is a small fast food drive-thru use with a large dual stacking lane. Pad B is an automotive oil change facility with 3 service bays.

The site will be divided into 2 parcels and a cross parking/access/drainage agreement will be provided between the parcels.

New access driveways will be provided on both Lindsay Road and Baseline Road. A new deceleration right turn lane will be provided on Baseline Road.

Pedestrian access into the site will be provided from Baseline Road and Lindsay Road. Pedestrian access will be provided between the buildings on the site.

A new 6'-0" high CMU screen wall will be provided on the south side of the site to screen the commercial uses from the existing residential uses.



DR22-28 Baseline and Lindsay Commercial
Attachment 12 - City of Mesa Traffic Letter

ARCHICON ARCHITECTURE & INTERIORS, L.C.

April 18, 2022

Town of Gilbert
Development Services
Planning Department
90 E. Civic Center Drive
Gilbert, AZ 85296

Re: Gravity Energy Drinks & Take 5
2633 E Baseline Rd.
SEC N Lindsay Rd. & E Baseline Rd.
PDR – 2022-00028

This letter is regarding the project referenced above to address Town of Gilbert Planning comments from the Design Review Submission. Responses to comments are in bold text.

Traffic, Clint Emery & Site Plan Page DR100

1. Need a letter from the City of Mesa that they are OK with proposed access location and any offsite improvement needed.

“We recently improved this stretch of Baseline Road and I think we have everything we need (ROW, signal mods, ADA ramps, etc.) at this intersection and frontage.

As long as the western edge of the Baseline Road driveway wing is 100’ or more from the Lindsay Road face of curb, which it looks like it is, we are good.

Obviously that driveway will remain RIRO and it’ll be M-42 30’ wide (which it is showing) They have plenty of driveway throat shown out to Baseline Road.

They have pedestrian connectivity.

Their proposed landscaping will need to make sure slight visibility is clear to the west for 662’. “

Rachel Prelog, AICP
Assistant Planning Director
Mesa, AZ
480-644-2762
Rachel.Prelog@MesaAZ.gov



If you have any questions, please let me know.



Sincerely,



Jeffrey A Koski
Principal

RE: Project Question

 Rachel Prelog <Rachel.Prelog@mesaaz.gov>
To:  Debra Shroyer

[Reply](#) [Reply All](#) [Forward](#)  

Mon 4/18/2022 11:15 AM

You don't often get email from rachel.prelog@mesaaz.gov. [Learn why this is important](#)

Hi Debra,
I forwarded the inquiry to one of our traffic engineers since the request came from Gilberts Traffic Engineer. Below is his response.

We recently improved this stretch of Baseline Rd and I think we have everything we need (ROW, signal mods, ADA ramps...) at this intersection and frontage.

As long as the western edge of the Baseline Rd driveway wing is 100' or more from the Lindsay Rd face of curb – which it looks like it is – we are good. Obviously that driveway will remain RIRO, and it'll be M-42, 30' wide (which they are showing). They have plenty of driveway throat shown out to Baseline. They have pedestrian connectivity. Their proposed landscaping will need to make sure sight visibility is clear to the west for 662'.

Best Regards,
Rachel

Rachel Prelog, AICP
Assistant Planning Director
480-644-2762
Rachel.Prelog@MesaAZ.gov

