



15

## Planning Commission Staff Report

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** JOSH ROGERS, PLANNER II *JR*  
(480) 503-6589, JOSH.ROGERS@GILBERTAZ.GOV

**THROUGH:** ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*  
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

**MEETING DATE:** JUNE 1, 2022

**SUBJECT:** DR21-130, OCOTILLO JIU JITSU STUDIO

**STRATEGIC INITIATIVE:** Exceptional Built Environment

To allow for a new commercial building on a 2-acre vacant lot.

### RECOMMENDED MOTION

Approve the Findings of Fact and approve DR21-130 Ocotillo Jiu Jitsu Studio: Site plan, landscape, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 2 acres, generally located north of the northeast corner of Lindsay and Ocotillo Roads, and zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

### APPLICANT

Company: Architecture Plus AZ  
 Name: Jeff Adams  
 Address: 2929 Camelback RD Unit: 126  
 Phoenix, AZ 85016  
 Phone: (602) 577-7874  
 Email: [jeff@archplusaz.com](mailto:jeff@archplusaz.com)

### OWNER

Company: BRST Holdings  
 Name: Scott Brouse  
 Phone: (951) 318-6151  
 Email: [sbrouse@icloud.com](mailto:sbrouse@icloud.com)

## BACKGROUND/DISCUSSION

### History

Date	Description
May 25, 2004	Town Council approved GP04-10 (Resolution No. 2502) a minor General Plan amendment changing the land use classification on 15 acres from Residential > 2-3.5 DU/Acre to Shopping Center.
May 25, 2004	Town Council approved Z04-01 (Ordinance No. 1565) a rezone for 80 acres of Maricopa County R-43 (Rural Residential) to R1-6, R1-8, and C-2 with a PAD overlay creating the Felty Farms PAD.
January 8, 2020	Planning Commission/Design Review Board approved DR19-108 Sun Valley Church, site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 10 acres.

### Overview

In the spring of 2020, Sun Valley Community Church proposed a new campus on a 12-acre site on the northeast corner of Lindsay and Ocotillo Roads. In order to meet Town requirements regarding a Small-Scale Place of Worship, Sun Valley reduced the size of their proposed campus to 10-acres and portioned off the remaining 2-acre site for future commercial development.

The applicant for this 2-acre subject site is proposing a 15,500 sq.ft. retail/commercial development on this remnant vacant land.

### Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Residential > 2-3.5 DU/Acre	Single Family – 6 (SF-6) PAD	Felty Farms Residential Community
South	Shopping Center	Shopping Center (SC) PAD	Sun Valley Community Church
East	Shopping Center	Shopping Center (SC) PAD	Sun Valley Community Church
West	City of Chandler Residential	City of Chandler Residential	Developed Residential Community
Site	Shopping Center	Shopping Center (SC) PAD	Undeveloped

## Project Data Table

Site Development Regulations	Required per LDC and (Ord. No. 1565 and 2325) SC/PAD	Proposed
Maximum Building Height (ft.)/(Stories)	35/2	27'/1
Minimum Building Setback (ft.)		
Front	25'	25''
Side (Residential)	75'	83'
Rear (Non-Residential)	0' internal to master site plan	54'
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	25'
Side (Residential)	30'	30'
Rear (Non-Residential)	0' internal to master site plan	15'
Landscaping (% of net lot area)	15%	34%
Parking (1 space per 250sq.ft.)	62	70

## DISCUSSION

### Site

The proposed site is located north of the Sun Valley Church, adjacent to Lindsay Road. Vehicular access to the site is derived from two shared access points with the existing church that connect to Narrowleaf Drive to the North and Lindsay Road to the west.

The proposed structure is centrally located and is designed to accommodate up to 5 retail suites. The building layout is thoughtfully designed to orient the storefronts towards the adjacent Lindsay Road frontage as well as to the local street to the north.

### Landscape

The proposed landscape plan includes adequate on-site and off-site perimeter landscaping as well as foundation landscaping. Parking islands are located

throughout the customer parking areas. Additionally, significant amounts of foundation landscaping have been placed on four sides of the proposed building elevations with synthetic turf and additional landscaping towards the building's rear to create a patio site for a future potential user.

The total on-site landscape area (34%) exceeds the minimum amount (15%) required. On-site foliage includes Thornless Palo Verde, Red Push Pistache, Texas Honey Mesquite, and Live Oak. Additionally, various shrubs and ground covers will be utilized throughout the subject site including within the required landscape setbacks.

### **Grading and Drainage**

On-site retention is primarily derived from underground retention tanks located in the drive aisles and generally meets the requirements of the Town of Gilbert's Engineering Division.

### **Elevations, Floor Plan, Colors and Materials**

When designing the structure, staff worked with the applicant to have the building complement the contemporary color blocking and asymmetrical rooflines accentuated with perforated metal panels design used on the Sun Valley Church. While the structure is significantly smaller than the adjacent church, staff believes they've successfully achieved that goal.

Exterior elevations feature variations of tan coloring, exposed masonry columns, accentuated with standing seam metal wall panels, large window groupings on the retail frontage and steel canopies.

### **Lighting**

There are only two lighting types proposed, parking lot and wall mounted light fixtures. The parking lot lights are located around the exterior of the site providing luminance to all drive aisle and parking areas. All site lighting will be required to comply with Town codes.

### **Signage**

Signage is not included in this approval. A Comprehensive Sign Plan is required prior to submittal of sign permits.

## **PUBLIC NOTIFICATION AND INPUT**

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

**STAFF RECOMMENDATION**

Approval the Findings of Fact and approve DR21-130 Ocotillo Jiu Jitsu Studio: Site plan, landscape, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 2 acres, generally located north of the northeast corner of Lindsay and Ocotillo Roads, and zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay, subject to conditions:

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the June 1, 2022 public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
- c. Signage is not included in this approval. A Comprehensive Sign Plan is required prior to submittal of sign permits. Sign Permits are required for all signs prior to installation.

Respectfully submitted,

*Joshua Rogers*  
Josh Rogers  
Planner II

**Attachments and Enclosures:**

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Site Plan
- 4) Landscape
- 5) Grading and Drainage
- 6) Elevations
- 7) Colors and Materials
- 8) Floor Plans
- 9) Lighting

## FINDINGS OF FACT DR21-130, Ocotillo Jui Jitsu

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

# Notice of Public Hearing

DR21-130 Ocotillo Jui Jitsu  
Attachment 2: NOPH/Vicinity Map

PLANNING COMMISSION DATE:

Wednesday, June 1, 2022\* TIME: 6:00 PM

LOCATION: Gilbert Police Department Amphitheater  
75 E Civic Center Dr., Gilbert, AZ 85296

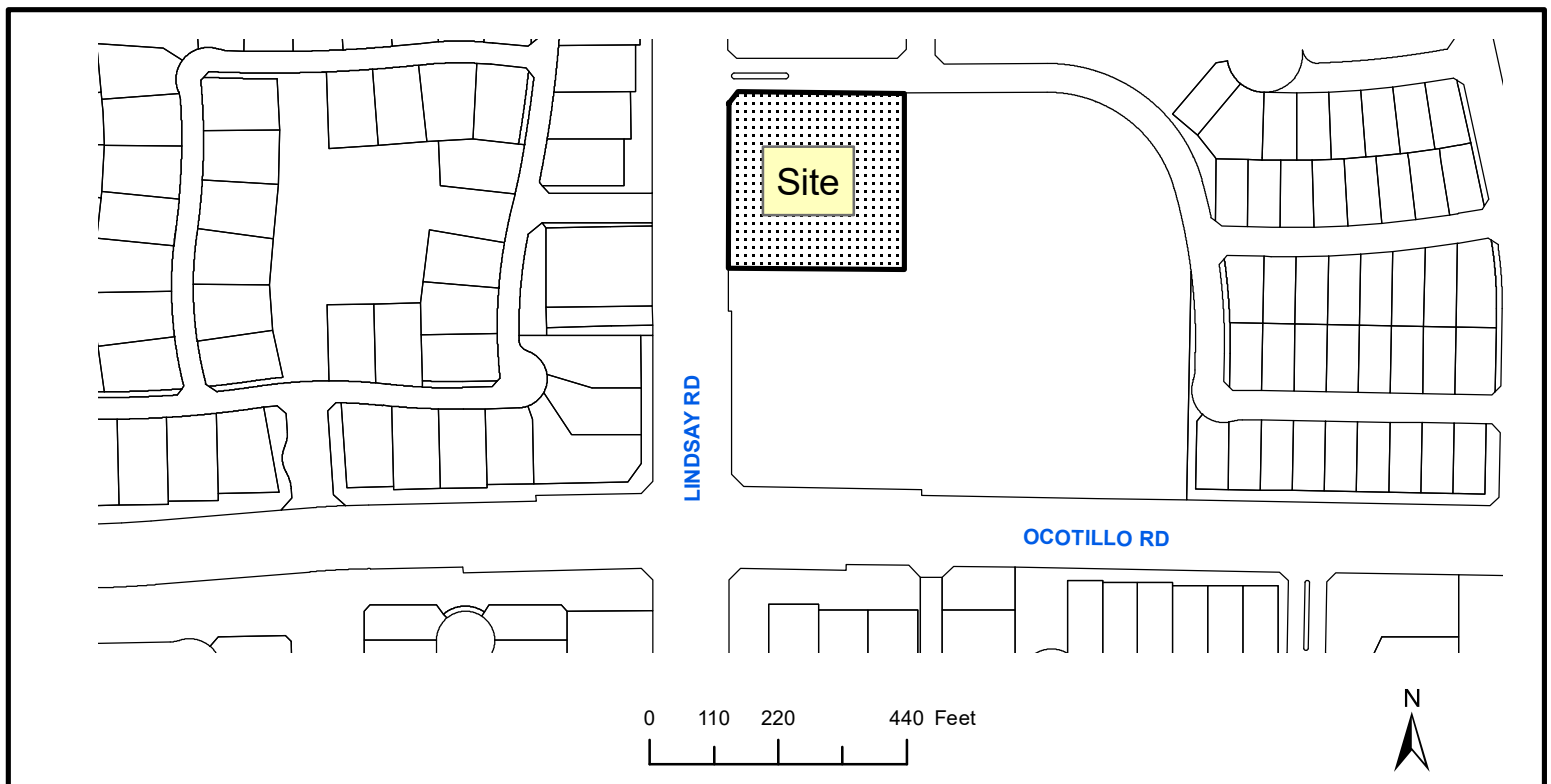
\*Call Case Planner to verify date and time: (480) 503-6589

The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at [www.gilbertaz.gov/departments/development-services/planning/planning-commission](http://www.gilbertaz.gov/departments/development-services/planning/planning-commission)

## REQUESTED ACTION:

DR21-130 Ocotillo Jiu Jitsu Studio: Site plan, landscape, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 2 acres, generally located north of the northeast corner of Lindsay and Ocotillo Roads, and zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

## SITE LOCATION:



APPLICANT: Architecture Plus LTD  
CONTACT: Jeff Adams  
ADDRESS: 2929 E CAMELBACK RD Unit:120  
Phoenix, AZ 85016

TELEPHONE: (602) 264-7500  
E-MAIL: [jeff@archplusaz.com](mailto:jeff@archplusaz.com)

**PROJECT NAME:**

OCOTILLO JUI JITSU

**EXISTING ZONING:**

SHOPPING CENTER (SC) PAD

**PROJECT DATA:**

BUILDING AREA:	
OCOTILLO JUI JITSU:	6,468.875 SF.
SUITE 2:	2,185.375 SF.
SUITE 3:	2,275 SF.
SUITE 4:	2,291.25 SF.
SUITE 5:	2,275 SF.
COMMON:	77 SF.
<b>TOTAL:</b>	<b>15,512.5 SF.</b>

GROSS SITE AREA: 89,939.61 SF.  
2.06 AC

LOT COVERAGE: 17.3 %

PARKING REQ'D (1/250 SF): 62 SPACES

PARKING PROVIDED: 70 SPACES

ACCESSIBLE PARKING REQUIRED 3 SPACES

ACCESSIBLE PARKING PROVIDED 3 SPACES

VAN ACCESSIBLE PARKING REQUIRED 1 SPACE

VAN ACCESSIBLE PARKING PROVIDED 1 SPACE

BIKE PARKING REQUIRED (1/10) 6 SPACES

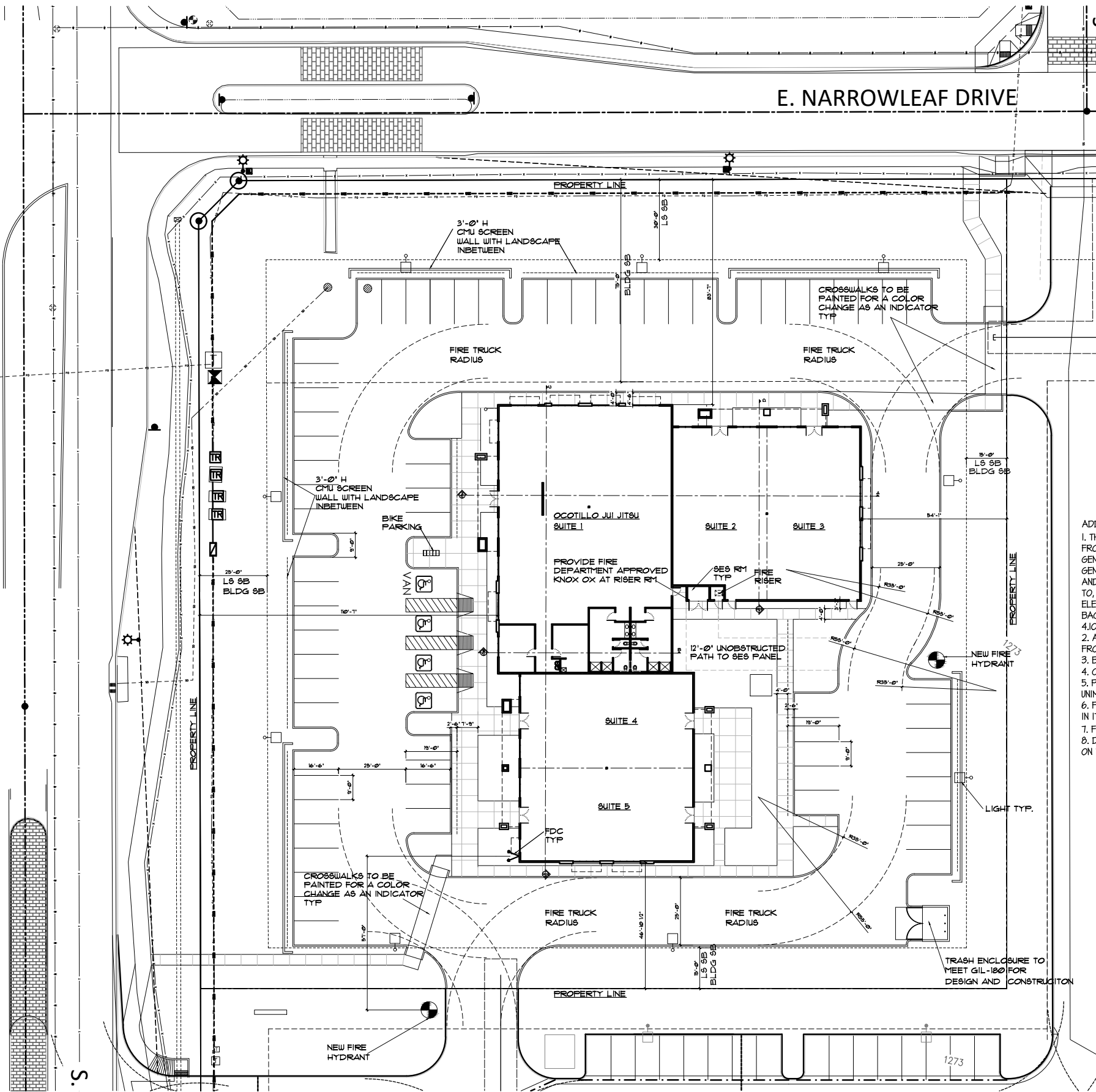
BIKE PARKING PROVIDED 6 SPACES

**ADDITIONAL NOTES:**

- THE FOLLOWING EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW FROM PUBLIC AND PRIVATE STREETS, AREAS ACCESSIBLE TO THE GENERAL PUBLIC AND FROM AREAS SHOWN FOR RESIDENTIAL USE IN THE GENERAL PLAN: GROUND-, BUILDING-, AND ROOF-MOUNTED MECHANICAL AND UTILITY EQUIPMENT. SUCH EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, HEATING AND AIR CONDITIONING EQUIPMENT, REFRIGERATION EQUIPMENT, ELECTRICAL EQUIPMENT AND METERS, STORAGE TANKS, TRANSFORMERS, BACKFLOW PREVENTION DEVICES, EXHAUST FANS, AND VENTS. SEE LDC 4.105 FOR REQUIREMENTS.
- ALL GROUND MECHANICAL EQUIPMENT INCLUDING SHALL BE FULLY SCREENED FROM PUBLIC VIEW.
- BUILDING DRAINAGE MUST BE INTERNALIZED. NO EXTERNAL DOWNSPOUTS.
- CONCRETE WHEEL STOPS ARE PROHIBITED EXCEPT WITHIN ADA PARKING SPACES.
- PARKING IS PROHIBITED IN REQUIRED LANDSCAPE AREAS, FIRE LANES AND UNIMPROVED PROPERTIES.
- FIRE APPARATUS ROADS NEED TO COMPLY WITH THE 2018 IFC AND SECTION 503 IN ITS ENTIRETY.
- FIRE LANES SHALL COMPLY WITH 2018 IFC AND THE REGULATION 12-DIO3.6R.
- DOUBLE CHECK TESTABLE BACK-FLOW PREVENTER'S SHALL BE INSTALLED ON THE FIRE RISER WITHIN FIRE RISER ROOMS.

**STANDARD COMMERCIAL SITE PLAN NOTES:**

- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDER GROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 8' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
  - FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.
  - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
  - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
  - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR,
  - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP, OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
  - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
  - ROUTED UNDER GROUND.
- ALL BACKFLOW PREVENTION DEVICES LARGER THAN 2" SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS 2" OR SMALLER SHALL BE PLACED IN A LOCKED WIRE MESH CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
  - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
  - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAYS SHALL BE MOUNDED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MA BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENTS SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.



**SITE PLAN**

NORTH  
SCALE  
1"=10'-0"

GILBERT, ARIZONA

OCOTILLO JUI JITSU

5505 SOUTH LINDSAY ROAD

**A+**  
ARCHITECTURE PLUS, LTD.  
www.architectureplusltd.com

Drawn By: JKA  
Date: 5-12-2021  
Checked: 21400.000  
Job No:  
Revised: 4-11-2022 D.R.

2.1



**SUN VALLEY  
COMMUNITY  
CHURCH -  
S. GILBERT**

GILBERT, AZ  
5545 SOUTH LINDSAY ROAD

**SUN VALLEY  
COMMUNITY CHURCH**  
456 E RAY ROAD  
GILBERT, AZ 85296  
480-632 8920 p  
480-857-6453 f



*Bradley A. Winger*



**TODD & ASSOCIATES, INC.**  
Critical Thinking • Creative Design

Architecture Planning  
Landscape Architecture  
4019 North 44th Street  
Phoenix, AZ 85018  
602-952-8280p 602-952-8995f  
www.toddassoc.com

Copyright 2019 Todd & Associates, Inc.

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY. PH 1
(Symbol)	ACACIA FARNESIANA	SWEET ACACIA	24 BOX	17
(Symbol)	CHITALPA TASHKENTENSIS	CHITALPA	24" BOX	24
(Symbol)	PARKINSONIA 'AZT'	HYBRID PALO VERDE	24" BOX	24
(Symbol)	PISTACIA X 'RED PUSH'	RED PUSH PISTACHE	24 BOX	67
(Symbol)	PROSOPIS HYBRID 'LESIE ROY'	TEXAS HONEY MESQUITE	24" BOX	57
(Symbol)	QUERCUS VIRGINIANA	LIVE OAK	24" BOX	64
<b>PALMS</b>				
(Symbol)	PHOENIX DACTYLIFERA	DATE PALM (DIAMOND CUT)	20 TF	20
<b>SHRUBS</b>				
(Symbol)	CAESALPINIA PULCHERRIMA	RED BIRD OF PARADISE	5 GAL.	103
(Symbol)	CALLIANDRA X 'LIANCA'	HYBRID FAIRY DUSTER	5 GAL.	60
(Symbol)	SIERRA STAR	SIERRA STAR	5 GAL.	23
(Symbol)	CORDIA PARVIFOLIA	LITTLE LEAF CORDIA	5 GAL.	223
(Symbol)	EREMOPHILA HYGROPHANA	BLUE BELLS	5 GAL.	27
(Symbol)	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL.	86
(Symbol)	OLEA EUROPAEA 'DWARF OLIVE'	DWARF OLIVE	5 GAL.	18
(Symbol)	RUELLIA PENINSULARIS	BAJA RUELLIA	5 GAL.	239
(Symbol)	RUESELLIA EQUISETIFORMIS	CORAL FOUNTAIN	5 GAL.	197
(Symbol)	TECOMA STANS ANGIUSTATA	YELLOW BELLS	5 GAL.	108
<b>ACCENTS</b>				
(Symbol)	ALOPE BARBADENSIS	MEDICINAL ALOE	5 GAL.	18
(Symbol)	HESPERALOE FUNIFERA	GIANT YUCCA	5 GAL.	121
(Symbol)	HESPERALOE PARVILORA	RED YUCCA	5 GAL.	27
(Symbol)	PORTULACARIA AFRA	ELEPHANT FOOD	5 GAL.	8
<b>GROUNDCOVERS</b>				
(Symbol)	EREMOPHILA GLABRA 'MINGENW GOLD'	OUTBACK SUNRISE EMU	1 GAL.	191
(Symbol)	LANTANA 'DALLAS RED'	RED LANTANA	1 GAL.	46
(Symbol)	LANTANA 'NEW GOLD'	NEW GOLD LANTANA	1 GAL.	64
<b>VINES</b>				
(Symbol)	BIGNONIA CAPREOLATA	CROSSVINE	5 GAL.	7
<b>MISC</b>				
(Symbol)	DECOMPOSED GRANITE: 2" DEPTH (U.O.N.) OF 1/2" SCREENED 'ARIZONA GOLD' (FROM GRANITE EXPRESS)			
(Symbol)	SYNTHETIC TURF: 'KIDS PLAY' FROM ARTIFICIAL GRASS SUPERSTORE			

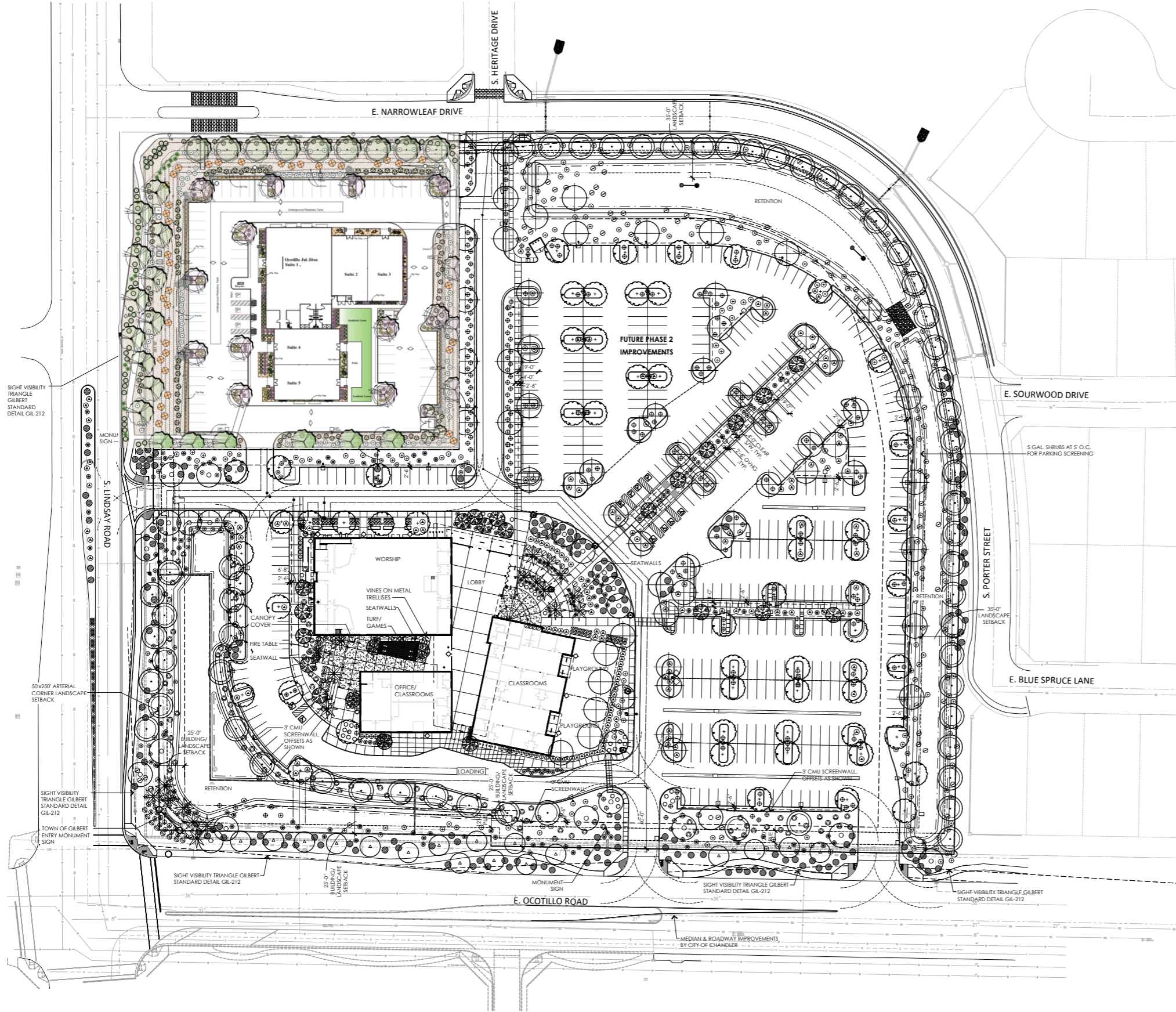
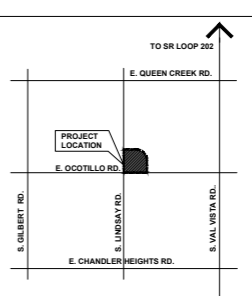
**PROJECT DATA**

**PROJECT NAME & ADDRESS:**  
SUN VALLEY COMMUNITY CHURCH - SOUTH GILBERT  
NE CORNER OF E OCOTILLO AND LINDSAY ROADS (5545 S LINDSAY RD.)  
GILBERT, ARIZONA

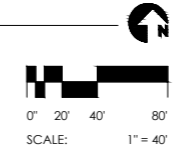
**GENERAL ZONING ANALYSIS:**  
**SITE AREA**  
GROSS: 9.99 AC (433,553 SF)  
NET: 8.89 AC (387,467 SF)

**LANDSCAPING:**  
TOTAL CRUISE LANDSCAPE AREA: 205,900 S.F.  
LANDSCAPE PERCENTAGE OF SITE: 205,900 / 433,553 = 47%  
LANDSCAPE AREA IN RIGHT-OF-WAY (OFF-SITE): 27,000 S.F.  
LANDSCAPE AREA (ON-SITE): 178,700 S.F.

**VICINITY MAP**



**SITE LANDSCAPE PLAN**



**DATA**

DATE  
11-07-19

Rev.	Date:	Description:
△		
△		
△		
△		

DESIGN REVIEW  
3rd SUBMITTAL

SITE LANDSCAPE PLAN

**L1.0**

East Narrowleaf Drive

Heritage Drive

S. Lindsay Road

Planting Schedule

TREES	Plant Name	Quantity	Size
CAESALPINIA MEXICANA	Evergreen Bird-of-Paradise	3	24" box
PARKINSONIA 'Thornless Hybrid AZT'	AZT' Thornless Palo Verde	11	#25 (24" box)
PISTACIA X 'Red Push'	Red Push Pistache	15	24" box
PROSOPIS 'Leslie Roy' (multi-trunk)	Texas Honey Mesquite	9	24" box
QUERCUS VIRGINIANA	Live Oak	6	24" box
SHRUBS	Plant Name	Quantity	Size
BOUGAINVILLEA 'La Jolla' (attached to Wall Trellis)	Semi-dwarf Bougainvillea	2	5 gallon
CAESALPINIA PULCHERRIMA	Mexican Bird-of-Paradise	38	5 gallon
CARISSA GRANDIFLORA 'Tuttlet'	Tuttlet's Natal Plum	38	5 gallon
RUELLIA PENINSULARIS	Baja Ruellia	141	5 gallon
RUSSELLIA EQUISETIFORMIS	Coral Fountain	78	5 gallon
TECOMA S. 'Bells of Fire'	Bells of Fire Tecoma	88	5 gallon
TECOMA S. 'Lydia'	Tecoma Lydia	46	5 gallon
ACCENTS	Plant Name	Quantity	Size
AGAVE DESMETTIANA 'Variegata'	Variegated Smooth Agave	9	5 gallon
HESPERALOE FUNIFERA	Giant Hesperaloe	16	5 gallon
PACHYCEBUS MARGINATUS	Mex Fence Post Cactus	7	5 gallon
PHOENIX ROEBELNII	Pigmy Date Palm	2	15 gallon
STRELITZIA REGINAEA	Tropical Bird-of-Paradise	8	5 gallon
GROUND COVERS	Plant Name	Quantity	Size
EREMOPHILA G. 'Mingenew Gold'	Outback Sunrise Emu Bush	51	1 gallon
LANTANA 'New Gold'	Improved Gold Lantana	62	1 gallon
RUELLIA 'Katie'	Dwarf Ruellia	14	1 gallon
WEDELIA TRILOBATA	Yellow Dot Wedelia	20	1 gallon
SYNTHETIC TURF	'Kid's Play' Synthetic Turf (from Artificial Grass Superstore)	---	1,595 s.f.
DECOMPOSED GRANITE	1/2" Screened 'Arizona Gold' (from Granite Express -2" Deep)	---	37,375 s.f.
FRACTURED GRANITE	3"-6" Baja Brown Cobble	---	3,490 s.f.

Note: Provide Documentation to Owner for all (\*) Patented Plant Varieties installed in Project.

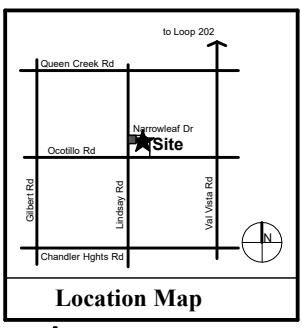
Two full working days before you dig  
Call 811 - Arizona 811 Blue Stake Center or click Arizona811.com

All landscape areas and materials, including those located in rights-of-way, shall be maintained in a healthy, neat, clean, weed free condition. This shall be the responsibility of the Property Owner

**Index to Drawings**

Sheet L1 -	Planting Plan - Project Information / Site Notes, Location Map
Sheet L2 -	Irrigation Plan
Sheet L3 -	Planting and Irrigation Details

Approval - Town of Gilbert \_\_\_\_\_ Date \_\_\_\_\_  
 Maintenance in R.O.W.  City  Owner  
 Total Acres (or portions) landscaped areas 42,163 s.f. (0.97 acres)  
 No Turf is proposed for project



Owner:  
BRST Holdings, LLC  
Scott Brouse  
21313 S. 145th St.  
Gilbert, AZ 85298  
951-318-6151



Gordon Wayne Jones  
LANDSCAPE ARCHITECT  
1711 East Missouri Suite 7  
Phoenix, Arizona 85016  
602-374-6611  
gwj@cox.net

North / Scale 1" = 16'

Planting Plan  
*Ocotillo Jui Jitsu Center*

Ocotillo and Lindsay Roads  
Gilbert Arizona

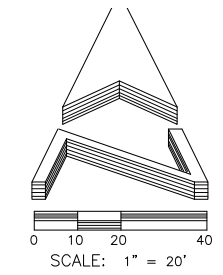
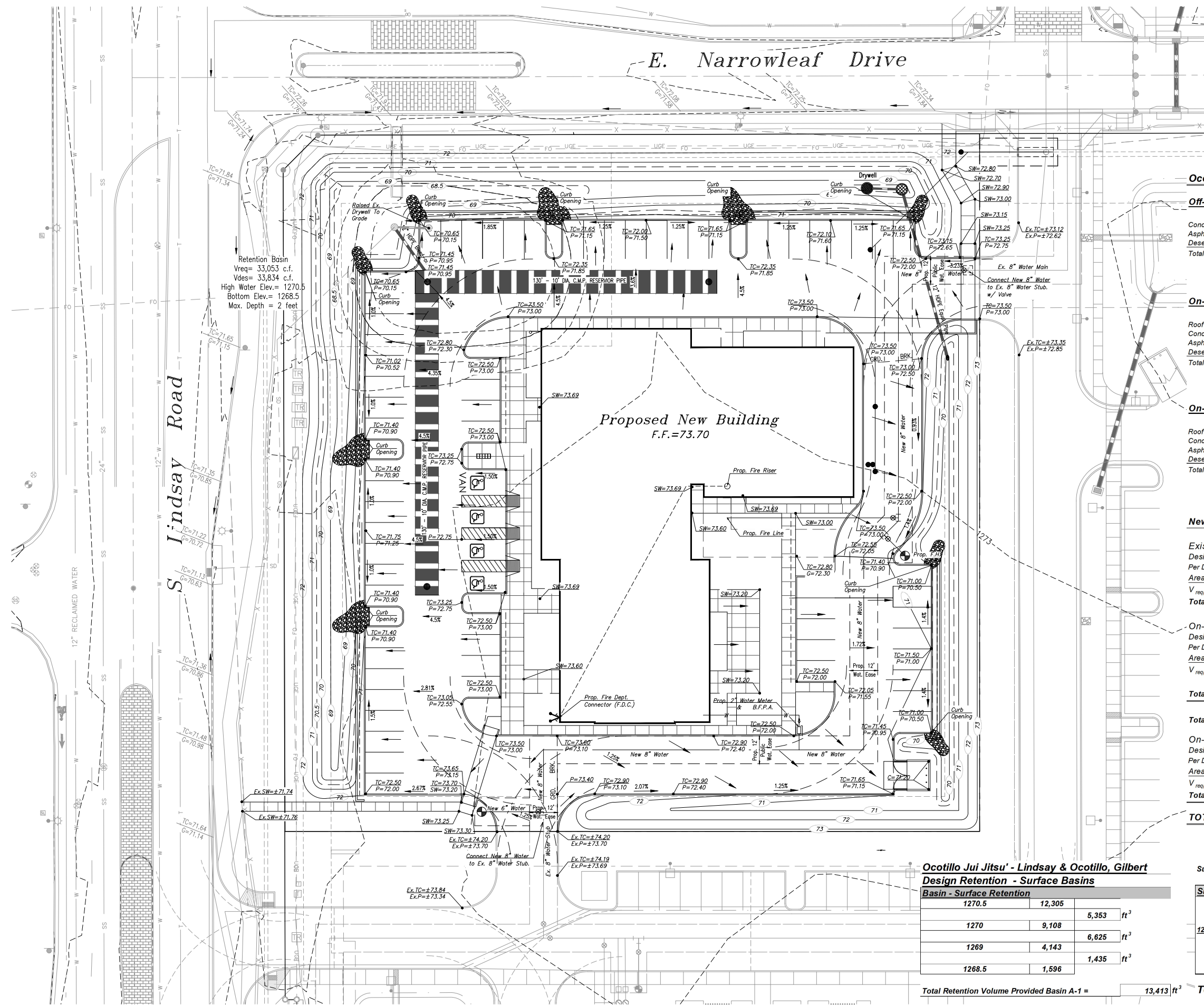
3 September 2021 25 January 2022 4 April 2022

L1  
(of 3)



21-1318 - Ocotillo Jiu Jitsu

Apr 08, 2022 12:38pm O:\Projects\2021\21-1318 Ocotillo Jui Jitsu\Civil\Construction Documents\XREF\210625 - Base.dwg



Ocotillo Jui Jitsu - NEC Lindsay & Ocotillo, Gilbert

**Off-Site Area (OS) Weighted Run-off Coefficient**

Surface	C'	Area (A)	C'A (ft <sup>2</sup> )
Concrete	0.95	16,146	15,339
Asphalt Pavement	0.90	32,214	28,993
Desert Landscaping	0.70	17,581	12,307
<b>Totals</b>		<b>65,941 ft<sup>2</sup></b>	<b>56,639 ft<sup>2</sup></b>

$$C_w = \frac{\sum C \times A}{A_T} = 0.86$$

**On-Site Area 1 (Front: A-1) Weighted Run-off Coefficient**

Surface	C'	Area (A)	C'A (ft <sup>2</sup> )
Roof	0.95	9,116	8,661
Concrete	0.95	4,160	3,952
Asphalt Pavement	0.90	22,935	20,642
Desert Landscaping	0.70	24,027	16,819
<b>Totals</b>		<b>60,238 ft<sup>2</sup></b>	<b>50,074 ft<sup>2</sup></b>

$$C_w = \frac{\sum C \times A}{A_T} = 0.83$$

**On-Site Area 2 (Rear: A-2) Weighted Run-off Coefficient**

Surface	C'	Area (A)	C'A (ft <sup>2</sup> )
Roof	0.95	6,448	6,126
Concrete	0.95	3,159	3,002
Asphalt Pavement	0.90	9,828	8,846
Desert Landscaping	0.70	10,224	7,157
<b>Totals</b>		<b>29,659 ft<sup>2</sup></b>	<b>25,131 ft<sup>2</sup></b>

$$C_w = \frac{\sum C \times A}{A_T} = 0.85$$

**New Required Retention Volume Retention**

Existing Required Off-Site Retention Volume:  
Design Storm: 50-yr, 24-hr, d=3.0"/12" = 0.250 ft  
Per Drainage Design Manual for Maricopa County, Fig. A.50 Isopluvial Map  
Area OS = 65,941 ft<sup>2</sup>  
V<sub>req(50 yr, 24 hr)</sub> = C x d x A = 0.86 x 0.25 x 65,941 = 14,177 ft<sup>3</sup>  
**Total Required Off-Site Retention Volume = 14,177 ft<sup>3</sup>**

On-Site Area A-1 (Front):  
Design Storm: 50-yr, 24-hr, d=3.0"/12" = 0.250 ft  
Per Drainage Design Manual for Maricopa County, Fig. A.50 Isopluvial Map  
Area A-1 (Front) = 60,238 ft<sup>2</sup>  
V<sub>req(50 yr, 24 hr)</sub> = C x d x A = 0.83 x 0.25 x 60,238 = 12,499 ft<sup>3</sup>  
**Total Required Volume Basin 'A-1' = Off-Site + Area A-1 = 26,677 ft<sup>3</sup>**

**Total Required Vol**  
On-Site Area A-2 (Rear):  
Design Storm: 50-yr, 24-hr, d=3.0"/12" = 0.250 ft  
Per Drainage Design Manual for Maricopa County, Fig. A.50 Isopluvial Map  
Area A-2 (Rear) = 29,659 ft<sup>2</sup>  
V<sub>req(50 yr, 24 hr)</sub> = C x d x A = 0.85 x 0.25 x 29,659 = 6,377 ft<sup>3</sup>  
**Total Required Volume Basin 'A-2' = 6,377 ft<sup>3</sup>**

**TOTAL REQUIRED RETENTION BOTH AREAS = 33,053 ft<sup>3</sup>**

Ocotillo Jui Jitsu - Lindsay & Ocotillo, Gilbert  
Design Retention - Surface Basins

Basin - Surface Retention		
1270.5	12,305	5,353 ft <sup>3</sup>
1270	9,108	6,625 ft <sup>3</sup>
1269	4,143	1,435 ft <sup>3</sup>
1268.5	1,596	

**Total Retention Volume Provided Basin A-1 = 13,413 ft<sup>3</sup>**

Sub-Surface Required Volume = 33,053 - 15,040 = 19,640 ft<sup>3</sup>

Sub-surface Designed Retention	
Reqd. Volume:	19,640 ft <sup>3</sup>
120-inch Diameter Perforated C.M.P. Reservoir	
Pipe Diameter =	10 ft.
Barrel Length =	260 ft.
Unit Volume =	78.54 ft <sup>3</sup>
Reservoir Volume Prov. =	20,420 ft <sup>3</sup>

**Total All Design Retention = 33,834 ft<sup>3</sup>**

PRELIMINARY GRADING & DRAINAGE PLAN

Ocotillo Jiu Jitsu  
5505 S. Lindsay Road  
Gilbert, AZ

Revisions:

No.	Description



Designer: Standage  
Drawn by: EPS



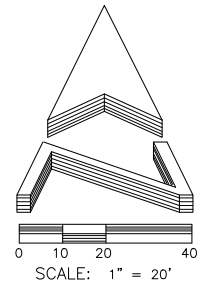
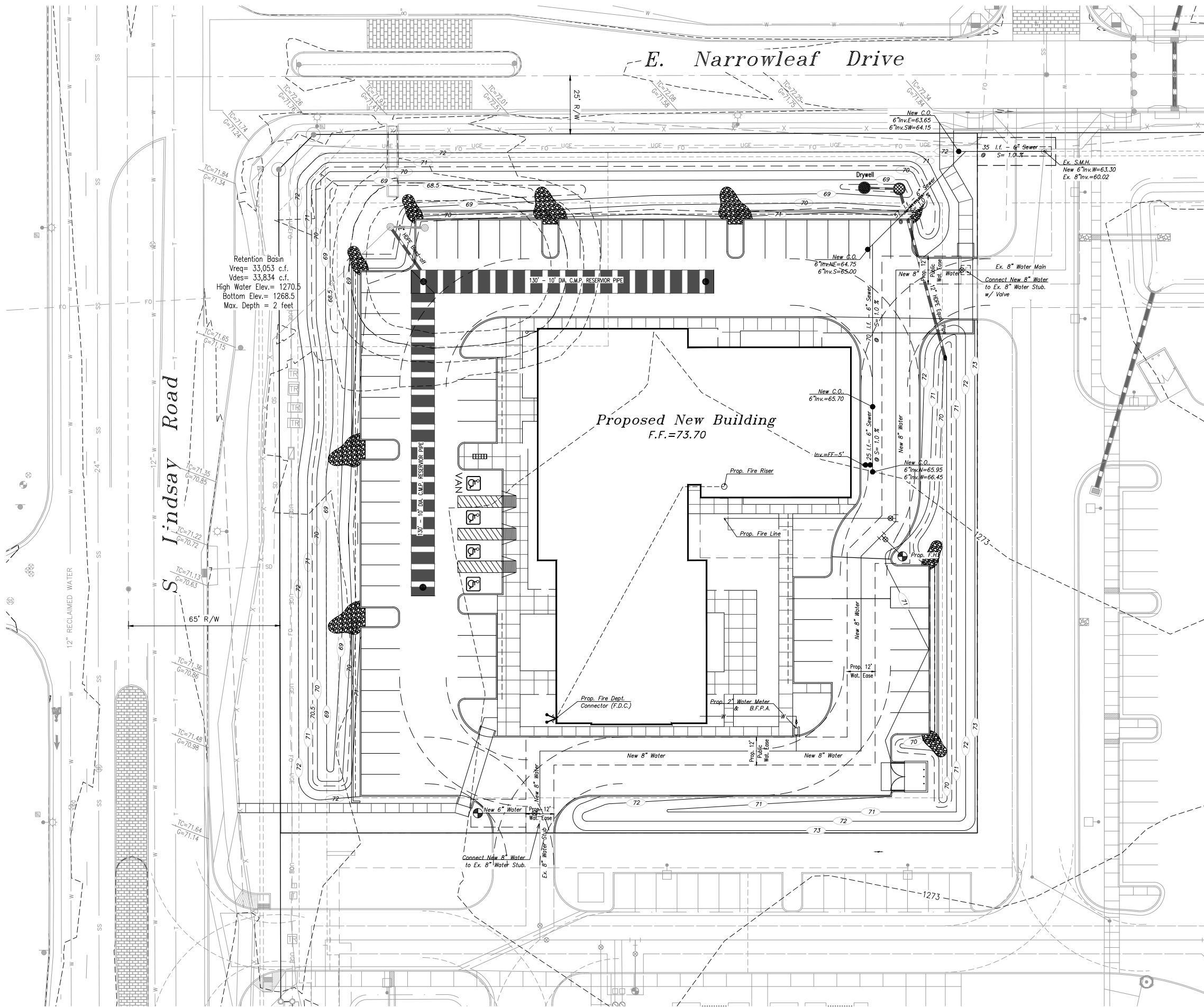
Job No.  
**21-1318**

PRELIM G&D

Sheet No.

# 21-1318 - Ocotillo Jiu Jitsu

Apr 08, 2022 12:38pm O:\Projects\2021\21-1318 Ocotillo Jiu Jitsu\Civil\Construction Documents\XREF\210625 - Base.dwg



## PRELIMINARY UTILITY PLAN

Ocotillo Jiu Jitsu  
5505 S. Lindsay Road  
Gilbert, AZ

Project:

Revisions:

No.	Description

Call at least two full working days before you begin excavation.  

 800-441-4800  
 State of Arizona  
 In Maricopa County (REG203-110)

Designer: Standage  
 Drawn by: EPS



Job No.  
21-1318

PRELIM UTILITY

Sheet No.

2 of 2

1130 N Alma School Road  
 Suite 120  
 Mesa, AZ 85201  
 T:480.503.2350 | F:480.503.2358  
 www.epsgroupinc.com



**WEST ELEVATION**

SCALE  
1/8"=1'-0"



**NORTH ELEVATION**

SCALE  
1/8"=1'-0"



**EAST ELEVATION**

SCALE  
1/8"=1'-0"



**SOUTH ELEVATION**

SCALE  
1/8"=1'-0"

GILBERT, ARIZONA

OCOTILLO JUI JITSU

5505 SOUTH LINDSAY ROAD



ARCHITECTURE PLUS, LTD.  
www.architectureplusltd.com

2029 E. Camelback Road, Suite 120, Phoenix, AZ 85016 602-264-7500

Drawn By:	JKA
Date:	5-12-2021
Checked:	21400.000
Job No:	
Revised:	

6.1



**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"



**SOUTH ELEVATION**

SCALE: 3/32" = 1'-0"



**WEST ELEVATION**

SCALE: 3/32" = 1'-0"

**EXTERIOR ELEVATIONS**

SCALE: 3/32" = 1'-0"

KEY  
SEAL  
CLIENT  
CONTACT  
GENERAL NOTES  
COLOR SCHEDULE  
SYMBOLS  
KEYMAP  
DATA

See drawing A0.2 for additional notes

See drawing A0.2 for additional symbols

- COLOR SCHEDULE**
- C1 PRIMARY COLOR  
NAME: D6629 CALICO ROCK  
MFR: DUNN EDWARDS
  - C2 ACCENT COLOR  
NAME: D6629 POROUS STONE  
MFR: DUNN EDWARDS
  - C3 CANOPIES & COLUMNS  
COLOR: TO MATCH M12117 PEWTER  
MFR: ALUMA KOR (BASES OF DESIGN)
  - C4 GROUND FACE MASONRY UNITS  
COLOR: RUTHERFORD TRENDSSTONE  
MFR: TRENWYTH INDUSTRIES, INC.
  - C5 STANDING SEAM METAL ROOF  
COLOR: M12117 PEWTER  
MFR: ALUMA KOR (BASES OF DESIGN)
  - C6 METAL WALL PANELS  
COLOR: M12117 PEWTER  
MFR: ALUMA KOR (BASES OF DESIGN)
  - C7 PERFORATED METAL PANELS  
COLOR: ACRYLIC COATED GALVALUME  
MFR: ATAS
  - C8 ALUMINUM STOREFRONT  
COLOR: DARK BRONZE  
MFR: ARCADIA
- SYMBOLS**
- C1 EXTERIOR COLOR INDICATOR



**COMMUNITY CHURCH - S. GILBERT**

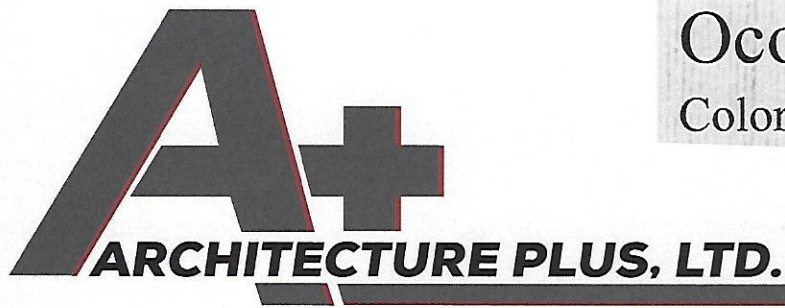
GILBERT, AZ  
**SUN VALLEY C.C. GILBERT**  
456 E RAY ROAD  
GILBERT, AZ 85296  
480-632-8920 p  
480-857-6453 f



**TODD & ASSOCIATES, INC.**  
Critical Thinking • Creative Design  
Architecture Planning  
Landscape Architecture  
4019 North 44th Street  
Phoenix, AZ 85018  
602-952-8280p 602-952-8995f  
www.toddassoc.com  
Copyright 2019 Todd & Associates, Inc.

**DATE**  
11-07-19  
**DESIGN REVIEW SBMTL**  
3RD TOWN REVIEW

Proj Mgr.	Dwn By:	Rev.	Date:	Description:
△				
△				
△				
△				



# Ocotillo Jui Jitsu Studio

## Color & Material Sample Board

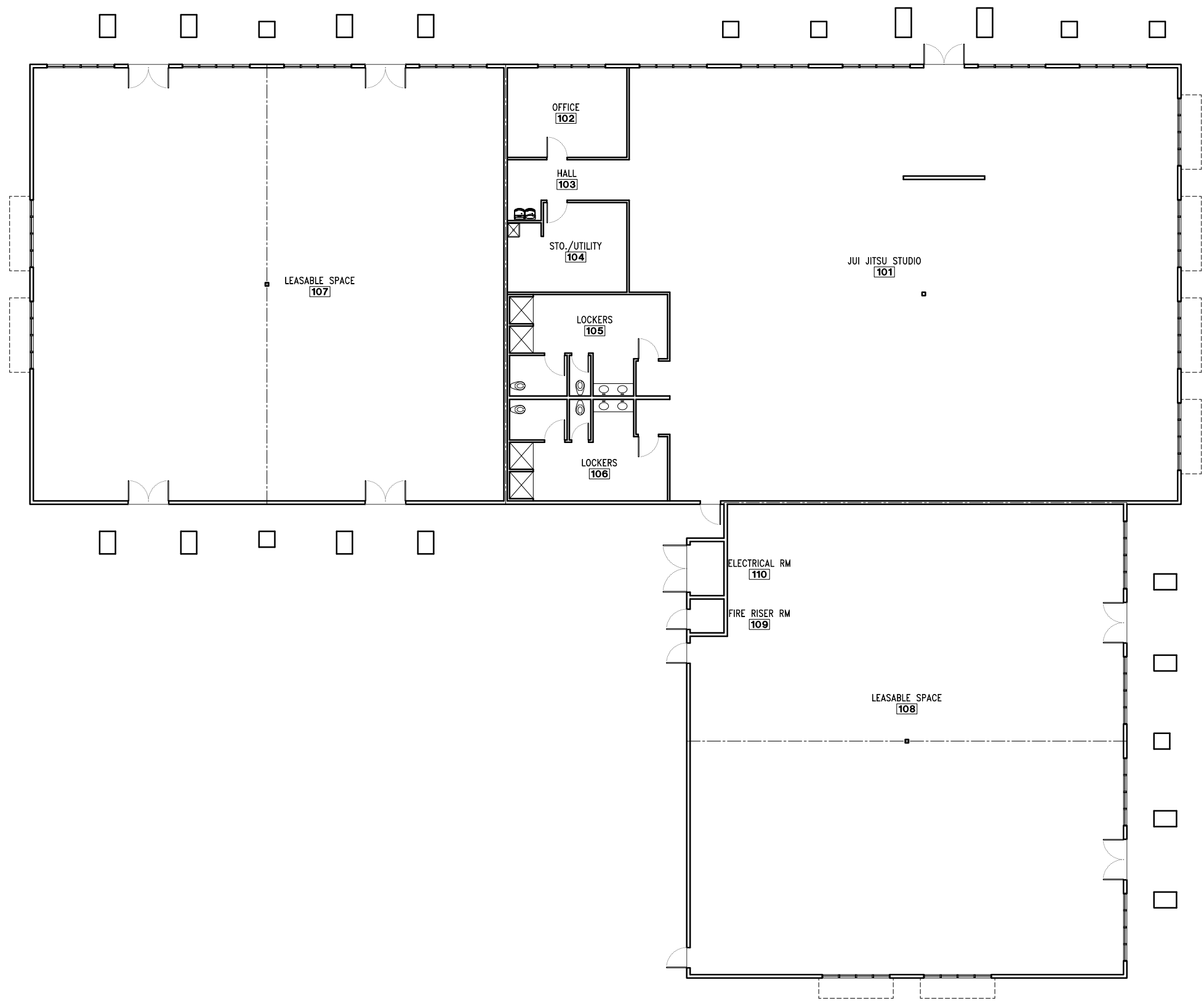


Applied Faux Stone Veneer  
Mnf; Cultured Stone  
Style & Color: Suede Drystack Ledgestone  
(CVS-2010)

Primary Paint Color  
Mnf; Sherwin-Williams  
Color: 'Smokey Beige'  
SW9087

Accent Paint Color  
Mnf: Sherwin-Williams  
Color: 'Llama Wool'  
SW9089

Standing Seam Metal Roof  
Mfr: Pac-Clad  
Style: Snap-on Batten  
Color: "Burnished Slate"

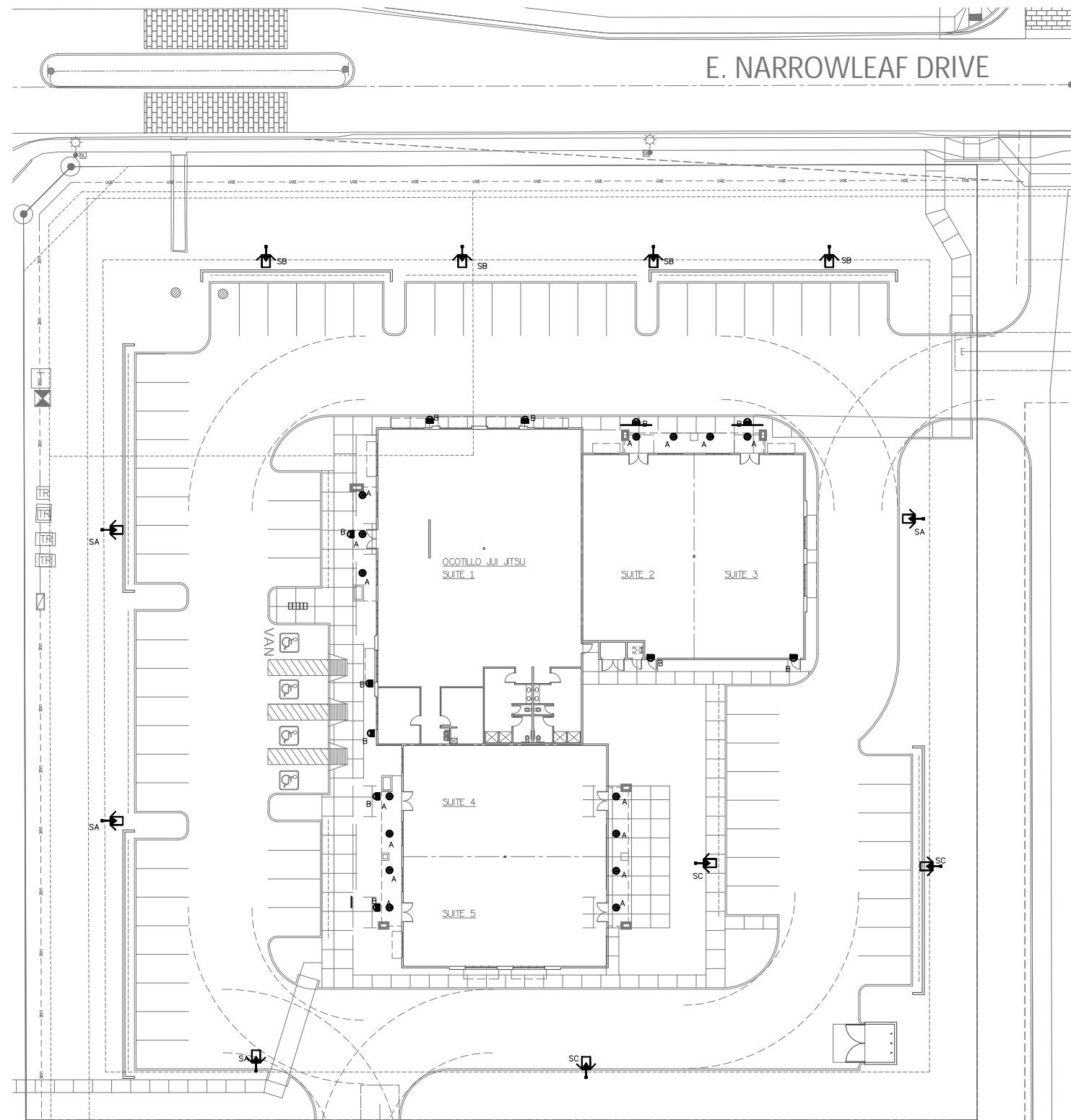


**FLOOR PLAN**  
SCALE  
1/8"=1'-0"

Drawn By:	JKA
Date:	5-12-2021
Checked:	
Job No:	21400.000
Revised:	

**3.0**





**ELECTRICAL SITE LIGHTING PLAN**

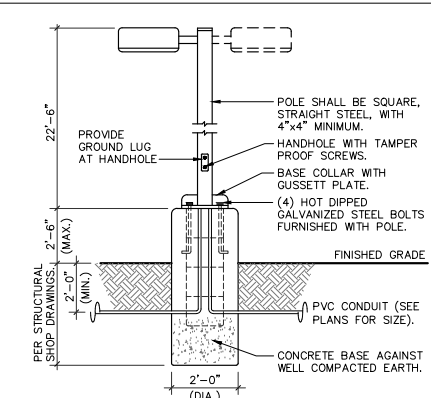
NORTH  
SCALE  
1"=20'-0"

**LUMINAIRE SCHEDULE**

1. PROVIDE 90-MINUTE EMERGENCY BATTERY BACK-UP FOR ALL EMERGENCY FIXTURES. SEE SCHEDULE BELOW FOR SPECIFICATIONS AND LUMEN REQUIREMENTS.
2. MODULAR WIRING SYSTEM FOR LIGHT FIXTURES IS AN ACCEPTABLE ALTERNATE.
3. BASE BID FOR LUMINAIRES SHALL BE BASED ON MANUFACTURERS LISTED IN CONTRACT DOCUMENTS. UPON AWARD OF PROJECT, ALTERNATES PROPOSED BY CONTRACTOR SHALL BE SUBMITTED WITH WRITTEN OWNER APPROVAL & AN ITEMIZED DEDUCT TO BASE BID.
4. ALTERNATE FIXTURE SELECTIONS MAY REQUIRE ADDITIONAL TIME FOR SUBMITTAL REVIEW & POSSIBLE ENGINEERING DESIGN CHANGES, TO BE BILLED TO THE CONTRACTOR.
5. PROVIDE MINIMUM 10 MINUTE TIME DELAY ON EMERGENCY FIXTURES WHEN HID AREA LIGHTING IS USED.

MARK	MANUFACTURER MODEL NUMBER	VOLTS	LAMPS CR/ CCT INPUT WATTS	REMARKS/MOUNTING
<b>A</b>	WILLIAMS 6DR-TL-L10-840-DIA-UNV-L-M-OF-CS-MWT-N-F1	MVOLT	LED's 8.7W	WALL MOUNTED AT 10'.
<b>B</b>	NLS LIGHTING NV-W-T4-16L-7-40K-UNV-WM-XXXX	MVOLT	LED's 37W	WALL MOUNTED AT 15'. VERIFY FINISH WITH ARCHITECT
<b>SA</b>	NLS LIGHTING NV-1-T4-48L-1-40K-UNV-ASA-XXXX-HSS	MVOLT	LED's 156W	SITE POLE AT 25'. VERIFY FINISH WITH ARCHITECT
<b>SB</b>	NLS LIGHTING NV-1-T4-32L-7-40K-UNV-ASA-XXXX-HSS	MVOLT	LED's 156W	SITE POLE AT 14'. VERIFY FINISH WITH ARCHITECT
<b>SC</b>	NLS LIGHTING NV-1-T3-48L-1-40K-UNV-ASA-XXXX-HSS	MVOLT	LED's 156W	SITE POLE AT 25'. VERIFY FINISH WITH ARCHITECT

**POLE MOUNTED FIXTURE DETAIL**



**FIXTURE TYPES 'SA','SB','SC'**

THE POLE CONCRETE BASE DETAIL IS SHOWN FOR ELECTRICAL ROUGH-IN AND SHALL NOT BE USED FOR THE ACTUAL BASE CONSTRUCTION. POLE BASE SHALL BE DESIGNED BY A REGISTERED STRUCTURAL PROFESSIONAL ENGINEER AND CONSTRUCTED PER STRUCTURAL ENGINEERS SEALED CONSTRUCTION DOCUMENT.

NOTE: ELECTRICAL CONTRACTOR SHALL BOND METAL POLE PER NEC 410.30(B)(5) AS SHOWN IN DETAIL.

NOTE:  
PRE-CURFEW DESIGN HOURS SHALL BE DEFINED FROM NOT LATER THAN ONE HOUR AFTER BUSINESS CLOSING AND POST-CURFEW DESIGN HOURS SHALL BE DEFINED AS NOT EARLIER THAN ONE HOUR BEFORE BUSINESS OPENING. ALL EXTERIOR LIGHTS SHALL BE DIMMED BY NOT LESS THAN 30% DURING POST-CURFEW TO COMPLY WITH IECC 2018 C405.2.6. EXTERIOR LIGHTING CONTROLS.

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**DESIGN CODES**  
IECC. 2018 NEC. 2017

**ELECTRICAL CONTRACTOR SHALL NOTIFY DESIGNER/ENGINEER PRIOR TO ANY DEVIATION FROM THIS SET OF ELECTRICAL DESIGN PLANS. ANY CHANGES TO THE DESIGN, IF APPROVED BY ENGINEER, WILL REQUIRE REVISIONS TO PLANS AND POSSIBLE ADDITIONAL SERVICE FEE.**

Project Contact/Designer: JOSEPH POWELL  
Project # 21295

**HAWKINS DESIGN GROUP INC.**  
ELECTRICAL CONSULTING ENGINEERS  
190 WEST HAVENL ROAD  
GILBERT, ARIZONA 85233  
PH. 480.813.9000 FAX 480.813.9001  
EMAIL: cjp@hawkinsdesign.com

All concepts, designs and data indicated on these drawings are the sole property of the Hawkins Design Group Inc., and shall not be used for any other purpose other than originally intended without written permission of the engineer.

**PRELIMINARY  
NOT FOR CONSTRUCTION**  
Expires: XX/XX/XX

GILBERT, ARIZONA

OCOTILLO JUI JITSU

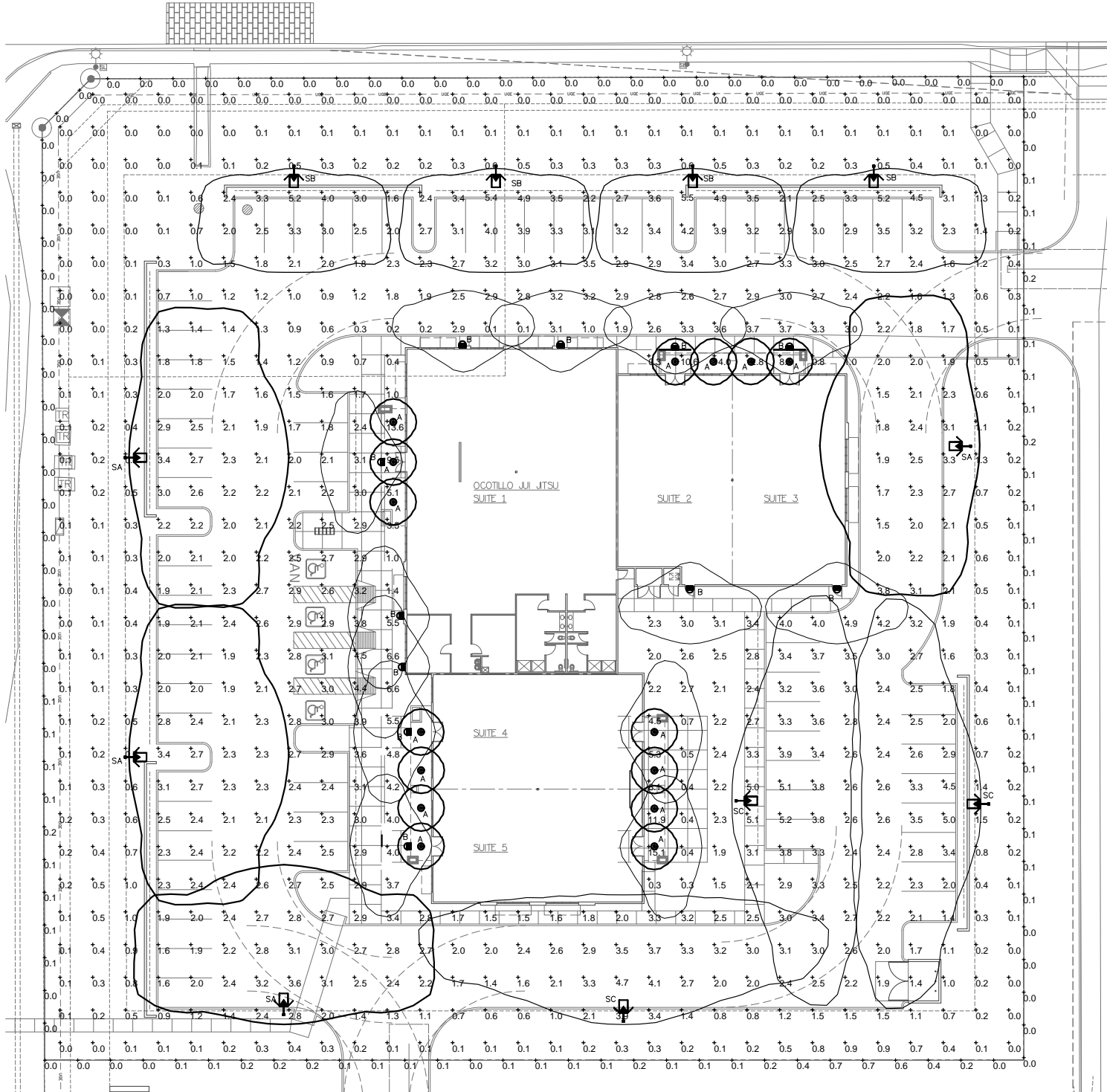
5505 SOUTH LINDSAY ROAD

**A+**  
ARCHITECTURE PLUS, LTD.  
www.architectureplusltd.com

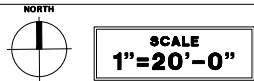
Drawn By: JMP  
Date: 2/14/2020  
Checked: 2/14/2020  
Job No:  
Revised:

**DR1.0**  
of

E. NARROWLEAF DRIVE



**ELECTRICAL SITE PRE CURFEW PHOTOMETRIC PLAN**



Date: 4/11/2022

Filename: G:\Cad Projects\1563-21-Commercial Bldg at Lindsay and Ocotillo\PHOTOMETRICS\1563-21-4.AGI

WWL Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Grade	Illuminance	Fc	1.84	15.1	0.0	N.A.
Spill at property line	Illuminance	Fc	0.07	0.7	0.0	N.A.

WWL Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Description
⊙	15	A	Single	N.A.	6DR-TL-L10-840-DIM-UNV-L-M-OF-CS-MWT-N-F1 Mounted at 10 ft aff
⊞	13	B	Single	N.A.	NV-W-T4-16L-7-40K-UNV-WM-FINISH Mounted at 15 ft aff
⊞	4	SA	Single	N.A.	NV-1-T4-48L-1-40K-UNV-ASA-FINISH-HSS Mounted at 25 ft aff
⊞	4	SB	Single	N.A.	NV-1-T4-32L-7-40K-UNV-ASA-FINISH-HSS Mounted at 14 ft aff
⊞	3	SC	Single	N.A.	NV-1-T3-48L-1-40K-UNV-ASA-FINISH-HSS Mounted at 25 ft aff

NOTE: PRE-CURFEW DESIGN HOURS SHALL BE DEFINED FROM NOT LATER THAN ONE HOUR AFTER BUSINESS CLOSING AND POST-CURFEW DESIGN HOURS SHALL BE DEFINED AS NOT EARLIER THAN ONE HOUR BEFORE BUSINESS OPENING. ALL EXTERIOR LIGHTS SHALL BE DIMMED BY NOT LESS THAN 30% DURING POST-CURFEW TO COMPLY WITH IECC 2018 C405.2.6. EXTERIOR LIGHTING CONTROLS.

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**DESIGN CODES**  
IECC, 2018    NEC, 2017

**ELECTRICAL CONTRACTOR SHALL NOTIFY DESIGNER/ENGINEER PRIOR TO ANY DEVIATION FROM THIS SET OF ELECTRICAL DESIGN PLANS. ANY CHANGES TO THE DESIGN, IF APPROVED BY ENGINEER, WILL REQUIRE REVISIONS TO PLANS AND POSSIBLE ADDITIONAL SERVICE FEE.**

Project Contact/Designer: JOSEPH POWELL  
Project # 21295  
**HAWKINS DESIGN GROUP INC.**  
ELECTRICAL CONSULTING ENGINEERS  
190 WEST HAWKELL ROAD  
GILBERT, ARIZONA 85233  
PH 480.813.9000 FAX 480.813.9001  
EMAIL: [estmail@hawkinsdsg.com](mailto:estmail@hawkinsdsg.com)

All concepts, designs, and data indicated on these drawings are the sole property of the Hawkins Design Group Inc., and shall not be used for any other purpose other than originally intended without written permission of the engineer.

**DR2.0**  
of

Drawn By: JMP  
Date: 4/11/2022  
Checked: 21400.000  
Job No: 1563-21-4  
Revised:

**PRELIMINARY NOT FOR CONSTRUCTION**  
Expires: XX/XX/XX

GILBERT, ARIZONA  
this drawing is an instrument of architecture plus, ltd., the drawing reproductions hereof used, without their written permission.

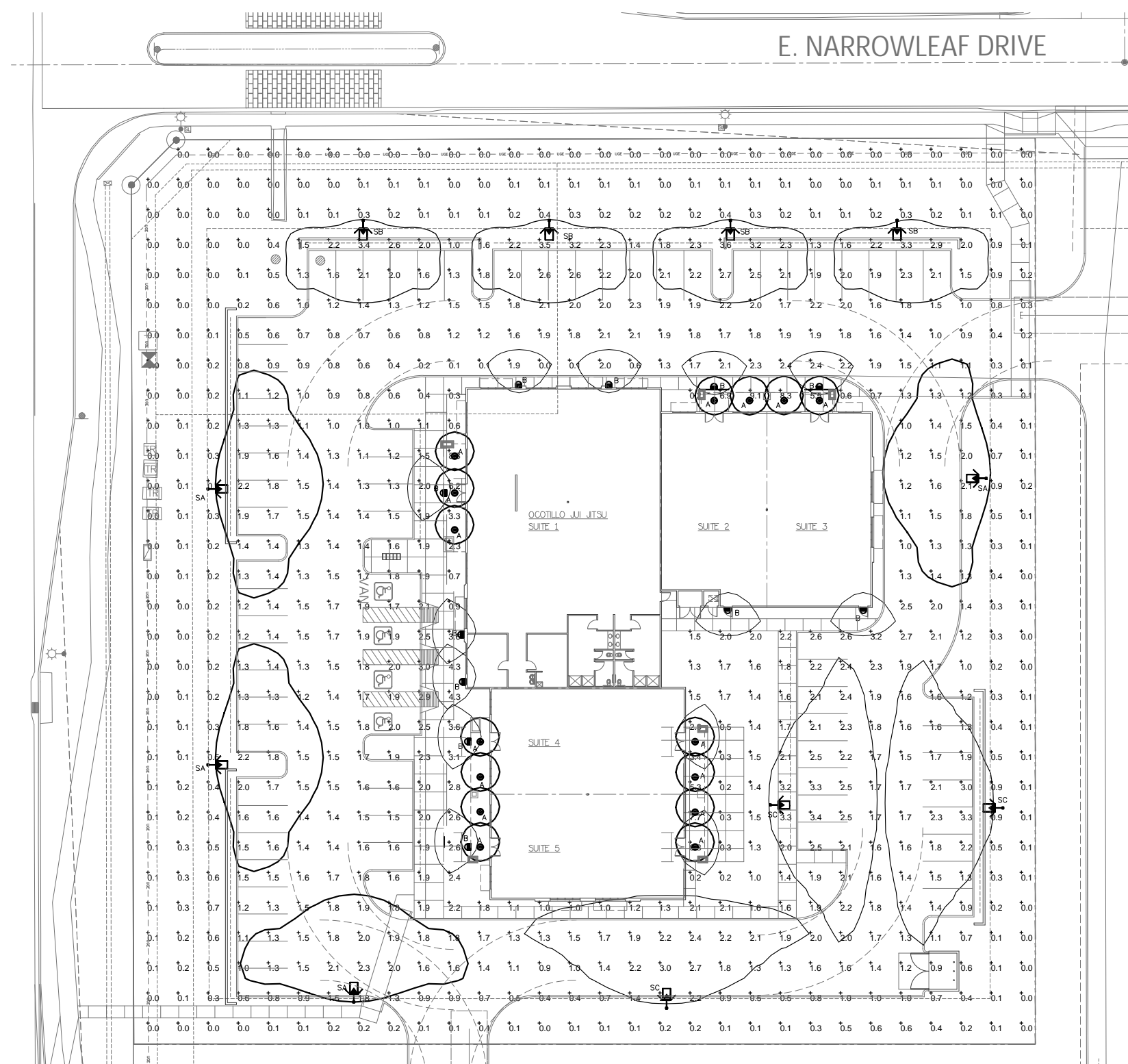
OCOTILLO JUI JITSU

5505 SOUTH LINDSAY ROAD

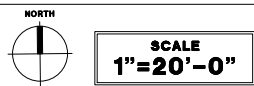
**A+**  
**ARCHITECTURE PLUS, LTD.**  
[www.architectureplusltd.com](http://www.architectureplusltd.com)

2929 E. Camelback Road, Suite 120, Phoenix, AZ 85016 602-264-7500

IF DRAWING IS NOT PLOTTED AT 24 X 36 THEY ARE NOT FULL SIZE



**ELECTRICAL SITE POST CURFEW PHOTOMETRIC PLAN**



Date: 4/11/2022

Filename: G:\Cad Projects\1563-21-Commercial Bldg at Lindsay and Ocotillo\PHOTOMETRICS\1563-21-4\_A.AGI

WWL Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Max/Min
Grade	Illuminance	Fc	1.20	9.8	0.0	N.A.
Spill at property line	Illuminance	Fc	0.04	0.4	0.0	N.A.

WWL Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Description
⊙	15	A	Single	N.A.	6DR-TL-L10-840-DIM-UNV-L-M-OF-CS-MWT-N-F1 Mounted at 10 ft aff
⊥	13	B	Single	N.A.	NV-W-T4-16L-7-40K-UNV-WM-FINISH Mounted at 15 ft afg
⊥	4	SA	Single	N.A.	NV-1-T4-48L-1-40K-UNV-ASA-FINISH-HSS Mounted at 25 ft afg
⊥	4	SB	Single	N.A.	NV-1-T4-32L-7-40K-UNV-ASA-FINISH-HSS Mounted at 14 ft afg
⊥	3	SC	Single	N.A.	NV-1-T3-48L-1-40K-UNV-ASA-FINISH-HSS Mounted at 25 ft afg

All values shown on this photometric evaluation reflect a fixture output reduction of 35%

NOTE:  
 PRE-CURFEW DESIGN HOURS SHALL BE DEFINED FROM NOT LATER THAN ONE HOUR AFTER BUSINESS CLOSING AND POST-CURFEW DESIGN HOURS SHALL BE DEFINED AS NOT EARLIER THAN ONE HOUR BEFORE BUSINESS OPENING. ALL EXTERIOR LIGHTS SHALL BE DIMMED BY NOT LESS THAN 30% DURING POST-CURFEW TO COMPLY WITH IECC 2018 C405.2.6. EXTERIOR LIGHTING CONTROLS.

**PRELIMINARY  
NOT FOR CONSTRUCTION**

**DESIGN CODES**  
 IECC, 2018    NEC, 2017

**ELECTRICAL CONTRACTOR SHALL NOTIFY DESIGNER/ENGINEER PRIOR TO ANY DEVIATION FROM THIS SET OF ELECTRICAL DESIGN PLANS. ANY CHANGES TO THE DESIGN, IF APPROVED BY ENGINEER, WILL REQUIRE REVISIONS TO PLANS AND POSSIBLE ADDITIONAL SERVICE FEE.**

Project Contact/Designer: JOSEPH POWELL  
 Project # 21295

**HAWKINS DESIGN GROUP INC.**  
 ELECTRICAL CONSULTING ENGINEERS  
 1940 WEST HAWKELL ROAD  
 GILBERT, ARIZONA 85233  
 PH. 480.813.9000 FAX 480.813.9001  
 EMAIL: ecm@hawkinsdesign.com

All concepts, designs, and data indicated on these drawings are the sole property of the Hawkins Design Group Inc., and shall not be used for any other purpose other than originally intended without written permission of the engineer.

**DR3.0**  
 of

Drawn By: JMP  
 Date: 4/11/2022  
 Checked: 21400000  
 Job No:  
 Revised:

**PRELIMINARY NOT FOR CONSTRUCTION**  
 Expires: XX/XX/XX

GILBERT, ARIZONA

OCOTILLO JUI JITSU

5505 SOUTH LINDSAY ROAD

**A+**  
**ARCHITECTURE PLUS, LTD.**  
 www.architectureplusltd.com

2929 E. Camelback Road, Suite 120, Phoenix, AZ 85016 602-264-7500

IF DRAWING IS NOT PLOTTED AT 24 X 36 THEY ARE NOT FULL SIZE

