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Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: NOAH SCHUMERTH, PLANNER II *N.S.*
(480) 503-6729, NOAH.SCHUMERTH@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: JUNE 1, 2022

SUBJECT: DR21-121, GRAVITY ENERGY

STRATEGIC INITIATIVE: Exceptional Built Environment

Provide new services in a functional and visually appealing manner in an area of rapid growth in the Town.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR21-121, Gravity Coffee: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.15 acres, generally located north of the NEC of Val Vista Drive and Germann Road and zoned Commercial Center (CC) with Planned Area Development zoning (PAD).

APPLICANT

Company: Archicon Architects
Name: Tim Rasnake
Address: 5055 Washington Street
Phoenix, Arizona, 85034
Phone: (602) 222-4266
Email: timr@archicon.com

OWNER

Company: Verde Building Corporation
Name: N/A
Address: 18251 E Queen Creek Road
Queen Creek, Arizona, 85142
Phone: (480) 833-0971
Email: info@verdebuild.com

BACKGROUND/DISCUSSION

History

Date	Description
December 14, 2004	Town Council approved GP04-13 (Resolution No. 2548), a Major General Plan Amendment to prepare 160 acres of property east of Val Vista Road, north of Germann Road, south of Willis Road alignment and west of 156 th Street alignment for higher-density development. Approved amendment changed the land use designation from Residential >0-1 DU/Acre to a range of uses including Residential >14-25 DU/Acre, Neighborhood Office (NO), General Office (GO), Business Park (BP), and Community Commercial (CC).
November 9, 2005	Town Council approved A05-19 (Ordinance No. 1699) annexing 160 acres east of Val Vista Road, north of Germann Road, south of Mercy Road and west of 156 th Street into the Town of Gilbert.
August 29, 2006	Town Council approved Z06-55 (Ordinance No. 1813) rezoning 160 acres from Maricopa County zoning districts R1-43 and C-1 to Community Center (CC), Business Park (BP), General Office (GO), Neighborhood Office (NO), and Multi-Family Medium (MF/M) with a Planned Area Development (PAD).
December 4, 2007	Town Council approved Resolution No. 2852 and No. 2860, creating an Improvement District for capital improvements in the Mercy Medical District. Planned capital improvements deemed officially complete on April 21, 2011 (Resolution No. 3064).
September 20, 2021	Design Review Board approved DR20-186, Circle K retail store to the south of the site, including improving driveway and cross-access easements for Gravity Energy site.

Overview

The applicant is proposing the construction of a single-story commercial structure totaling 796 square feet of indoor space (1,800 square feet including areas under proposed canopies), located on a 1.15 acre site at 3939 S Val Vista Drive. The site is generally located north of the NEC of Val Vista Drive and Germann Road. The site is connected internally to commercial-zoned sites to the south and the east via existing cross-access easements (DR20-186).

The structure will provide an automobile-oriented use in the form of a drive-through service establishment (Gravity Energy determined to be tenant for site). The proposed building has no indoor service area, and indoor space is reserved for employees and vendors only. The site features two drive-through lanes designed to handle a higher capacity of drive-through traffic commonly caused by this type of use. The site provides a small parking area for employees and vendors and a large retention area.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	General Office (GO)	Business Park (BP)	Vacant
South	Residential > 2-3.5 DU/Acre (R > 2-3.5)	Single-Family Residential (SF-15)	Commercial - Retail
East	General Commercial (GC)	Community Commercial (CC)	Vacant
West	Regional Commercial (RC)	Regional Commercial (RC)	Agricultural
Site	General Commercial (GC)	Community Commercial (CC)	Vacant

Project Data Table:

Site Development Regulations	Required per LDC	Proposed
Maximum Building Height (ft.)/(Stories)	35'	21'
Minimum Building Setback (ft.)		
Front	20'	20'
Side (Street)	20'	N/A
Side (Residential)	20'	N/A
Side (Non-residential)	15'	56'

Rear (Residential)	40'	N/A
Rear (Non-residential)	15'	154'
Separation Between Buildings (ft.)	15'	N/A
Minimum Required Perimeter Landscape Area (ft.)		
Front	20'	20'
Side (Street)	20'	N/A
Side (Residential)	25'	N/A
Side (Non-residential)	15'	15'
Rear (Residential)	30'	N/A
Rear (Non-residential)	15'	15'
Landscaping (% of net lot area)	15%	39%
Off-Street Parking and Loading	11 spaces	11 spaces

DISCUSSION

Site

The site features a single building designed to host a drive-through service establishment (Gravity Energy). The building is approximately 796 square feet. The site design is heavily influenced by the fact that there is no public ingress into the structure; the building is accessed by the public through the use of two full-service drive-through windows. The dual drive-through lanes wrap around the northern and western portions of the proposed site, and the entrances to these lanes are staggered in a manner which manages potential queueing conflicts. The combined exit for the two drive-through lanes is appropriately designed per the LDC and is coordinated with the driveway of the previously approved Circle K retail store to the south (DR20-186).

A small parking area is sited adjacent to the new structure, containing 11 parking spaces with accompanying pedestrian improvements. The parking area is accessed by a large drive aisle looping around the rear of the site and connecting to the proposed drive-through lanes, which was altered during the design review process to accommodate concerns about fire accessibility. The proposed retention basin is located within this drive loop. The building is sited to promote building visibility while minimizing the prominence of parking and access aisles from Val Vista Drive.

The primary access to the site is provided by the driveway adjacent to the cross-access easement (Doc. No. 2021-1129082). Additional points of access are provided with a driveway connected to the approved Circle K development to the south of the site and drive aisle stub reserved for future development to the east of the site. Pedestrian access is provided to Val Vista Drive in a visually pleasing manner with consistent use of decorative pavements across drive lanes.

Landscape

The site provides appropriate landscaping and screening per Land Development Code standards. The site features significantly more landscaped area on the site than required (39% vs. 15%). Plant selections on the site are non-invasive, properly placed to avoid potential storm damage, and meet requirements for Streetscape Theme Tree Maps. Additional trees were added to landscape areas during the design review process, which improved screening to future development on the eastern portion of the site and eliminated non-compliant trees within Town right-of-way.

Grading and Drainage

Proposed improvements to grading and drainage are acceptable and pursuant to Public Works requirements and the Land Development Code. A large retention basin exists within the proposed drive loop on the site. The basin is connected to underground retention chambers located under the parking area of the structure.

As a condition for approval, drainage and grading plans must be adjusted to demonstrate a 6:1 slope above 3.5' depth within the retention basin, which will cause minor changes to the design of the basin and not affect the overall design of the site. Drawings shall be provided prior to the approval of construction documents and the issuance of building permits.

The front of the site features a temporary 40' drainage easement. The Town Manager will need to execute a termination of this drainage easement preceding construction and incorporating the designated retention volumes at this site. The site features required improvements to maintain a small portion of the retention basin which continues within the temporary easement on the undeveloped property to the north.

Elevations, Floor Plan, Colors and Materials

The proposed structure is situated in such a way that the most detailed elevation is oriented to the street and service entries and equipment are screened or turned away from the street toward employee parking areas. Elevations were adjusted during the design review process to reduce the prominence of the top canopy of the building, which created a single dominant roofline across the top of the building. Recommendations were accepted to lower the canopies on both sides of the proposed structure to provide greater roofline articulation.

The proposed structure utilizes a grey color palate deemed compatible with surrounding buildings. The elevations are dominated by the use of a grey stone veneer which adds visual quality to the drive-through building, and the building provides an appropriate amount of variation across the building. Signage consistent with branding will add further detail and interest to each elevation of the building. Materials are deemed compatible with surrounding structures and are similar to those proposed for other Gravity Coffee branded establishments in the Town.

Lighting

Lighting is provided with the use of two types of lighting: parking pole lighting with a height of 15' and canopy lighting underneath both drive-through canopies of the proposed structure with a height of 15'. All lighting meets standards in the Town Municipal Code and the Land Development Code. Lighting does not affect neighboring properties and is sufficient to provide safe movement and occupation of the site.

Signage

Signage is not included in this approval. Signage will be approved through a separate sign permitting process. Monument signage location is conceptual on plans and must be approved through Administrative Design Review.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205. Signage and neighborhood notice were provided ahead of the May 17th, 2022 deadline and affidavits provided ahead of the May 19th, 2022 deadline.

Staff has received one comment from the public, pointing to concerns about landscaping with potentially toxic by-products from the site and curbing entering into the access easement reserved for the property east of the site.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR21-121, Gravity Coffee: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 1.15 acres, generally located north of the NEC of Val Vista Drive and Germann Road and zoned Commercial Center (CC) with Planned Area Development zoning (PAD), subject to conditions:

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the June 1, 2022 public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
- c. Drainage and grading plans must be adjusted to demonstrate a 6:1 slope above 3.5' depth within the retention basin, which will cause minor changes to the design of the basin and not affect the overall design of the site. Drawings shall be submitted prior to the approval of construction documents and the issuance of building permits to the applicant.
- d. Meters shall not be constructed within existing ingress/egress easement and civil and grading/drainage documents submitted as part of the construction drawings shall demonstrate location of meters outside of easements.
- e. Signage is not included in this approval. Administrative Design Review approval is required for monument signs prior to submitting for sign permits. All signage shall require a sign permit prior to installation.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Noah J. Schumerth". The signature is fluid and cursive, written in a professional style.

Noah Schumerth
Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Elevations
- 8) Colors and Materials
- 9) Floor Plans
- 10) Lighting
- 11) Applicant's Narrative

**FINDINGS OF FACT
DR21-121, GRAVITY ENERGY**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Notice of Public Hearing

PLANNING COMMISSION DATE:

Wednesday, June 1, 2022* TIME: 6:00 PM

LOCATION: Gilbert Police Department - Amphitheater
75 E Civic Center Dr., Gilbert, AZ 85296

*Call Case Planner to verify date and time: (480) 503-6729

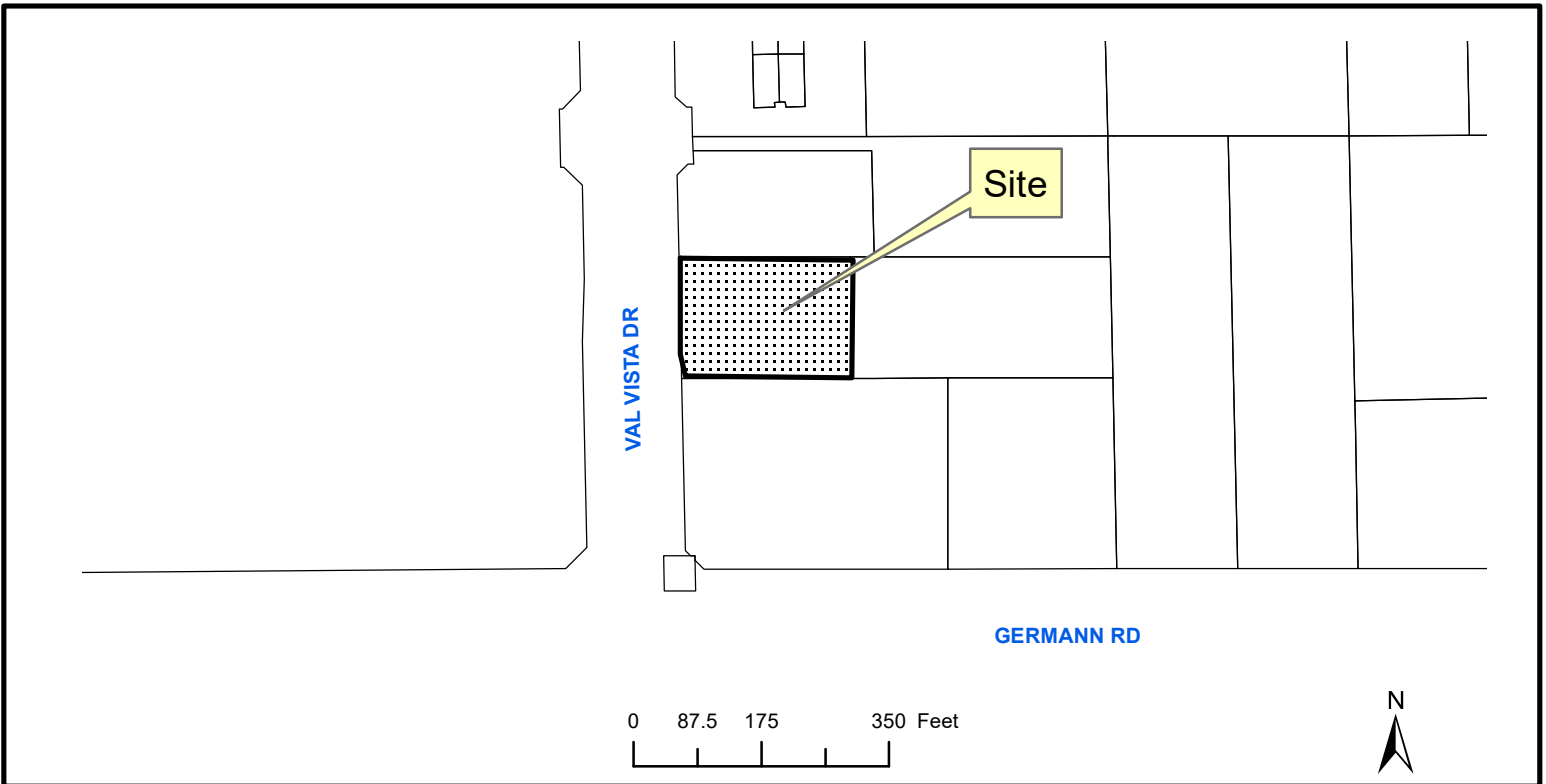
The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission

REQUESTED ACTION:

DR21-121 Gravity Energy: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 1.15 acres, generally located at the NEC of Val Vista Drive and Germann Road, and zoned Commercial Center (CC).

DR21-121: Gravity Energy
Attachment 2 NOPH

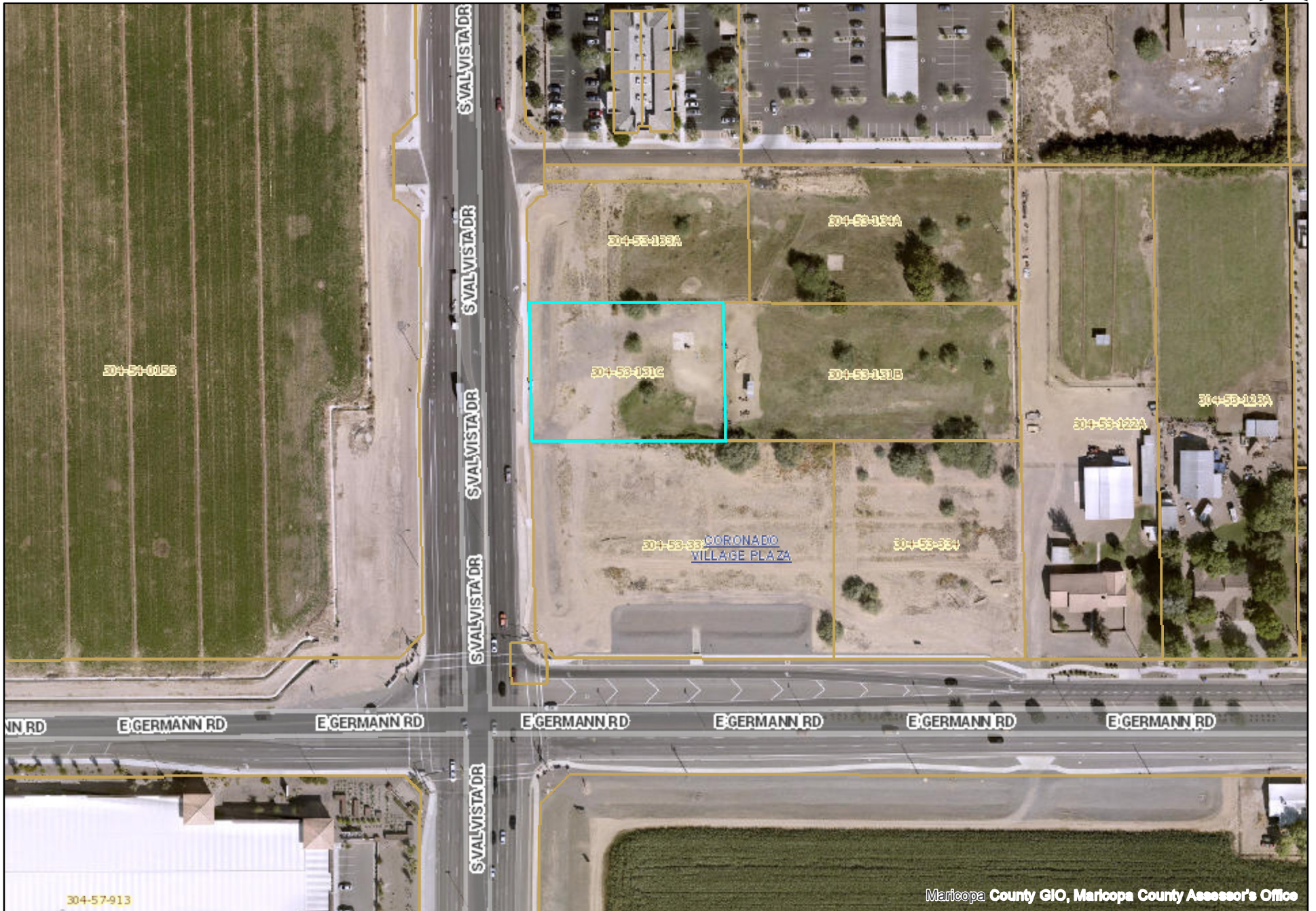
SITE LOCATION:



APPLICANT: Archicon Architecture & Interiors
CONTACT: Tim Rasnake
ADDRESS: 5055 Washington St.
Phoenix, AZ 85034

TELEPHONE: (602) 222-4266
E-MAIL: timr@archicon.com

Map



DR21-121: Gravity Energy Attachment 4 Site Plan

A.P.N. 304-53-133A
VAL VISTA INVESTMENT LLC
2004-0529439 M.C.R.

OWNER:

VERDE CONSTRUCTION
1852 E QUEEN CREEK ROAD
SUITE #105-621
QUEEN CREEK, AZ 85142
CONTACT: ANDY GOFORTH
PH: 602-920-1598
EMAIL: andy@verdebuild.com

ARCHICON ARCHITECTURE
AND INTERIORS, L.C.
5055 E WASHINGTON ST.
SUITE 200
PHOENIX, AZ 85034
CONTACT: JEFFREY A KOSKI
PH: 602.222.4266
EMAIL: jefrk@archicon.com



ARCHICON
Architecture & Interiors, L.C.

5055 E WASHINGTON STREET
SUITE 200
PHOENIX, ARIZONA 85034
(602) 222-4266
FAX (602) 279-4305
www.ARCHICON.COM

PROJECT DESCRIPTION:

THIS PROJECT WILL CONSIST OF A NEW 797 SF DRIVE-THRU WITH A DUAL LANE ORDER POINTS.

SITE DATA:

ADDRESS: 3939 SOUTH VAL VISTA DRIVE
GILBERT, ARIZONA 85297

ASSESSOR PARCEL #: 304-53-131C

ZONING: CC

APPROX. SITE AREA: (NET): 38,647.80 S.F. (0.887 ACRES)
(GROSS): 50,238.00 S.F. (1.153 ACRES)

BUILDING AREA: 797 SQ. FT.

BUILDING AREA WITH CANOPIES: 1,802 SQ.FT.

FLOOR AREA RATIO: 1,802 / 38,647 = 0.0466

BUILDING COVERAGE: (INCLUDES CANOPY)= 4.67%

LANDSCAPE COVERAGE:
OFFSITE: 1,182 S.F.
ON-SITE: 14,627 S.F.
TOTAL: 15,809 S.F.
PERCENT: 38%

OCCUPANCY: B

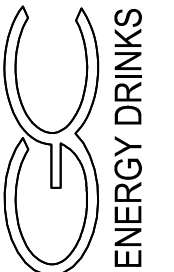
CONSTRUCTION: V-B W/ A.F.E.S.

BUILDING HEIGHT PROVIDED: 20'-11 1/4" (TOP OF ROOF PEAK)

REQUIRED PARKING CALCULATIONS:

OCCUPANCY	S.F.	FACTOR	TOTAL
RETAIL	797	1/75	10.6 SPACES
TOTAL PARKING SPACES REQUIRED:			11 SPACES
TOTAL PARKING SPACES PROVIDED:			11 SPACES
ACCESSIBLE PARKING SPACES PROVIDED:			1 SPACES - VAN ACCESSIBLE
BICYCLE SPACES:			2 SPACES

3939 S. VAL VISTA DR
N.E.C. VAL VISTA & GERMANN
GILBERT, ARIZONA



PROJECT NUMBER: 2184410-01
PROJECT MANAGER: J. KOSKI
DRAWN BY: J. KOSKI
CHECKED BY: J. KOSKI

NO	REVISION	DATE

SHEET DESCRIPTION

SITE PLAN

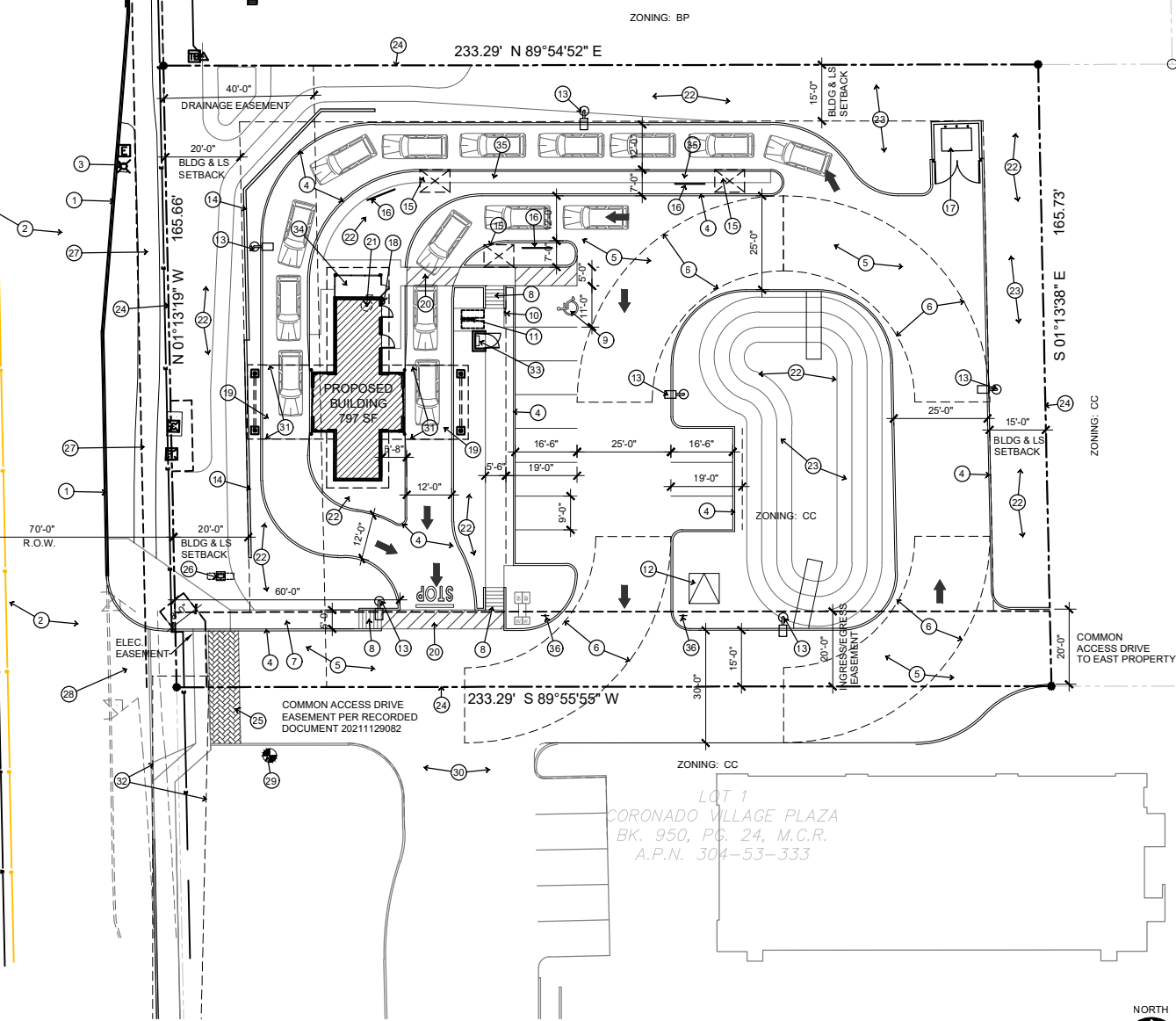


SHEET NO.

DR100

ISSUE DATE: 31 JAN 2022

SOUTH VAL VISTA DRIVE

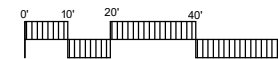


1 SITE PLAN

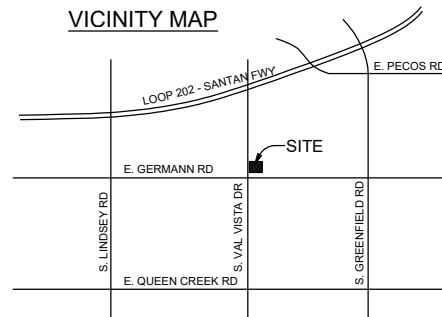
KEYNOTES

- 1 EXISTING CURB
- 2 EXISTING STREET
- 3 EXISTING STREELIGHT TO REMAIN
- 4 NEW 6" HIGH CONCRETE CURB
- 5 ASPHALT PAVING
- 6 FIRE TRUCK TURNING RADIUS, 35' INSIDE RADIUS, 55' OUTSIDE RADIUS
- 7 NEW 5'-0" WIDE CONCRETE SIDEWALK
- 8 ADA RAMP
- 9 ADA PARKING SPACE
- 10 ADA SIGNAGE
- 11 BICYCLE RACK. SEE SHEET DR110
- 12 ELECTRICAL TRANSFORMER
- 13 PARKING LOT LIGHT
- 14 3'-4" TALL CMU SCREEN WALL. STAGGERED A MINIMUM OF 1'-0" FOR EVERY 100'-0". SEE SHEET DR110
- 15 SHADE STRUCTURE. SEE SHEET DR111
- 16 PREVIEW MENU BOARD
- 17 TRASH ENCLOSURE PER T.O.G. DETAIL GIL-180. SEE SHEET DR110
- 18 F.D.C. LOCATION
- 19 COVERED CANOPY AT BUILDING
- 20 PAINTED CROSSWALK
- 21 FIRE RISER ROOM
- 22 LANDSCAPE AREA
- 23 RETENTION AREA
- 24 EXISTING PROPERTY LINE
- 25 DECORATIVE PAVING BY CIRCLE K
- 26 SIGNAGE. UNDER SEPARATE PERMIT
- 27 EXISTING SIDEWALK TO REMAIN
- 28 NEW DRIVEWAY PER T.O.G. STANDARDS. PER CIRCLE K IMPROVEMENT PLANS
- 29 FIRE HYDRANT
- 30 ACCESS TO CIRCLE K PROJECT
- 31 CONCRETE PAVING AT DRIVE-THRU TO CANOPY DRIP EDGE
- 32 SIGHT VISIBILITY TRIANGLE PER GIL-212
- 33 S.E.S. IN ENCLOSURE WITH DOOR, FULLY SCREENED. SEE SHEET DR111
- 34 SCREENED MECHANICAL YARD
- 35 3'-0" WIDE CONCRETE SIDEWALK AT DRIVETHRU
- 36 DO NOT ENTER - EXIT ONLY SIGN

SCALE: 1" = 20'-0"



VICINITY MAP



**TOWN OF GILBERT
 LANDSCAPE NOTES:**

A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION. IRRIGATION LINES MUST BE INSPECTED BEFORE BACKFILLING. A CD IN PDF FORMAT RECORD SET IS ALSO REQUIRED.

BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED. THE DEVICE MUST BE TESTED BY A STATE CERTIFIED TESTER, AND THE RESULTS FORWARDED TO THE TOWN OF GILBERT'S BACKFLOW SPECIALIST. THE TOWN OF GILBERT WILL PROVIDE AN UP-TO-DATE LIST OF STATE CERTIFIED TESTERS. ALL RELATED TESTING FEES SHALL BE AT THE EXPENSE OF THE INSTALLER.

DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HERIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.

NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.

NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FEET MINIMUM CLEAR CANOPY.

ALL TREES, SHRUBS AND GROUNDCOVERS SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS. CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED. INSTALL ALL SIDEWALKS PER ADA REQUIREMENTS.

AN AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED GUARANTEEING 100% COVERAGE TO ALL NEW AND EXISTING LANDSCAPE AREAS. GAGE, CONTROLLER, ASSOCIATED EXPOSED CONDUITS, AND ETC. SHALL CONFORM TO PREDOMINANT COLOR OF BUILDING.

ATTENTION:

THIS PLAN HAS BEEN REVIEWED FOR LANDSCAPE/IRRIGATION IMPROVEMENTS ONLY. A SEPARATE REVIEW AND PERMIT IS REQUIRED FOR STRUCTURES, ELECTRICAL, FENCES/WALLS, POOLS AND SIGNS. CONTACT THE BUILDING DEPARTMENT.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

MAINTENANCE NOTE:

ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN, WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE SPECTRUM CENTRE OWNER'S ASSOC.

ALL BACKFLOW PREVENTION DEVICES SHALL MEET THE REQUIREMENTS OF THE TOWN OF GILBERT BACKFLOW PROTECTION ORDINANCE (#869) OTHERWISE KNOWN AS ARTICLE 7-14 OF THE TOWN OF GILBERT MUNICIPAL CODE: CROSS CONNECTION CONTROL (FOR ADDITIONAL BACKFLOW SPECS., SEE: GILBERT UNIFIED LAND DEVELOPMENT CODE APPENDIX).

ALL BACKFLOW DEVICE SHALL BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE AN UP-TO-DATE LIST OF CERTIFIED TESTERS FROM WHICH TO BE SELECTED. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.

REMAIN IN PLACE LANDSCAPE:

ALL EXISTING LANDSCAPE AREAS NOTED TO "PROTECT EXISTING LANDSCAPE" SHALL BE PROTECTED. ANY DAMAGE WILL REQUIRE REPLACEMENT WITH LIKE SIZE AND LIKE TYPE.

EXISTING IRRIGATION NOTE:

THE EXISTING IRRIGATION SYSTEM AT STREET CORNER IS IN POOR CONDITION WITH SEVERAL LEAKS OBSERVED. THE EXISTING SYSTEM WILL NEED TO BE REPAIRED AND OR REPLACED AS PART OF THIS PROJECT.



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Architecture & Interiors, L.C.

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 (602) 222-4266
 FAX (602) 279-4305
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3939 S. VAL VISTA DR
 N.E.C. VAL VISTA & GERMANN
 GILBERT, ARIZONA

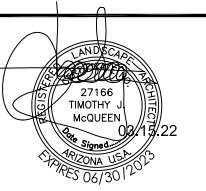


PROJECT NUMBER: 2184410-01
 PROJECT MANAGER: J. KOSKI
 DRAWN BY: J. KOSKI
 CHECKED BY: J. KOSKI

NO.	REVISION	DATE

SHEET DESCRIPTION

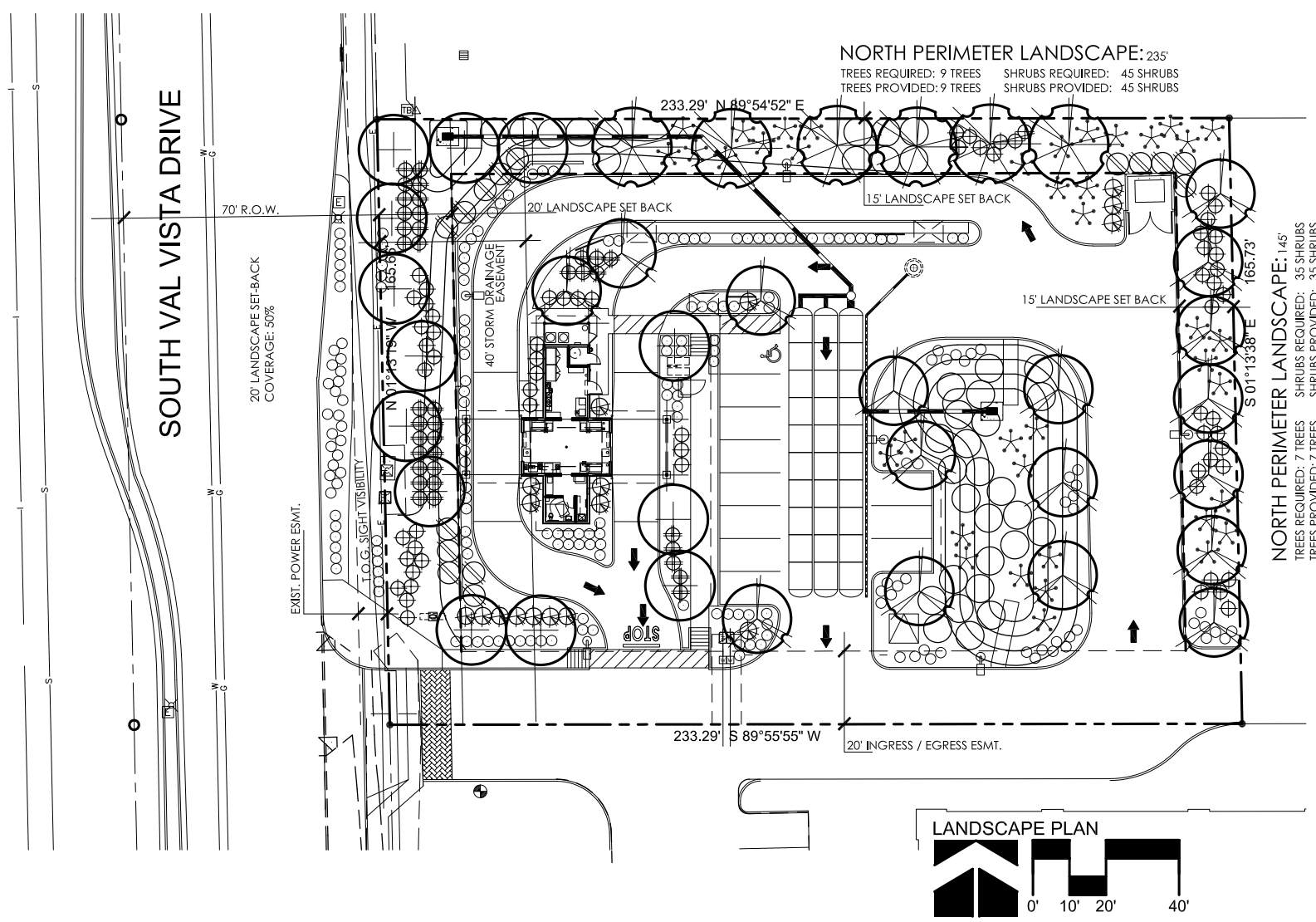
LANDSCAPE PLAN



SHEET NO.

La.01

ISSUE DATE: 03.15.22



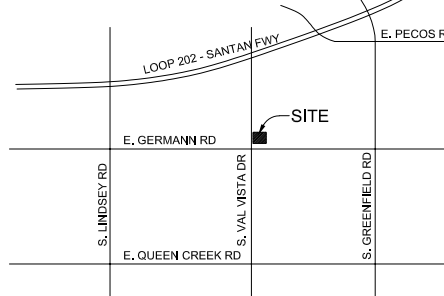
LANDSCAPE LEGEND

- | | | | |
|---|---|---|--|
| <p>TREES</p> <ul style="list-style-type: none"> ULMUS PARVIFOLIA CHINESE ELM 24" BOX (6) PISTACHE 'RED-PUSH' RED PUSH PISTACHE 24" BOX (13) ULMUS PARVIFOLIA CHINESE ELM 24" BOX (17) | <p>SHRUBS</p> <ul style="list-style-type: none"> LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' 5 GALLON (17) CAESALPINIA MEXICANA MEXICAN BIRD OF PARADISE 5 GALLON (39) TECOMA 'ORANGE JUBILEE' ORANGE JUBILEE 5 GALLON (15) | <ul style="list-style-type: none"> HESPERALOE PARVIFLORA RED YUCCA 5 GALLON (66) DASYLIRION WHEELERII DESERT SPOON 5 GALLON (37) LANTANA MONTEVIDENSIS 'GOLD MOUND' 5 GALLON (137) | <ul style="list-style-type: none"> LANTANA MONTEVIDENSIS TRAILING PURPLE 1 GALLON (62) ACACIA REDOLENS 'DESERT CARPET' 1m 1 GALLON (37) 1/2" SCREENED MDI IRON SPRINGS DECOMPOSED GRANITE 2" DEPTH IN ALL LANDSCAPE AREAS |
|---|---|---|--|

LANDSCAPE DATA:

OFF-SITE LANDSCAPE: 1,182 SQ.FT.
 ON-SITE LANDSCAPE: 14,627 SQ.FT.
 TOTAL LANDSCAPE: 15,809 SQ.FT.
 NET SITE AREA: 38,647 SQ.FT.
 PERCENT OPEN SPACE: 38%
 GROSS SITE AREA: 50,238 SQ.FT.

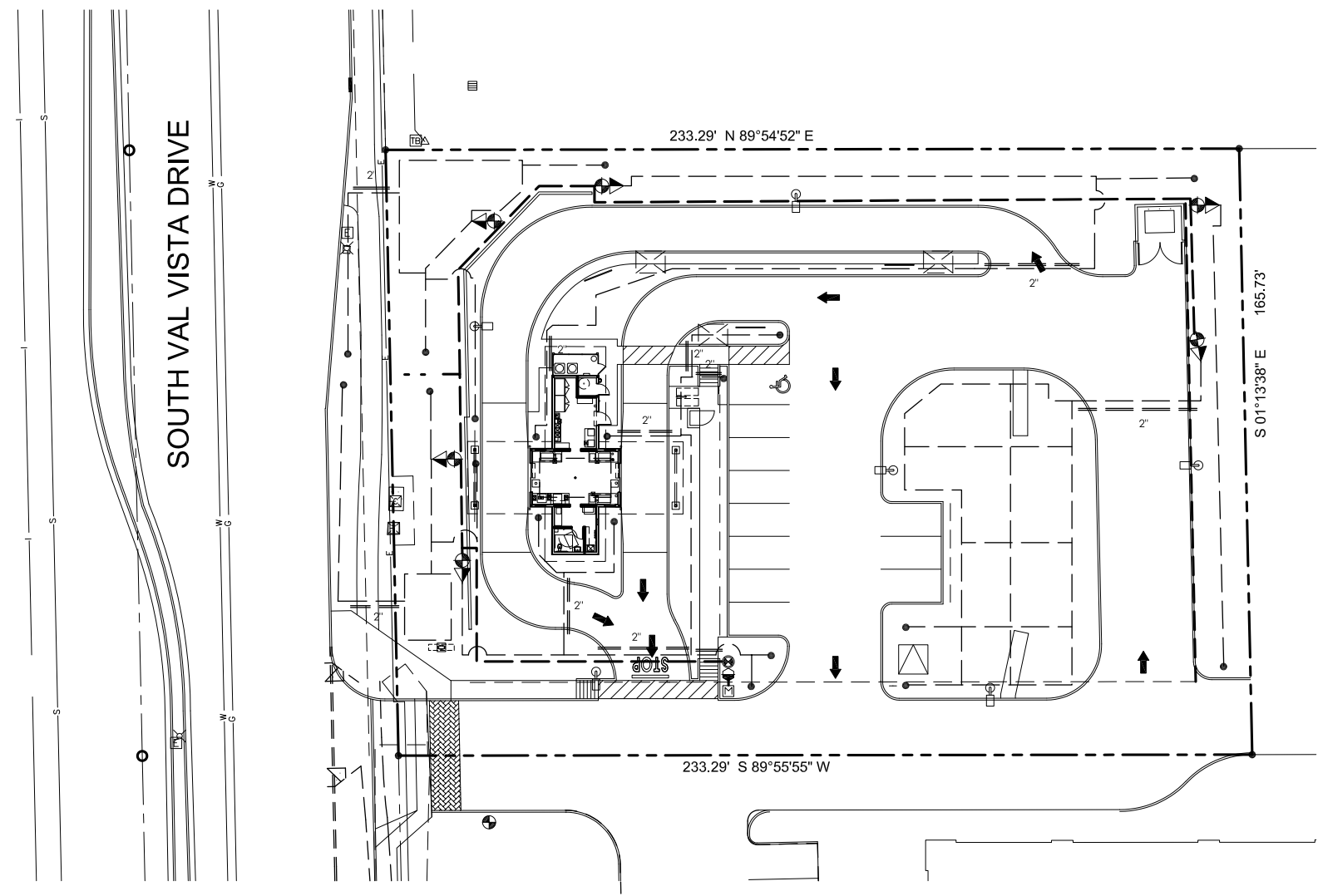
VICINITY MAP



T.J. McQUEEN & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 SITE PLANNING
 10450 N. 74th Street, Suite 120
 Scottsdale, Arizona 85258
 P. (602) 265-0320
 EMAIL: timmcqueen@tjma.net



T.J. McQUEEN & ASSOCIATES, INC. LANDSCAPE ARCHITECTURE (TJMA) EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT IN OTHER PROPERTY RIGHTS IN THESE PLANS, WHICH ARE HEREBY NOT TO BE REPRODUCED, COPIED, OR OTHERWISE USED FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION OF T.J. McQUEEN & ASSOCIATES, INC. COPYRIGHT 2022. ALL RIGHTS RESERVED.



SOUTH VAL VISTA DRIVE

CLARITY NOTE:

FOR GRAPHIC CLARITY THE EMITTERS HAVE NOT BEEN SHOWN. VERIFY EMITTER COUNT WITH PLANT COUNT AND EMITTER SCHEDULE.

FOR GRAPHIC CLARITY THE SLEEVES HAVE NOT BEEN SHOWN. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR ALL SLEEVES PER THE FOLLOWING SCHEDULE.

SLEEVING SCHEDULE:

WIRES 2" SCH. 40 PVC (QTY AS REQUIRED)
 MAIN LINE 4" SCH. 40 PVC (OR DBL THE MAINLINE SIZE)
 DRIP LATERAL 2" SCH. 40 PVC
 TURF LATERAL 3" SCH. 40 PVC (OR DBL THE LATERAL LINE SIZE)

EMITTER SCHEDULE

PLANT SIZE	GA. PER HR.	EMITTER SIZE
36" BOX	6	(1) HUNTER MPE-20
24" BOX	4	(1) HUNTER MPE-20
15 GALLON	4	(1) HUNTER MPE-10
5 GALLON	1	(1) HUNTER HEB-10
1 GALLON	1	(1) HUNTER HEB-10

NOTES:

EMITTER SIZING AND QUANTITIES MAY VARY DEPENDING ON SOIL TYPE AND CLIMATE CONDITIONS VERIFY PRIOR TO BID. ALL NON-METALLIC WATER AND IRRIGATION PIPING LARGER THAN 2" REQUIRE MIN. 18 AWA INSULATED COPPER TRACER WIRE SUITABLE FOR DIRECT BURIAL

THE IRRIGATION CONTRACTOR MAY SUBSTITUTE (1) MULTI EMITTER FOR (6) SINGLE EMITTERS IN GROUND AREAS AS LONG AS DIST. TUBING DOES NOT EXCEED 5 FT

FOUNDATION NOTE:

NO END CAPS ARE TO BE PLACED WITHIN 15' OF ANY FOUNDATION OR FOOTING. ADJUST LAYOUT AS REQUIRED.
 NO HIGH WATER USE, OR HIGH FLOW PRODUCTS ARE TO BE USED WITHIN 15' OF ANY FOUNDATION OR FOOTING. THE IRRIGATION IS TO BE MONITORED ON A REGULAR BASIS TO AVOID SOIL SATURATION AROUND FOUNDATIONS AND FOOTINGS. THIS IRRIGATION PLAN IS DIAGRAMATIC ADJUST LAYOUT AS REQUIRED.

IRRIGATION LEGEND

- 1" LANDSCAPE METER
- FEBCO 825-YA-1" R.P. ASSY. W/ GUARDSHACK CAGE PAINTED TO MATCH BUILDING
- HUNTER ICV-(SIZE PER MAINLINE) MASTER VALVE INSTALL IN VALVE BOX ADJACENT TO BACKFLOW
- HUNTER DRIP CONTROL ZONE KIT
 PCZ-101-25 (30gph to 600gph) (.5gpm to 10gpm)
 ICZ-101-25 (601gph to 1,200gph) (10gpm to 20gpm)
- HUNTER I-CORE-1C-600-M (MODULES AS REQUIRED)
 6 STATION CONTROLLER (POWER PER GENERAL CONTRACTOR)
- HUNTER HEB-10 (1/2" THREADED) PRESSURE COMP. SINGLE PORT EMITTER
- HUNTER MPE-(SIZE PER SCHEDULE) (1/2" THREADED) PRESSURE COMP. MULTI PORT EMITTER
- 1.5" MAINLINE (SCH40)
- CLASS 200-3/4" DRIP LATERAL LINE
- AG PRODUCTS SELF FLUSHING ENDCAP (SEE FOUNDATION NOTE)
- SCH 40 PVC SLEEVE (SEE SLEEVING SCHEDULE)

PIPE SCHEDULE

PIPE SIZE	GPM	PIPE CLASS
1/2"	0-5	315
3/4"	6-10	200
1"	11-15	200
1 1/4"	16-25	200
1 1/2"	26-35	200
2"	36-60	200

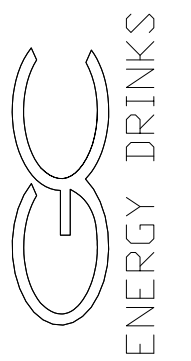
NOT SHOWN FOR GRAPHIC CLARITY

T.J. McQUEEN & ASSOCIATES, INC.
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 N.E.C. VAL VISTA & GERMANN
 GIBLERT, ARIZONA

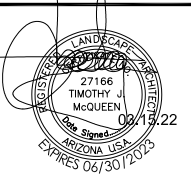


PROJECT NUMBER: 2184410-01
 PROJECT MANAGER: J. KOSKI
 DRAWN BY: J. KOSKI
 CHECKED BY: J. KOSKI

NO.	REVISION	DATE

SHEET DESCRIPTION

LANDSCAPE PLAN

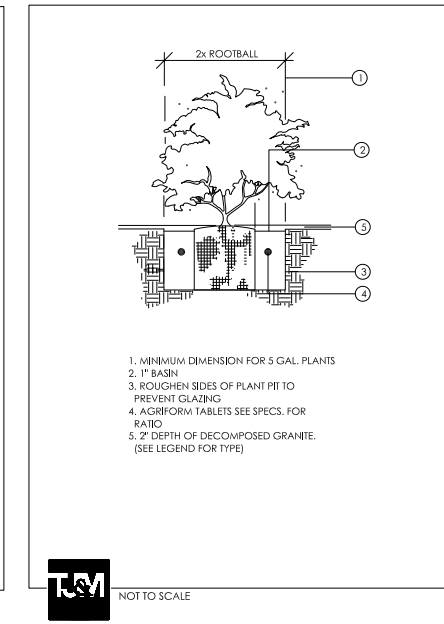
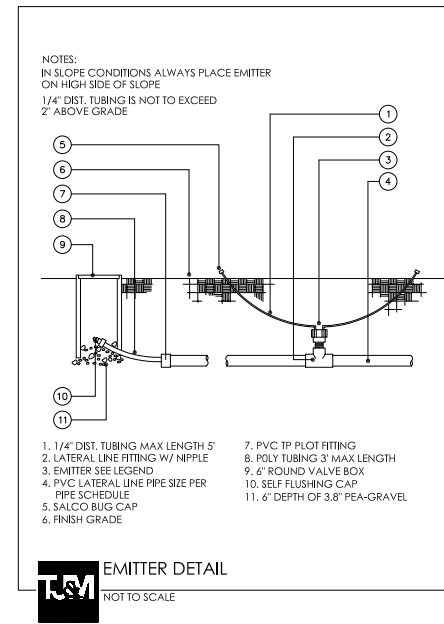
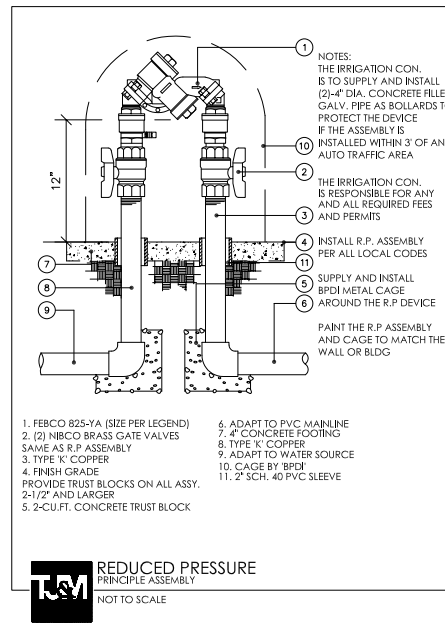
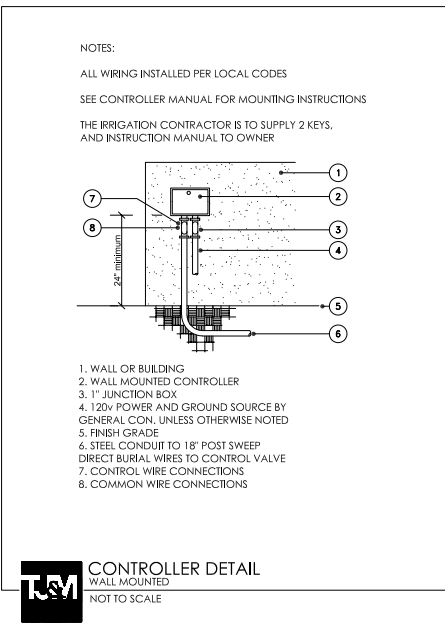
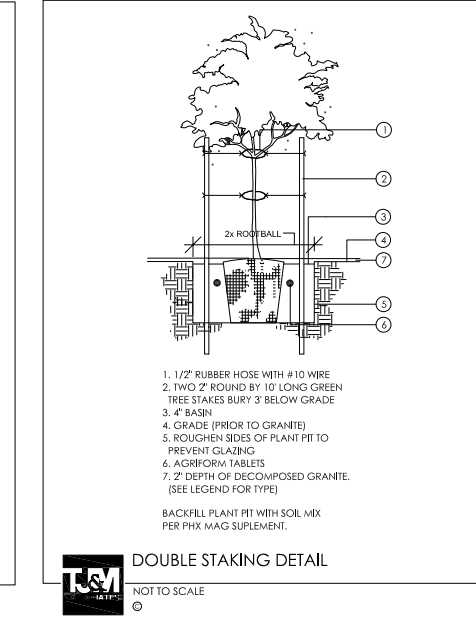
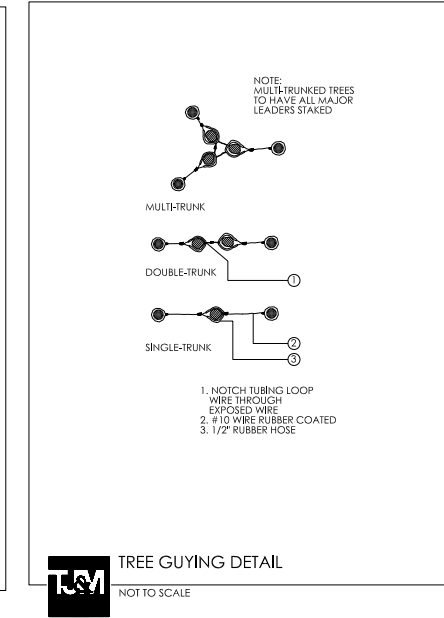
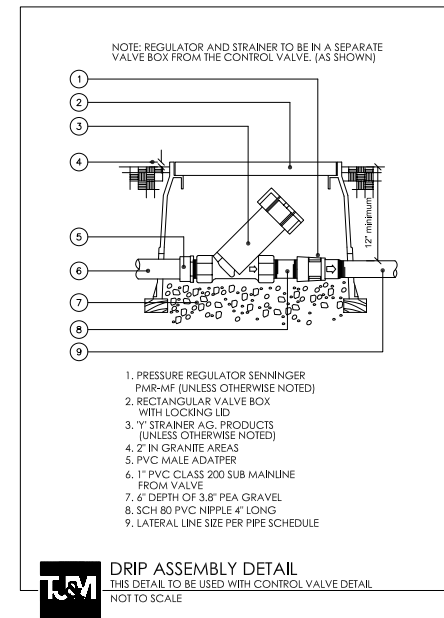
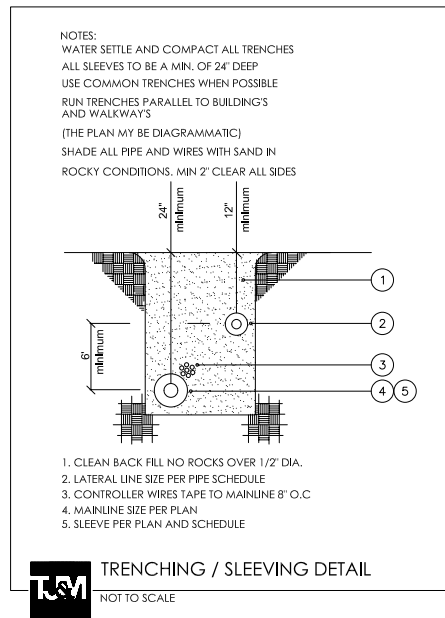
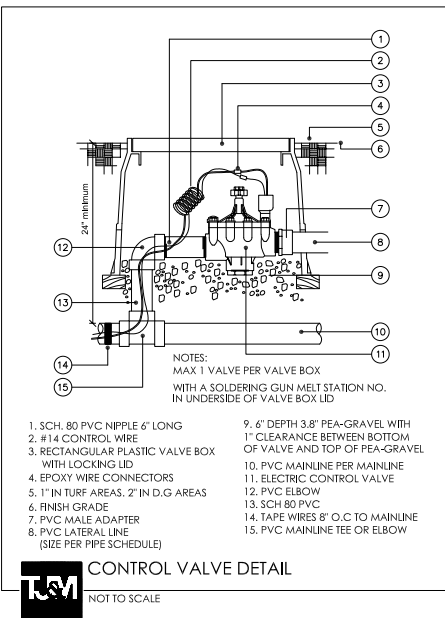


SHEET NO.

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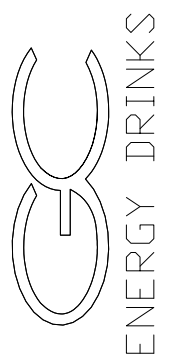
ISSUE DATE: 03.15.22

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GIBLERT, ARIZONA



PROJECT NUMBER: 2184410-01
PROJECT MANAGER: J. KOSKI
DRAWN BY: J. KOSKI
CHECKED BY: J. KOSKI

NO.	REVISION	DATE

SHEET DESCRIPTION
LANDSCAPE PLAN



SHEET NO.
La.03

ISSUE DATE: 03.15.22

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UNDERGROUND SPRINKLER SYSTEM

- Part 1 - General
1.01 WORK INCLUDED
A. The work included under these specifications shall consist of the furnishing of all labor, materials, permits, tools, and equipment necessary for the complete installation of a sprinkler irrigation system in accordance with the following specifications and accompanying drawings.

- operating system.
B. All electrical work shall be done in accordance with the National Electrical Code and local ordinances.
C. All wire connections, at remote control valves (either direct buried or in control boxes) and at all wire splices, shall be left with sufficient "slack" so that in case of repair the valve bonnet or splice may be brought to the surface without disconnecting the wiring.
D. Each remote control valve or group of remote control valves, which are to be connected to one station of a controller, shall have wire sizes as shown in the wiring diagrams on the drawings or as specified. All remote control valves, which are to be connected to the same controller, shall be connected to a common ground wire to size as shown on the drawings or as specified. Each individual controller shall have a separate common ground wire system entirely independent of the common ground wire system of all other controllers. Only those remote control valves which are being controlled by one specific controller shall be connected to that controller's common ground wire system.

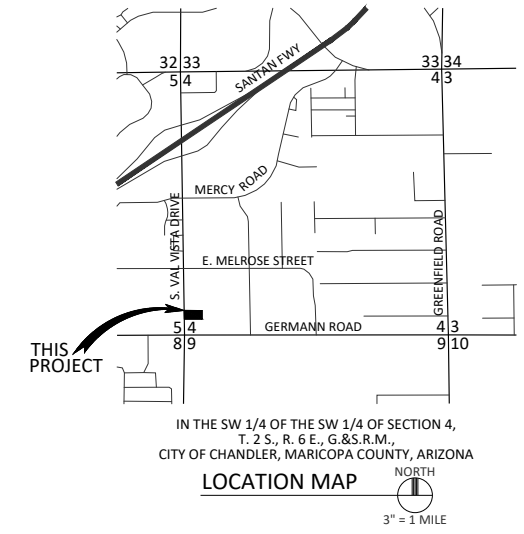
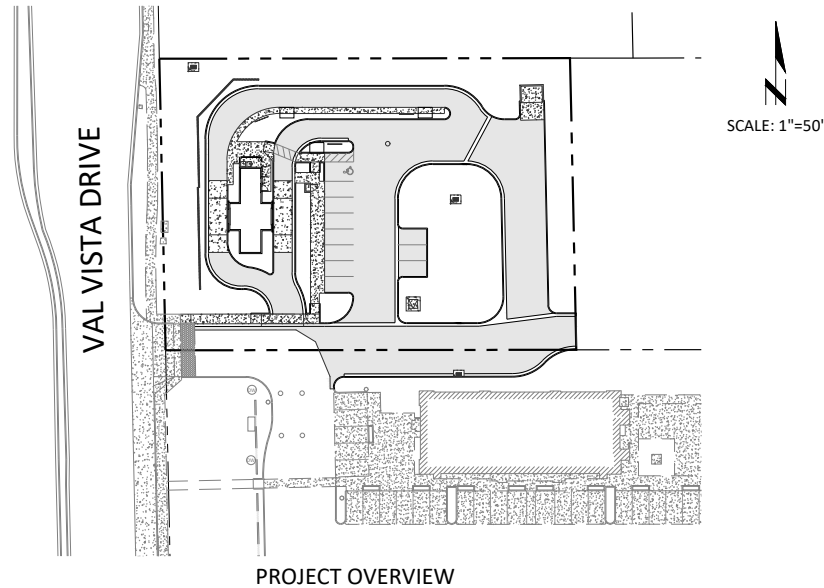
- 3.09 INSPECTION FOR ACCEPTANCE
A. Inspection of the landscaping work to determine completion of contract work, exclusive of the possible replacement of plants, will be made by the Landscape Architect at the conclusion of the maintenance period.
B. Acceptance: After inspection, the Contractor will be notified in writing by the Landscape Architect of acceptance of all work of this Section, exclusive of the possible replacement of plants subject to reinspection and guarantee, or if there are any deficiencies of the requirements for completion of the work.
C. Upon acceptance made by the Landscape Architect, the Contractor maintenance is terminated and the guarantee period begins.
3.10 PLANT GUARANTEE AND REPLACEMENT/FINAL ACCEPTANCE
A. The tree guarantee is for a period of one year from date of acceptance by the Landscape Architect. The guarantee is for all new plant material.
B. The shrub guarantee is for a period of 90 days from date of acceptance by the Landscape Architect. The guarantee is for all new plant material.
C. At the end of the guarantee period, the Landscape Architect shall reinspect all guaranteed work for Final Acceptance upon written request of Contractor. Request shall be received at least ten (10) calendar days before anticipated date for final inspection. Upon final inspection and reinspection of replacements or repairs necessary in judgment of Landscape Architect at that time, Landscape Architect shall certify in writing to Owner as to Final Acceptance of plantings. Contractor shall replace, without cost to Owner, as soon as weather conditions permit, and within specified planting period, all dead plants and all plants not in vigorous, thriving condition as determined by Landscape Architect at end of guarantee period. Plants shall be free of dead or dying branches and branch tips, and shall bear foliage of normal density, size and color. Replacements shall closely match adjacent specimens of same species and shall be equal in size to previously planted specimens, including increased growth since planting. Replacement shall be subject to all requirements of this Specification.
D. Portions of lawns and/or plantings may be accepted in part upon Landscape Architect's approval.
4.01 FINISH GRADING AND GRADING
A. The General Contractor to provide Landscape Contractor finish grade within + 0.1 of a foot as shown on the civil grading plan and landscape plan.
B. All mounding, berms and finish grading to be approved by the Landscape Architect prior to planting or irrigation work.
4.02 GENERAL NOTES
A. The Landscape Contractor at his own expense shall procure all permits, certificates, and licenses required of him by law for the execution of this work. He shall comply with all state, county, and local laws, ordinances, rules or regulations relating to the performance of this work. All deductions or additions will be made through a change order issued by the Architect. Changes made without a change order are not considered part of the contract and payment cannot be guaranteed.
B. The Contractor shall visit and inspect site to thoroughly inform himself of all existing conditions. Any discrepancies between existing conditions and those shown on drawings shall immediately be brought to the attention of the Landscape Architect.
NOTES:
1. Field locate all irrigation equipment in landscape areas - some lines are schematic.
2. Coordinate programs to avoid station overlap.
3. Reduce radius as necessary to prevent overstay on turf and shrub sprays.
4. Size and provide Schedule 40 PVC sleeves (approx. twice diameter of pipe) under all walkways, kooledge, curbs & drives as necessary on all irrigation equipment, at a depth of 24" below grade.
5. Contractor shall install all equipment as per manufacturer's specifications and as per city codes.
6. Any substitutions are to be approved by the Landscape Architect.
7. Length of poly to be no greater than five (5) feet from PVC lateral (typical for all rigid drip systems).
8. Install vacuum breaker twelve (12) inches above highest head or lateral pipe in system. Install per local plumbing codes.
9. Contractor shall guarantee 100% coverage in all landscape areas.
10. Contour or berm planter areas to achieve adequate coverage from flood bubbles.
11. All heads to be adjusted so that there is minimum overthrust onto pavement, walls and buildings.
12. All pots and plants to be on a separate valve.
13. Contractor to receive a minimum 48 hour notice prior to sleeving.
14. Mainline to have a minimum of twenty four (24) inches of cover. Lateral lines to have a minimum twelve (12) inches of cover. Lines under paving shall be Sch. 40 PVC. All trenches to be backfilled, compacted, and water settled.
15. All drawings to be bid per plan. No value engineering or substitutions will be accepted during bidding.

- 3.01 INSPECTION OF PLANT MATERIAL
A. Plants shall be subject to inspection and approval by Landscape Architect at place of growth and upon delivery. Written request for inspection of plant materials at place of growth shall be submitted to Landscape Architect at least ten (10) calendar days prior to delivery. This written request shall state place of growth and quantity of plants to be inspected. Landscape Architect reserves the right to waive inspection. Such approval shall not impair the right of inspection and rejection upon delivery at the project site or during the progress of the work for size and condition of balls or roots, diseases, insects, and latent defects or injuries. Rejected plants shall be immediately removed from the project site.
B. Certificates of inspection of plant materials may be required by Federal, State or other authorities to accompany shipments and be furnished to Owner upon completion of project.
3.02 DIGGING AND HANDLING
A. Digging shall be done the same season of planting and shall be done by hand as to not injure plants and to meet size requirements. No plant other than the required samples shall be dug or delivered to the site until the required inspections have been made and the plants or samples approved.
B. Dig holes and burrlapped (BB) plants with firm, unbroken natural balls of earth, of sufficient diameter and depth to include the fibrous and feeding roots. No synthetic or mudded in balls will be accepted. No plants moved with a ball will be accepted if the ball is cracked or broken before or during planting operations.
C. Roots or balls of all plants shall be adequately protected at all times from excessive exposure to wind, sun, rain, hail, etc. Balled and burrlapped plants shall be planted immediately on delivery shall be set out on the ground and well protected with soil, wet moss and other acceptable material. Bare rooted plants shall be planted or heeled-in immediately upon delivery.
D. All plant material shall be handled carefully to prevent injury to rootballs, trunks, or branches. Any plant suffering damage sufficient to impair its health and/or natural form will be rejected. No plant shall be bound with wire or rope of any type so as to damage the bark or break branches.
3.03 TIME OF PLANTING
A. The contractor shall notify the Landscape Architect in writing when other divisions of the work have progressed sufficiently to commence landscaping work, including paving of topsoil to finish grade. Thereafter, conduct planting operations under favorable weather conditions.
B. Any plant material installed during typical off seasons (hot summer months or freezing winter months) shall be done at the Contractor's own risk and the Contractor shall be held responsible for replacement of any plant material damaged due to these adverse conditions.
3.04 PLANTING OPERATIONS
A. General
1. The Contractor shall coordinate all aspects of the landscape operations with all aspects of the site construction. The work shall proceed as the indicated portions of the site become available, consistent with the seasonal limitations for landscape planting.
2. The Contractor shall be responsible for any damage to utilities construction, sewer construction, and underground sprinkler systems and shall bear the full cost to repair the damage. Accomplishment of repairs shall be equal to the original conditions. Any damage to utilities shall be immediately reported to the Landscape Architect and repairs shall be approved by him before it is buried.
3. Maintain all trench or grade stakes for work under other Sections until their removal is approved by the Landscape Architect.
4. The Contractor shall stake plant location, shrub pits and other planting areas and secure the Landscape Architect's approval before starting excavation of same, making adjustments as necessary.
5. Unless otherwise directed by the Landscape Architect, indication of planting on drawings is to be interpreted as including digging of hole, furnishing plant of specified size, work of planting, mulching, guying, staking, wrapping and watering.
B. Plant Pits and Beds
1. Plant pits shall be excavated with vertical sides, large enough to allow twelve (12) inches of space around the ball in all directions. Adjust depth as necessary to permit a minimum of twelve (12) inches planting soil over the ball when the plant is set on the proper depth.
2. Planting pit backfill for all trees and shrub shall be as follows:
a. 2/3 parts by volume forest mulch.
b. 1/3 parts by volume forest mulch.
c. One pound 16-20-0 per cubic yard of mix.
3. Planting pits shall be backfilled with forest mulch and be water settled to a grade sufficient that in the setting of the plant, the finish grade level after settlement will be the same as that at which plants were grown. Agriform tablets to be used with each planting (six for 36-inch box, three for 15 gallon, two for 5 gallon, and one for 1 gallon).
C. Installations
1. Set plants in center of pits, plumb and straight and at such a level that after settlement the crown of the plant shall be two (2) inches below the finish grade and forming a shallow trough directly over the ball of earth and slightly smaller than the pit to facilitate watering. Space all plants as shown.
2. Set balled and burrlapped plants upon a well tamped layer of planting soil. Backfill around ball with planting soil in six to eight (6 - 8) inch lifts, each thoroughly tamped and puddled to top of pit. Avoid air pockets. Remove all ropes and wires from tops and sides of balls. No burtop shall be pulled out from under the balls.
3. Containers supplied with plants immediately upon receipt shall be removed from their containers. Removal of plants from containers shall be in a manner that will not disturb the root system of the soil in which they were planted. Under no conditions shall the plant be removed from the containers by pulling the main stem or cutting the plant at the root. No plants shall be installed in their containers remaining attached. Before install bare root plants, planting soil shall be placed and compacted to a depth of twelve (12) inches in the bottom of the planting pit. The plant shall be installed with their roots evenly distributed and spread in their natural position, with the planting soil being carefully placed and compacted around the roots so as to leave no air space.
D. Pruning, Wrapping, Mulching, Staking and Spraying
1. Pruning
a. Plants shall not be pruned prior to delivery unless Landscape Architect gives written permission. Pruning will occur only at time of planting and according to standard horticultural practice and at the direction of the Landscape Architect. Amount of pruning shall be limited and is not to exceed thirty-three percent (33%) of plant as necessary to remove dead or injured twigs and branches and to compensate for root loss resulting from transplanting. Do not cut leaders.
b. Remove all dead wood, suckers, and broken or badly bruised branches.
c. Pruning shall be done with clean, sharp tools according to standard horticultural practices. Cuts shall be made flush leaving no splits.
d. Cuts over 1/2 inch diameter shall be painted over with approved tree paint. Paint shall cover all exposed cambium as well as other exposed living tissue. Injured cambium and bruises and scars shall be trocked back to living tissue and removed. Smooth and shape wounds so as not to retain water. Treat wound with paint.
2. Staking and Guying
a. Stake or guy all trees per detail. Trees which blow down, sway excessively, or are otherwise injured because of improper bracing shall be replaced at Contractor's expense.
3. Spraying
a. All ground cover and non-lawn areas shall be treated with pre-emergent.
4. Decomposed Granite
a. Prior to planting, the area shall be totally free of weeds using chemical control. Apply a pre-emergence control (Surflan or prior approved equivalent) according to manufacturer's recommendations. The decomposed granite shall be evenly distributed at the designated areas to a depth of two (2) inches. After placing and grading, lightly water to remove fine material from the surface and water settle or roll to an extent satisfactory to the Landscape Architect. Apply second application of pre-emergence control according to manufacturer's recommendations.
b. Decomposed granite shall be "Madison Gold" in color, 1/2 inch minus in size, shall be free from lumps or balls of clay and shall not contain calcareous coating, caliche, organic matter or deleterious substances. Color and source of decomposed granite shall be approved by Landscape Architect. All material shall be from a single production source and shall present a uniform appearance. Material containing clumps which will not disintegrate with a shovel blow shall be rejected.
5. Workmanship - Decomposed Granite
a. Install rock to a depth as indicated on the plans (typically two inches thick).
6. Workmanship - Berms
a. Earth berms (mounding) shall take the form indicated on the plans. The Landscape Architect shall inspect and approve all finished grades prior to any planting.
7. Cleaning Up
a. Keep all areas of this project in a clean, neat and orderly condition at all times. Trash burning and disposal shall not be done on the site. Prior to acceptance put all areas of the work in a finished condition according to the Landscape Architect.
3.05 OBSTRUCTIONS BELOW GROUND
A. In the event that rock or underground construction work or obstructions are encountered in the excavation of plants pits, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed, remove the obstructions (but not new construction work) to a depth of not less than six (6) inches below the required pit depth.
B. Proper drainage of plant pits is necessary. Bring subsoil conditions permitting the retention of water in planting pits for more than twenty-four hours to that attention of the Landscape Architect with proposals for corrections. If soil conditions indicate modifications as directed by Landscape Architect, the changes required will not increase the contract price.
3.06 MAINTENANCE
A. Protect and maintain plant material (trees, shrubs, groundcover, lawn and vines) immediately after planting. Maintenance to be provided for sixty (60) days from acceptance by the Landscape Architect. At the end of sixty (60) days the Landscape Architect may extend the maintenance period if during that period the maintenance is not acceptable. Maintenance includes watering, weeding, cultivating, mulching, lightening and repairing of guys, removal of dead material, resetting plants to proper grade or upright positions and restoration of the planting source and other construction work until acceptance.
B. Maintenance to be provided for sixty (60) days from acceptance by the Landscape Architect. At the end of sixty (60) days the Landscape Architect may extend the maintenance period if during that period the maintenance is not acceptable. Maintenance includes watering, weeding, cultivating, mulching, lightening and repairing of guys, removal of dead material, resetting plants to proper grade or upright positions and restoration of the planting source and other construction work until acceptance.

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ENERGY DRINKS
PROJECT NUMBER: 21844-01-01
PROJECT MANAGER: J. KOSKI
DRAWN BY: J. KOSKI
CHECKED BY: J. KOSKI
NO. REVISION DATE
SHEET DESCRIPTION
LANDSCAPE PLAN
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SHEET NO. La.04
ISSUE DATE: 03,15,22

PRELIMINARY IMPROVEMENT PLAN for GRAVITY ENERGY DRINKS - VAL VISTA AND GERMANN

18619 SOUTH VAL VISTA DRIVE GILBERT, ARIZONA
 A PORTION SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN MARICOPA COUNTY, ARIZONA



CYPRESS CIVIL
 4450 north 12th street
 suite 228
 phoenix, arizona 85014
 p: 623.282.2498
 e: jphunt@cypresscivil.com

NO.	DATE	REVISION

PRELIMINARY IMPROVEMENT PLAN for GRAVITY ENERGY DRINKS - VAL VISTA + GERMANN
 18619 SOUTH VAL VISTA DRIVE GILBERT, ARIZONA
 cover

PROJECT INFORMATION

- PROJECT DESCRIPTION:
 THE PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE-STORY RESTAURANT WITH ALL REQUIRED GRADING & DRAINAGE, PARKING, UTILITY AND PAVING REQUIREMENTS.
- ADDRESS:
 18619 SOUTH VAL VISTA DRIVE
 GILBERT, ARIZONA 85297

 APN: 304-53-131C
- ZONING: CC
- SITE AREA: 38,635 SF (0.89 AC)

LEGAL DESCRIPTION

THE WEST 1 ACRE OF THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH HALF OF THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 4, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.

EXCEPT THE WEST 70 FEET.

SURVEY NOTES

- THE SURVEY FOR THIS PROJECT WAS PERFORMED BY:
 SUPERIOR SURVEYING SERVICES, INC.
 2122 WEST LONE CACTUS DRIVE, SUITE 11
 PHOENIX, ARIZONA 85027
 PH: 623-869-0223
 CONTACT: DAVID S. KLEIN, R.L.S.
- THE BASIS OF BEARINGS FOR THIS PROJECT IS THE MONUMENT LINE OF VAL VISTA DRIVE, ALSO BEING THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 4, USING A BEARING OF N 01°13'19" W, AS PER THE AMENDED FINAL PLAT OF "MERCY POINT MEDICAL CENTER" IN BOOK 932 OF MAPS, PAGE 34, RECORDS OF MARICOPA COUNTY, ARIZONA.
- THE BASIS OF ELEVATION FOR THIS PROJECT IS THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION BENCHMARK UNIQUE POINT ID: 12733, BEING A 3" TOWN OF GILBERT BRASS CAP IN HANDHOLE, LOCATED AT THE INTERSECTION OF GERMANN ROAD AND GREENFIELD ROAD, HAVING AN ELEVATION OF 1294.233', (NAVD88).

BENCHMARK

THE BENCHMARK USED FOR THIS PLAN IS THE MARICOPA COUNTY DEPARTMENT OF TRANSPORTATION BENCHMARK UNIQUE POINT ID: 12733, BEING A 3" TOWN OF GILBERT BRASS CAP IN HANDHOLE, LOCATED AT THE INTERSECTION OF GERMANN ROAD AND GREENFIELD ROAD, HAVING AN ELEVATION OF 1294.233', (NAVD88).

PROJECT RETENTION

REQUIRED ONSITE RETENTION VOLUME (50-YEAR, 24-HOUR = 3.0")
 VOLUME [CF] = (D [IN] / 12) x AREA [SF] x Cw

ONSITE:
 Cw = CALCULATED IN PROJECT DRAINAGE REPORT
 Cw = 0.81

V = D x A x Cw
 V = [3/12] x 33,925 x 0.81
 V = 6,870 CF

OFFSITE (VAL VISTA DRIVE HALF-STREET):
 Cw = 0.90
 V = [3/12] x 11,785 x 0.90
 V = 2,652 CF

TOTAL REQUIRED RETENTION = 9,522 CF

PROVIDED:
 SURFACE RETENTION BASIN = 4,000 CF
 U/G MC-3500 CHAMBER RETENTION = 5,643 CF
 • 30 CHAMBERS @ 178.9 CF/EA
 • 6 ENDCAPS @ 46.0 CF/EA
 • ASSUMES 9" STONE BASE
 • ASSUMES 40% ROCK VOID RATIO

TOTAL PROVIDED = 9,643 CF

REQUIRED RETENTION BASIN VOLUME FROM SOUTH SHARED DRIVE TO CONTRIBUTE TO RETENTION SYSTEM ON ADJACENT DEVELOPMENT (50-YEAR, 24-HOUR = 3.0")
 VOLUME [CF] = (D [IN] / 12) x AREA [SF] x Cw

Cw = 0.90
 V = D x A x Cw
 V = [3/12] x 1,740 x 0.90
 V = 392 CF

DRYWELL CALCULATIONS

TOTAL RETAINED VOLUME = 9,522 CF

DRYWELL DISSIPATION RATE = 0.1 CFS

TIME [SEC] = VOLUME [CF] / RATE [CFS]

t = 9,522 / 0.1 = 95,220 SEC = 26.5 HOURS

DRAINAGE STATEMENT

- SITE IS IN A SPECIAL FLOOD HAZARD AREA - NO
- OFFSITE FLOWS AFFECT THIS SITE - YES, VAL VISTA DRIVE HALF-STREET.
- RETENTION PROVIDED IS 50-YR, 24-HR
- EXTREME STORM OUTFALLS THE SITE AT THE SOUTHWEST DRIVEWAY AT THE ELEVATION OF 1280.73.

FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP PANEL NUMBER 04013C2744M, DATED NOVEMBER 4TH, 2015 THE PARCEL IS LOCATED IN THE ZONE X (UN-SHADED) AREA, WHICH IS DEFINED AS AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOOD AREA.

OWNER/DEVELOPER

VERDE BUILDING CORPORATION
 18521 EAST QUEEN CREEK ROAD, #105
 QUEEN CREEK, ARIZONA 85142
 PH: 480-883-0971
 ATTN: SUZANNE FROST

CIVIL ENGINEER

CYPRESS CIVIL DEVELOPMENT
 4450 NORTH 12TH STREET, #228
 PHOENIX, ARIZONA 85014
 PH: 623-282-2498
 ATTN: JEFF HUNT

ARCHITECT

ARCHICON ARCHITECTURE & INTERIORS, LC
 5055 E. WASHINGTON STREET, SUITE 200
 PHOENIX, ARIZONA 85034
 PH: 602-222-4266
 ATTN: JEFFREY A. KOSKI

UTILITIES

WATER: TOWN OF GILBERT
 SEWER: TOWN OF GILBERT
 ELECTRIC: SALT RIVER PROJECT
 GAS: SOUTHWEST GAS
 TELEPHONE: CENTURY LINK
 CABLE: COX COMMUNICATIONS

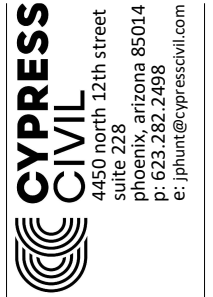
SHEET INDEX

- COVER SHEET
- GRADING AND DRAINAGE PLAN
- ONSITE UTILITY PLAN



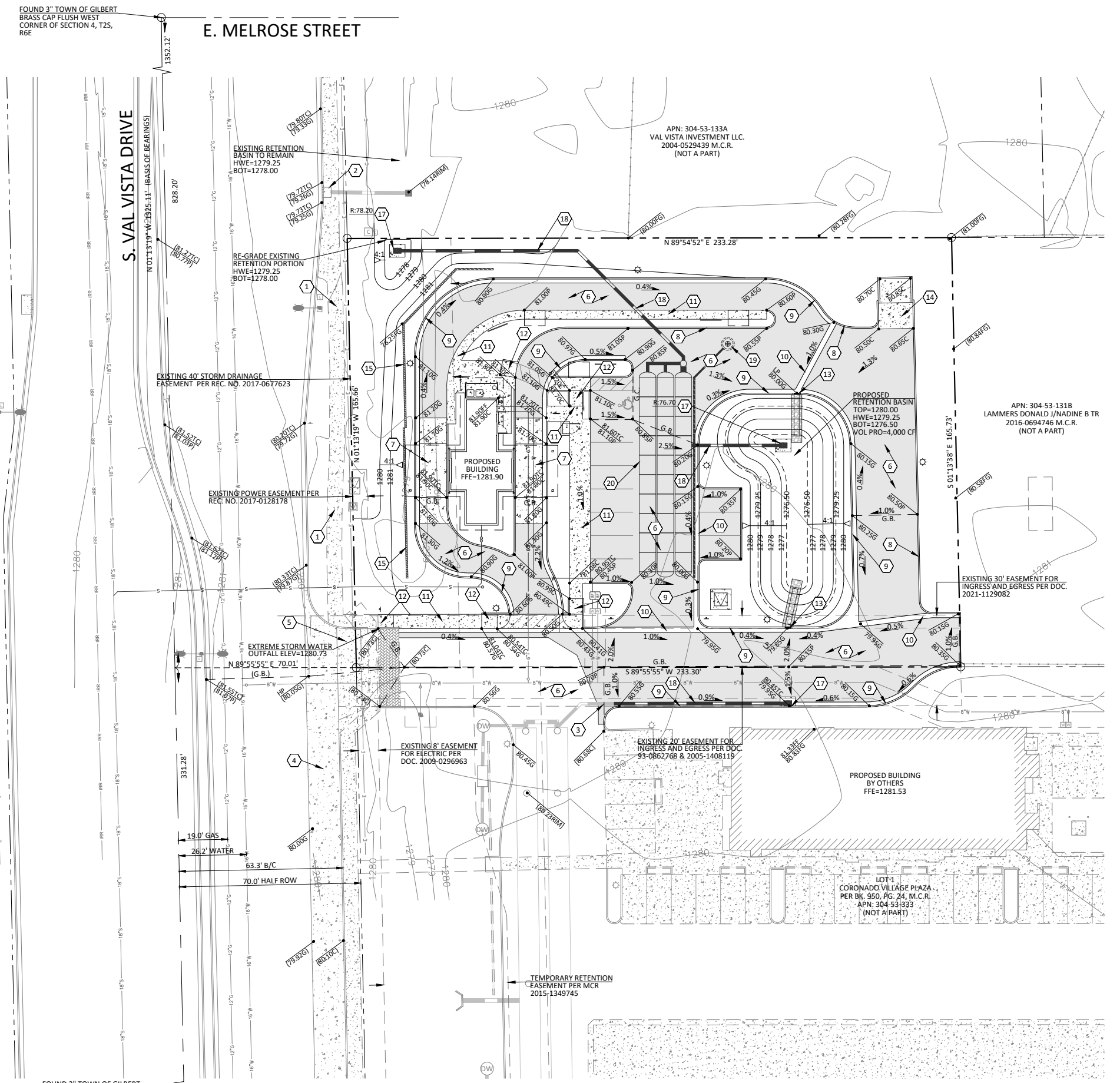
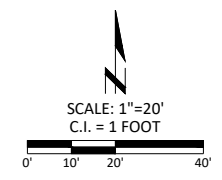
DRAWN:	PT
DESIGNED:	BT
CHECKED:	JH
DATE:	03-11-2022
JOB NO:	21.059
SHEET NUMBER	





KEYNOTES

- 1 EXISTING CONCRETE SIDEWALK TO REMAIN.
- 2 EXISTING CATCH BASIN AND BUBBLE-UP STRUCTURE TO REMAIN.
- 3 STORM DRAIN STUB BY OTHERS.
- 4 NEW RIGHT TURN LANE BY OTHERS.
- 5 NEW CONCRETE DRIVEWAY BY OTHERS.
- 6 NEW ASPHALT PAVEMENT.
- 7 NEW CONCRETE PAVEMENT.
- 8 NEW CONCRETE VERTICAL CURB.
- 9 NEW CONCRETE VERTICAL CURB AND GUTTER.
- 10 NEW VALLEY GUTTER.
- 11 NEW CONCRETE SIDEWALK.
- 12 NEW ACCESSIBLE RAMP.
- 13 NEW CURB OPENING AND RIP-RAP SPILLWAY.
- 14 NEW TRASH ENCLOSURE AND CONCRETE APRON.
- 15 NEW MASONRY SCREEN WALL.
- 16 NOT USED.
- 17 NEW STORM DRAIN INLET.
- 18 NEW STORM DRAIN PIPE.
- 19 NEW SINGLE-CHAMBER DRY WELL.
- 20 NEW STORMTECH MC-3500 STORM WATER CHAMBERS. TOTAL INSTALLED VOLUME = 5,643 CF.



FOUND 3" TOWN OF GILBERT
BRASS CAP FLUSH WEST
CORNER OF SECTION 4, T2S,
R6E

E. MELROSE STREET

S. VAL VISTA DRIVE

GERMANN ROAD

FOUND 3" TOWN OF GILBERT
BRASS CAP IN HANDHOLE
SOUTHWEST CORNER OF
SECTION 4, T2S, R6E

**PRELIMINARY IMPROVEMENT PLAN for
GRAVITY ENERGY DRINKS - VAL VISTA + GERMANN**
18619 SOUTH VAL VISTA DRIVE GILBERT, ARIZONA
grading and drainage plan



DRAWN:	PT
DESIGNED:	BT
CHECKED:	JH
DATE:	03-11-2022
JOB NO:	21.059
SHEET NUMBER	

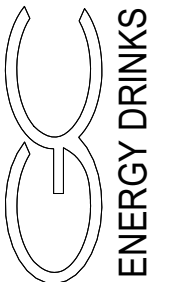




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3939 S. VAL VISTA DR
N.E.C. VAL VISTA & GERMANN
GIBLERT, ARIZONA



PROJECT NUMBER: 2184410-01
PROJECT MANAGER: J. KOSKI
DRAWN BY: J. KOSKI
CHECKED BY: J. KOSKI

NO.	REVISION	DATE

SHEET DESCRIPTION
COLOR ELEVATIONS



SHEET NO.

DR300

ISSUE DATE: 12 APR 2022



② NORTH ELEVATION

SCALE: 1/4" = 1'-0"



① EAST ELEVATION

SCALE: 1/4" = 1'-0"



③ SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



④ WEST ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL SPECIFICATIONS

STUCCO: MANUFACTURER: WESTERN 1-KOTE
TYPE: FIBER REINFORCED PORTLAND CEMENT EXTERIOR PLASTER
FINISH: PREMIUM ACRYLIC FINISH
COLOR: INTEGRAL COLOR - PROPER GRAY, SHERWIN WILLIAMS SW 6003
INSTALL PER ICC-ES AC11, ER 382

STONE VENEER: MANUFACTURER: EL DORADO STONE
TYPE: STACKED STONE
COLOR: SILVER LINING
PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT
INSTALL PER ICC-ES EVALUATION REPORT ESR-1215

STONE WAINSCOT: MANUFACTURER: EL DORADO STONE
TYPE: STACKED STONE
CAP: SNAPPED EDGE WAINSCOT CAP
COLOR: PEWTER
PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT

ROOFING: STANDING SEAM METAL ROOFING
PAC-CLAD, SNAP-CLAD 16" COVERAGE OR EQUAL
COLOR: BLACK FINISH

ALUMINUM STOREFRONT: DARK BRONZE ANODIZED ALUMINUM FINISH

GLAZING: SOLARBAN 70XL
SHGC: 0.27, U-VALUE: 0.24, VLT 64%



STANDING SEAM METAL ROOF
PC CLAD SNAP CLAD 16"
BLACK FINISH



METAL SCREEN
BLACK FINISH



SMOOTH GRAY CMU
PAINTED
SW7016 - MINDFUL GRAY



SPLIT FACE CMU
PAINTED
SW7019 - GAUNTLET GRAY



ELDORADO STONE VENEER
STACKED STONE
COLOR - SILVER LINING



ELDORADO STONE WAINSCOT
SNAPPED EDGE
COLOR - PEWTER



WESTERN 1-KOTE
PLASTER ACRYLIC FINISH
SW6003 - PROPER GRAY



PAINT
SW6003
PROPER GRAY



PAINT
SW7016
MINDFUL GRAY



PAINT
SW7019
GAUNTLET GRAY

DR21-121: Gravity Energy Attachment 8 Color & Materials



STUCCO:
[ST]

MANUFACTURER WESTERN 1-KOTE
TYPE FIBER REINFORCED PORTLAND CEMENT EXTERIOR PLASTER
FINISH PREMIUM ACRYLIC FINISH
COLOR INTEGRAL COLOR - PROPER GRAY, SHERWIN WILLIAMS SW 6003



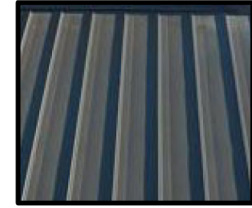
STONE VENEER:
[SV]

MANUFACTURER EL DORADO STONE
TYPE STACKED STONE
COLOR SILVER LINING
PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT
INSTALL PER ICC-ES EVALUATION REPORT ESR-1215



STONE WAINSCOT:
[SW]

MANUFACTURER EL DORADO STONE
TYPE STACKED STONE
CAP SNAPPED EDGE WAINSCOT CAP
COLOR SILVER LINING
PROVIDE 2 COATS MAPEI "ULTRACARE" ENHANCING SEALANT



ROOFING:
[MT]

STANDING SEAM METAL ROOFING
PAC-CLAD, SNAP-CLAD 16" COVERAGE OR EQUAL
COLOR: BLACK FINISH

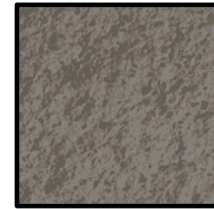


ALUMINUM STOREFRONT:
[AL]

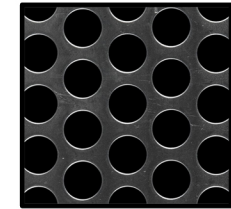
DARK BRONZE ANODIZED ALUMINUM FINISH
GLAZING: SOLARBAN 70XL
SHGC: 0.27, U-VALUE: 0.24, VLT 64%



SMOOTH GRAY CMU
PAINTED FINISH - SW 7016 MINDFUL GRAY



SPLIT FACE CMU
PAINTED FINISH - SW 7019 GAUNTLET GRAY



PERFORATED METAL



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GRAVITY ENERGY DRINKS

3939 S. VAL VISTA DR
N.E.C. VAL VISTA & GERMAN
GILBERT ARIZONA



SHEET NO.

2184410-01

DR21-121: Gravity Energy Attachment 9 Floor Plan

KEYNOTES

- 1 EXTERIOR WOOD STUD WALL WITH STONE VENEER AND STUCCO FINISH
- 2 CMU COLUMN WITH STONE VENEER AND STEEL COLUMN ABOVE
- 3 ROOF OVERHANG (DASHED)
- 4 HOLLOW METAL DOOR AND FRAME, PAINTED
- 5 FIRE RISER LOCATION
- 6 FIRE DEPARTMENT CONNECTION (F.D.C.)
- 7 PERFORATED METAL SCREENED MECHANICAL YARD
- 8 KNOX BOX LOCATION
- 9 6" DIA. STEEL BOLLARD
- 10 SLIDING GLASS DOOR
- 11 ALUMINUM WINDOW
- 12 KITCHEN EQUIPMENT
- 13 GROUND MOUNTED CONDENSER WITHIN SCREENED MECHANICAL YARD
- 14 CO2 TANK WITHIN SCREENED MECHANICAL YARD
- 15 400AMP MAIN ELECTRICAL SERVICE ENTRY SECTION IN CMU ENCLOSURE WITH DOOR, EXPOSED TO SKY, FULLY SCREENED. SEE SITE PLAN FOR LOCATION



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3939 S. VAL VISTA DR
N.E.C. VAL VISTA & GERMANN
GIBLERT, ARIZONA



PROJECT NUMBER: 2184410-01
PROJECT MANAGER: J. KOSKI
DRAWN BY: J. KOSKI
CHECKED BY: J. KOSKI

NO.	REVISION	DATE

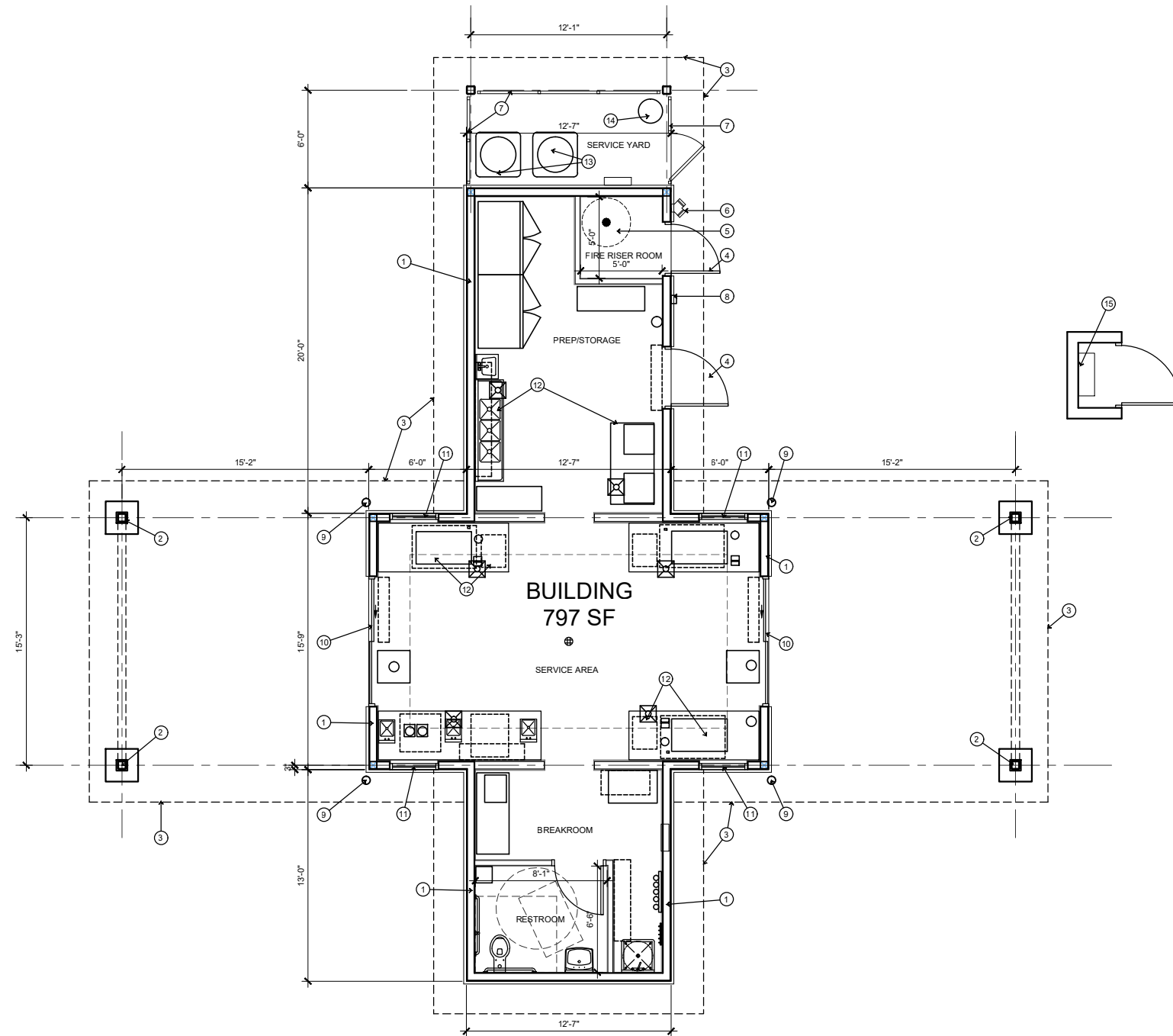
SHEET DESCRIPTION
FLOOR PLAN



SHEET NO.

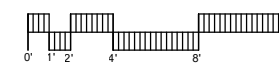
DR200

ISSUE DATE: 31 JAN 2022



① FLOOR PLAN

SCALE: 1/8" = 1'-0"

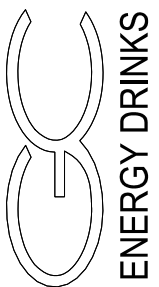




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PROJECT NUMBER: 2184410-01
PROJECT MANAGER: J. KOSKI
DRAWN BY: J. KOSKI
CHECKED BY: J. KOSKI

NO	REVISION	DATE

SHEET DESCRIPTION
SITE PHOTOMETRICS

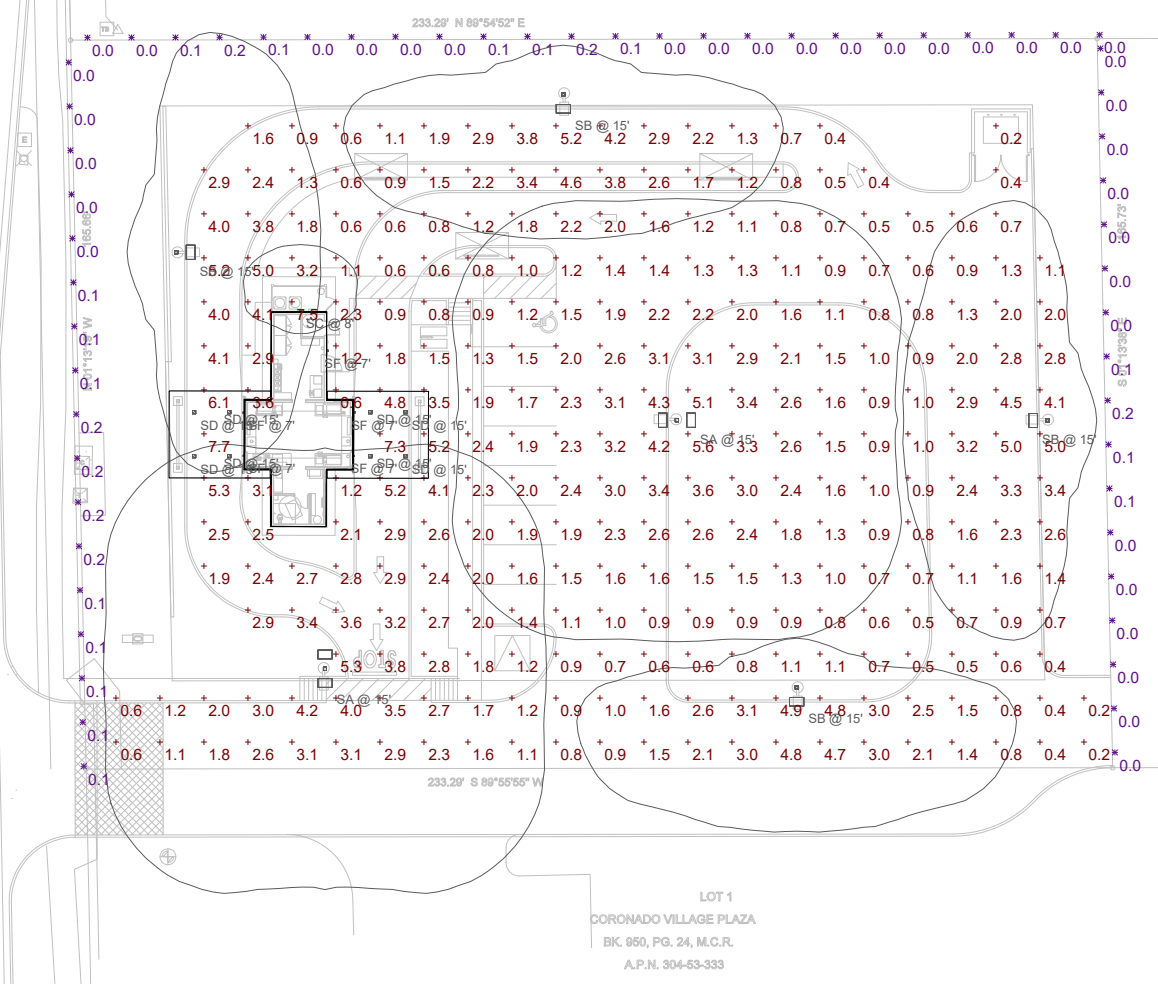


SHEET NO.

DR120

ISSUE DATE: 3 AUG 2021

SOUTH VAL VISTA DRIVE



1 PHOTOMETRIC SITE PLAN

SCALE: 1" = 20'-0"



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	SA	2	Lithonia Lighting	(2) DSX0 LED P4 30K T5W MVOLT SPA (FINISH) / SSS 12.5' W/2.5' BASE	TWIN-HEAD DSX0 LED P4 30K T5W MVOLT	LED - 3000K	DSX0_LED_P4_30K_T5W_MVOLT_ies	10108	0.91	184
□	SB	4	Lithonia Lighting	DSX0 LED P4 30K T2M MVOLT SPA HS (FINISH) / SSS 12.5' W/2.5' BASE	DSX0 LED P4 30K T2M MVOLT with houseside shield	LED - 3000K	DSX0_LED_P4_30K_T2M_MVOLT_HS_ies	8014	0.91	92
□	SC	1	Lithonia Lighting	WDGE1 LED P1 30K 80CRI VF MVOLT (FINISH)	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	LED - 3000K	WDGE1_LED_P1_30K_80CRI_VF_ies	1161	0.91	10.0002
□	SD	8	TGS	TWSF 0818 C U (3000K)	THINTEK WAFER S	LED - 3000K	TWSF-0818-C-U (2700K)_IESNA 2002.IES	1427	0.91	17.5
□	SF	5	TERON LIGHTING	ZENS L16.2-TE500 120-277V TBS (FINISH) 30K	ZENITH SM TBS LED WALL MOUNT	LED - 3000K	Zenith SM LED 23.4 30K.IES	1184	0.53	16

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE - FC @ 5' AFG	✕	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
SITE - FC @ GRADE	+	2.1 fc	7.7 fc	0.2 fc	38.5:1	10.5:1



ARCHICON ARCHITECTURE & INTERIORS, L.C.

Project Narrative

This project is located on the east side of Val Vista Drive, approximately 300 feet North of Germann Road intersection.

The project consists of a new approximately 800 square foot ground-up building for Gravity Energy Drinks and will have two drive-thru lanes. Both lanes have drive-thru directional signs and both serve the drivers directly. There is no need for a solo driver dedication. The Gravity brand prides itself on personal customer service and the drink stands are designed specifically to have personal interaction with the driver from the passenger side window. In the passenger side lane, orders are both taken and delivered on the passenger side of the car. Our highest volume locations are based upon this model in Washington State. All of our customer polling data overwhelmingly shows that the customers prefer these locations because the queueing moves much more quickly and efficiently, and they get a much more personal service experience.

A small parking area will be provided as there is no indoor or outdoor public areas and parking is only for employees.

The site will have a common access drive in conjunction with the Circle K project that is currently in the planning process to the south. A connection will be provided for access to the property to the east.

The building will have a hip roof system with canopies that extend out over the drive-thru lanes. There will be 2 lower wings that will also have a hip roof system. The roofing material will be a standing seam black panel. The building will have both stucco finish which will be light gray and a stone veneer which is a silver/grey stacked stone system. A screened mechanical yard will be provided to screen the mechanical condensers.

Three small shade structures will be provided on the site for possible employee order taking along with a menu board.

This project under the LDC is a "Restaurants, Beverage Service" which is permitted in the CC zoning. All of the adjacent properties are zoned CC.

DR21-121: Gravity Energy
Attachment 11 Applicants
Narrative