

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: JOSH ROGERS, PLANNER II *JR*
(480) 503-6589, JOSH.ROGERS@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *AM*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: MARCH 2, 2022

SUBJECT: DR21-31 MARRIOTT TOWNEPLACE SUITES: SITE PLAN, LANDSCAPING, GRADING AND DRAINAGE, ELEVATIONS, FLOOR PLANS, LIGHTING, AND COLORS AND MATERIALS FOR APPROXIMATELY 2.6 ACRES, GENERALLY LOCATED AT THE SOUTHWEST CORNER OF MERCY AND PECOS ROADS, AND CURRENTLY ZONED GENERAL COMMERCIAL (GC) PAD.

STRATEGIC INITIATIVE: Exceptional Built Environment

To allow for an additional hotel development in the Mercy Gilbert medical area along the 202 Santan Freeway corridor.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR21-31 Marriott Towneplace Suites: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 2.6 acres, generally located at the southwest corner of Mercy and Pecos Roads, and currently zoned General Commercial (GC) PAD.

APPLICANT

Company: Pew & Lake, PLC
Name: Reese Anderson/Jon Gillespie
Address: 1744 S. Val Vista Dr. #127
Mesa, AZ 85204
Phone: 480-461-4670
Email: jon.gillespie@pewandlake.com

OWNER

Company: Kuber-Patel Properties LLC
Name: Shane Kuber
Address: 653 W. Remington Dr.
Chandler, AZ 85286
Phone: 480-543-1700
Email: shanekuber@gmail.com

BACKGROUND/DISCUSSION

History

Date	Description
1988	Town Council adopted Annexation No. A88-07 annexing Greenfield and UPRR into town limits including the subject site.
December 2, 2008	Town Council approved Z08-36 adopting Ordinance No. 2210 rezoning 56 acres to General Office (GO), Community Commercial (CC) and Public Facilities/Institutional (PF/I) creating the Celebration Centre Campus PAD including the subject site.
January 25, 2022	Town Council approved GP21-02 and Z21-04 rezoning 2.6 acres of Public Facilities/Institutional (PF/I) PAD to General Commercial (GC) PAD.
February 2, 2022	Staff requested a continuance of DR21-31 to the March 2, 2022 Planning Commission public hearing.

Overview

Kuber-Patel Properties LLC is proposing to develop the 2.6 gross acre site into a Marriott Towneplace Suites hotel with 84 guest rooms. The hotel is proposed to be 4 stories in height with a total square footage of 49,299 complete with a fitness center and pool amenities. The site is located at the southwest corner of Mercy and Pecos Roads adjacent to the Loop 202 Santan Freeway and Pecos Road overpass. Access is provided along Mercy Road. The site is within the Val Vista Medical Growth Area and the Santan Freeway Corridor Overlay Zoning District.

The Santan Freeway Corridor Overlay zoning district has additional regulations for types of uses located in proximity to the freeway due to noise. The hotel site does not qualify as a noise sensitive use and it has been determined that an ADOT noise study is not required. ADOT has recommended that exterior and interior building

finishes should employ industry standards to mitigate noise levels and amenities should be located away from the freeway when possible.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Utility/Transportation Corridor and Parks/Open Space	Public Facilities/Institutional (PF/I)	Loop 202 Santan Freeway and Pecos Road then Discovery Park
South	Public Facilities/Institutional and General Office	Public Facilities/Institutional (PF/I) PAD and General Office (GO) PAD	Vacant land then Mercy Road
East	General Office and Parks/Open Space	Public Facilities/Institutional (PF/I) PAD and General Office (GO) PAD	Pecos and Mercy Roads then Discovery Park and vacant land
West	Utility/Transportation Corridor	Public Facilities/Institutional (PF/I) PAD	Loop 202 Santan Freeway
Site	General Commercial	General Commercial (GC) PAD	Vacant land

Project Data Table

Site Development Regulations	Required per LDC	Marriott Townplace PAD Ord. No. 2815
Maximum Height (ft.)/Stories	45'	61' / 4 stories
Minimum Building Setbacks (ft.)		
Front	25'	25'
Side (Street)	20'	20'
Side (Nonresidential)	20'	20'
Rear (Nonresidential)	20'	20'
Minimum Landscape Setbacks (ft.)		
Front	25'	30' (trail easement)
Side (Street)	20'	20'
Side (Nonresidential)	20'	20'

Rear (Nonresidential)	20'	5'
Landscaping (% of net lot area)	15%	34.3%
Off-Street Parking and Loading	1.1 spaces per guest room 92 spaces required 3 passenger loading spaces	92 spaces provided 3 passenger loading spaces

DISCUSSION

Site

Due to the irregularly shaped lot the building is designed in a creative way to provide additional guest suites over drive aisles which transect the building in two places. The building is situated at the center of the site and is meeting all building setbacks. Access is provided along Mercy Road with an emergency access only road proposed at the northeastern corner of the site.

In addition, a 30' easement for the Santan Freeway Trail was initially slated to run along the northwest property line adjacent to the Santan Freeway but has since been diverted to the southern boundary, completing the connection to Pecos Road and across to Discovery Park.

Landscape

The site is meeting the minimum landscape requirements with 34% of the site being landscaped. Street Theme Trees for this area are Chinese Pistache and Evergreen Elm. Mulga trees border the trail easement south of the site with Date Palms accenting the interior. The rear setback, adjacent to the freeway, was granted a reduction in width in the approved PAD and is filled with Cascalote trees and various shrubbery. Foundation landscape is provided around the hotel building and pool amenity area.

Grading and Drainage

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert’s Engineering Division. Some surface retention is proposed at the west corner and southern areas of the site and an underground storage tank is provided along the northern parking lot drive aisle.

Elevations, Floor Plan, Colors and Materials

The ground level of the 4-story building consists of the hotel lobby, breakfast area, fitness center and employee uses with the upper levels housing the guest suites. The suites will extend over two the parking lot drive aisles with staircases at both ends. The main entrance has a porte-cochere and outdoor patio area in front of the

building entrance. The building footprint provides horizontal movement to the building with roofline variation stemming from the transitions from parapet roof lines to shed roofs at sections.

The colors and materials chosen are desert toned EIFS in brown, tan, and variations of white, and an earthy green color. Two fiber cement panels, one a horizontal shiplap siding in a reddish brown and vertical hardiepanels in beige with wood-like grooves provide diversity of materials. The building is broken up into segments through the use of transitioning the colors and materials.

Lighting

There are three lighting types proposed: parking lot, building wall mounted lighting, and canopy recessed lighting. The parking lot lights are mounted at 25 feet and all building mounted lighting is meeting the 14' height requirement. All site lighting will be required to comply with Town codes.

Signage

The site is not part of a sign program, administrative design review will be required for any monument signage.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR21-31 Marriott Towneplace Suites: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 2.6 acres, generally located at the southwest corner of Mercy and Pecos Roads, and currently zoned General Commercial (GC) PAD, subject to conditions:

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the March 2, 2022 public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.

Respectfully submitted,

Joshua Rogers

Josh Rogers
Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing
- 3) Aerial Photo
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Elevations
- 8) Colors and Materials
- 9) Floor Plans
- 10) Lighting

DR21-31 Marriott Towneplace Suites Exhibit 1 Findings of Fact

FINDINGS OF FACT DR21-31, Marriott Towneplace Suites

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

DR21-31 Marriott Towneplace Suites Notice of Public Hearing Exhibit 2 NOPH

PLANNING COMMISSION DATE:

Wednesday, February 2, 2021* TIME: 6:00 PM

LOCATION: Gilbert Police Department Amphitheater
75 E Civic Center Dr., Gilbert, AZ 85296

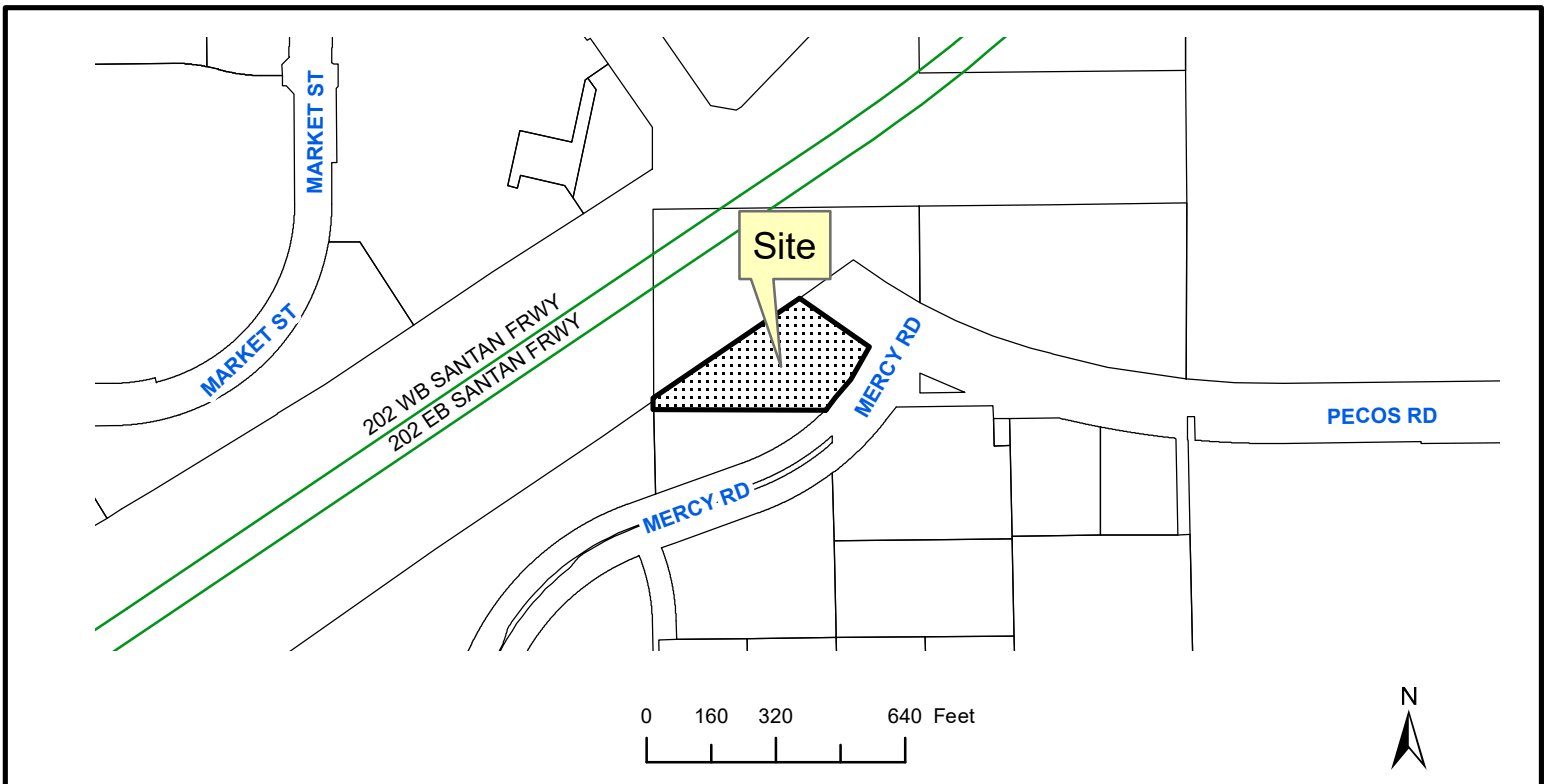
*Call Case Planner to verify date and time: (480) 503-6589

The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission

REQUESTED ACTION:

DR21-31 MARRIOTT TOWNEPLACE SUITES: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 2.6 acres, generally located at the southwest corner of Mercy and Pecos Roads, and currently zoned Public Facilities/Institutional (PF/I), pending zoning approval

SITE LOCATION:

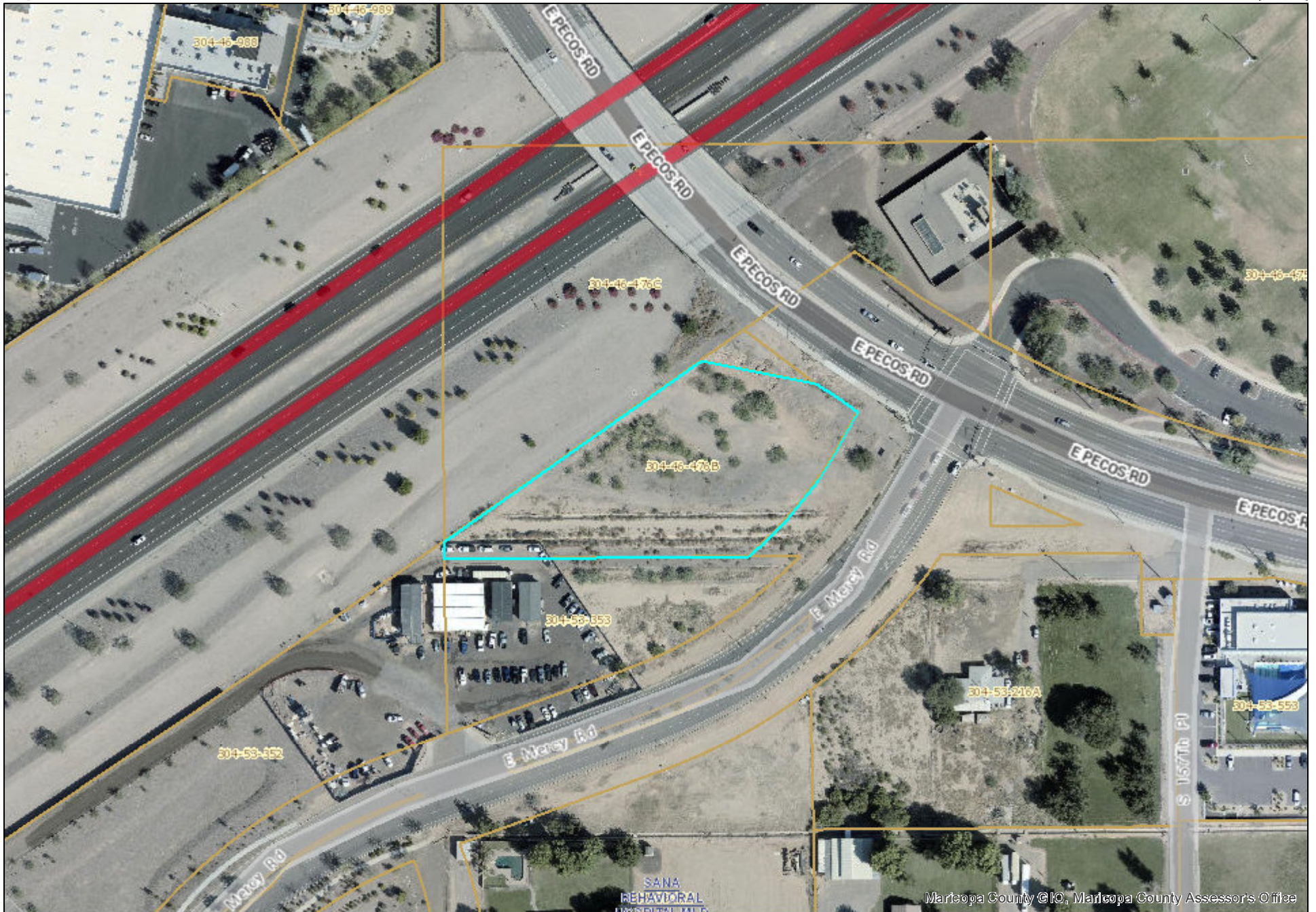


APPLICANT: Pew & Lake PLC
CONTACT: Jon Gillespie
ADDRESS: 1744 S Val Vista Dr
Mesa, AZ 85204

TELEPHONE: (480) 461-4670
E-MAIL: jon.gillespie@pewandlake.com



Parcel Aerial Map



SITE PLAN NOTES

STANDARD COMMERCIAL AND INDUSTRIAL SITE PLAN NOTES
MARCH 11, 2004

- ALL UTILITY LINES LESS THAN 64 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- SEE PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.
 - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR,
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN FILASTERS, COLLARS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR,
 - ROUTED UNDERGROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A HIRE CASE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 50' FROM ADJACENT GRADE.
 - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.105 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE BOUNDARY AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE SETBACK FROM THE RIGHT-OF-WAY. SIDE SLOPES SHALL BE VARYED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESSWAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANTE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

LEGAL DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH RANGE 6 EAST OF THE 6TH AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION FROM WHICH THE CENTER OF SAID SECTION BEARS NORTH 00°13'30" WEST 2641.10 FEET;

THENCE NORTH 0°11'38" WEST ALONG THE NORTH-SOUTH MID-SECTION LINE OF SAID SECTION 21.70 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROUTE 202L (SAN TAN FREEWAY);

THENCE NORTH 84°55'52" EAST, 441.95 FEET ALONG SAID RIGHT OF WAY LINE TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, WHOSE CENTER RADIUS BEARS NORTH 89°28'04" EAST, 359.20 FEET;

THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE 1°46'24", AN ARC LENGTH OF 21.31 FEET;

THENCE SOUTH 28°16'07" WEST, 91.50 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 960.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 8°19'52", AN ARC LENGTH OF 99.10 FEET TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION;

THENCE SOUTH 84°14'45" WEST, 450.41 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.

24' EMERGENCY ACCESS EASEMENT

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 1 SOUTH RANGE 6 EAST OF THE 6TH AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, AS DELINEATED ON PLANS ON FILE IN THE OFFICE OF THE STATE ENGINEER, INFRASTRUCTURE, DELIVERY AND OPERATIONS, ARIZONA DEPARTMENT OF TRANSPORTATION, PHOENIX, ARIZONA, ENTITLED RIGHT OF WAY PLAN OF SANTAN FREEWAY, GILBERT ROAD + HIGLEY ROAD, PROJECT 202L, MA 000-8582 OR, DESCRIBED AS FOLLOWS:

COMMENCING AT A COTTON SPINDLE (NON IDENTIFIED BY A FOUND HG BRASS CAP FLUSH RLS NO. 8975) MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 35, FROM WHICH A BRASS CAP FLUSH (NON IDENTIFIED BY A FOUND NAIL, 4" TAB RLS 4201) ON TOP OF 8" BLOCK WALL MARKING THE CENTER QUARTER CORNER OF SAID SECTION 35 BEARS NORTH 0°11'38" WEST, 2641.10 FEET;

THENCE NORTH 0°11'38" WEST, ALONG THE NORTH-SOUTH MID-SECTION LINE OF SAID SECTION 35, 21.70 FEET TO THE POINT OF BEGINNING LYING 254.91 FEET RIGHT OF STATE ROUTE 202L, CENTERLINE AT STATION 210+45.44;

THENCE ALONG SAID EXISTING SOUTHERLY RIGHT OF WAY LINE, NORTH 84°55'52" EAST, 978.51 FEET TO THE POINT OF BEGINNING LYING 254.91 FEET RIGHT OF STATE ROUTE 202L, CENTERLINE AT STATION 210+45.44;

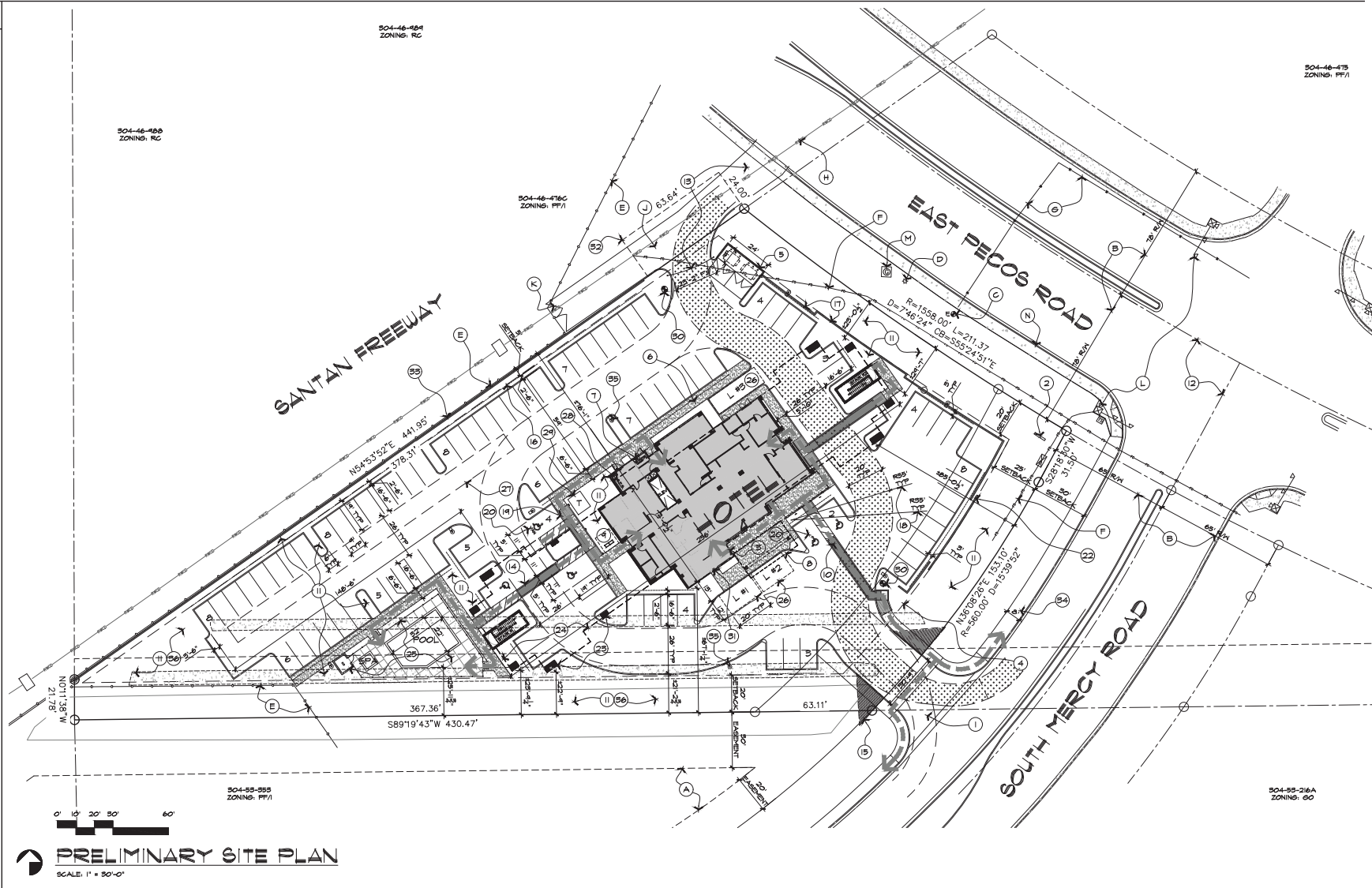
THENCE DEPARTING FROM SAID EXISTING RIGHT OF WAY LINE, NORTH 55°06'08" WEST, 24.00 FEET;

THENCE NORTH 84°55'52" EAST, 65.64 FEET;

THENCE SOUTH 55°06'08" EAST, 24.00 FEET TO SAID EXISTING SOUTHERLY RIGHT OF WAY LINE;

THENCE ALONG SAID EXISTING RIGHT OF LINE SOUTH 84°55'52" WEST, 65.64 FEET TO THE POINT OF BEGINNING.

DESCRIBED ABOVE CONTAINS 1927 SQUARE FEET MORE OR LESS.



PRELIMINARY SITE PLAN

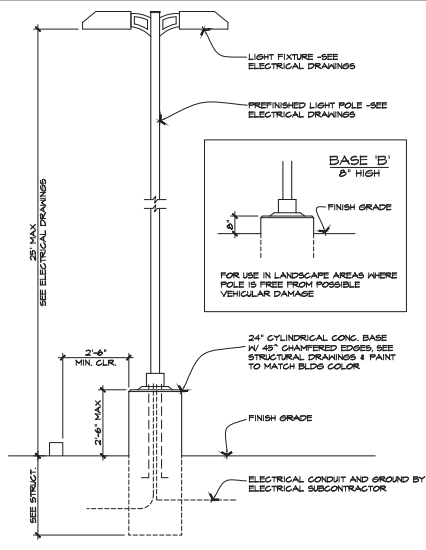
SCALE: 1" = 50'-0"

KEYNOTES

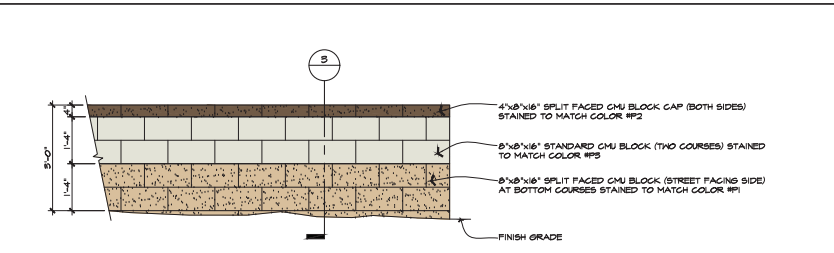
- NEW ACCESS DRIVEWAY - RIGHT IN 4' RIG OUT ONLY.
- MONUMENT SIGN.
- MAIN LOBBY ENTRANCE.
- BUILDING SETBACK LINE.
- DBL WIDE BINS REFUSE ENCLOSURE W/ OPAQUE GATE PER T.O.S. STD DTL. 61L-10, SEE DTL. #1/SP2 & 2/SP-2.
- CONG. SIDEWALK W/ 6" CURB WHERE OCCURS (TYP).
- FIRE RISER ROOM.
- LINE OF PORTICO ABOVE.
- BIKE PARKING.
- SHADED DASHED LINE INDICATES ADA ACCESSIBLE ROUTE (TYP).
- LANDSCAPE AREA (TYP).
- CENTERLINE OF STREET.
- FIRE TRUCK ACCESS ONLY (W/ LOCKABLE GATE).
- CONG. PAVING CROSSWALK (TYP).
- 20' x 20' SIGHT VISIBILITY TRIANGLE.
- PARKING OVERHANG (TYP).
- CMU SCREEN WALL / RETAINING WALL WHERE OCCURS.
- FIRE TRUCK TURNING RADIUS 35' (INSIDE), 55' RADIUS (OUTSIDE).
- ACCESSIBLE RAMP (TYP).
- ACCESSIBLE PARKING W/ SIGNAGE (TYP).
- NEW SITE LIGHT POLE, SEE DTL. #1.
- 8' HIGH CMU PARKING SCREEN WALL, SEE DTL. #2.
- CONCRETE COLUMN (TYP).
- LINE OF BUILDING (UPPER FLOORS) ABOVE SHOWN DASHED.
- POOL EQUIPMENT YARD, POOL DECK, & POOL FENCE W/ SHING GATES (UNDER SEPARATE PERMIT).
- LOADING AREA.
- UG RETENTION AREA, SEE CIVIL DWS.
- S.E.S.
- TRANSFORMER PAD.
- NEW FIRE HYDRANT.
- BLDG MOUNTED FDC.
- ADOT 24' EMERGENCY ACCESS EASEMENT.
- 8' HIGH CMU FREEWAY NOISE WALL, SEE DTL. #5/SP-2.
- 8" WIDE TRAIL/SIDEWALK.
- SITE LIGHT POLE, TYP.
- RETENTION AREA.

EXISTING UTILITIES/EASEMENT

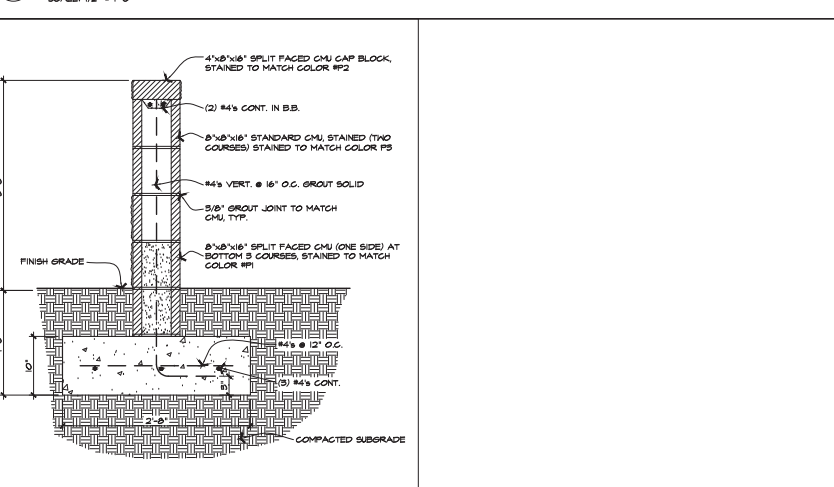
- (EX) PUBLIC ACCESS, TRAIL, AND LANDSCAPE EASEMENT.
- (EX) RIGHT OF WAY.
- (EX) FIRE HYDRANT.
- (EX) STREET LIGHT POLE.
- (EX) CHAINLINK FENCE.
- (EX) UNDERGROUND FIBER OPTIC LINE.
- (EX) UNDERGROUND WATER LINE.
- (EX) UNDERGROUND IRRIGATION LINE.
- (EX) DIRT ACCESS DRIVE.
- (EX) GATE.
- (EX) TRAFFIC SIGNAL.
- (EX) GAS VALVE.
- (EX) STREET CONG CURB & SIDEWALK.



1 SITE LIGHT POLE
SCALE: 3/8" = 1'-0"



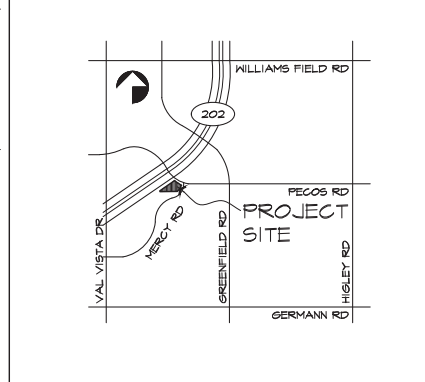
2 PKG SCREEN WALL ELEVATION
SCALE: 1/2" = 1'-0"



3 PKG SCREEN WALL DTL
SCALE: 1" = 1'-0"

OWNER:	KUBER-PEL, PROPERTIES, LLC 685 N. REXINGTON DR. CHANDLER, ARIZONA 85226 CONTACT: SHAILESH KUBER EMAIL: skuber@kuberpel.com PHONE (480) 548-1100
PROJECT ADDRESS:	3080 E. PECOS RD. GILBERT, ARIZONA 85295
PROJECT DESCRIPTION:	DEVELOPMENT OF A 84 SUITE HOTEL INCLUDING A POOL AND OTHER DESIRABLE AMENITIES WITH SUFFICIENT PARKING
PARCEL #	APN 504-46-476B
ZONING/GENERAL PLAN:	PP/1 (EXISTING) GC W/ PAD (PROPOSED)
GROSS SITE AREA:	2.584 ACRES
NET SITE AREA:	1.887 ACRES
OCCUPANCY CLASSIFICATION:	MIXED - SEPARATED
OCCUPANCY GROUP:	R-1 (HOTEL-TRANSIENT), A-2, A-3, B, S-2
CONSTRUCTION TYPE:	VA (SPRINKLERED), NFPA 15, NFPA 12 (FIRE ALARM)
LANDSCAPE AREA:	= 28,180 S.F.
LANDSCAPE COVERAGE:	= 28,180 / 82,411 = 34.2%
BLDG AREA:	Ground Floor (bldg + porch) = 8,776 S.F. (1,075 + 1,052) 2nd FLOOR (28 rooms) = 15,185 S.F. 3rd FLOOR (28 rooms) = 15,880 S.F. 4th FLOOR (28 rooms) = 15,880 S.F.
TOTAL (84 ROOMS):	= 44,221 S.F.
BLDG HEIGHT:	= 4 STORIES (60'-1" MAX)
LOT COVERAGE:	= 8,776 / 82,411 = 10.6%
FLOOR AREA RATIO:	= 44,221 / 82,411 = 0.54
PARKING SPACES REQUIRED:	1:1 PER 1 GUEST ROOM = 42 SPACES 1:1 X 84 = 42 SPACES
PARKING SPACES PROVIDED:	REGULAR = 87 ACCESSIBLE = 15 TOTAL PARKING = 42 SPACES -> OK
LOADING SPACES PROVIDED:	5 SPACES

VICINITY MAP



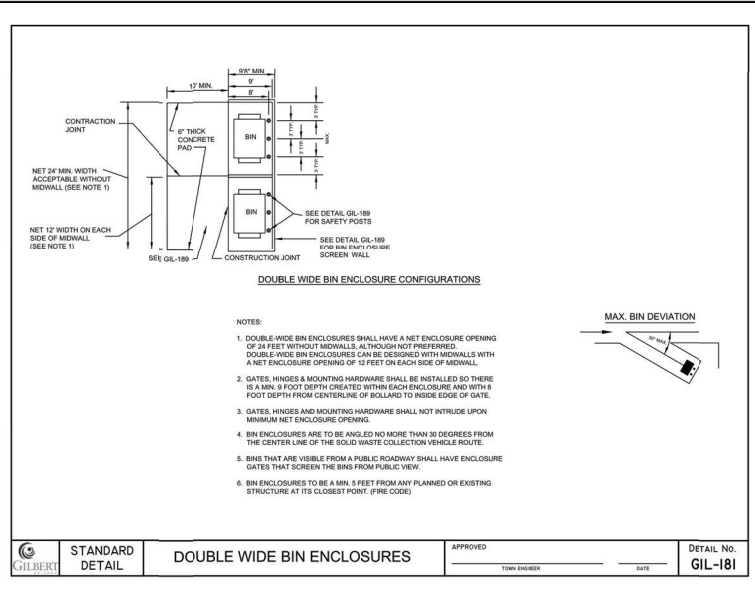
GERALD R. KESLER, INC.
ARCHITECTS
1823 E. BROADWAY
PHOENIX, AZ 85018
PHONE: (602) 232-1000
FAX: (602) 232-1001
WWW.GRKARCHITECTS.COM

TOWNEPLACE SUITES
BY MARRIOTT

JOB NUMBER
1611
DATE
12-15-2021
REVISION

SHEET TITLE
PRELIMINARY
SITE PLAN
SHEET NUMBER
SP-1

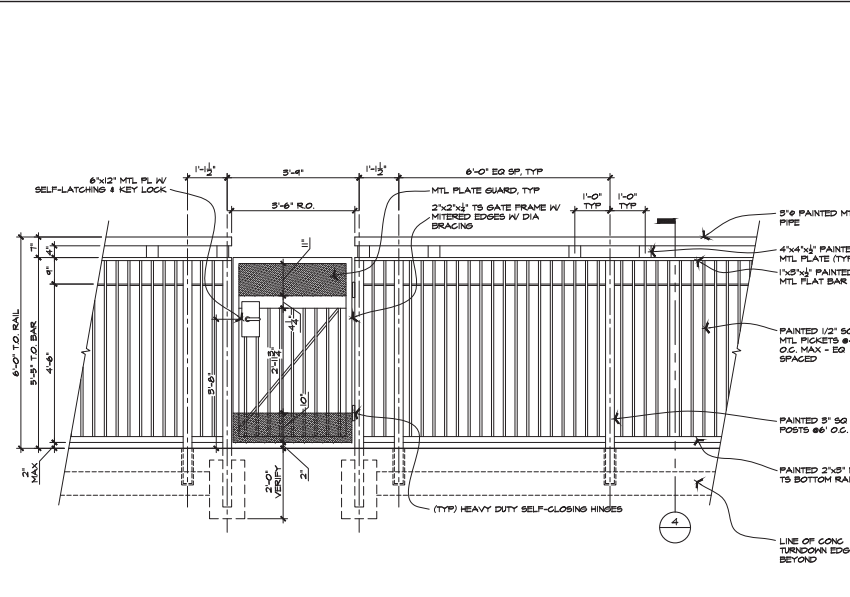
64



STANDARD DETAIL DOUBLE WIDE BIN ENCLOSURES APPROVED: _____ DATE: _____

DETAIL No. GIL-181

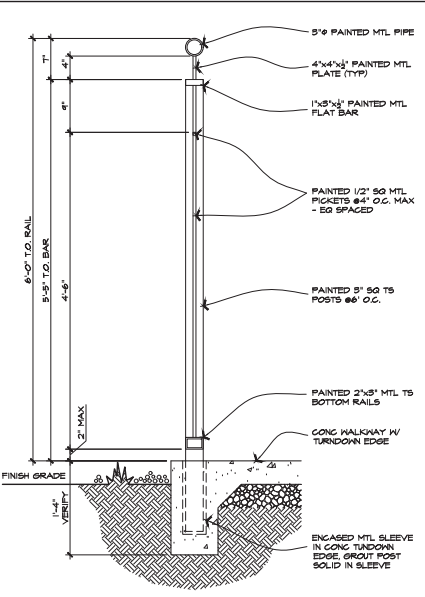
1 REFUSE ENCLOSURE PLAN SCALE: N.T.S.



STANDARD DETAIL POOL FENCE & POOL GATE APPROVED: _____ DATE: _____

DETAIL No. GIL-182

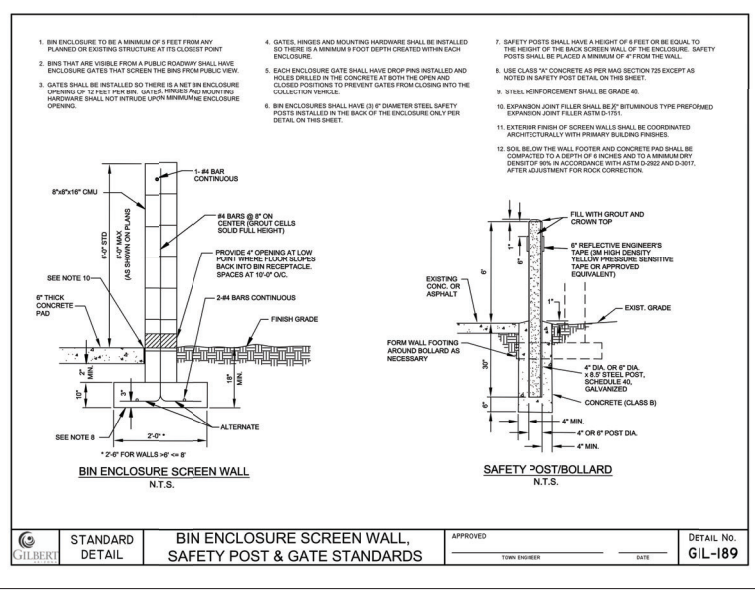
3 POOL FENCE & POOL GATE ELEVATION SCALE: 1/2" = 1'-0"



STANDARD DETAIL SECTION @ POOL FENCE APPROVED: _____ DATE: _____

DETAIL No. GIL-183

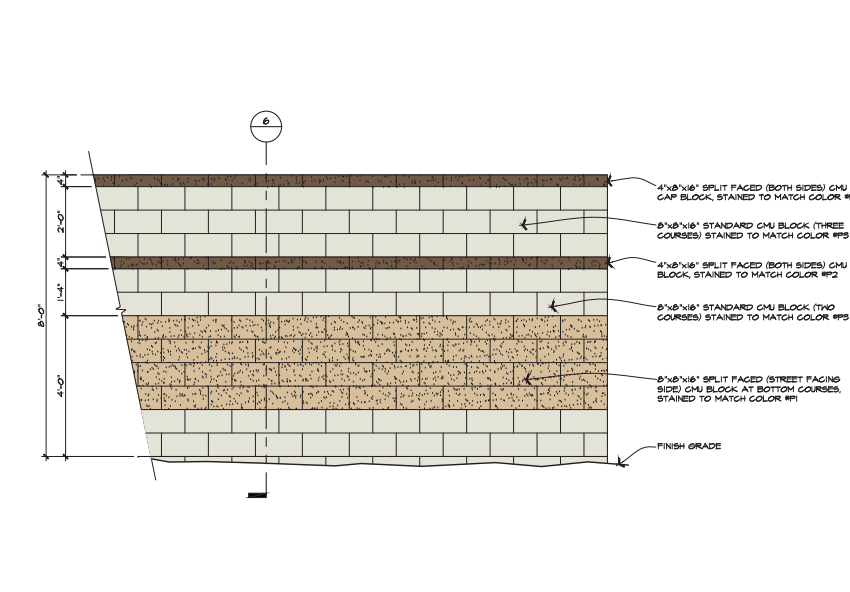
4 SECTION @ POOL FENCE SCALE: 1/2" = 1'-0"



STANDARD DETAIL BIN ENCLOSURE SCREEN WALL, SAFETY POST & GATE STANDARDS APPROVED: _____ DATE: _____

DETAIL No. GIL-189

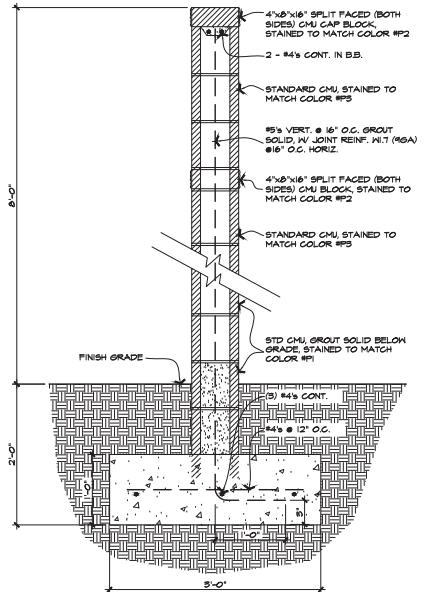
2 REFUSE ENCLOSURE WALL & BOLLARD DTLS SCALE: N.T.S.



STANDARD DETAIL FREEWAY NOISE WALL APPROVED: _____ DATE: _____

DETAIL No. GIL-190

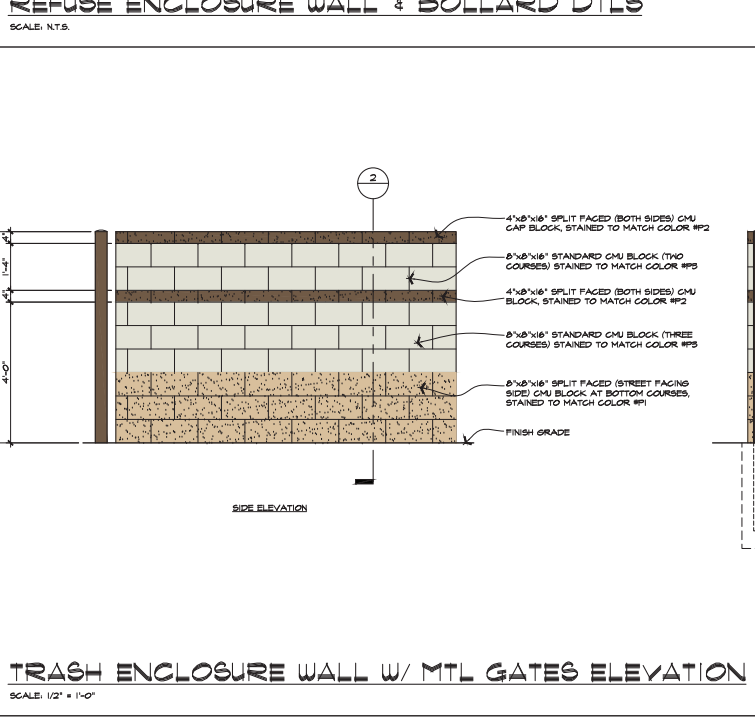
5 FREEWAY NOISE WALL ELEVATION SCALE: 1/2" = 1'-0"



STANDARD DETAIL FREEWAY NOISE WALL APPROVED: _____ DATE: _____

DETAIL No. GIL-191

6 FREEWAY NOISE WALL SCALE: 1" = 1'-0"



STANDARD DETAIL TRASH ENCLOSURE WALL W/ MTL GATES APPROVED: _____ DATE: _____

DETAIL No. GIL-192

7 TRASH ENCLOSURE WALL W/ MTL GATES ELEVATION SCALE: 1/2" = 1'-0"

GILBERT ARCHITECTS

GERALD R. KESLER, INC. ARCHITECTS

13452 GERALD KESLER

1000 E. HARRIS LANE PHOENIX, AZ 85042

13452 GERALD KESLER

13452 GERALD KESLER

13452 GERALD KESLER



TOWNEPLACE SUITES

MERCY & PECOS ROAD GILBERT, ARIZONA

TOWNEPLACE SUITES BY MARRIOTT

JOB NUMBER 1611

DATE 12-19-2021

REVISION

SHEET TITLE SITE DETAILS

SHEET NUMBER SP-2

DR21-31 Marriott Towneplace Suites Exhibit 5 Landscape Plan

hillip r. ryan
landscape architect p.c.
landscape architecture & planning
4916 s. quiet way
gilbert, arizona 85298
(480) 899-5813 fax (480) 963-3674

TOWN OF GILBERT NOTES:

- A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION SYSTEM. A CD WITH PDF FORMAT "AS-BUILTS" OF THE LANDSCAPE AND IRRIGATION PLANS IS ALSO REQUIRED.
- BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED: THE DEVICE MUST BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND THE TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE A CURRENT LIST OF CERTIFIED TESTERS FROM WHICH TO SELECT. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.
- DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS BE CONSIDERED FINAL APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.

- NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.
- NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 1 FEET MINIMUM CLEAR CANOPY.
- ALL TREES, SHRUBS AND GROUNDCOVER SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION.
- CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

LANDSCAPE CALCULATIONS:

ON-SITE LANDSCAPE AREA: 21,036 SF.
OFF-SITE LANDSCAPE AREA: 8,950 SF.
TOTAL SITE LANDSCAPE AREA: 30,625 SF.
% OPEN SPACE: 34.3%

MAINTENANCE NOTE:
ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. THIS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

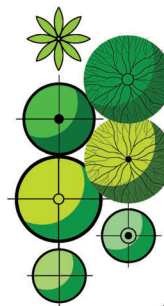
ALL EXISTING SHRUBS WITHIN SIGHT DISTANCE LINE SHALL BE MAINTAINED AT A MAX. HT. OF 24 INCHES WITHIN SIGHT DISTANCE LINE AND TREE LINES ARE TO BE REMOVED WITHIN 1 FEET OF FINISH GRADE WITHIN SIGHT DISTANCE LINE.

PLAN KEY NOTES: (FOR THIS SHEET ONLY)

- SIGN MONUMENT (SEE ARCH. DRAWINGS)
- SIGHT LINE DISTANCE (NO OBJECTS OVER 24' HEIGHT)
- 36" HIGH PARKING SCREEN WALL (SEE ARCH. DRAWINGS)
- TRAFFIC SIGNAL
- FIRE HYDRANT PER CIVIL DUGS. (MIN. 3' CLEARANCE AROUND ALL FIRE HYDRANTS- TYP.)
- BUILDING OVERHANG LINE
- PORTE COCHERE OVERHANG LINE
- 6" TUBE STEEL FENCE WITH PICKETS AT 4' O.C. (PAINT TO MATCH MAIN BUILDING COLOR)
- SIDEWALK
- STAMPED COLORED CONCRETE CROSSWALK
- SIGHT DISTANCE TRIANGLE
- SITE LIGHT PER ARCH. DUGS.
- ELECTRICAL TRANSFORMER
- RETENTION BASIN PER CIVIL DUGS.
- RETAINING WALL PER CIVIL DUGS.
- EXISTING CHAINLINK FENCE
- UNDERGROUND STORM WATER STORAGE PER CIVIL DUGS.
- STORM DRAIN LINE
- WATERLINE EASEMENT (NO TREES WITHIN EASEMENT)



PLANT SCHEDULE: (FOR THIS SHEET ONLY)

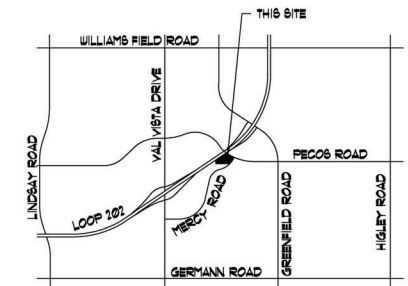


PHOENIX DACTYLIFERA DATE PALM	TRUNK HT. PER PLAN STRAIGHT, DIAMOND CUT TRUNKS	7 TOTAL
PISTACHIA CH. 'RED PUSH' RED PUSH PISTACHE	36" BOX MINIMUM 10' HT., 6" SP., 3' CAL.	20 TOTAL
CHITALPA TASHKENSIS CHITALPA	24" BOX 9' HT., 45" SP., 1 1/2" CAL.	5 TOTAL
CERCIDIUM MICROPHYLLUM 'DM' DESERT MUSEUM PALO VERDE	36" BOX MINIMUM 11' HT., 6" SP., 2 1/2" CAL.	6 TOTAL
ULMUS PARVIFOLIA EVERGREEN ELM	36" BOX MINIMUM 12' HT., 6" SP., 2 1/2" CAL.	6 TOTAL
CALSALPINA CACALAGO GASCALOTE 'SMOOTHIE'	24" BOX MINIMUM 7' HT., 23" SP., 1" CAL.	20 TOTAL
ACACIA MULGA MULGA TREE	15 GALLON	8 TOTAL
CHAMEROPS HUMILIS MEDITERRANEAN FAN PALM	24" BOX MINIMUM	20 TOTAL
PHOENIX ROEBELINII FIFTY DATE PALM	15 GALLON	16 TOTAL
CARISSA GRANDIFLORA 'S.C.' GREEN CARPET	15-3 TRUNK	82 TOTAL
DODONAEA VISCOSA 'PURPUREA' PURPLE HOPBRED BUSH	5 GALLON 3' HT. COLUMNAR	26 TOTAL

LEUCOPHYLLUM LANGMANIAE 'RB.' RIO BRAVO SAGE	5 GALLON FULL, PAST CAN	114 TOTAL
NERIUM OLEANDER 'DP.' DWARF PINK OLEANDER	5 GALLON FULL, PAST CAN	64 TOTAL
PLUMBAGO AURICULATA BLUE CAPE PLUMBAGO	5 GALLON FULL, PAST CAN	5 TOTAL
RUELLIA CALIFORNICA PURPLE PETUNIA	5 GALLON FULL, PAST CAN	57 TOTAL
PITTSOPORUM TOBIRA 'WD.' WHEELERS DWARF PITTSOPORUM	5 GALLON FULL, PAST CAN	25 TOTAL
RHAPIOLEPSIS INDICA 'PB.' PINK BALLERINA INDIA HAWTHORNE	5 GALLON FULL, PAST CAN	6 TOTAL
HERSPERALOE PARVIFOLIA RED YUCCA	5 GALLON FULL, PAST CAN	17 TOTAL
LANTANA MONTIVIDENSIS 'NG.' NEW GOLD LANTANA	1 GALLON FULL, PAST CAN	276 TOTAL
EREMOPHYLLA MIGNIEU GOLD OUTBACK SUNRISE	1 GALLON FULL, PAST CAN	77 TOTAL
ACACIA REDOLENS 'D.C.' DESERT CARPET REDOLENS	5 GALLON FULL, PAST CAN	38 TOTAL
DECOMPOSED GRANITE	2" DEEP MADISON GOLD 1/2" SIZE	35260 SF.
GRANITE COBBLE	4"-8" DIA.	365 SF.

Landscape Plan

Scale 1:20



Vicinity Map

GERALD R. KEESLER, INC.
ARCHITECTS



TOWNEPLACE SUITES
BY MARRIOTT

TOWNEPLACE SUITES®
BY MARRIOTT

JOB NUMBER
DATE

LANDSCAPE PLAN

TOWN OF GILBERT NOTES:

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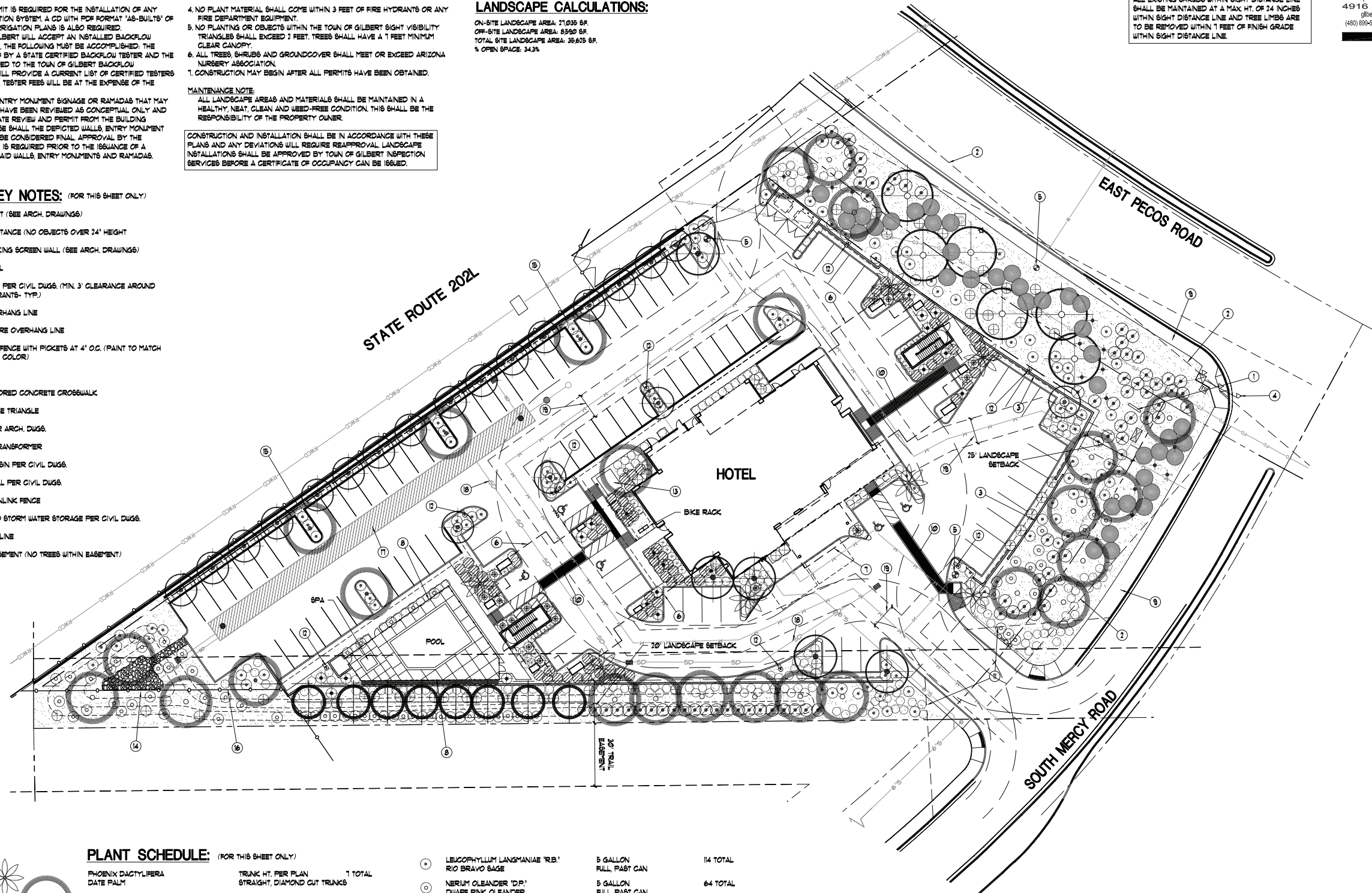
SIGHT DISTANCE LINE NOTE:

ALL EXISTING SHRUBS WITHIN SIGHT DISTANCE LINE SHALL BE MAINTAINED AT A MAX. HT. OF 24 INCHES WITHIN SIGHT DISTANCE LINE AND TREE LIMBS ARE TO BE REMOVED WITHIN 1 FEET OF FINISH GRADE WITHIN SIGHT DISTANCE LINE.

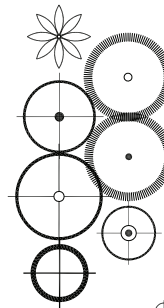
phillip r. ryan
landscape architect p.c.
landscape architecture & planning
4916 s. quiet way
gilbert, arizona 85296
(480) 899-8813 fax (480) 963-3674

PLAN KEY NOTES: (FOR THIS SHEET ONLY)

- 1 SIGN MONUMENT (SEE ARCH. DRAWINGS)
- 2 SIGHT LINE DISTANCE (NO OBJECTS OVER 24' HEIGHT)
- 3 36" HIGH PARKING SCREEN WALL (SEE ARCH. DRAWINGS)
- 4 TRAFFIC SIGNAL
- 5 FIRE HYDRANT PER CIVIL DUGG. (MIN. 3' CLEARANCE AROUND ALL FIRE HYDRANTS- TYP.)
- 6 BUILDING OVERHANG LINE
- 7 PORTE COCHERE OVERHANG LINE
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- 9 SIDEWALK
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- 11 SIGHT DISTANCE TRIANGLE
- 12 SITE LIGHT PER ARCH. DUGG.
- 13 ELECTRICAL TRANSFORMER
- 14 RETENTION BASIN PER CIVIL DUGG.
- 15 RETAINING WALL PER CIVIL DUGG.
- 16 EXISTING CHAINLINK FENCE
- 17 UNDERGROUND STORM WATER STORAGE PER CIVIL DUGG.
- 18 STORM DRAIN LINE
- 19 WATERLINE BASEMENT (NO TREES WITHIN BASEMENT)



PLANT SCHEDULE: (FOR THIS SHEET ONLY)

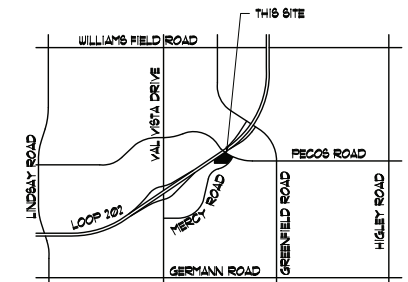
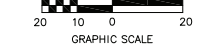


PHOENIX DACTYLIFERA DATE PALM	TRUNK HT. PER PLAN STRAIGHT, DIAMOND CUT TRUNKS	1 TOTAL
PISTACHIA CH. 'RED FUSH' RED FUSH PISTACHIE	36" BOX MINIMUM 10' HT, 6" SP, 3" CAL.	20 TOTAL
CHITALPA TASHKENSIS CHITALPA	24" BOX 9' HT, 45" SP, 1 1/2" CAL.	5 TOTAL
CERCIDILUM MICROPHYLLUM 'DM' DESERT MUSEUM PALO VERDE	36" BOX MINIMUM 11' HT, 6" SP, 2 1/2" CAL.	6 TOTAL
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RUELLIA CALIFORNICA PURPLE PETUNIA	5 GALLON FULL, PAST CAN	51 TOTAL
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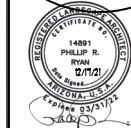
Landscape Plan

Scale 1:20



Vicinity Map

GERALD R. KESLER, INC.
ARCHITECTS
103 E. CHRYST LANE
PHOENIX, AZ 85040
PH: 602-779-1003
FAX: 602-779-1004
GRI



TOWNEPLACE SUITES
BY MARRIOTT
MERCY & PECOS ROAD
GILBERT, ARIZONA

TOWNEPLACE SUITES®
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JOB NUMBER
DATE

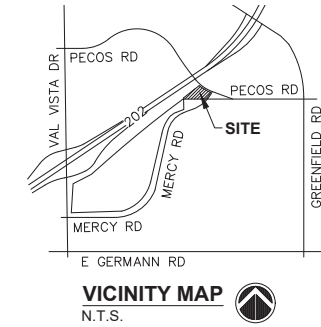
LANDSCAPE PLAN

DR21-31 Marriott Towneplace Suites Exhibit 6 Grading and Drainage

GILBERT HOTEL

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 6 EAST, OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

PRELIMINARY GRADING AND DRAINAGE PLAN



SHEET INDEX	
SHEET NO.	SHEET TITLE
PG-1	PRELIMINARY COVER SHEET
PG-2	PRELIMINARY GRADING PLAN
PG-3	PRELIMINARY UTILITY PLAN

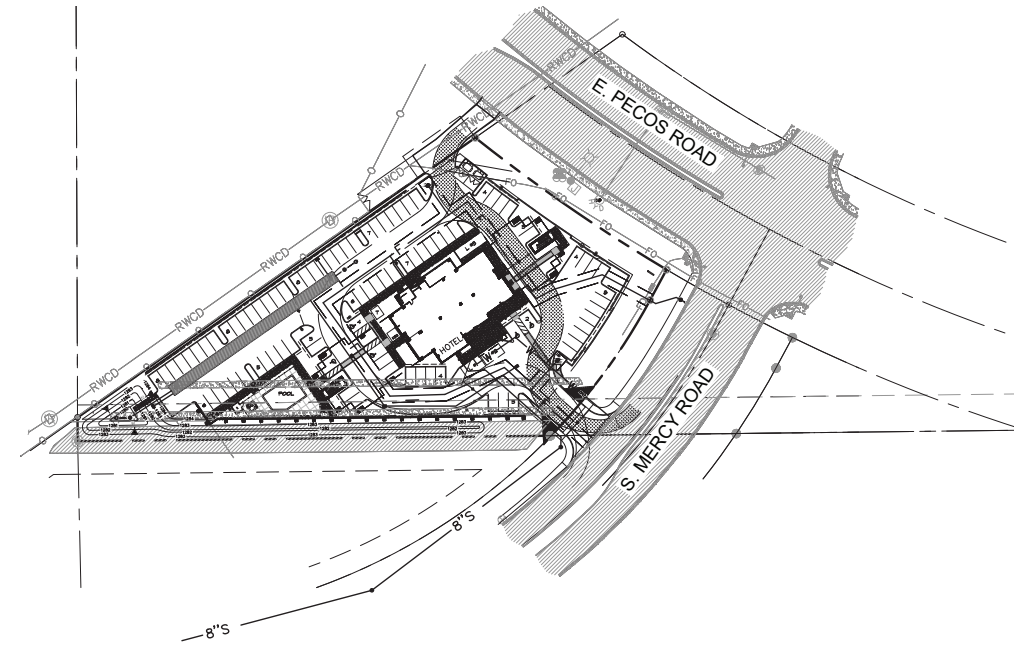
CIVIL ENGINEER
CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
11811 N. TATUM BOULEVARD, SUITE 3057
PHOENIX, AZ 85028
PHONE: 602.760.2324
CONTACT: MIKE JACKSON

BASIS OF BEARING
THE BASIS OF BEARING USED FOR THIS SURVEY IS THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 6 EAST, AS DESCRIBED IN DOCUMENT NO. 2017-147537, MARICOPA COUNTY RECORDS.
SAID BEARING = NORTH 00° 05' 41" WEST

SITE BENCHMARK
BRASS CAP FLUSH RLS#15573 LOCATED AT THE SOUTH QUARTER CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 6 EAST, BEING THE CENTERLINE INTERSECTION OF S 156TH STREET & OLD PECOS ROAD ALIGNMENT
SAID ELEVATION = 1282.714 (N.A.V.D.88)

SITE DATA
ADDRESS: 2080 E. PECOS RD. GILBERT, AZ 85295
GROSS/NET SITE AREA: 82,191 SF (1.887 ACRES)
EXISTING ZONING: PF/I
ASSESSOR'S PARCEL: BOOK 304, MAP 45, PARCEL 476B, MARICOPA COUNTY, ARIZONA

FLOOD ZONE INFORMATION
ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2765M, DATED NOVEMBER 4, 2015, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X". AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.



INDEX MAP
N.T.S.

LEGEND:

- | | | | |
|-------|---|----------|--|
| ▲ | FOUND NAIL & TAG AS NOTED | C | CONCRETE GRADE |
| ● | FOUND BRASS CAP FLUSH | CLF | CHAIN LINK FENCE |
| ⊠ | FOUND BRASS CAP IN HANDHOLE | R/W | RIGHT-OF-WAY |
| ● | FOUND AS NOTED | (M) | MEASURED |
| ⊙ | FOUND ADOT ALUMINUM CAP | (R) | RECORDED |
| ○ | SET 1/2" REBAR W/CAP RLS 54333 | M.C.R. | MARICOPA COUNTY RECORDS |
| ⊗ | GAS MANHOLE | RLS | REGISTERED LAND SURVEYOR BOUNDARY LINE |
| ⊗ | TELEPHONE VAULT | --- | ADJOINING BOUNDARY LINE |
| ⊗ | WATER VALVE | --- | EASEMENT LINE |
| ⊗ | FIRE HYDRANT | --- | CENTERLINE |
| ⊗ | IRRIGATION MANHOLE | --- | U/G IRRIGATION LINE |
| ⊗ | TRAFFIC SIGNAL WITH MAST | --- | U/G FIBER OPTIC |
| ⊗ | TRAFFIC SIGNAL JUNCTION BOX | --- | U/G WATER LINE |
| ⊗ | ELECTRIC JUNCTION BOX | --- | CHAIN LINK FENCE |
| ⊗ | SIGN | --- | |
| ⊗ | BREAKLINE | --- | |
| FD | FOUND | ASPHLT | |
| EX | EXISTING | CONCRETE | |
| NG | NATURAL GRADE | | |
| P | PAVEMENT GRADE | | |
| 00.00 | SPOT GRADE (ADD 1200' FOR ACTUAL DATUM ELEVATION) | | |

LEGAL DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION FROM WHICH THE CENTER OF SAID SECTION BEARS NORTH 00°11'38" WEST 2641.70 FEET;
THENCE NORTH 0°11'38" WEST ALONG THE NORTH-SOUTH MID-SECTION LINE OF SAID SECTION, 21.78 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROUTE 202L (SAN TAN FREEWAY);
THENCE NORTH 54°53'52" EAST, 441.95 FEET ALONG SAID RIGHT OF WAY LINE TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, WHOSE CENTER RADIUS BEARS NORTH 38°28'20" EAST, 1558.00 FEET;
THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE 7°46'24", AN ARC LENGTH OF 211.37 FEET;
THENCE SOUTH 28°18'30" WEST, 31.50 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 560.00 FEET;
THENCE ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 15°39'52", AN ARC LENGTH OF 153.10 FEET TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION;
THENCE SOUTH 89°19'43" WEST, 430.47 FEET ALONG SAID SOUTH LINE TO THE POINT OF BEGINNING.
PARCEL DESCRIBED ABOVE CONTAINS 82,191 SQUARE FEET OR 1.887 ACRES MORE OR LESS.

DRAINAGE SUMMARY

THIS PROJECT WILL UTILIZE A 10-FOOT DIAMETER UNDERGROUND RETENTION PIPES AND RETENTION BASIN TO ACCOMMODATE THE RUNOFF FROM THE PROPOSED IMPROVEMENTS. THE UNDERGROUND RETENTION PIPE WILL DISCHARGE THROUGH A TWO CHAMBER MAXWELL PLUS DRYWELL SYSTEM.

RETENTION CALCULATION

SITE AREA (GROSS-NET):	82,191 SF
50-YR, 24-HR	0.26 FEET
VOLUME REQUIRED	18,986 CF
PROPOSED RETENTION PIPES:	
10-FT DIA RETENTION PIPE:	50.27 SF / LF
182 LF OF PIPE REQUIRED:	14,294 CF
RETENTION BASIN:	
VOLUME PROVIDED:	4,818 CF
TOTAL VOLUME PROVIDED:	19,112 CF
EXCESS VOLUME:	123 CF

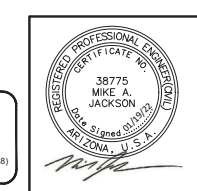
NO.	DATE	DESCRIPTION

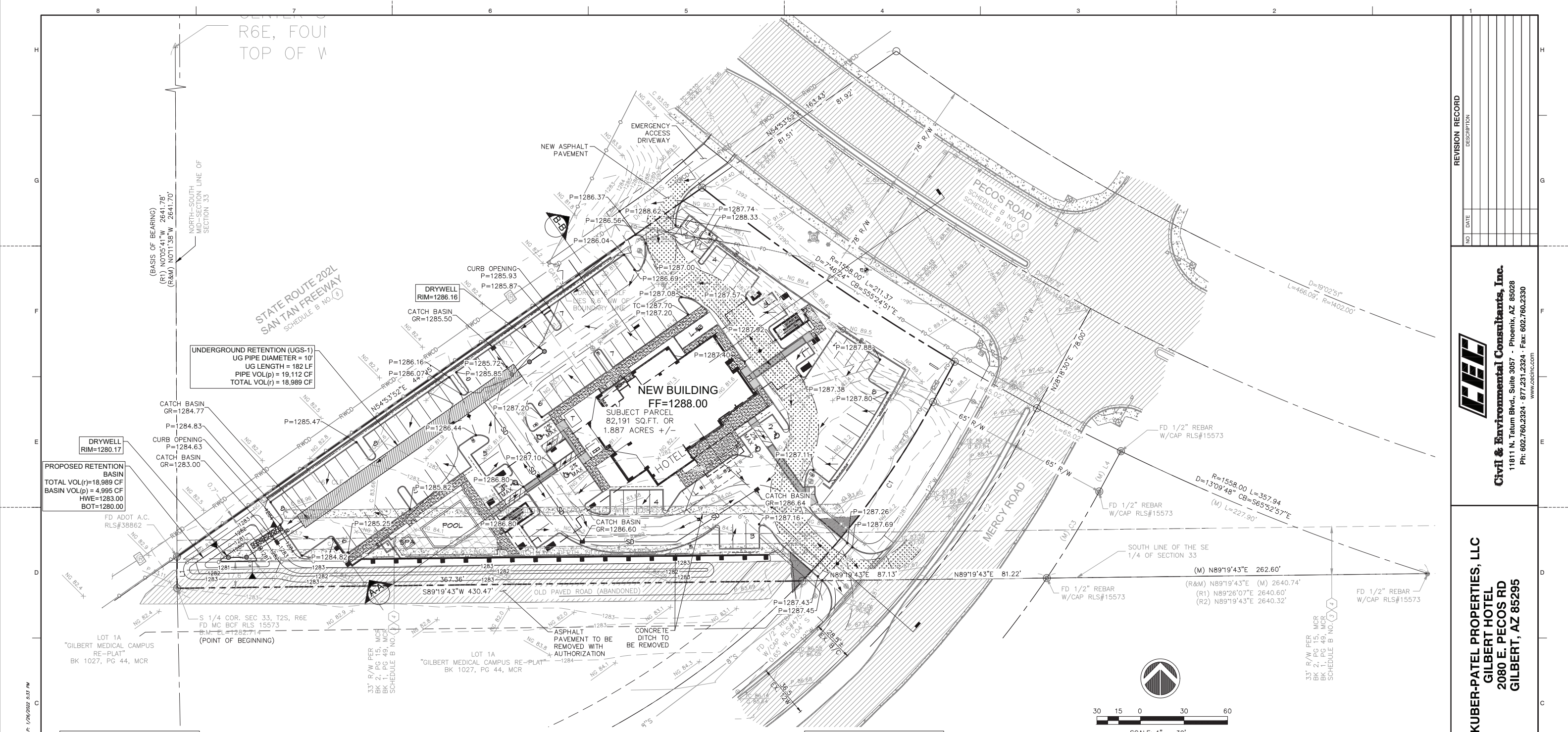
Civil & Environmental Consultants, Inc.
11811 N. Tatum Blvd., Suite 3057 - Phoenix, AZ 85028
Ph: 602.760.2324 · 877.231.2324 · Fax: 602.760.2330
www.caeinc.com

KUBER-PATEL PROPERTIES, LLC
GILBERT HOTEL
2080 E. PECOS RD
GILBERT, AZ 85295

PRELIMINARY COVER SHEET

DATE:	JAN. 2022	DRAWN BY:	LAR
PROJECT NO.:	AS SHOWN	CHECKED BY:	MAJ
APPROVED BY:			MAJ

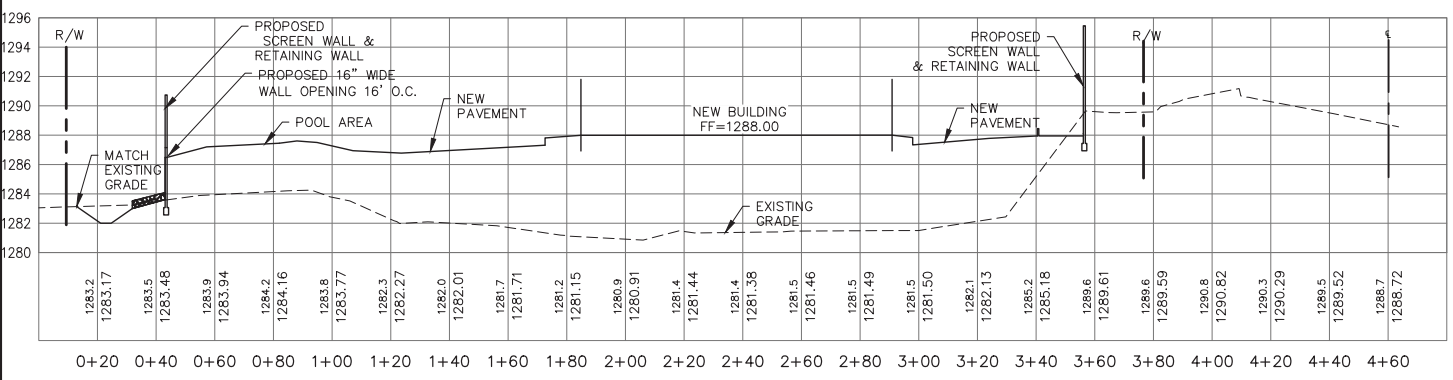




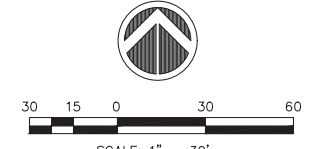
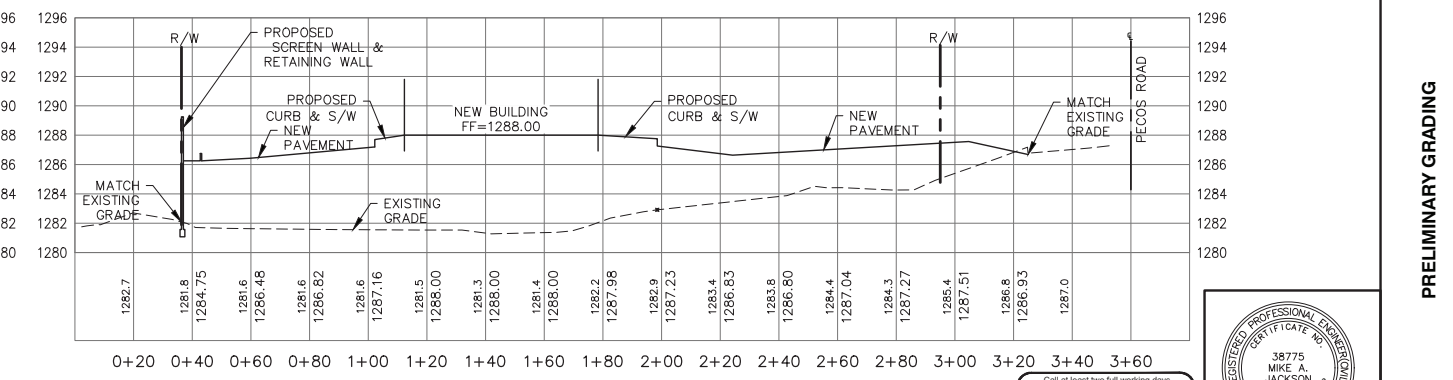
UNDERGROUND RETENTION (UGS-1)
 UG PIPE DIAMETER = 10"
 UG LENGTH = 182 LF
 PIPE VOL(p) = 19,112 CF
 TOTAL VOL(r) = 18,989 CF

PROPOSED RETENTION BASIN
 TOTAL VOL(r) = 18,989 CF
 BASIN VOL(p) = 4,995 CF
 HWE = 1283.00
 BOT = 1280.00

PROFILE VIEW OF SECTION A-A
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 6'



PROFILE VIEW OF SECTION B-B
 HORIZONTAL SCALE: 1" = 30'
 VERTICAL SCALE: 1" = 6'



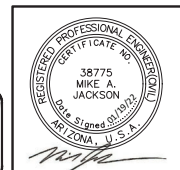
NO.	DATE	DESCRIPTION

C&E
Civil & Environmental Consultants, Inc.
 11811 N. Tatum Blvd., Suite 3057 - Phoenix, AZ 85028
 Ph: 602.760.2324 - 877.231.2324 - Fax: 602.760.2330
 www.candec.com

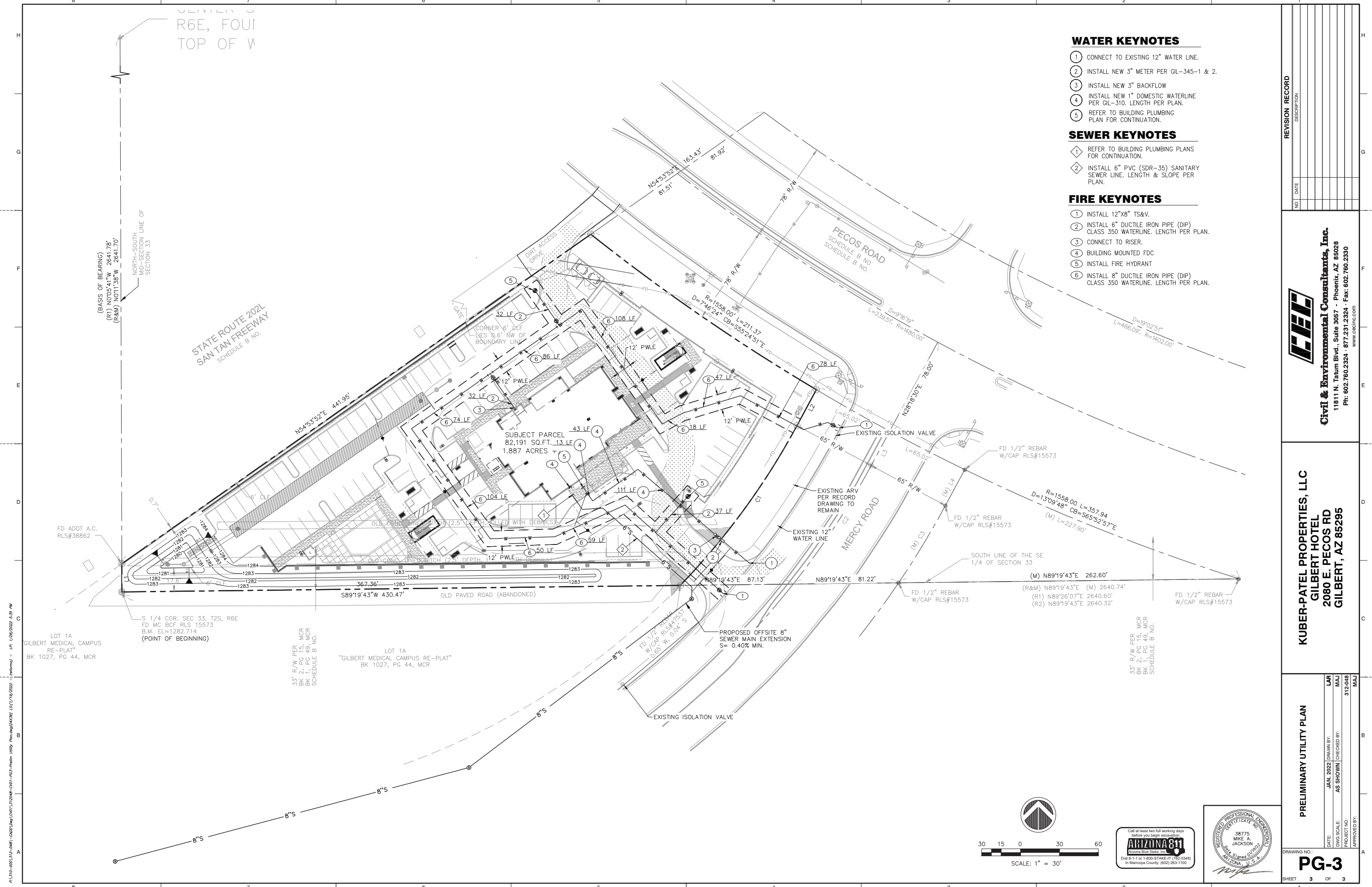
KUBER-PATEL PROPERTIES, LLC
GILBERT HOTEL
 2080 E. PECOS RD
 GILBERT, AZ 85295

PRELIMINARY GRADING

DATE: JAN. 2022
 DRAWN BY: LAR
 DWG SCALE: AS SHOWN
 CHECKED BY: MAJ
 PROJECT NO: 312-048
 APPROVED BY: MAJ



Call at least two full working days before you begin excavation.
ARIZONA 811
 Dial 8-1-1 or 1-800-STAKE-IT (762-6348)
 In Maricopa County: (602) 263-1100



WATER KEYNOTES

- 1 CONNECT TO EXISTING 12" WATER LINE.
- 2 INSTALL NEW 3" METER PER GIL-345-1 & 2.
- 3 INSTALL NEW 3" BACKFLOW
- 4 INSTALL NEW 1" DOMESTIC WATERLINE PER GIL-310. LENGTH PER PLAN.
- 5 REFER TO BUILDING PLUMBING PLAN FOR CONTINUATION.

SEWER KEYNOTES

- 1 REFER TO BUILDING PLUMBING PLANS FOR CONTINUATION.
- 2 INSTALL 6" PVC (SDR-35) SANITARY SEWER LINE. LENGTH & SLOPE PER PLAN.

FIRE KEYNOTES

- 1 INSTALL 12"x8" TS&V.
- 2 INSTALL 6" DUCTILE IRON PIPE (DIP) CLASS 350 WATERLINE. LENGTH PER PLAN.
- 3 CONNECT TO RISER.
- 4 BUILDING MOUNTED FDC
- 5 INSTALL FIRE HYDRANT
- 6 INSTALL 8" DUCTILE IRON PIPE (DIP) CLASS 350 WATERLINE. LENGTH PER PLAN.

NO.	DATE	DESCRIPTION

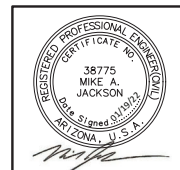
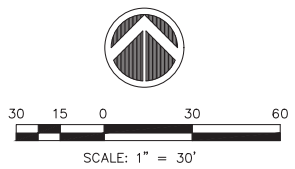
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KUBER-PATEL PROPERTIES, LLC
GILBERT HOTEL
 2080 E. PECOS RD
 GILBERT, AZ 85295

PRELIMINARY UTILITY PLAN

DATE:	JAN. 2022	DRAWN BY:	LAR
DWG SCALE:	AS SHOWN	CHECKED BY:	MAJ
PROJECT NO.:	312-048	APPROVED BY:	MAJ

DRAWING NO.: **PG-3**
 SHEET 3 OF 3



A:\170-001\172-048\172-048.dwg (01/17/2022 11:04:00 AM) User: pnc-jhyam Utility: Phoenix\24428\172-048.dwg (1/19/2022 11:04:00 AM) - Info - LP: 1/19/2022 5:05 PM

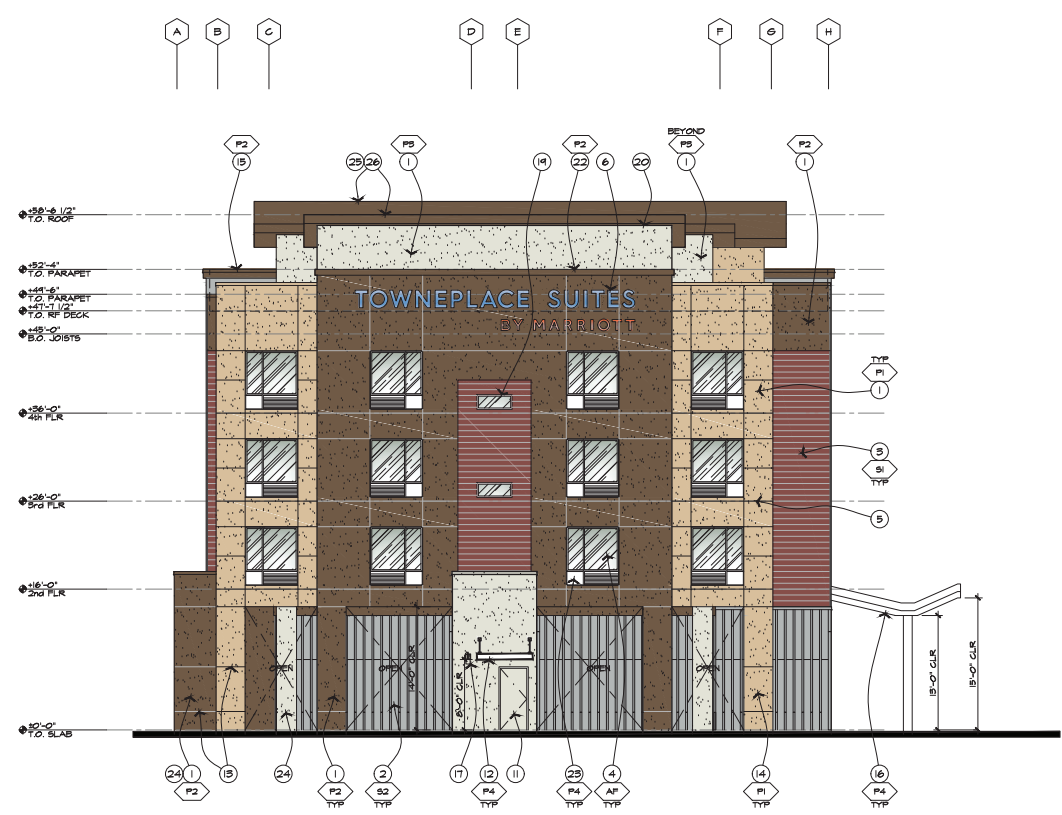
LOT 1A
 GILBERT MEDICAL CAMPUS
 RE-PLAT
 BK 1027, PG 44, MCR
 S 1/4 COR. SEC 33, T2S, R6E
 FD MC BCF RLS 15573
 B.M. EL=1282.714
 (POINT OF BEGINNING)
 33' R/W PER
 BK 2, PG 15, MCR
 BK 1, PG 49, MCR
 SCHEDULE B NO.

LOT 1A
 "GILBERT MEDICAL CAMPUS RE-PLAT"
 BK 1027, PG 44, MCR
 SUBJECT PARCEL
 82,191 SQ.FT., 1.3 LF
 1.887 ACRES

33' R/W PER
 BK 2, PG 15, MCR
 BK 1, PG 49, MCR
 SCHEDULE B NO.



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIALS/FINISH LEGEND

- COLOR TO MATCH:**
- F1** PAINT COLOR: DUNN-EDWARDS, "DE 6254 (SERENE THOUGHT)"
 - F2** PAINT COLOR: DUNN-EDWARDS, "DE 5714 (ECOLOGICAL)"
 - F3** PAINT COLOR: DUNN-EDWARDS, "DE 6260 (NISHFUL WHITE)"
 - F4** PAINT COLOR: DUNN-EDWARDS, "DEH 560 (WHITE)"
- FIBER CEMENT SIDING / COLOR TO MATCH:**
- S1** HARDIE-ARTISAN, "SHIPLAP SIDING (TIMBER BARK)"
 - S2** HARDIEPANEL-SELECT CEDARHILL, "VERTICAL BATTENED JOINT SIDING (NAVY/JO BEIGE)"
- DOORS / WINDOWS / STOREFRONT:**
- AP** THERMAL ALUMINUM SYSTEM, KAWNEER, PVDF FINISH "COLONIAL WHITE"
- GL** LOW-E VISION GLAZING UNIT, VITRO GLASS "SOLARBAN TOX SOLARGRAY + CLEAR"
- HL** HIGH LOUVERS BELOW, COLOR TO MATCH WINDOW FRAME

KEYNOTES

1. EIFS - DRY-VIT, INSULATION PLUS MD SYSTEM, SANDBLAST FINISH OR APPROVED EQUAL. SEE FINISH LEGEND FOR COLORS. EIFS TO BE INSTALLED PER ICC-ESR-1545.
2. VERTICAL FIBER CEMENT SIDING (HZ10) - 5/8" x 8' @ GROUND FLOOR AND 10' @ UPPER FLOORS, SIDING & TRIMS TO BE INSTALLED PER ICC-ESR-1844.
3. HORIZONTAL (BLIND NAILLED) FIBER CEMENT SIDING (HZ10) - 5/8" x 8' 1/4" x 12', SIDING & TRIMS TO BE INSTALLED PER ICC-ESR-2290.
4. THERMAL ALUMINUM WINDOW W/ INTEGRATED HIGH LOUVER PANEL BELOW (WHERE OCCURS).
5. TYP. CONTROL JOINT @ FLOOR LINE.
6. APPROX SIGNAGE SIZE & LOCATION, SEE GENERAL NOTES 'A'.
7. PAINTED GALV. BREAK MTL. CLADDING, SEE FINISH LEGEND FOR COLOR.
8. THERMAL ALUMINUM STOREFRONT SYSTEM, SEE DOOR & WINDOW SCHEDULES.
9. LINE OF ROOF SLOPE BEHIND PARAPET WALL.
10. HIGH ROOFTOP UNIT WHERE OCCURS.
11. PAINTED INSULATED HOLLOW METAL DOOR(S) & INSULATED STL. FRAME. COLOR TO MATCH ADJACENT.
12. PAINTED STL. CANOPY/OVERHANG.
13. EIFS REVEAL.
14. EIFS @ GONG COLUMN, SEE FINISH LEGEND FOR COLOR.
15. PAINTED GALV. MTL. COPING, COLOR TO MATCH ADJACENT - UNO.
16. PORTICO CANOPY.
17. EXTERIOR LIGHT FIXTURE.
18. STAIN GRADE EXTERIOR LUMBER TRELLIS (WESTERN CEDAR OR REDWOOD), SEE FINISH LEGEND FOR COLOR.
19. FINED GLAZING THERMAL ALUMINUM WINDOW.
20. SOFFIT LIGHT COVE.
21. GONG SIDEWALK/STOOP (WHERE OCCURS) @ DOOR.
22. EIFS BAND, SEE FINISH LEGEND FOR COLOR.
23. BREAK MTL. PANEL INSERT IN WINDOW FRAME.
24. LINE OF HALL BEYOND.
25. LINE OF ROOF BEYOND.
26. SINGLE PLY MEMBRANE ROOF W/ REQUIRED PAINTED EDGES/PASCH/TRIMS, SEE FINISH LEGEND FOR COLOR.
27. ROOF DOWNSPOUT NOZZLE WHERE OCCURS, SEE PLUMB & CIVIL DWGS FOR DRAINAGE METHODS & DIRECTIONS.

GENERAL NOTES

- A. ACTUAL BUILDING MOUNTED SIGNAGE EXACT LOCATIONS, SIZES & HEIGHTS TO BE DETERMINED & DEFERRED SUBMITTED UNDER SEPARATE PERMIT.

GERALD R. KESLER, INC.
ARCHITECTS
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EMAIL: GK@GRI.COM

PRELIMINARY
NOT FOR
CONSTRUCTION

TOWNEPLACE SUITES
MERCY & PECOS ROAD
GILBERT, ARIZONA

TOWNEPLACE SUITES
BY MARRIOTT

JOB NUMBER
1611
DATE
10-11-2021
REVISION

SHEET TITLE
EXTERIOR
ELEVATIONS
SHEET NUMBER
A201c



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIALS/FINISH LEGEND

- COLOR TO MATCH:**
- P1** PAINT COLOR: DUNN-EDWARDS, "DE 6254 (SERENE THOUGHT)"
 - P2** PAINT COLOR: DUNN-EDWARDS, "DE 6254 (SERENE THOUGHT)"
 - P3** PAINT COLOR: DUNN-EDWARDS, "DE 6260 (NISHFUL WHITE)"
 - P4** PAINT COLOR: DUNN-EDWARDS, "DEH 560 (WHITE)"
- FIBER CEMENT SIDING / COLOR TO MATCH:**
- S1** HARDIE-ARTISAN, "SHIPLAP SIDING (TIMBER BARK)"
 - S2** HARDIEPANEL-SELECT CEDARHILL, "VERTICAL BATTENED JOINT SIDING (NAVY/JO BEIGE)"
- DOORS / WINDOWS / STOREFRONT:**
- AP** THERMAL ALUMINUM SYSTEM, KANNEER, PVDF FINISH "COLONIAL WHITE"
- GL** LOW-E VISION GLAZING UNIT, VITRO GLASS "SOLARBAN TOX SOLARGRAY + CLEAR"
- HL** HIGH LOUVERS BELOW, COLOR TO MATCH WINDOW FRAME

KEYNOTES

1. EIFS - DRY-VIT, INSULATION PLUS MD SYSTEM, SANDBLAST FINISH OR APPROVED EQUAL. SEE FINISH LEGEND FOR COLORS. EIFS TO BE INSTALLED PER ICC-ESR-1845.
2. VERTICAL FIBER CEMENT SIDING (HZIO) - 5/8" x 8' @ GROUND FLOOR AND 10' @ UPPER FLOORS, SIDING & TRIMS TO BE INSTALLED PER ICC-ESR-1844.
3. HORIZONTAL (BLIND NAILLED) FIBER CEMENT SIDING (HZIO) - 5/8" x 8' 1/4" x 12', SIDING & TRIMS TO BE INSTALLED PER ICC-ESR-2290.
4. THERMAL ALUMINUM WINDOW W/ INTEGRATED HIGH LOUVER PANEL BELOW (WHERE OCCURS).
5. TYP. CONTROL JOINT @ FLOOR LINE.
6. APPROX. SIGNAGE SIZE & LOCATION, SEE GENERAL NOTES 'A'.
7. PAINTED GALV. BREAK MTL. GLADDING, SEE FINISH LEGEND FOR COLOR.
8. THERMAL ALUMINUM STOREFRONT SYSTEM, SEE DOOR & WINDOW SCHEDULES.
9. LINE OF ROOF SLOPE BEHIND PARAPET WALL.
10. HIGH ROOFTOP UNIT WHERE OCCURS.
11. PAINTED INSULATED HOLLOW METAL DOORS @ INSULATED STL. FRAME. COLOR TO MATCH ADJACENT.
12. PAINTED STL. CANOPY/OVERHANG.
13. EIFS REVEAL.
14. EIFS @ CONC. COLUMN, SEE FINISH LEGEND FOR COLOR.
15. PAINTED GALV. MTL. COPING, COLOR TO MATCH ADJACENT - UNO.
16. PORTICO CANOPY.
17. EXTERIOR LIGHT FIXTURE.
18. STAIN GRADE EXTERIOR LUMBER TRELLIS (WESTERN CEDAR OR REDWOOD), SEE FINISH LEGEND FOR COLOR.
19. FINED GLAZING THERMAL ALUMINUM WINDOW.
20. SOFFIT LIGHT COVE.
21. CONC. SIDEWALK/STOOP (WHERE OCCURS) @ DOOR.
22. EIFS BAND, SEE FINISH LEGEND FOR COLOR.
23. BREAK MTL. PANEL INSERT IN WINDOW FRAME.
24. LINE OF HALL BEYOND.
25. LINE OF ROOF BEYOND.
26. SINGLE PLY MEMBRANE ROOF W/ REQUIRED PAINTED EDGES/PASGIA/TRIMS, SEE FINISH LEGEND FOR COLOR.
27. ROOF DOWNSPOUT NOZZLE WHERE OCCURS, SEE PLUMB & CIVIL DWGS FOR DRAINAGE METHODS & DIRECTIONS.

GENERAL NOTES

- A. ACTUAL BUILDING MOUNTED SIGNAGE EXACT LOCATIONS, SIZES & HEIGHTS TO BE DETERMINED & DEFERRED SUBMITTED UNDER SEPARATE PERMIT.

GERALD R. KESLER, INC.
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TOWNEPLACE SUITES
 MERCY & PECOS ROAD
 GILBERT, ARIZONA

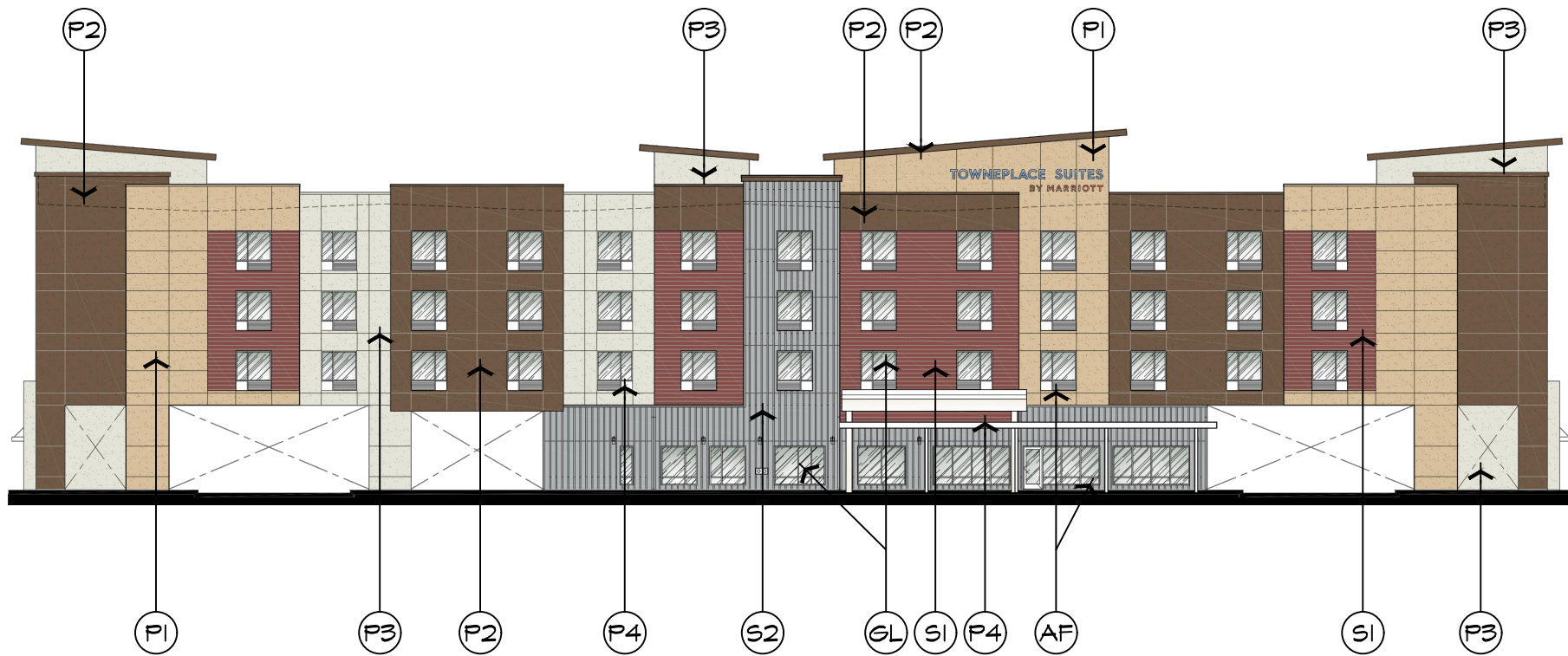
TOWNEPLACE SUITES
 BY MARRIOTT

JOB NUMBER
 1611
 DATE
 10-11-2021
 REVISION

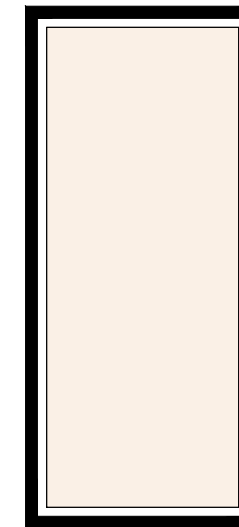
SHEET TITLE
 EXTERIOR
 ELEVATIONS
 SHEET NUMBER
A202c

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FRONT ELEVATION (South)



ALUM. FRAME
Kawneer



(AF) Colonial White, PVDF Finish

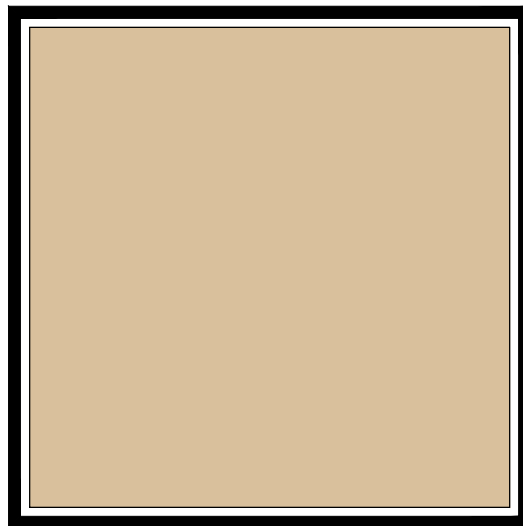
DOORS/WINDOWS
GLAZING
Vitro Glazing



(GL) Solarban 70XL Solargray + Clear

EIFS TEXTURE & PAINT COLORS TO MATCH

Dunn-Edwards



(P1) DEC 739 (Golden Gate)



(P2) DEA 162 (Log Cabin)



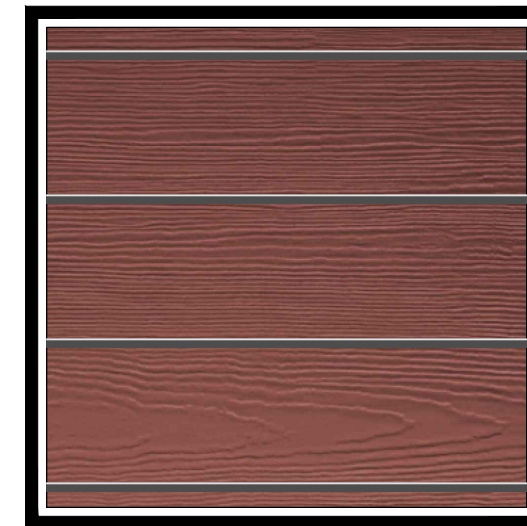
(P3) DE 6254 (Light Sprinkle)



(P4) DEW 380 (White)

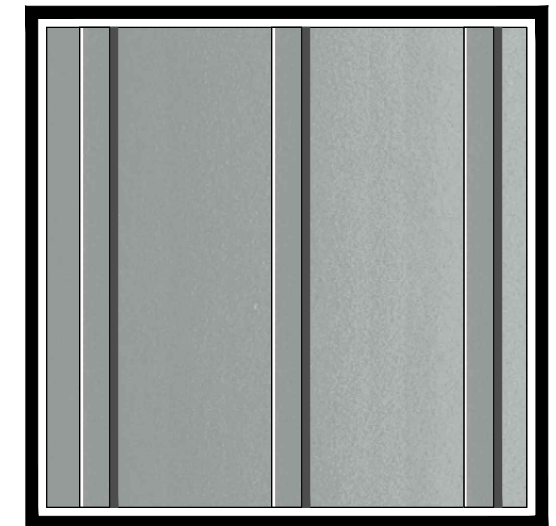
FIBER CEMENT SIDING / PAINT COLOR TO MATCH

HardiePanel-Select Cedarmill

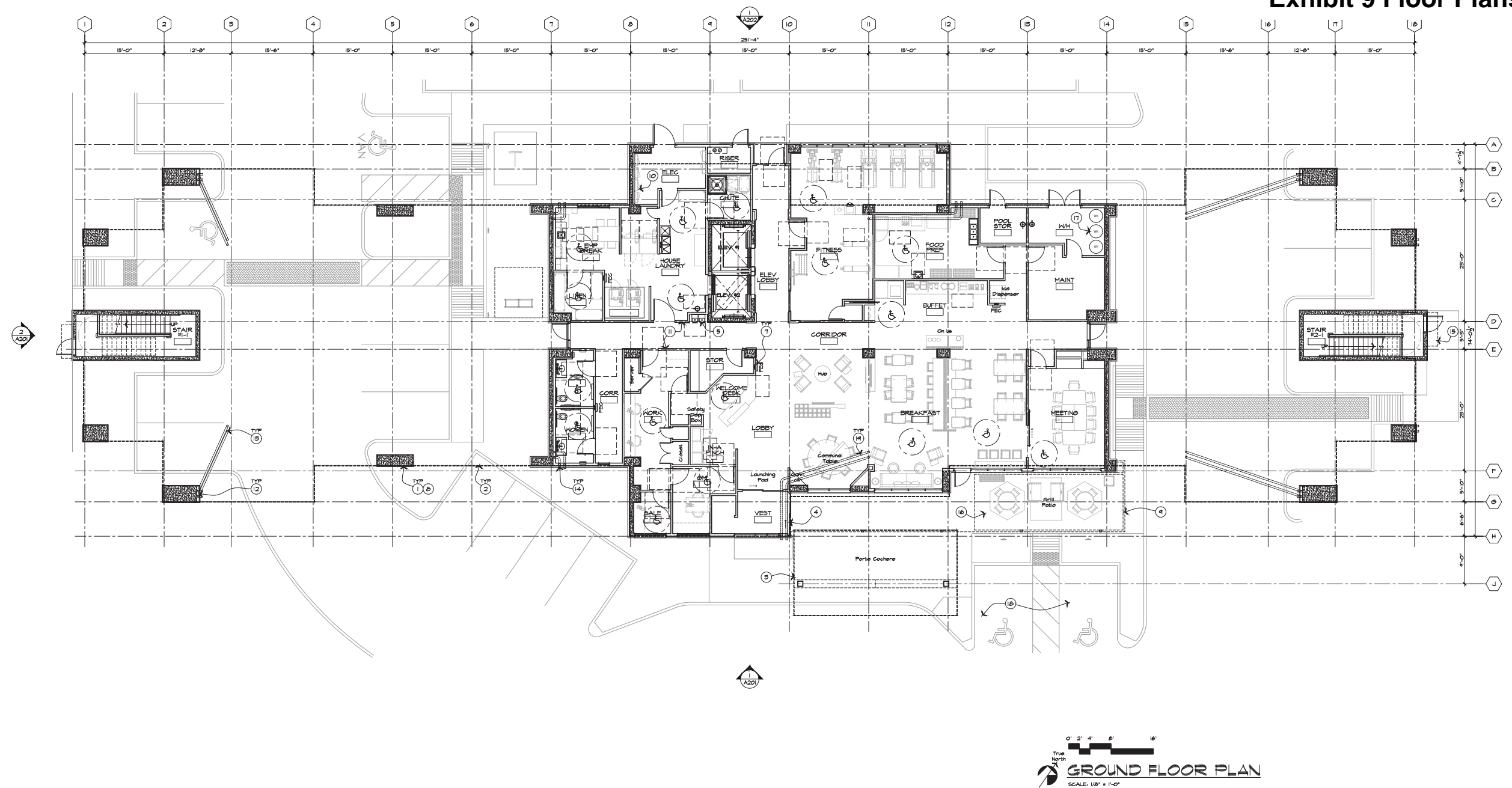


(S1) Lap Siding, Baked Clay

HardiePanel-Smooth



(S2) Vertical Siding, Artist Gray



GROUND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

KEYNOTES

1. CONC. COLUMN (TYP).
2. LINE OF FLOORS ABOVE (FOR REFERENCE).
3. LINE OF CANOPY ABOVE.
4. AUTOMATIC SLIDING GLASS ENTRY DOORS.
5. DOUBLE DRINKING FOUNTAIN.
6. LAUNDRY CHUTE PER NFPA 82.
7. SEMI-RECESSED PORTABLE FIRE EXTINGUISHER CABINET, U.N.O. SEE SPECS.
8. SKIM COAT OF EIFS W/ REINFORCING MESH O/ CONC COLUMN TO MATCH EIFS FINISH • ADJACENT FURRED DRAIN ENCLOSURE.
9. LINE OF HD TRELLIS ABOVE.
10. SEE GEAR.
11. KEYCARD ENTRY - VERIFY W/ BRAND FOR EXACT REQUIRED LOCATIONS • OTHER REQUIREMENTS.
12. R.D. • O.D. PIPES FURRED DRAIN ENCLOSURE, SEE PLUMB • CIVIL DVGS FOR DRAINAGE METHODS • DIRECTIONS.
13. TURN DRAIN PIPES ABOVE THE CEILING INTO FURRED ENCLOSURE AS REQUIRED (TYP).
14. RD • OD LEADERS, CONCEALED IN WALL • DAYLIGHT AT GRADE. PROVIDE CONC SPLASH BLOCKS AS REQUIRED (TYP).
15. LINE OF CANOPY ABOVE.
16. PATIO - OUTDOOR SEATING.
17. WATER HEATER, SEE PLUMB DVGS.
18. FOR REFERENCE ONLY - SEE SITE PLAN FOR LANDSCAPING • PARKING LAYOUT.
19. LINE OF ROOF • OVERFLOW DRAIN PIPES ABOVE GLS. (NOT VISIBLE TO GUEST). - SEE PLUMB PLAN.

BUILDING DATA

BLDG AREA:	
Ground Floor (Bldg + portico)	= 8,716 S.F. (1,075 + 1,025)
2nd Floor (28 rooms)	= 15,765 S.F.
3rd Floor (28 rooms)	= 15,680 S.F.
4th Floor (28 rooms)	= 15,680 S.F.
TOTAL (84 ROOMS)	= 44,291 S.F.

GERALD R. KESLER, INC.
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 Phoenix, AZ 85014
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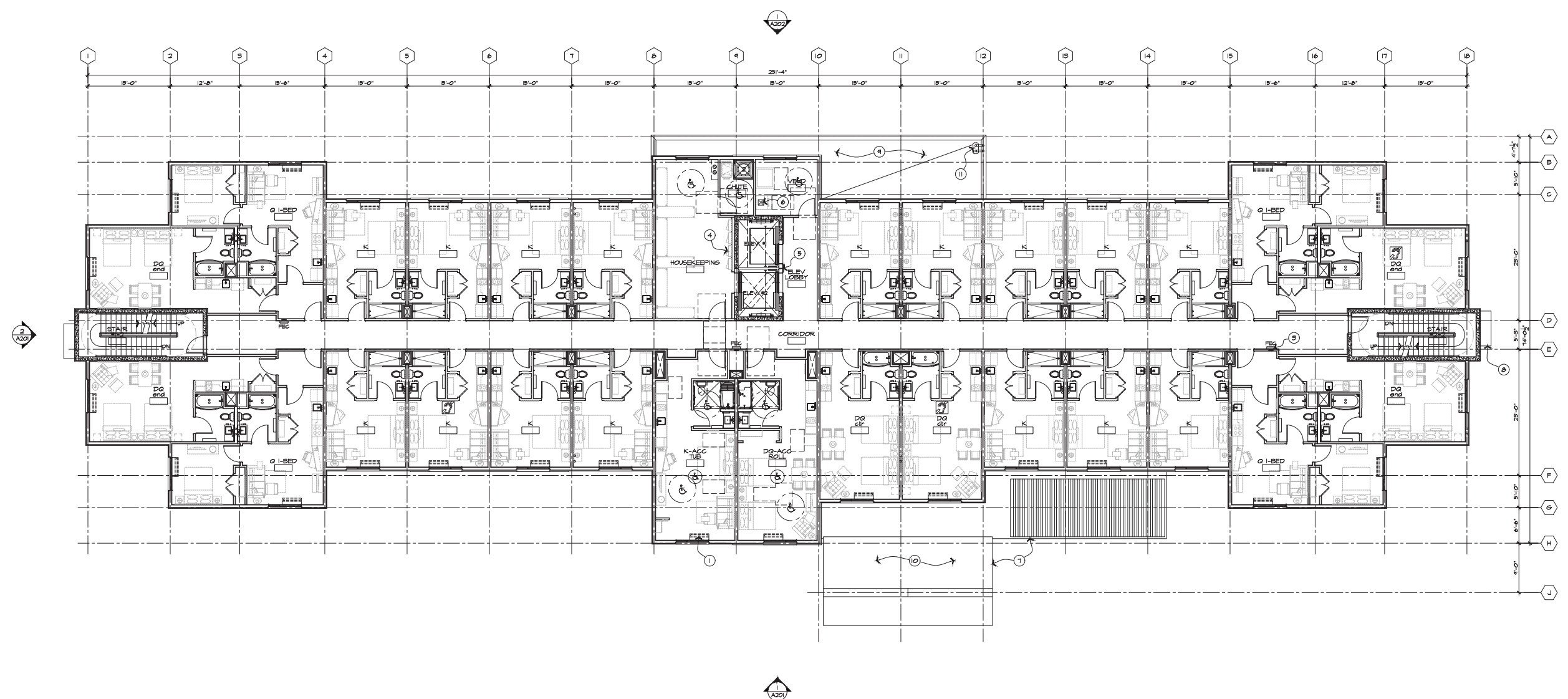
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TOWNEPLACE SUITES®
 BY MARRIOTT

JOB NUMBER
 1611
 DATE
 10-11-2021
 REVISION

SHEET TITLE
 GROUND FLOOR PLAN

SHEET NUMBER
 A101



0 2 4 6 8
SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

GUEST ROOM FLOOR SUITE MATRIX																
GUEST ROOM TYPE	2nd FLOOR					3rd FLOOR					4th FLOOR					TOTAL ALL FLOORS
	STD. # HI.	ACC. # HI.	TUB	ROLL	ROOM TYPE TOTAL	STD. # HI.	ACC. # HI.	TUB	ROLL	ROOM TYPE TOTAL	STD. # HI.	ACC. # HI.	TUB	ROLL	ROOM TYPE TOTAL	
KING STUDIO	15	1	1		17	15	1	1		17	15	1			16	50
DOUBLE QUEEN STUDIO CENTER END	1				3	2				3	4				4	10
	5				4	4				4	3				4	
QUEEN 1-BEDROOM STUDIO	4				4	5	1			4	2	1			4	12
ROOM TYPE PER FLOOR	STD. # HI.				23	STD. # HI.				24	STD. # HI.				24	TOTAL HI. ROK 71 8 3 0 0 TOTAL ROK: 84
	ACC. # HI.				5	ACC. # HI.				2	ACC. # HI.				5	
	TUB				1	TUB				1	TUB				1	
	ROLL				1	ROLL				1	ROLL				1	
TOTAL ROOM TYPE PER FLOOR	26				26	TOTAL ROOM TYPE PER FLOOR				26	TOTAL ROOM TYPE PER FLOOR				26	84
TOTAL ROOM PER FLOOR					28					28					28	

- KEYNOTES**
1. FTAC MECH UNIT (TYP).
 2. LAUNDRY CHUTE PER NFPA 82.
 3. SEMI-RECESSED PORTABLE FIRE EXTINGUISHER CABINET, UNO, SEE SPECS.
 4. ELEG 4 DATA PANELS.
 5. TWO-WAY COMMUNICATION SYSTEM 4 ELEVATOR CALL BUTTONS.
 6. FLOOR SINK, SEE PLUMB DWGS.
 7. LINE OF PORTICO 4 HD TRELLIS BELOW.
 8. LINE OF CANOPY BELOW.
 9. SPRAYED PU FOAM ROOF SYSTEM W/ ELASTOMERIC COATING - CONTINUE FOAM UP TO THE BACK OF PARAPET WALL (W/ EDGES SUPPORTED BY BLOCKING, 1/2" T & G PLYWD SHEATHING PER IBC 2605.4.1.5) TO US OF FLASHING AT EIFS PARAPET CAP.
 10. SINGLE PLY ROOFING SYSTEM.
 11. ROOF DRAIN 4 OVERFLOW DRAIN W/ STRAINER TO BE INSTALLED PER ROOFING MANUFACTURERS INSTRUCTIONS.

GERALD R. KESLER, INC.
 ARCHITECTS
 6 K I
 1000 E. CHANDLER LANE
 PHOENIX, AZ 85042
 PHONE: 602.735.1000
 FAX: 602.735.1001
 WWW: GKR.COM

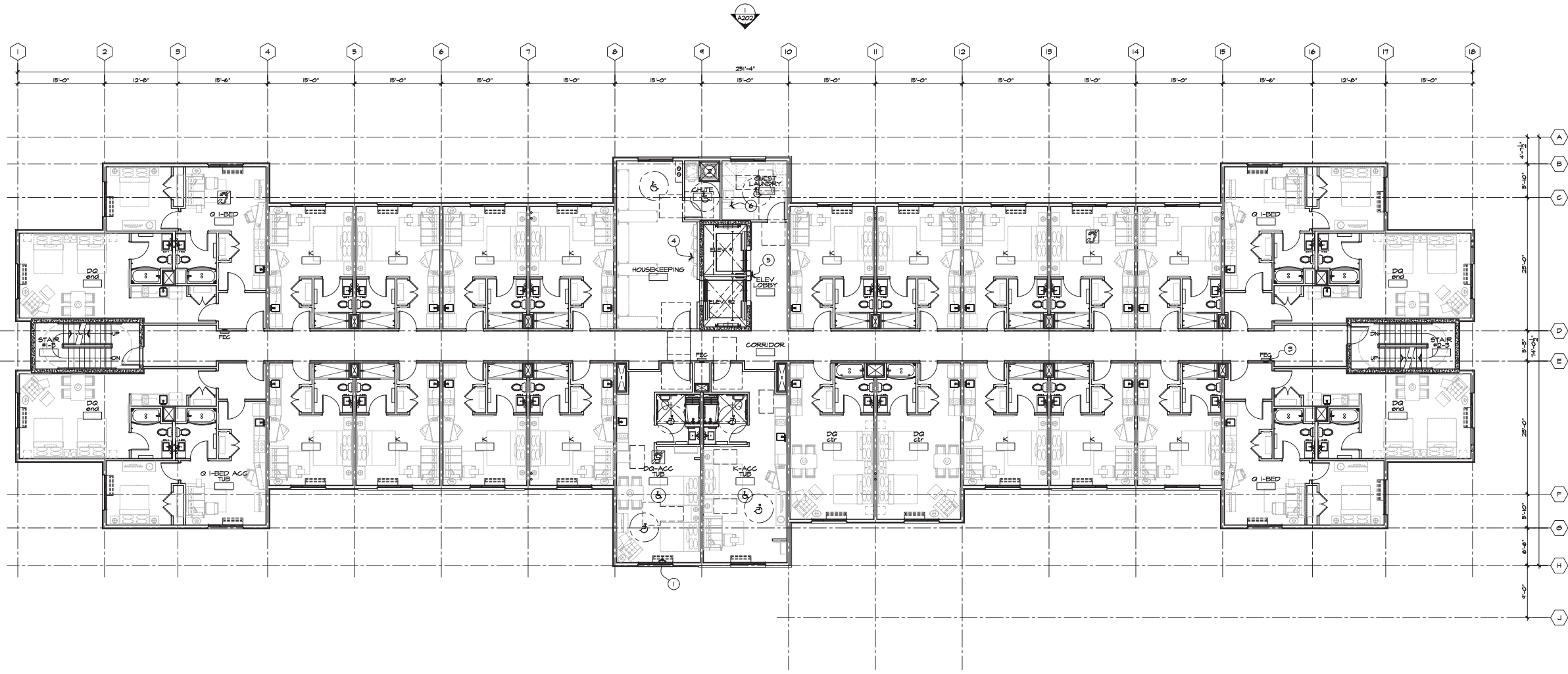
PRELIMINARY
 NOT FOR
 CONSTRUCTION

NEW
TOWNEPLACE SUITES
 MERCY 4 PECOS ROAD
 GILBERT, ARIZONA

TOWNEPLACE SUITES
 BY MARRIOTT

JOB NUMBER
 1611
 DATE
 10-11-2021
 REVISION

SHEET TITLE
 SECOND FLOOR PLAN
 SHEET NUMBER
 A102



0 2 4 6 8
THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

GUEST ROOM FLOOR SUITE MATRIX																
GUEST ROOM TYPE	2nd FLOOR					3rd FLOOR					4th FLOOR					TOTAL ALL FLOORS
	STD. # HI.	STD. # HI.	ACC. # HI.	ACC. # HI.	ROOM TYPE TOTAL	STD. # HI.	STD. # HI.	ACC. # HI.	ACC. # HI.	ROOM TYPE TOTAL	STD. # HI.	STD. # HI.	ACC. # HI.	ACC. # HI.	ROOM TYPE TOTAL	
KING STUDIO	15	1	1		17	15	1	1		17	15	1			16	50
DOUBLE QUEEN STUDIO CENTER END	1	1			3	2				3	4				4	10
	3	1			4	4				4	3	1			4	12
QUEEN 1-BEDROOM STUDIO	4				4	3	1			4	2	1	1		4	12
ROOM TYPE PER FLOOR	STD. # HI.	23				24				24	5				29	71
	ACC. # HI.	3				2	1			3	1				4	8
	TUB		1								1				1	3
	ROLL			1												1
TOTAL ROOM TYPE PER FLOOR	26		2		26			2		26	1			27	84	
TOTAL ROOM PER FLOOR	26					26					26					84

- KEYNOTES**
1. PTAC MECH UNIT (TYP).
 2. LAUNDRY CHUTE PER NFPA 82.
 3. SEMI-RECESSED PORTABLE FIRE EXTINGUISHER CABINET, UN.O., SEE SPECS.
 4. ELEG # DATA PANELS.
 5. THO-WAY COMMUNICATION SYSTEM # ELEVATOR CALL BUTTONS.
 6. FLOOR SINK, SEE PLUMB DWGS.

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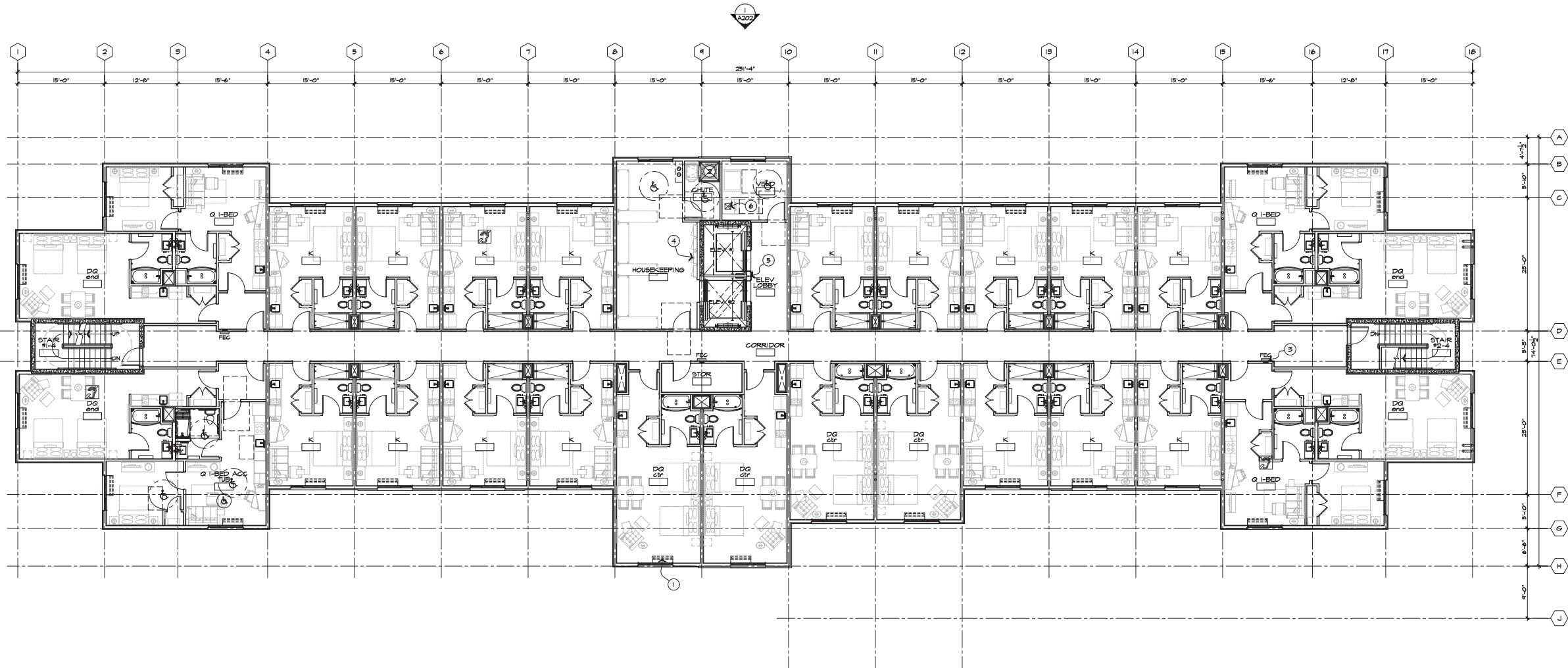
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TOWNEPLACE SUITES
 MERCY & PECOS ROAD
 GILBERT, ARIZONA

TOWNEPLACE SUITES
 BY MARRIOTT

JOB NUMBER
 1611
 DATE
 10-11-2021
 REVISION

SHEET TITLE
 THIRD FLOOR PLAN
 SHEET NUMBER
 A103



0 2 4 6 8
FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"

GUEST ROOM FLOOR SUITE MATRIX																
GUEST ROOM TYPE	2nd FLOOR					3rd FLOOR					4th FLOOR					TOTAL ALL FLOORS
	STD. # HI.	STD. # HI.	ACC. # HI.	ACC. # HI.	ROOM TYPE TOTAL	STD. # HI.	STD. # HI.	ACC. # HI.	ACC. # HI.	ROOM TYPE TOTAL	STD. # HI.	STD. # HI.	ACC. # HI.	ACC. # HI.	ROOM TYPE TOTAL	
KING STUDIO	15	1	1		17	15	1	1		17	15	1			16	50
DOUBLE QUEEN STUDIO CENTER END	1	1			3	2				3	4				4	10
	3	1			4	4				4	3	1			4	12
QUEEN 1-BEDROOM STUDIO	4				4	3	1			4	2	1	1		4	12
ROOM TYPE PER FLOOR	STD.	23				24					24					71
	STD. # HI.	3				2					5				8	
	ACC.		1				1				1				3	
	ACC. # HI.			1				1							1	
TOTAL ROOM TYPE PER FLOOR	26		2			26			2		26				84	
TOTAL ROOM PER FLOOR	26					26					26					84

- KEYNOTES**
1. PTAC MECH UNIT (TYP).
 2. LAUNDRY CHUTE PER NFPA 82.
 3. SEMI-RECESSED PORTABLE FIRE EXTINGUISHER CABINET, UNO, SEE SPECS.
 4. ELEG # DATA PANELS.
 5. THO-WAY COMMUNICATION SYSTEM # ELEVATOR CALL BUTTONS.
 6. FLOOR SINK, SEE PLUMB DWGS.

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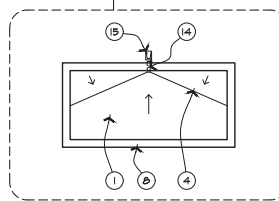
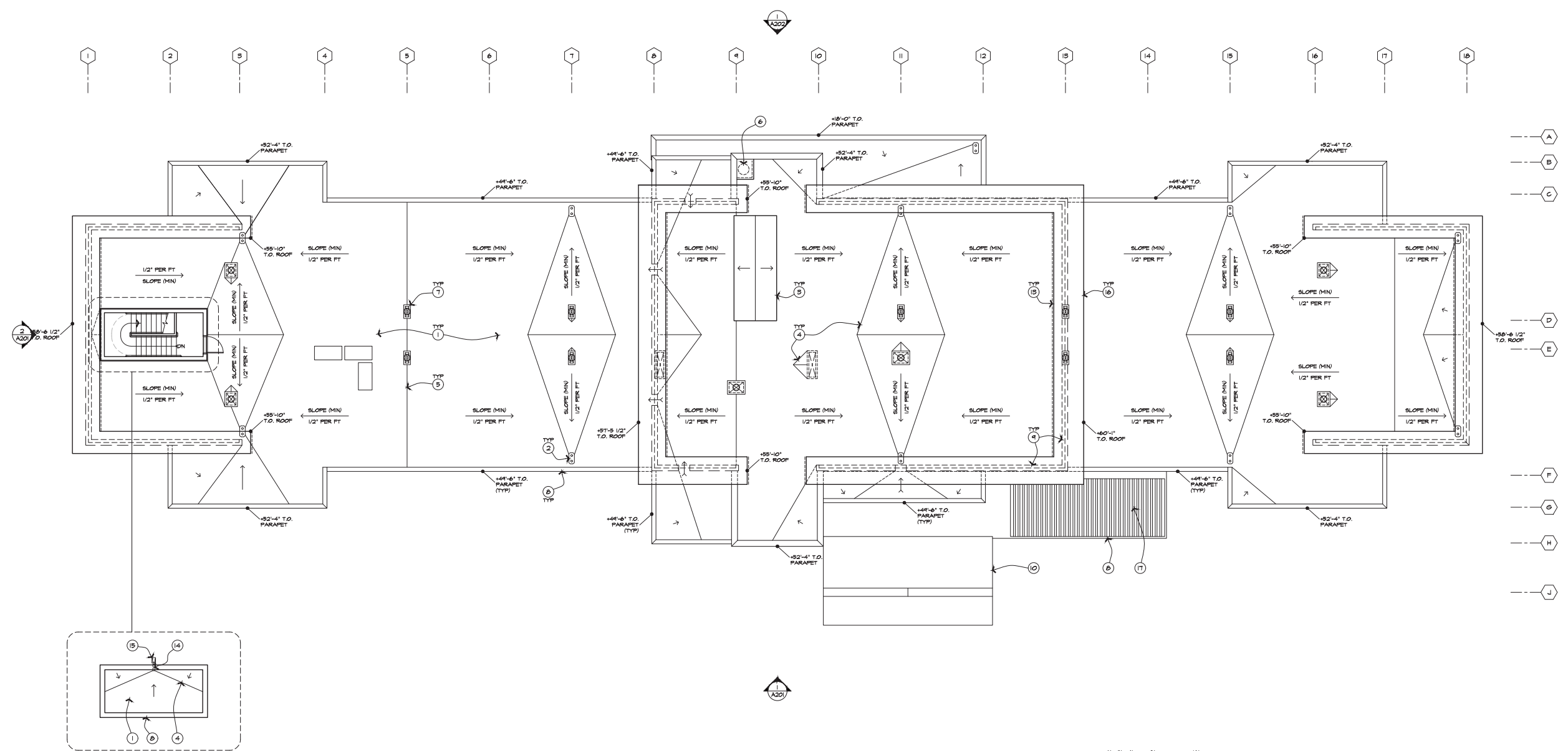
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 FOURTH FLOOR PLAN
 SHEET NUMBER
 A104



ROOF PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES

1. SPRAYED P.U. FOAM ROOF SYSTEM w/ ELASTOMERIC COATING - CONTINUE FOAM UP TO THE BACK OF PARAPET WALL (w/ EDGES SUPPORTED BY BLOCKING, 1/2" T & G PLYWD SHEATHING PER IBC 2605.4.1.5) TO U/S OF FLASHING AT EIFS PARAPET CAP.
2. ROOF DRAIN & OVERFLOW DRAIN w/ STRAINER TO BE INSTALLED PER ROOFING MANUFACTURER'S INSTRUCTIONS.
3. ELEVATOR PENTHOUSE.
4. PLYWOOD CRICKET.
5. RIDGE LINE.
6. LINEN CHUTE RELIEF VENT.
7. EXHAUST VENT HOUSING.
8. PAINTED GALV. MTL. COPING.
9. LINE OF HALL BELOW SHED ROOF.
10. PORTICO CANOPY BELOW.
11. PROVIDE WALK MATS O/ ROOFING SYSTEM FROM ROOF ACCESS HATCH TO ALL MECH. EQUIPMENT.
12. SINGLE-PLY ROOFING MEMBRANE SYSTEM - PROVIDE NECESSARY PAINTED GALV. MTL. TRIMS, FASCIA & EDGES AS REQUIRED.
13. PAINTED GALV. MTL. GUTTER & DOWNSPOUT.
14. THROUGH HALL PAINTED GALV. MTL. SCUPPER.
15. CONC SPLASH BLOCK BELOW.
16. LINE OF SHED ROOF EDGE.
17. STAINED WESTERN CEDAR OR REDWOOD TRELLIS BELOW.
18. MAKE-UP AIR UNIT.
19. CONDENSING UNIT.

GENERAL NOTES

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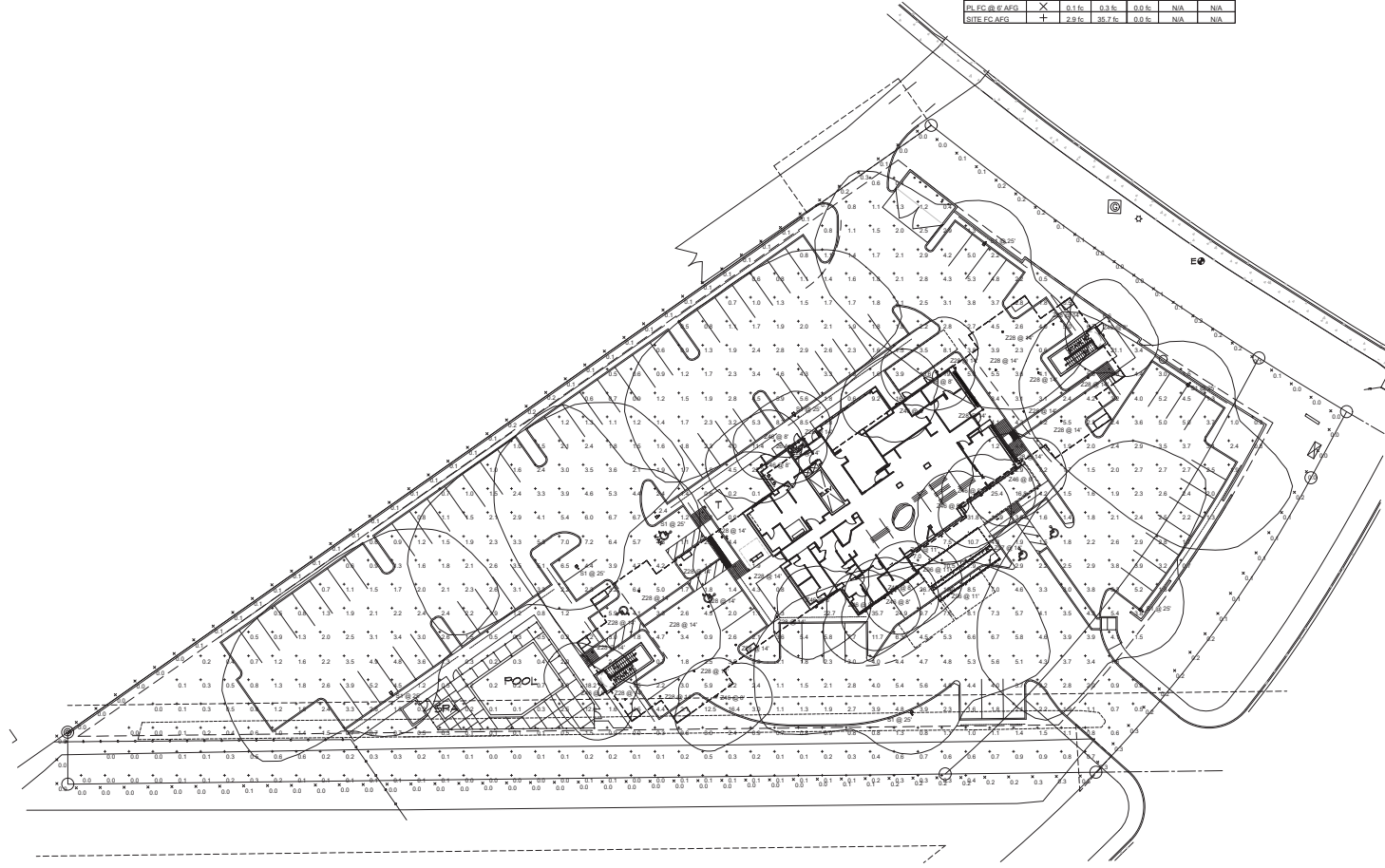
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SHEET TITLE
 ROOF PLAN
 SHEET NUMBER
A105

DR21-31 Marriott Towneplace Suites Exhibit 10 Lighting

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	Z28	25	Lithonia Lighting	LDN6-40/10-LOGAR-LSS	6IN LDN-4000K-1000LM-CLEAR-SEM-SPECULAR REFLECTOR, CR80	MH 4'	LDN6_40_10_LOGAR_LSS.ies	952	0.91	10.44
	Z46	14	Lithonia Lighting	WPX2-LED-40K-Mvot	WPX2-LED-wallpack 6000lm 4000K color temperature 120-277 Volt	MH 6'	WPX2_LED_40K_Mvot.ies	8896	0.91	47.77
	Z96	2	EcoSense Lighting	L50-E-48-06-40-80-MULT-25x45	Gray aluminum housing, white plastic reflector clear plastic lens enclosure 30' UNIT	MH 11'	L50-12-06-40-80-MULT-25x45.ies	512	4.75	180
	Z97	2	EcoSense Lighting	L50-E-48-10-40-80-MULT-25x45	Gray aluminum housing, white plastic reflector clear plastic lens enclosure 30' UNIT	MH 11'	L50-12-10-40-80-MULT-25x45.ies	838	4.75	300
	S1	8	Lithonia Lighting	RSX2-LED-F3-40K-R4-HS	RSX Area Fixture Size 2 P3 Lumen Package 4000K CCT Type R4 Distribution with HS Shield	MH 2F	RSX2_LED_F3_40K_R4_HS.ies	15334	0.91	149.9782

Statistics						
Description	Symbol	Avg	Max	Min	Max/min	Avg/min
PL-FC @ 6' AFF	X	0.1 fc	0.3 fc	0.0 fc	N/A	N/A
SITE FC AFF	+	2.8 fc	39.7 fc	0.0 fc	N/A	N/A



1 PHOTOMETRIC SITE PLAN
SCALE 1"=20'-0"

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PHOTOMETRIC SITE PLAN
 GERALD R. KESLER, INC.
 ARCHITECTS
 1000 N. CENTRAL AVENUE
 SUITE 1000
 GILBERT, ARIZONA 85133



NEW
TOWNEPLACE SUITES
 MERCY & PECOS ROAD
 GILBERT, ARIZONA

TOWNEPLACE SUITES
 BY MARRIOTT

JOB NUMBER
1611
DATE
1-19-2021

PHOTOMETRIC
SITE PLAN

E-10

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LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTRODUCTION - The new RSX2 LED Area Luminaire delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 1100 lm/ft² of HD lumens allowing it to replace 250W to 100W HD luminaires.

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LDN6

LDN6 is a high performance LED luminaire. It is designed for use in a wide range of applications. It is available in a variety of finishes and is suitable for use in a wide range of environments. It is a high performance LED luminaire. It is designed for use in a wide range of applications. It is available in a variety of finishes and is suitable for use in a wide range of environments.

Ordering Information

Order Part #	Color Temperature	Beam Angle	Mounting	Notes
LDN6-100-3000K-100W	3000K	30°	100W	
LDN6-100-4000K-100W	4000K	30°	100W	
LDN6-100-5000K-100W	5000K	30°	100W	

Technical Specifications

Parameter	Value
Power	100W
Beam Angle	30°
Color Temperature	3000K, 4000K, 5000K
Life Span	50,000 hours
Dimensions	100mm x 100mm x 100mm

WPX LED Wall Packs

Specifications

Introduction

The WPX LED wall pack is an energy efficient, cost-effective, and well-suited lighting solution for both interior and exterior applications. It is available in a variety of finishes and is suitable for use in a wide range of environments.

Ordering Information

Order Part #	Color Temperature	Beam Angle	Mounting	Notes
WPX-100-3000K-100W	3000K	30°	100W	
WPX-100-4000K-100W	4000K	30°	100W	
WPX-100-5000K-100W	5000K	30°	100W	

Technical Specifications

Parameter	Value
Power	100W
Beam Angle	30°
Color Temperature	3000K, 4000K, 5000K
Life Span	50,000 hours
Dimensions	100mm x 100mm x 100mm

TROV

OVERVIEW • SPECIFICATIONS • ORDERING

INTRODUCTION

The TROV LED luminaire is a high performance, energy efficient lighting solution for both interior and exterior applications. It is available in a variety of finishes and is suitable for use in a wide range of environments.

Ordering Information

Order Part #	Color Temperature	Beam Angle	Mounting	Notes
TROV-100-3000K-100W	3000K	30°	100W	
TROV-100-4000K-100W	4000K	30°	100W	
TROV-100-5000K-100W	5000K	30°	100W	

Technical Specifications

Parameter	Value
Power	100W
Beam Angle	30°
Color Temperature	3000K, 4000K, 5000K
Life Span	50,000 hours
Dimensions	100mm x 100mm x 100mm

RSX2 LED Area Luminaire

Specifications

Introduction

The new RSX2 LED Area Luminaire delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 1100 lm/ft² of HD lumens allowing it to replace 250W to 100W HD luminaires.

Ordering Information

Order Part #	Color Temperature	Beam Angle	Mounting	Notes
RSX2-100-3000K-100W	3000K	30°	100W	
RSX2-100-4000K-100W	4000K	30°	100W	
RSX2-100-5000K-100W	5000K	30°	100W	

Technical Specifications

Parameter	Value
Power	100W
Beam Angle	30°
Color Temperature	3000K, 4000K, 5000K
Life Span	50,000 hours
Dimensions	100mm x 100mm x 100mm

RSX2 LED Area Luminaire

Specifications

Introduction

The new RSX2 LED Area Luminaire delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 1100 lm/ft² of HD lumens allowing it to replace 250W to 100W HD luminaires.

Ordering Information

Order Part #	Color Temperature	Beam Angle	Mounting	Notes
RSX2-100-3000K-100W	3000K	30°	100W	
RSX2-100-4000K-100W	4000K	30°	100W	
RSX2-100-5000K-100W	5000K	30°	100W	

Technical Specifications

Parameter	Value
Power	100W
Beam Angle	30°
Color Temperature	3000K, 4000K, 5000K
Life Span	50,000 hours
Dimensions	100mm x 100mm x 100mm

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NECK & TIGLAS BUILDING
GILBERT, ARIZONA

BY MARRIOTT

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