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Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: KRISTEN DEVINE, PLANNER II *KD*
(480) 503-6742, KRISTEN.DEVINE@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: MARCH 02, 2022

SUBJECT: DR21-138, CHILI'S

STRATEGIC INITIATIVE: Prosperous Community

This will allow for the development of a restaurant on a vacant pad within an established commercial area.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR21-138, Chili's: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately .99 acres, generally located on Power Road between Ray Road and Loop 202 and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay.

APPLICANT

Company: FK Inc
 Name: Michael Jasinski
 Address: 209 W. Stone Avenue
 Greenville, SC 29609

OWNER

Company: Vestar
 Name: Beau Hartwell
 Address: 2425 E. Camelback Road
 Unit 750

Phone: 864-672-3409
 Email: mjasinski@fk-inc.com

Phoenix, AZ 85016
 Phone: 602-553-2611

BACKGROUND/DISCUSSION

History

Date	Description
<i>September 17, 2002</i>	Town Council approved A01-8, Ordinance #1424 and Z01-28, Ordinance #1425 establishing Gilbert Gateway Towne Center PAD.
<i>January 30, 2003</i>	The Design Review board approved DR02-92 for Gilbert Gateway Towne Center.

Overview

The proposal includes a 5,117 sq. ft. restaurant on a vacant pad within the Gilbert Gateway Towne Center. Located on Power Road between Ray Road and Loop 202, the 0.99 acre site is zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	RC (Regional Commercial)	Regional Commercial (RC) PAD	Drive aisle, then commercial
South	RC (Regional Commercial)	Regional Commercial (RC) PAD	Parking, then Texas Roadhouse
East	City of Mesa	City of Mesa	Power Road, then commercial Mesa land
West	RC (Regional Commercial)	Regional Commercial (RC) PAD	Commercial, Denny's
Site	RC (Regional Commercial)	Regional Commercial (RC) PAD	Vacant Pad

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Maximum Building Height (ft.)/(Stories)	55	25'-9.5"
Minimum Building Setback (ft.)		
Front	0 (internal to site)	135'
Side (Street)	20	52'
Side (Non-residential)	0 (internal to site)	41'
Rear (Non-residential)	0 (internal to site)	59'
Minimum Required Perimeter Landscape Area (ft.)		
Front	0 (internal to site)	Existing
Side (Street)	20	Existing
Side (Non-residential)	0 (internal to site)	Existing
Rear (Non-residential)	0 (internal to site)	Existing
Off-Street Parking and Loading	1 space per 200 square feet of gross floor area – 26 Spaces Required	36 spaces

DISCUSSION

Site

The applicant is proposing to construct a 5,117 sf. restaurant located on an infill pad site within the Gilbert Gateway Towne Center. The site plan is consistent with the approved master site plan. The majority of the parking, lighting, and perimeter landscaping have already been completed with previous phases of the commercial center development. The only modifications for this development will be to the specific pad site and will not impact the overall master site plan.

Landscape

The perimeter landscaping for this site has already been installed and maintained as part of previous development on this master site plan. The site will also have new landscaping installed surrounding the building. A continuous evergreen hedge planted between the parking lot and Power Road is used to screen parking. For interior parking lot landscaping, five shade trees are required. Three trees exist and will remain, and two new trees will be planted in existing interior islands. Street right-of-way and landscape area planting requires 1 tree per 25 lf of street frontage (10 trees required), and three shrubs per tree (30 shrubs required). Shrubs and groundcover shall cover a minimum of 25% of landscape area. Thirty shrubs and

nine out of the 10 trees already exist, and one new tree will be planted. The rear perimeter landscape area requires 30 shrubs, 18 evergreen trees, and 1200 sf of ground cover. All will be provided as part of this development. Any existing landscaping that is missing or unhealthy will be replaced with the same species. Some of the landscaping being proposed are Evergreen Ironwood trees, Evergreen Elm trees, Sweet Acacia trees, Myrtles, Desert Lavender, and Katie Ruella.

Grading and Drainage

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division. Drainage consists of a series of underground and surface basins that were installed as part of the earlier phases of development.

Elevations, Floor Plan, Colors and Materials

The building as proposed is approximately one story and 25'-9.5" in height to the top of the pitched roof. The applicant is proposing a building that combines corporate design elements for a Chili's building along with features and materials consistent with the design of the center. The brick towers are a national brand requirement and the gabled roof on the tower element is to help the proposed building fit the styling of the other existing buildings in the area.

The body of the building consists of stucco, stone, brick, and also metal awnings. The applicant is proposing two primary stucco colors (Shenandoah Taupe and Jackson Taupe) that are consistent with the Design Guideline criteria from the center. They are using metal accents for the awnings in Corten AZP Raw and Weathered Rustic. The stone being used is consistent with other stone in the center (Bucks County Southern Ledge) and the brick being used for the entry columns (Burgundy) are a national brand material.

Lighting

The lighting being proposed as part of this project includes decorative, wall-mount and parking lot pole lighting. The new lights are consistent with the overall master planned shopping center and are within the allowable photometric limits.

Signage

Signage is not included in this approval. All signage will need to be approved through a separate Town permitted process and meet the Town sign code in addition to the established comprehensive sign plan for this site (Gilbert Gateway Towne Center, DR02-105).

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR21-138, Chili's: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 0.99 acres, generally located along Power Road between Ray Road and Loop 202 and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay, subject to conditions:

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the March 02, 2022 public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
- c. Signage is not included in this approval. Signage shall comply with approved comprehensive sign plan for the center and shall obtain approval of a sign permit.

Respectfully submitted,

Kristen Devine

Kristen Devine

Planner II

Attachments and Enclosures:

- 1) Finding of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Landscape
- 6) Grading and Drainage
- 7) Elevations
- 8) Colors and Materials

- 9) Floor Plans
- 10) Lighting
- 11) Applicant's Narrative

**FINDINGS OF FACT
DR21-138, Chili's**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

DR21-138 Chili's
Notice of Attachment 2 - Notice of Public Hearing/Vicinity Map

PLANNING COMMISSION DATE:

Wednesday, March 2, 2022 TIME: 6:00 PM*

LOCATION: *Gilbert Police Department-Amphitheater
75 E Civic Center Dr.
Gilbert, AZ 85296*

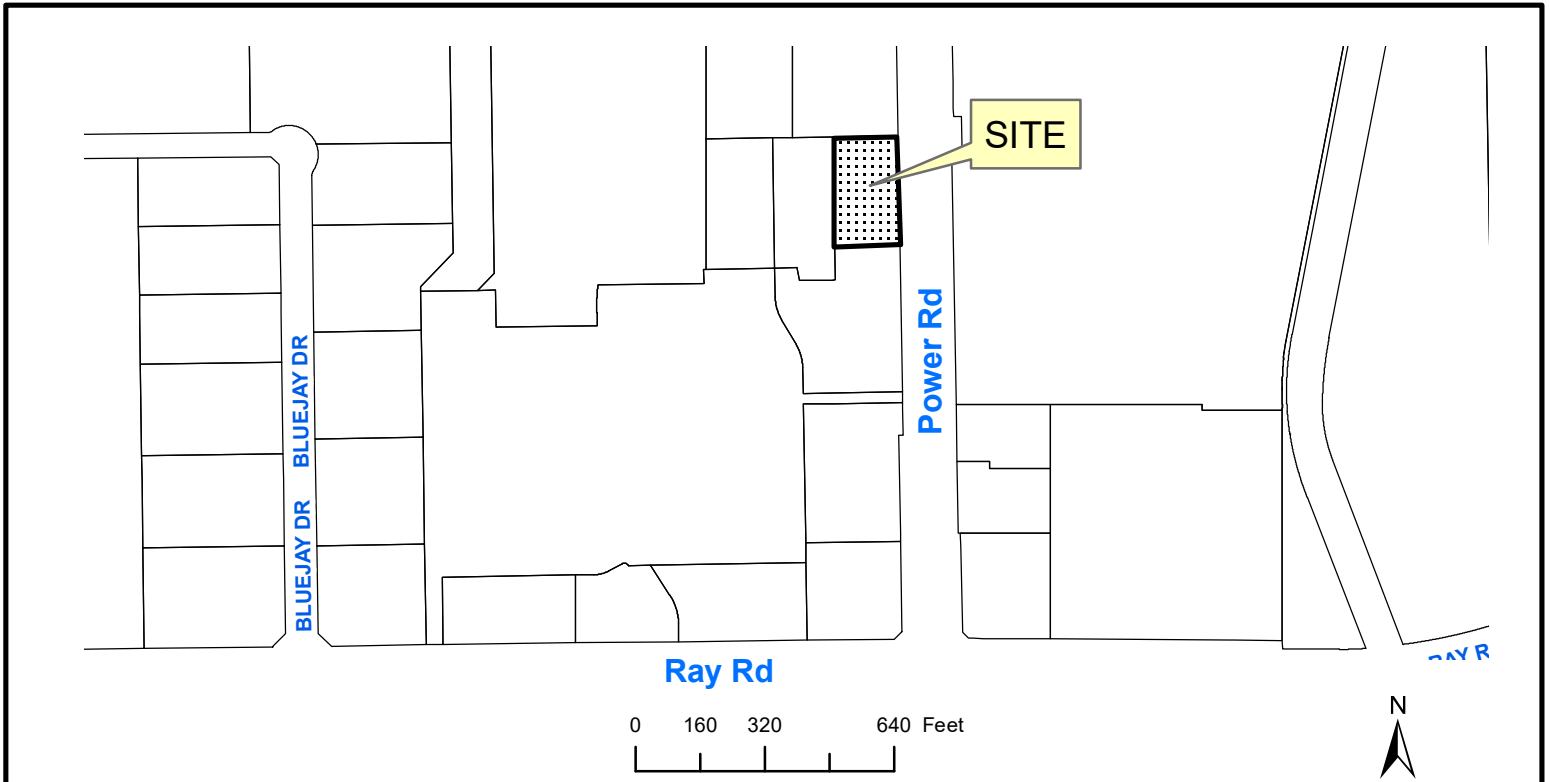
*Call Planning Division to verify date and time: (480) 503-6742

The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission

REQUESTED ACTION:

DR21-138 Chili's: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately .99 acres, generally located on Power Road between Ray Road and Loop 202, and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay.

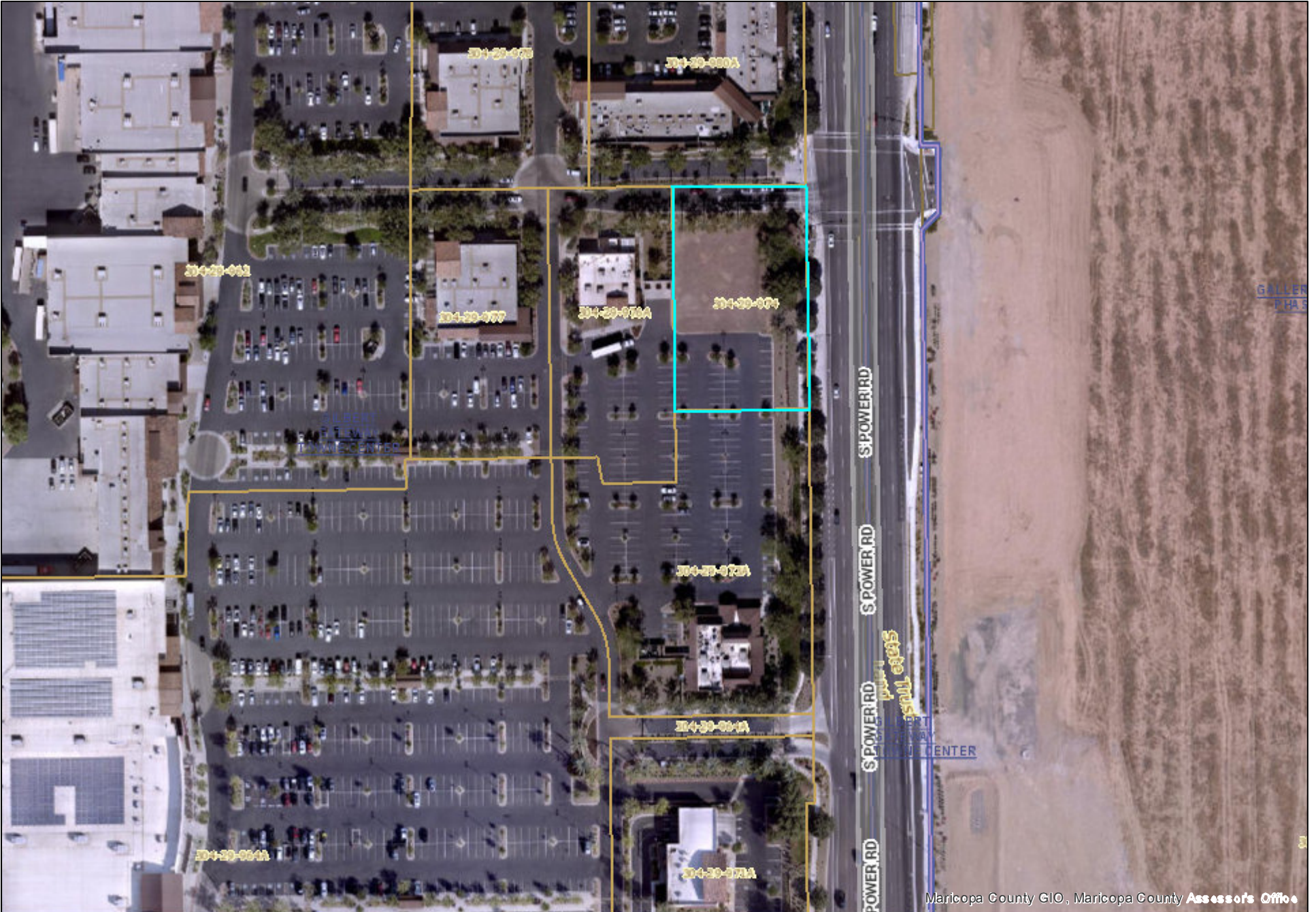
SITE LOCATION:

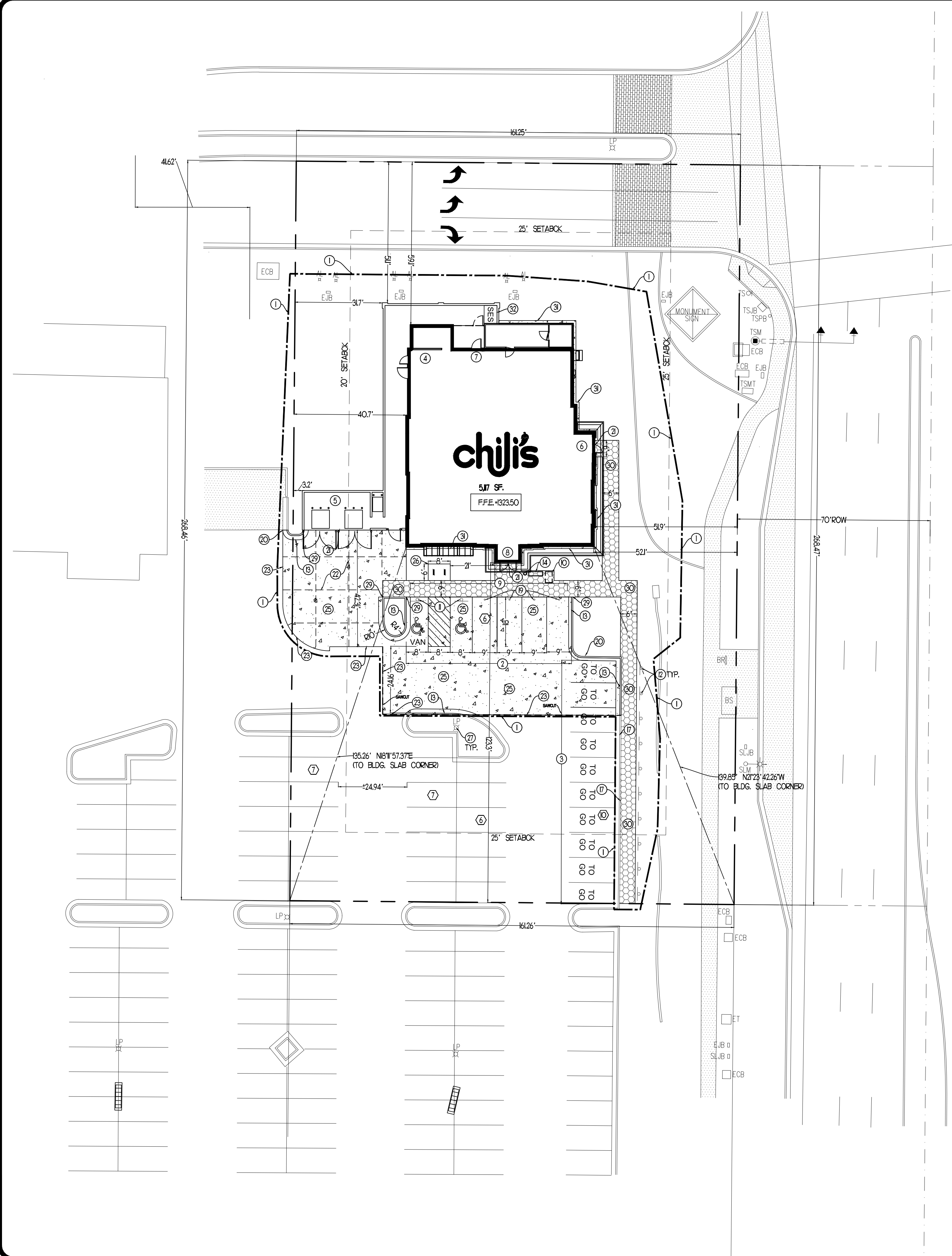


APPLICANT: *Freeland and Kauffman*
CONTACT: *Michael Jasinski*
ADDRESS: *209 W Stone Ave
Greenville, SC 29609*

TELEPHONE: *864-672-3409*
E-MAIL: *mjasinski@fk-inc.com*

Map





- NOTES:**
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED, ARE EDGE OF SIDEWALK, FACE OF BUILDING, OR BACK OF CURB.
 2. UNLESS NOTED OTHERWISE, PAVEMENT SHALL BE STANDARD DUTY ASPHALT. SEE DETAIL 10/C501 AND GEOTECHNICAL REPORT BY TERRACON CONSULTANTS INC. DATED 04/26/2021, FOR PAVING REQUIREMENTS
 3. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCES, PORCHES, SLOPED SIDEWALK, RAMPS, SERVICE YARD, PRECISE BUILDING DIMENSIONS, AND EXACT UTILITY ENTRANCE POINTS.
 4. ALL CURB & SIDEWALK TRANSITIONS LESS THAN 6" IN HEIGHT SHALL BE PAINTED TRAFFIC YELLOW.
 5. ALL STRIPING SHALL BE 4" WIDE, SOLID WHITE UNLESS NOTED OTHERWISE

REFERENCE DEMOLITION PLAN (CO2) FOR REMOVAL OF EXISTING SITE ELEMENTS.

REFERENCE GEOTECH REPORT BY TERRACON CONSULTANTS INC. DATED 04/26/2021 FOR ASPHALT PAVING CONSIDERATIONS

PAVEMENT BID ALTERNATE
CONTRACTOR TO PROVIDE BID ALTERNATE FOR ASPHALT PAVEMENT THROUGHOUT SITE. SEE DETAIL 10/C501

CONTRACTOR IS TO RE-STRIP ANY EXISTING PAVEMENT MARKINGS DISTURBED DURING CONSTRUCTION. NEW PAVEMENT MARKINGS SHALL MATCH THE PREVIOUSLY EXISTING MARKINGS EXACTLY AS THEY WERE PRIOR TO DISTURBANCE

PARKING TABLE

TOTAL PARKING REQUIRED *	26 SPACES
517 SF/200 = 26 SPACES	
HC PARKING REQUIRED	2 SPACES
TOTAL PARKING PROVIDED	36 SPACES
HC PARKING PROVIDED	2 SPACES
* 1 SPACE PER (200) GROSS SF.	
BKE PARKING REQUIRED	4 SPACES
BKE PARKING PROVIDED	4 SPACES

LEGEND

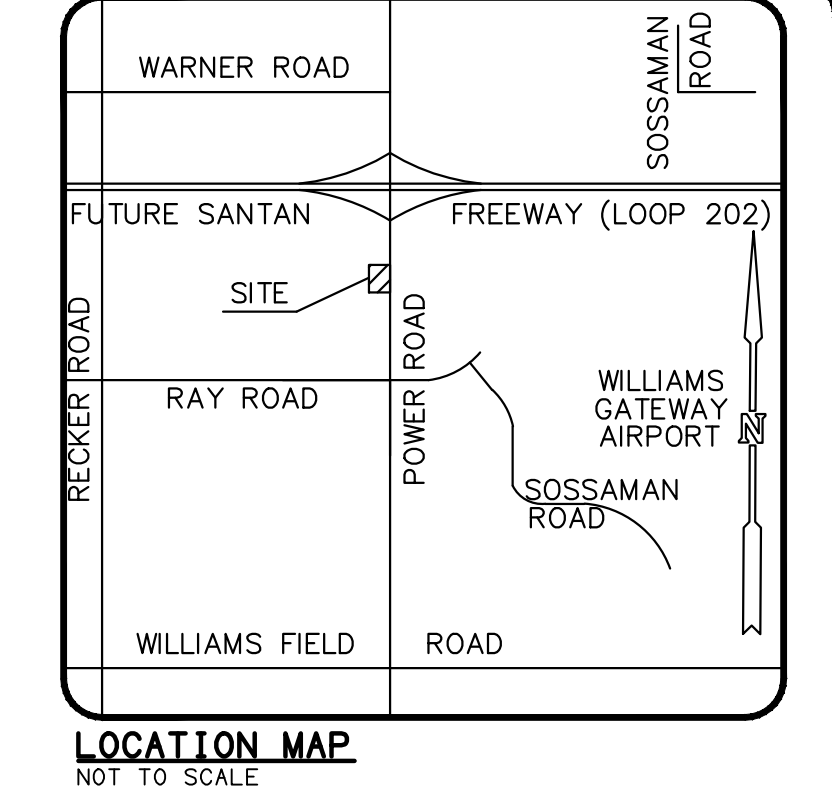
PROPOSED	DESCRIPTION
(12)	NUMBER OF SPACES PER ROW
♿	HANDICAP SYMBOL
—	SIGN
---	FULL DEPTH SAWCUT
▬	HEAVY DUTY CONCRETE PAVEMENT
▨	CONCRETE PAVING/SIDEWALK
▩	HEAVY DUTY ASPHALT*
▪	LIGHT DUTY ASPHALT*
▧	STRIPING

*REFERENCE GEOTECH REPORT BY TERRACON CONSULTANTS INC. DATED 04/26/2021

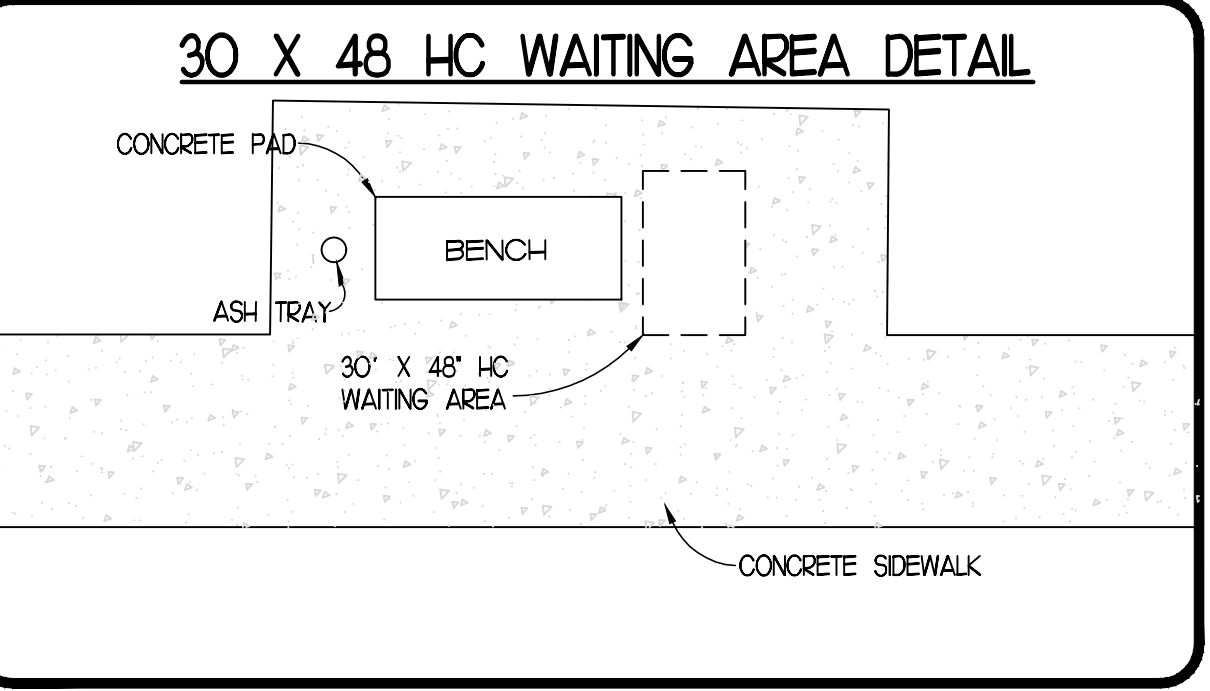
SITE DATA

TOTAL SITE AREA	0.99 ACRES
TOTAL SEATING	208
BUILDING AREA	517 SF
ZONING	RC
USAGE	FULL SERVICE RESTAURANT
SETBACK LINES	FRONT: 25' SIDE: 20'/75' REAR: 20'/75'
MAX. BLDG. HT.	55'
ADJACENT ZONING	NORTH: RC SOUTH: RC EAST: LC WEST: RC

FLOOD INFORMATION
FLOOD ZONE "X" (0.2% ANNUAL FLOOD HAZARD) PER FEMA MAP NO. 0403C02755M EFFECTIVE DATE: NOVEMBER 4, 2016



- KEYNOTES**
- 1 LIMITS OF CONSTRUCTION
 - 2 PROPOSED ACCESSIBLE PARKING - SEE DETAIL 10/C502, 9/C502 & 10/C502
 - 3 PROPOSED TOGO PARKING - SEE DETAIL 4/C502 & 7/C502
 - 4 FIRE RISER ROOM
 - 5 PROPOSED SERVICE YARD - SEE ARCHT DWG (A50)
 - 6 PROPOSED TOGO ENT - SEE ARCHT DWGS
 - 7 PROPOSED DELIVERY ENT - SEE ARCHT DWGS
 - 8 PROPOSED MAIN ENT - SEE ARCHT DWGS
 - 9 PROPOSED INTEGRAL SIDEWALK (SEE PLAN FOR WIDTH) - SEE DETAILS 3/C501 & 6/C501
 - 10 PROPOSED 30' X 48' ADA AREA
 - 11 PROPOSED HC SIGN - SEE DETAILS 9/C502 & 6/C502
 - 12 PROPOSED TOGO SIGN, CORE SIGN BASE INTO EXISTING ASPHALT - SEE DETAIL 7/C502 & 4/C502
 - 13 PROPOSED C&G - SEE DETAIL 8/C501 OR 10/C501, DEPENDENT ON PAVEMENT TYPE
 - 14 BENCHES & ASH TRAY - SEE ARCHT DWG
 - 15 PROPOSED SIDEWALK FLUSH WITH CONCRETE PAVEMENT (SEE PLAN FOR WIDTH) - SEE DETAIL 6/C501
 - 16 NOT USED
 - 17 THE NEW SIDEWALK TO EXISTING BACK OF CURB. MATCH GRADES
 - 18 NOT USED
 - 19 PROPOSED BOLLARDS - SEE DETAIL 12/C501
 - 20 THE PROPOSED C&G TO EXISTING C&G
 - 21 EXPANSION JOINT - SEE DETAIL 3/C501
 - 22 SAWED JOINT - SEE DETAIL 10/C501 & 3/C501
 - 23 PAVEMENT TRANSITION - SEE DETAIL 7/C501
 - 24 NOT USED
 - 25 HEAVY DUTY CONCRETE - SEE DETAIL 10/C501
 - 26 BICYCLE PARKING - SEE DETAIL 9/C501, USE FOOT MOUNT
 - 27 EXISTING SITE LIGHTING TO REMAIN AND BE UTILIZED FOR CHILI'S DEVELOPMENT. CONTRACTOR TO REPAIR/REPLACE ANY LIGHT FIXTURES DAMAGED DURING CONSTRUCTION.
 - 28 PROPOSED LIGHT POLE - SEE PHOTOMETRIC (REF. STRUCTURAL AND MEP FOR POLE BASE DETAIL) - PAINT BASE TRAFFIC YELLOW
 - 29 TERMINATE CONCRETE CURB
 - 30 PROPOSED SIDEWALK (SEE PLAN FOR WIDTH) - SEE DETAIL 3/C501
 - 31 12" CONCRETE APRON AROUND FOUNDATION - SEE DETAIL 10/C501
 - 32 SES PANEL LOCATION



REVISIONS

NO.	DESCRIPTION	DATE	BY

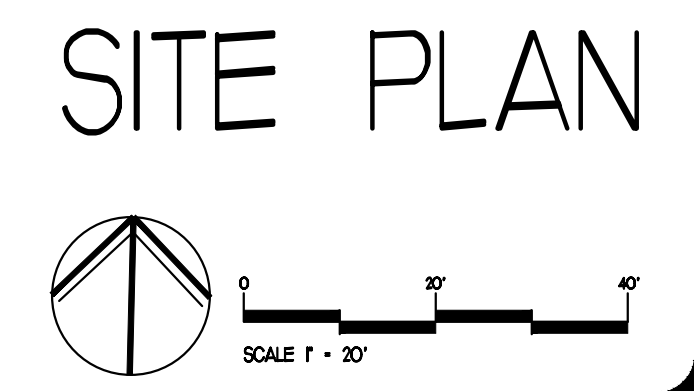
FREELAND and KAUFFMAN, INC.
Engineers * Landscape Architects
209 West Stone Avenue
Greenville, South Carolina 29609
864-233-5497
fax 864-233-8916
Firm Registration 23389

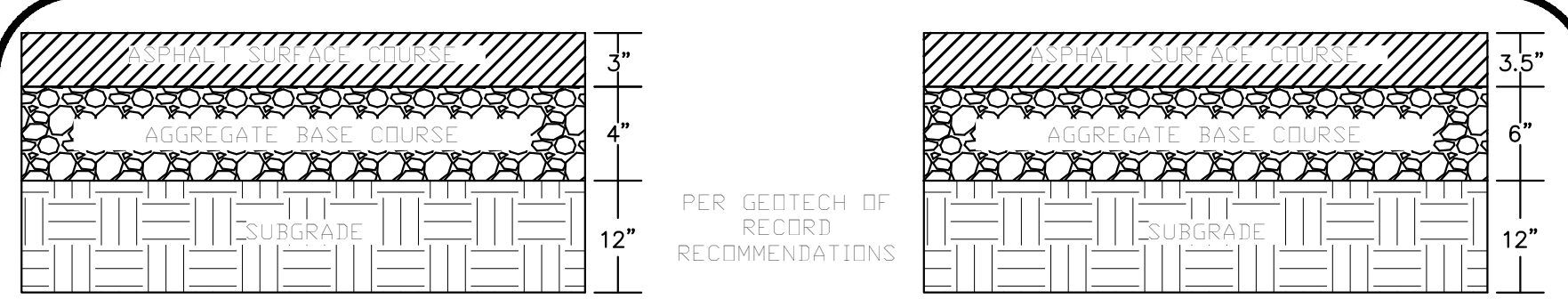


CHILI'S RESTAURANT #1646
5016 S POWER RD
MESA, AZ 85212
BRINKER RESTAURANT CORPORATION, A VA CORPORATION
3000 OLYMPUS BLVD.
DALLAS, TX 75019 TEL: (972) 770-6880

DRAWING

DRAWN	MCJ
CHECKED	TMB
DATE	02/08/2022
SCALE	SCALE
DRAWING	
C101	



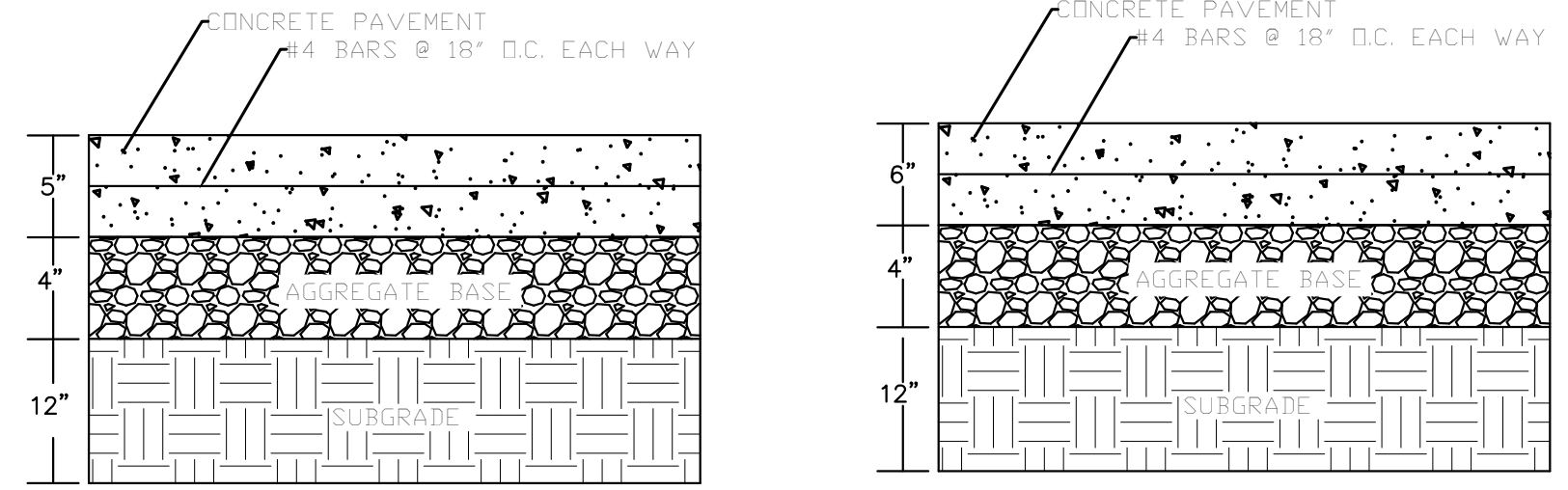


STANDARD DUTY PAVEMENT SECTION
(PARKING STALLS)
NOT TO SCALE

HEAVY DUTY PAVEMENT SECTION
(DRIVEWAYS)
NOT TO SCALE

PER GEOTECH OF RECORD RECOMMENDATIONS

PAVEMENT DEPTHS SHOWN ARE MINIMUM (NOT AVERAGE). THERE SHALL BE NO DEVIATION BELOW THE MINIMUM DEPTHS SHOWN.



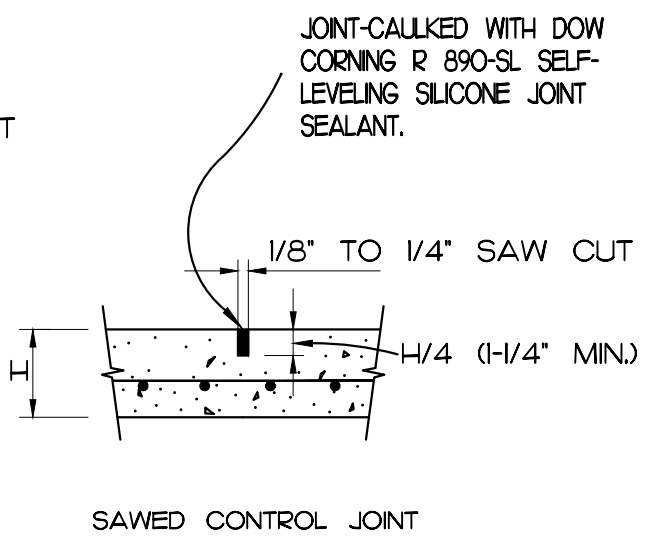
STANDARD DUTY CONCRETE PAVEMENT SECTION
(PARKING STALL - GREASE TRAP)
NOT TO SCALE

HEAVY DUTY CONCRETE PAVEMENT SECTION
(DUMPSTER PAD)
NOT TO SCALE

NOTE: PORTLAND CEMENT CONCRETE SHALL BE ACI 3301-03 4,000 PSI, 28 DAY STRENGTH, PER GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS

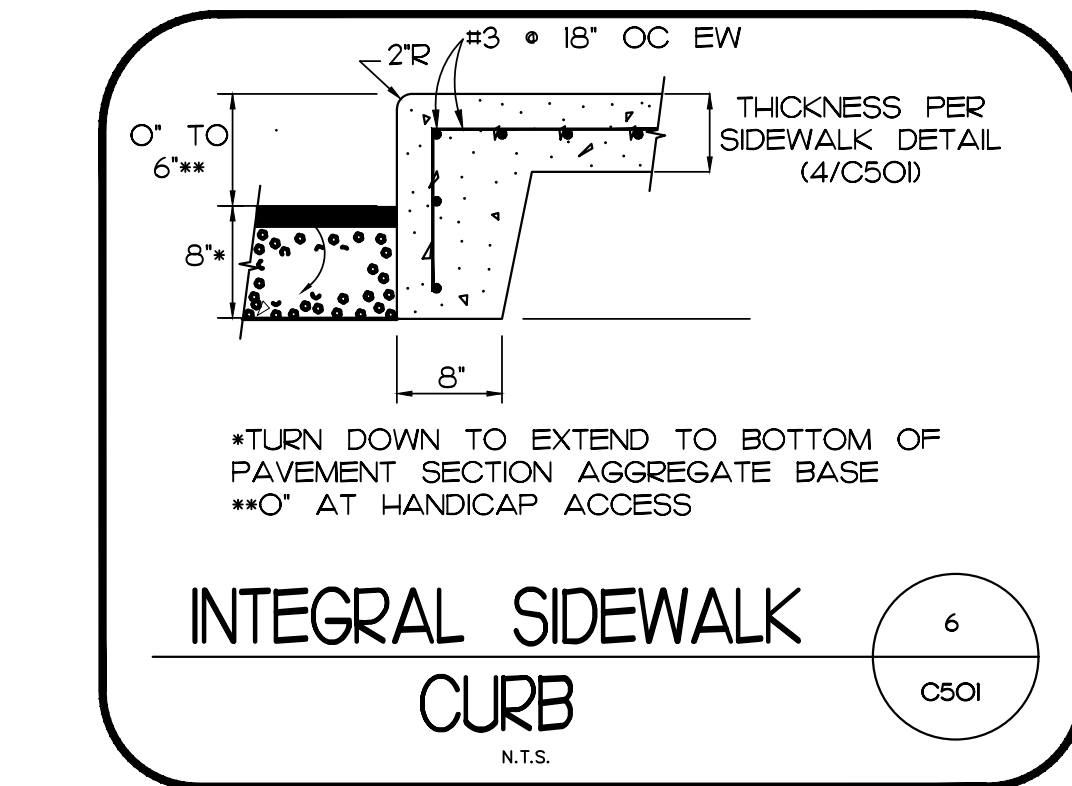
CONSTRUCTION SHALL CONFORM TO THE ARIZONA DEPARTMENT OF TRANSPORTATION 'SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION', LATEST EDITION.

- CONCRETE CONTROL JOINT SPACING SHALL BE 12' OC
- CONCRETE CONTROL JOINTS SHALL BE LOAD TRANSFER REINFORCED
- TIE BARS SHALL BE PLACED AT ALL CONSTRUCTION JOINTS PARALLEL TO TRAFFIC AND CONSIST OF GRADE 40, NO. 4 REINFORCING BARS 24" IN LENGTH AND PLACED AT 48" ON-CENTER.
- EXPANSION JOINTS SHALL BE PROVIDED WHERE PAVEMENT ABUTS FIXED OBJECTS SUCH AS BUILDING AND LIGHT POLES.



PAVING DETAILS

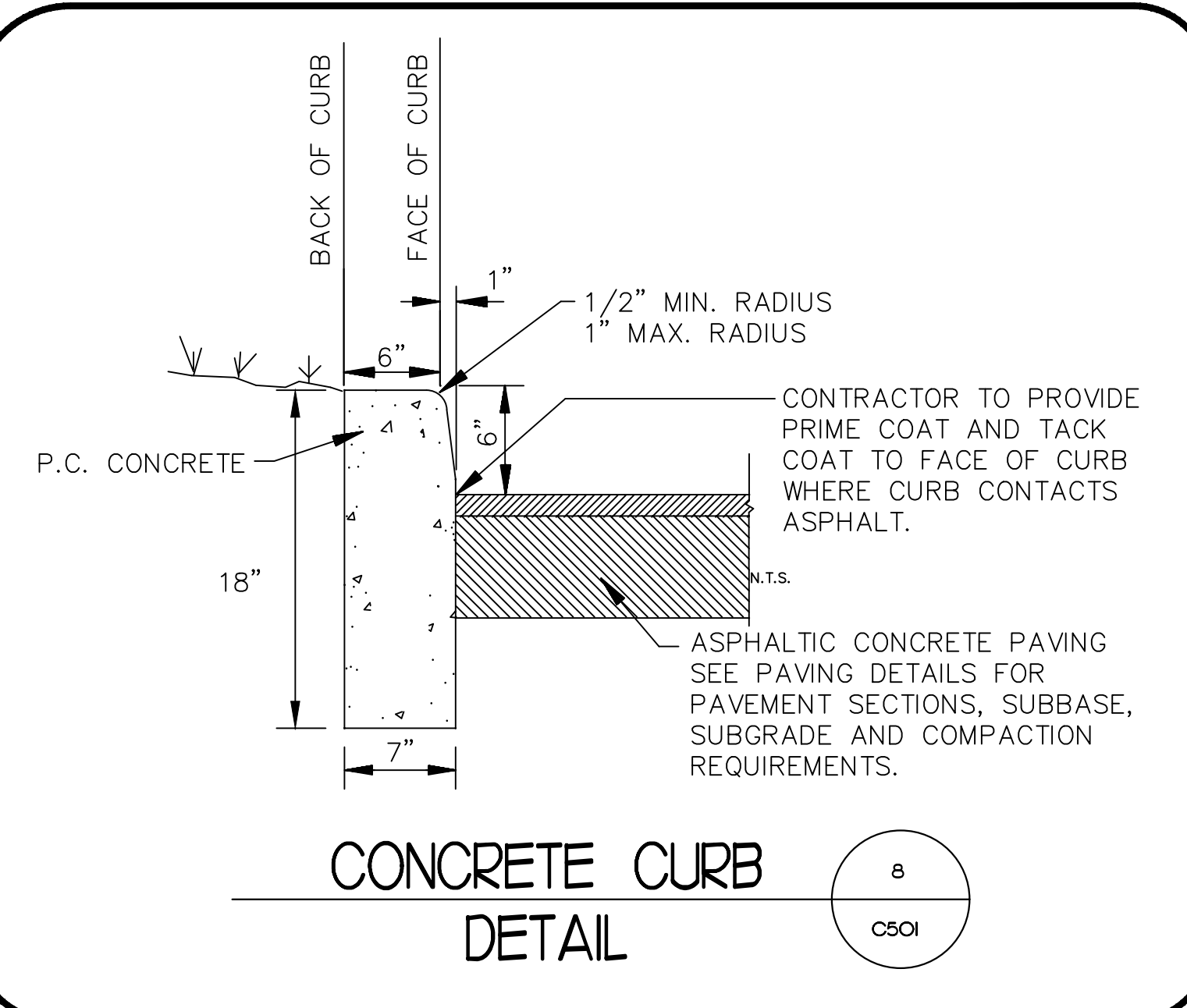
THE PAVEMENT DESIGN AS SHOWN IS PROVIDED BY TERRACON CONSULTANTS INC., DATED 04/26/2021. ENGINEER OF RECORD DOES NOT WARRANT THE EFFECTIVENESS OF THE DESIGN. ENGINEER OF RECORD ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR SAD DESIGN.



INTEGRAL SIDEWALK CURB
N.T.S.

*TURN DOWN TO EXTEND TO BOTTOM OF PAVEMENT SECTION AGGREGATE BASE

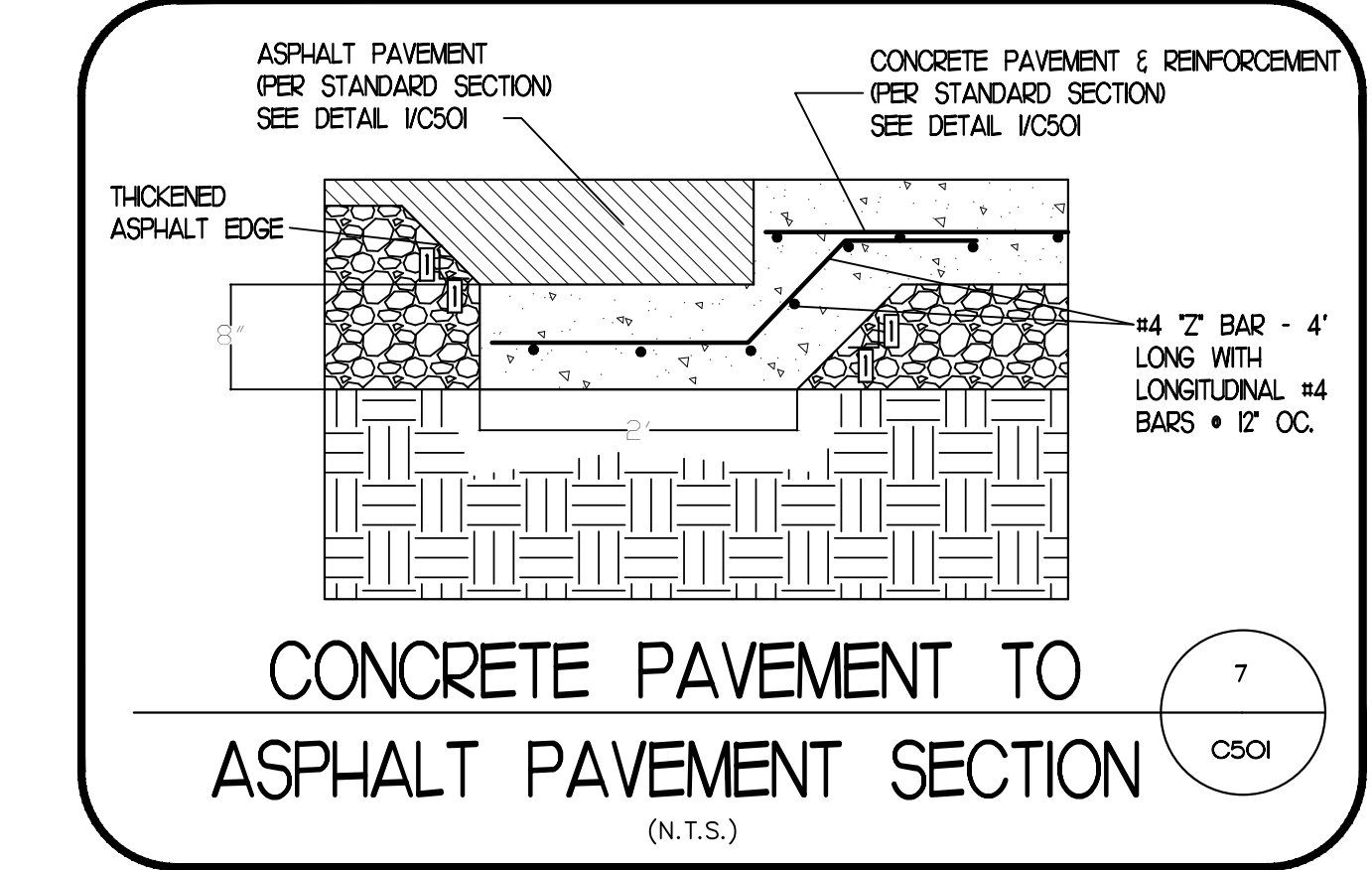
**0" AT HANDICAP ACCESS



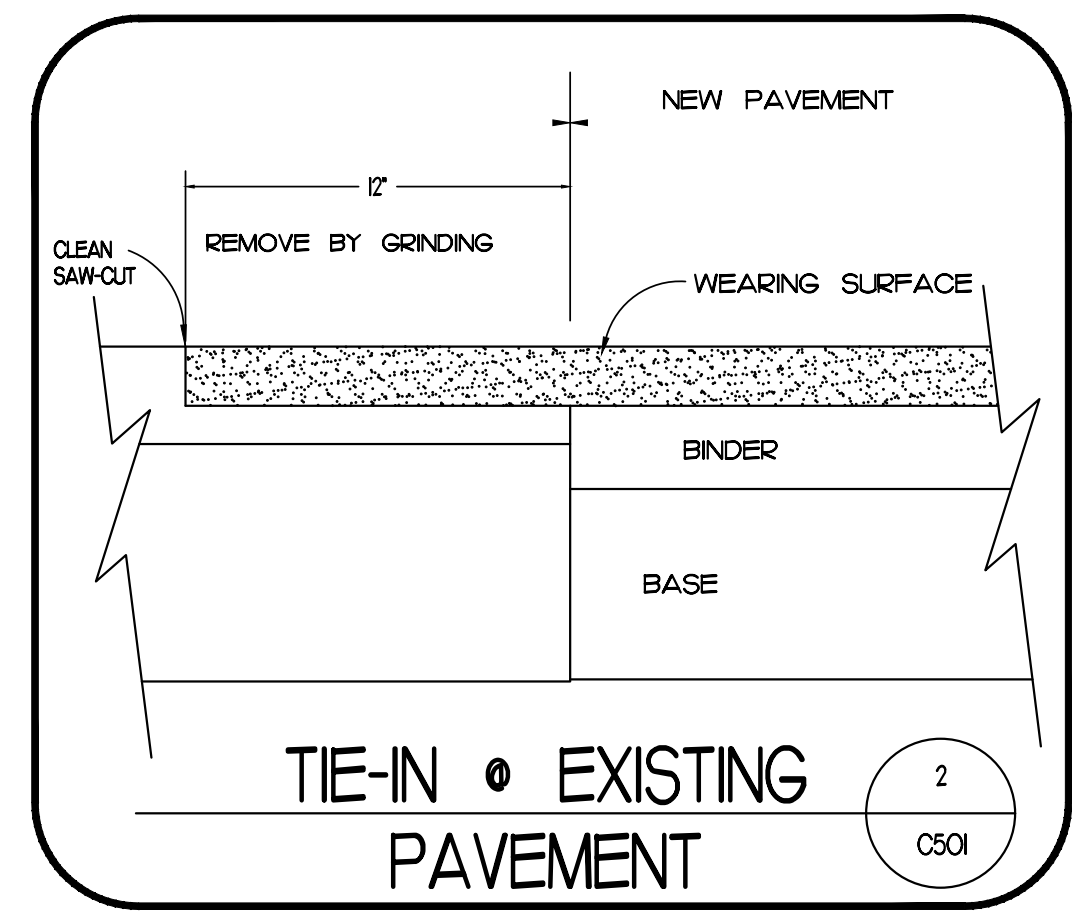
CONCRETE CURB DETAIL

CONTRACTOR TO PROVIDE PRIME COAT AND TACK COAT TO FACE OF CURB WHERE CURB CONTACTS ASPHALT.

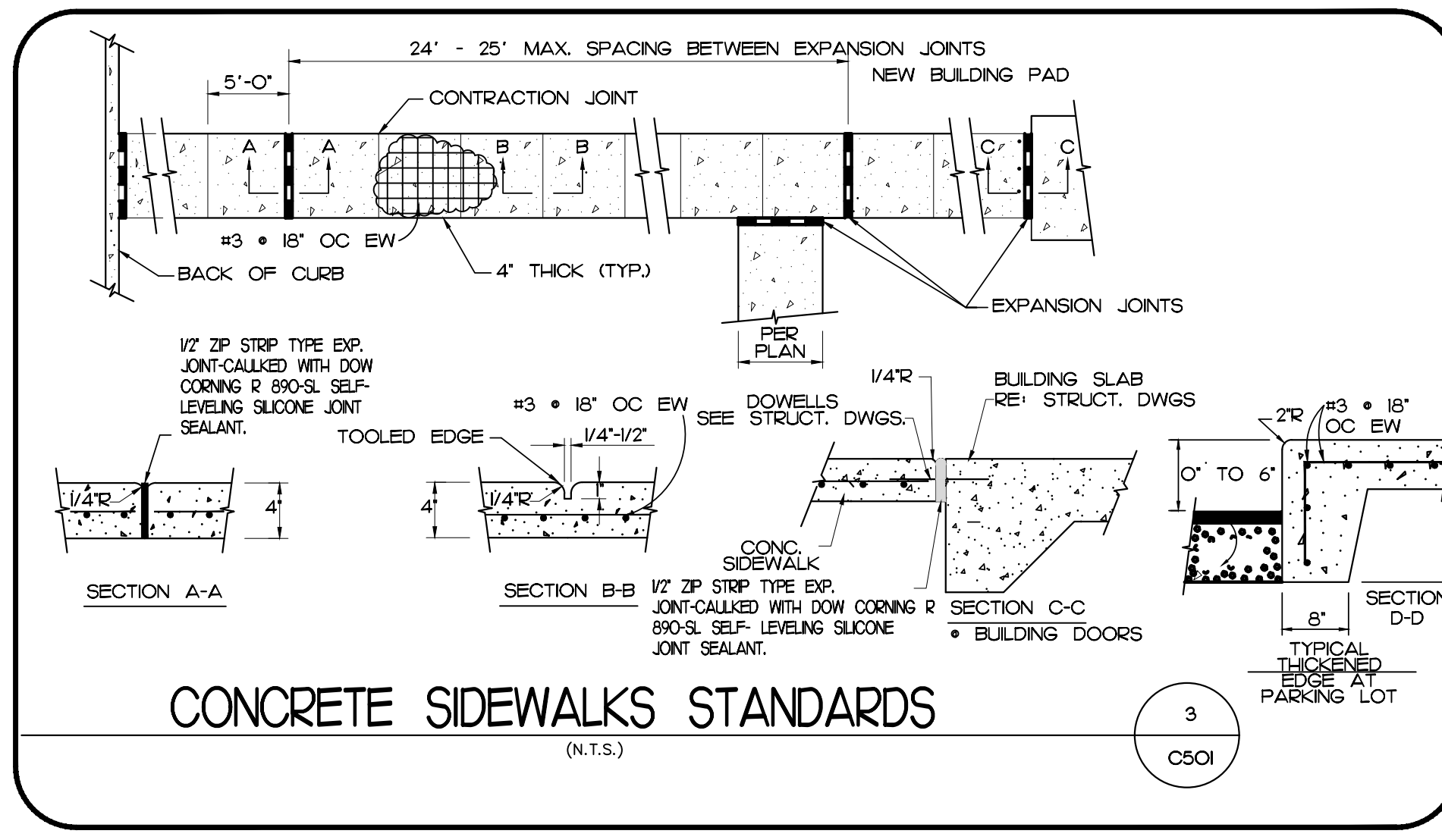
ASPHALTIC CONCRETE PAVING SEE PAVING DETAILS FOR PAVEMENT SECTIONS, SUBBASE, SUBGRADE AND COMPACTION REQUIREMENTS.



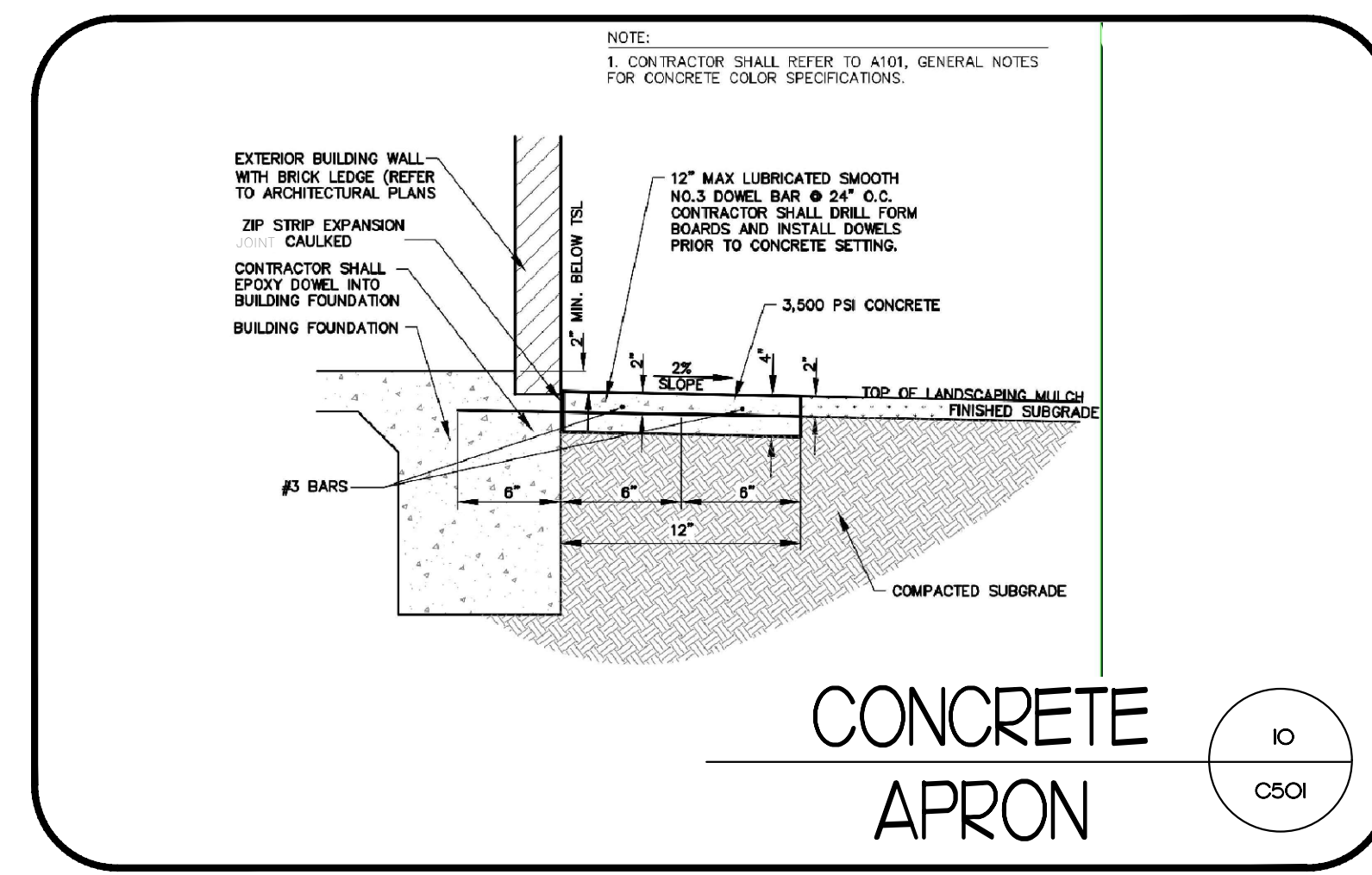
CONCRETE PAVEMENT TO ASPHALT PAVEMENT SECTION
(N.T.S.)



TIE-IN EXISTING PAVEMENT

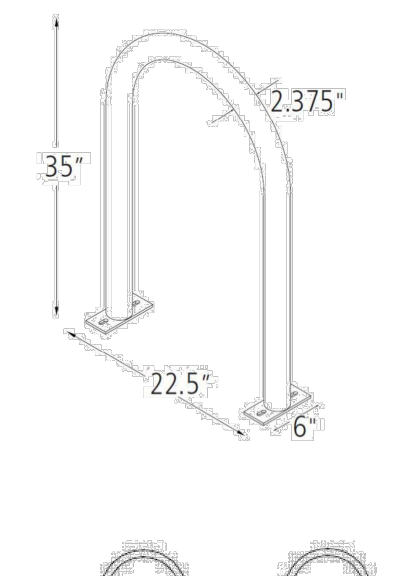


CONCRETE SIDEWALKS STANDARDS
(N.T.S.)

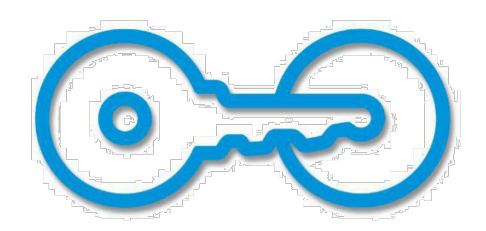


CONCRETE APRON

Hoop Rack Heavy Duty

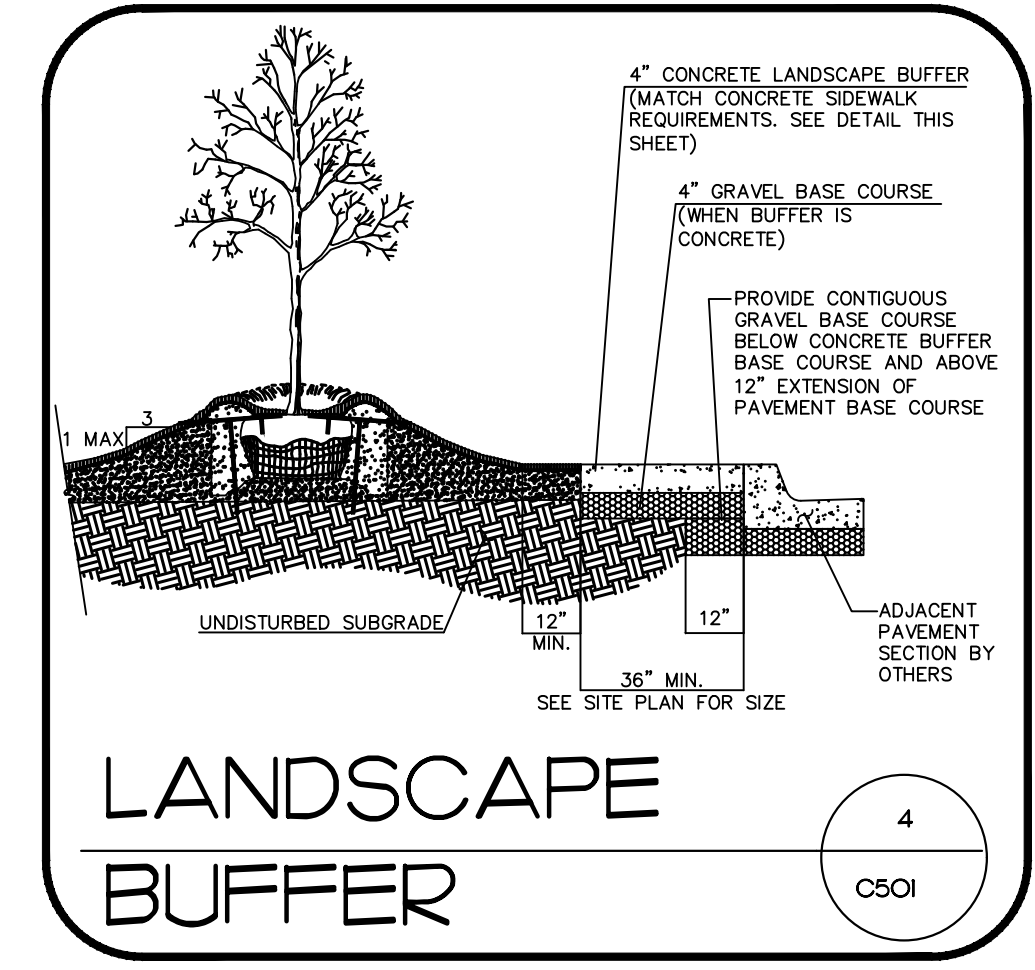


Product: Hoop Rack Heavy Duty
Capacity: 2 Bikes
Materials: 2" schedule 40 pipe (2.375" OD)
Finishes: An after fabrication hot dipped galvanized finish is our standard option. 230 TIG powder coat colors, thermoplastic coating, PVC dip, and stainless steel finishes are also available as alternate options.
Our powder coat finish assures a high level of adhesion and durability by following these steps:
1. Sandblast
2. Epoxy primer electrostatically applied
3. Final thick TIG polyester powder coat.
Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.
Installation Methods: In ground mount is embedded into concrete base. Specify in ground mount for this option. USE FOOT MOUNT MOUNTING METHOD.
Foot Mount has two 2.5"x6"x.25" feet with two anchors per foot. Specify foot mount for this option.
Rail Mounted Hoops are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 3"x1.4"x3/16" thick galvanized mounting rails. Specify rail mount for this option.
Space Use & Setbacks: Wall Setbacks: For racks set parallel to a wall: Minimum: 24" Recommended: 36"
For racks set perpendicular to a wall: Minimum: 28" Recommended: 42"
Distance Between Racks: Minimum: 24" Recommended: 36"
Street Setbacks: Minimum: 24" Recommended: 36"

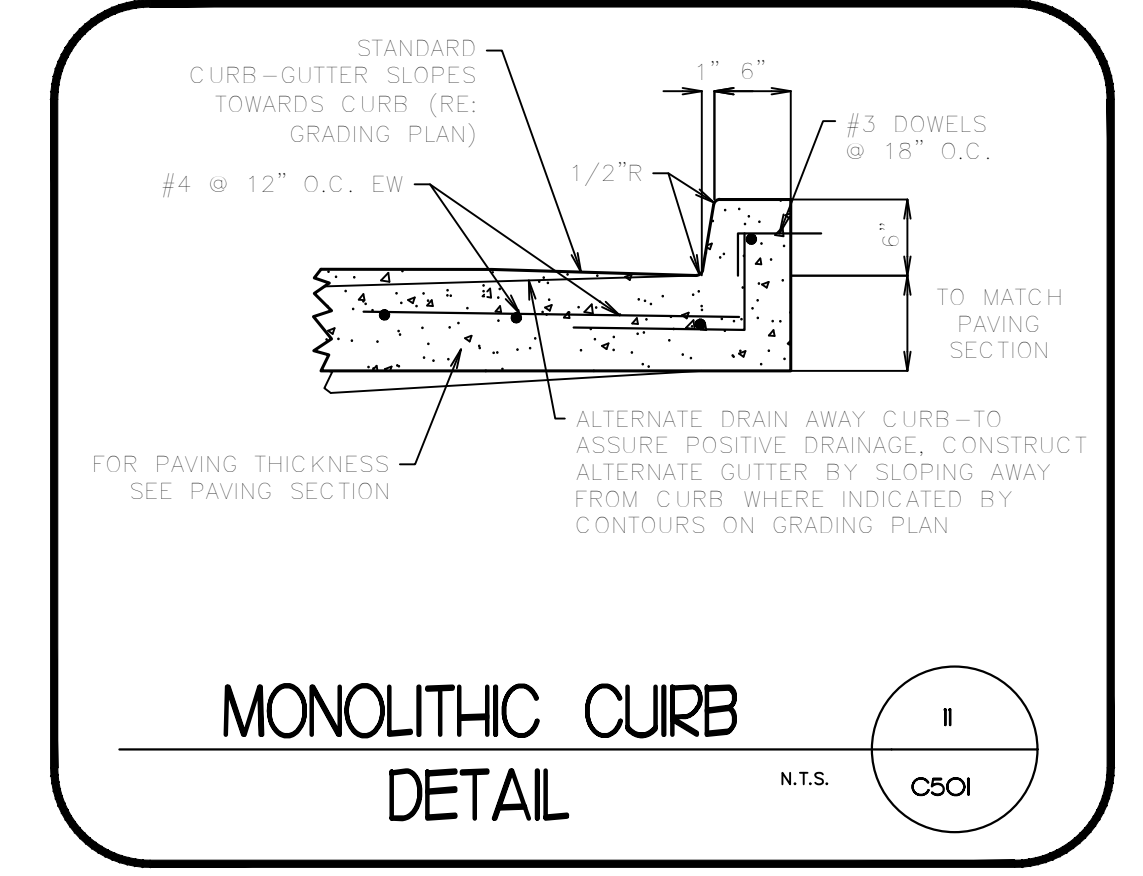


American Bicycle Supply Company
P.O. Box 7359
Ventura, CA 93006
Ph: (800) 245-3723 or (805) 933-3688
Fax: (805) 933-1865
www.ameribike.com
Email: turtle@ameribike.com

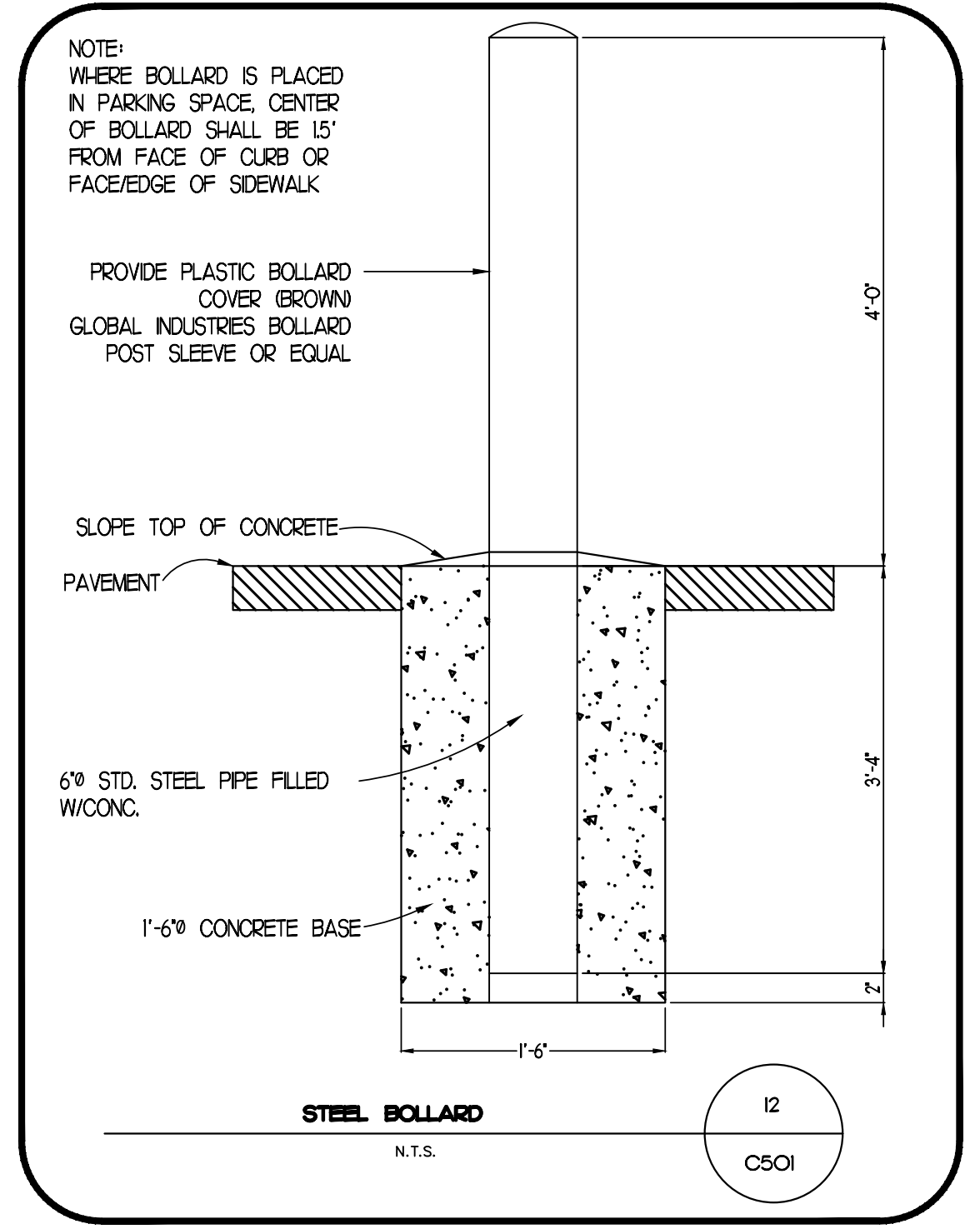
BIKE RACK
N.T.S.



LANDSCAPE BUFFER



MONOLITHIC CURB DETAIL
N.T.S.



STEEL BOLLARD
N.T.S.

NOTE: WHERE BOLLARD IS PLACED IN PARKING SPACE, CENTER OF BOLLARD SHALL BE 15' FROM FACE OF CURB OR FACE/EDGE OF SIDEWALK

PROVIDE PLASTIC BOLLARD COVER GROWN GLOBAL INDUSTRIES BOLLARD POST SLEEVE OR EQUAL

SLOPE TOP OF CONCRETE

PAVEMENT

6" STD. STEEL PIPE FILLED W/CONC.

1'-6" CONCRETE BASE

REVISIONS	BY

FREELAND and KAUFFMAN, INC.
Engineers & Landscape Architects
209 West Stone Avenue
Greenville, South Carolina 29609
864-233-5497
fax 864-233-8916
Firm Registration 23369

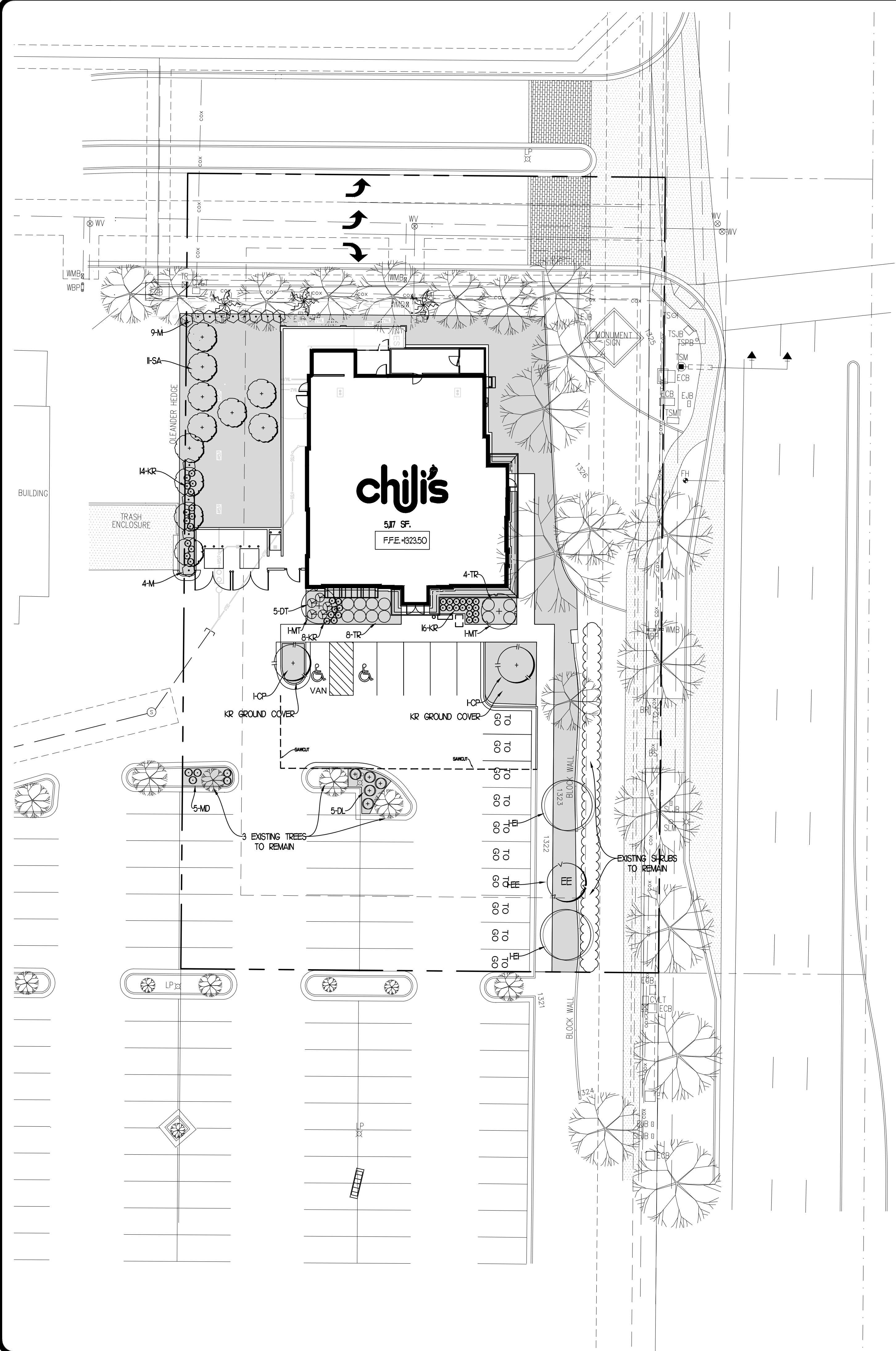


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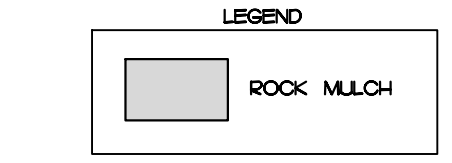
DRAWN	MCJ
CHECKED	TMB
DATE	02/08/2022
SCALE	SCALE

DRAWING
C501

SITE DETAILS



PLANT LIST						
TREES						
SYMBOL	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS	SPACING	
⊙	2	QUINCY TESOTA	EVERGREEN ROWWOOD	6' MIN. HT. FULL 0.75' CAL.	AS SHOWN	
⊙	1	LIALIS PARVIFOLIA	EVERGREEN ELM	6' MIN. HT. FULL 0.75' CAL.	AS SHOWN	
⊙	2	PISTACIA LENTISCU	MASTIC TREE	6' MIN. HT. FULL 0.75' CAL.	AS SHOWN	
⊙	2	PISTACIA CHINENSIS	CHINESE PISTACHE	6' MIN. HT. FULL 0.75' CAL.	AS SHOWN	
⊙	1	VACHELLIA FARNESIANA	SWEET ACACIA	6' MIN. HT. FULL 0.75' CAL.	AS SHOWN	
SHRUBS AND GROUND COVER						
SYMBOL	NO.	SCIENTIFIC NAME	COMMON NAME	SIZE REQUIREMENTS		
⊙	5	HYPTIS EMORI	DESERT LAVENDER	5 - GALLON FULL	4' O.C.	
⊙	5	MATEUS PHYLLANTHOIDES	MANGLE DUCE	5 - GALLON FULL	4' O.C.	
⊙	13	MYRTUS COMMUNIS	MYRTLE	5 - GALLON FULL	4' O.C.	
⊙	5	EPHEDRA NEVADENSIS	DESERT TEA	5 - GALLON FULL	3' O.C.	
⊙	265	RUELLIA SIMPLEX 'KATE'	KATE RUELLIA	1 - GALLON FULL	2' O.C.	
⊙	12	ROSMARINUS OFFICINALIS PROSTRATUS	TRAILING ROSEMARY	1 - GALLON FULL	4' O.C.	



EXISTING LANDSCAPING AROUND THE PERIMETER OF THE SITE TO REMAIN. LANDSCAPING CHANGES ON SITE TO INCLUDE NEW LANDSCAPING AROUND BUILDING AND SEEDING IN THE AREAS SHOWN. REFERENCE DEMOLITION PLAN FOR EXISTING TREES TO REMOVE. ALL OTHER TREES ON SITE TO REMAIN UNDISTURBED.

ROCK MULCH: TAN-BROWN RIVER ROCK, 2"-4" DIA. 3" DEPTH ROCK MULCH FOR ALL PLANTING BEDS AT BUILDING PAD TYP.

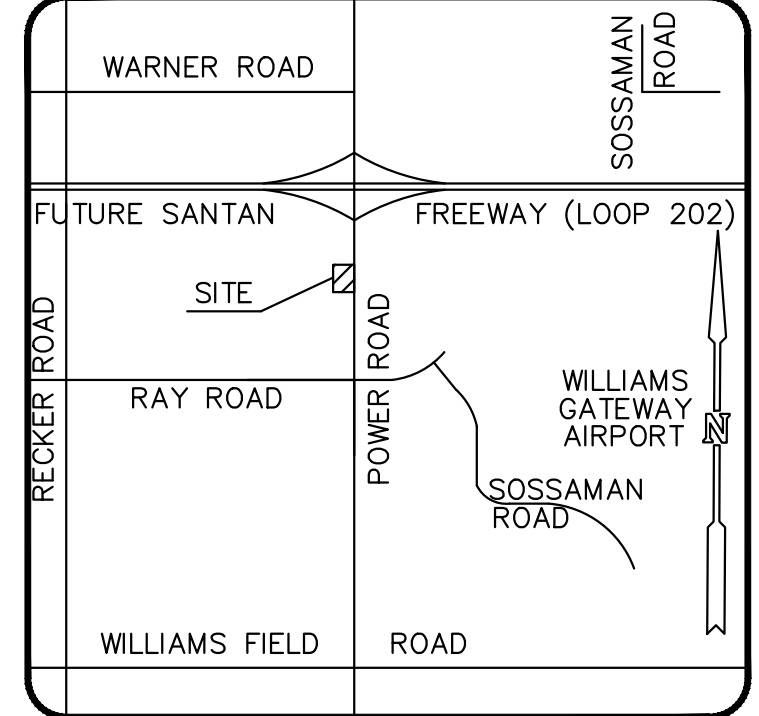
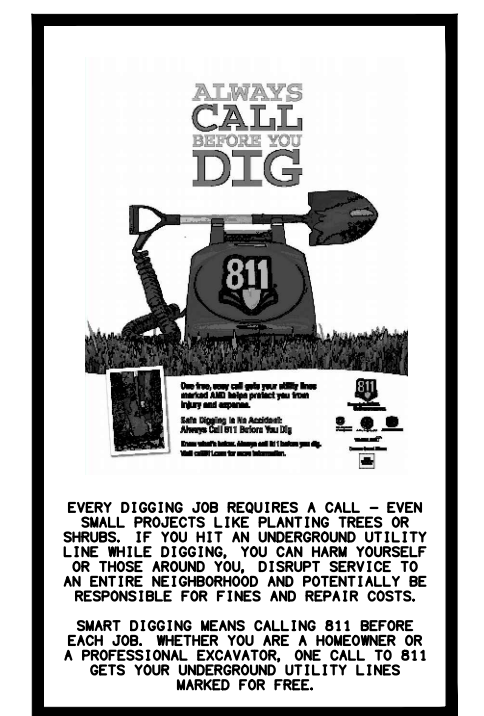
LANDSCAPE CALCULATIONS

SEC. 4300A22-0 PERIMETER PARKING LOT SCREENING REQUIRED:
CONTINUOUS PLANTED EVERGREEN HEDGE NOT LESS THAN 3' OF MORE THAN 4' IN HEIGHT. HEDGE MUST BE SET BACK A MIN OF 3' AND A MAX OF 6' FROM PARKING SPACES, DRIVEWAYS OR ACCESS AISLES.
PROVIDED:
EXISTING CONTINUOUS EVERGREEN HEDGE PLANTED BETWEEN PARKING LOT AND ROAD IS POWER ROAD. ANY GAPS IN EXISTING HEDGE SHALL BE REPLANTED WITH SAME PLANT TYPE AND SIZE.

SEC. 4300B12 INTERIOR PARKING LOT LANDSCAPING REQUIRED:
SHADE TREES PLANTED IN THE PARKING LOT AT A RATE OF 1 TREE FOR EVERY 8 SPACES.
35 SPACES/8 = 4 TREES
PROVIDED:
3 EXISTING PARKING LOT TREES TO REMAIN.
ADD 2 NEW TREES TO BE PLANTED IN INTERIOR ISLANDS
EXISTING TREES THAT ARE MISSING OR UNHEALTHY SHALL BE REPLACED WITH SAME SPECIES.

SEC. 4303M-4 STREET RIGHT OF WAY AND LANDSCAPE AREA PLANTING REQUIRED:
1 TREE PER 25 LF. OF STREET FRONTAGE AND SHRUBS PLANTED AT A RATE OF 3 SHRUBS PER TREE. SHRUBS AND GROUND COVER SHALL COVER A MINIMUM OF 25% OF LANDSCAPE AREA.
250 LF. STREET FRONTAGE / 25 = 10 TREES
10 TREES * 3 = 30 SHRUBS
PROVIDED:
9 EXISTING TREES + 1 NEW TREE
30 EXISTING SHRUBS TO REMAIN
REPLACE ANY EXISTING SHRUBS THAT ARE UNHEALTHY OR DEAD WITH SAME SPECIES.

SEC. 4303P1 REAR PERIMETER LANDSCAPE AREAS REQUIRED:
2' WIDE SIDE AND REAR SETBACK AREA - 6000 SF.
5 SHRUBS / 1200 SF.
3 EVERGREEN TREES / 1000 SF.
201 VEGETATIVE GROUND COVER
PROVIDED:
6000 SF. / 1000 SF. * 5 = 30 SHRUBS
6000 SF. / 1200 SF. * 5 = 25 EVERGREEN TREES
6000 SF. * 0.2 = 1200 SF GROUND COVER
30 SHRUBS
15 EVERGREEN TREES
1200 SF. GROUND COVER



LOCATION MAP
NOT TO SCALE

BRINKER INTERNATIONAL SPECIFICATIONS:

- ALL WORK SHALL BE LAID OUT BY LANDSCAPE CONTRACTOR FOR THE OWNER'S APPROVAL PRIOR TO INSTALLATION. ALL MATERIAL SHALL BE SUBJECT TO OWNER APPROVAL.
 - WRITTEN APPROVAL IS REQUIRED BY THE OWNER FOR ANY SUBSTITUTIONS OR CHANGES IN MATERIAL.
 - LANDSCAPE CONTRACTOR TO PROVIDE DAILY CLEANUP AND MAINTENANCE THROUGH COMPLETION.
 - THE LANDSCAPE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ANY EXISTING BUILDINGS OR STRUCTURES ON THE SITE AND SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED BY HIS WORK.
 - LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL MATERIAL AND LABOR FOR (12) TWELVE MONTHS AFTER ACCEPTANCE OF PROJECT FOR MATERIAL EITHER DEAD OR NOT IN HEALTHY CONDITION. CONTRACTOR SHALL WATER ALL MATERIAL DURING PERIOD OF PROJECT.
 - IT SHALL BE THE RESPONSIBILITY OF LANDSCAPE CONTRACTOR TO PREVENT PLANTS FROM FALLING OR BEING BLOWN OVER AND TO STRAIGHTEN OR REPLANT ALL PLANTS WHICH ARE DAMAGED DUE TO LACK OF CUTTING OR STAKING. PLANTS BLOWN OVER BY WIND SHALL NOT CAUSE ADDITIONAL EXPENSE TO THE OWNER BUT SHALL BE THE FINANCIAL RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE AT ANY TIME TO REPLACE OR HONOR ANY WARRANTY FOR THE LOSS OF ANY TREE, PLANTS, GROUND COVER OR SOIL DUE TO FIRES, FLOODS, FREEZING TEMPERATURES, LIGHTNING, WINDS IN EXCESS OF 50 MPH, OR ANY NATURAL DISASTER.
 - UNLESS OTHERWISE SPECIFIED ON THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF THE PLANTING OF ANY SODDED AREAS. FINE GRADING SHALL CONSIST OF THE FINAL 10 FOOT OF THE GRADE TO BE ACHIEVED.
 - TOPSOIL MATERIAL, WHEN CALLED FOR ON THE PLANS, SHALL BE FREE OF HARD CLODS, STIFF CLAY, HARD PAN, STONES LARGER THAN 3/4" DIAMETER, OBVIOUS WEEDS AND PLANTS, SOD, PARTIALLY DISINTEGRATED DEBRIS, INSECTS OR ANY OTHER UNDESIRABLE MATERIAL, PLANTS OR SEEDS THAT WOULD BE TOXIC OR HARMFUL TO PROPER GROWTH.
 - THE LANDSCAPE CONTRACTOR SHALL BE ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES ON THE SITE. THEIR EXACT LOCATION SHALL BE VERIFIED IN THE FIELD WITH THE OWNER OR THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS. IN THE EVENT THEY ARE UNCOVERED, THE LANDSCAPE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES TO UTILITIES AND SUCH DAMAGE SHALL NOT CAUSE ANY ADDITIONAL EXPENSE TO THE OWNER. ANY DAMAGE TO UNREPORTED LINES SHALL NOT BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR SHALL PROVIDE PLANTED AND GUARANTEED UNIT PRICES FOR ALL WORK.
 - PLANT LIST QUANTITIES ARE PROVIDED AS AN AID TO BIDDERS ONLY. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATIONS OF PLANT MATERIAL QUANTITIES ON PLAN. INCORPORATE PLANT COUNTS MADE BY THE LANDSCAPE CONTRACTOR SHALL BE NO CAUSE FOR ADDITIONAL EXPENSE TO THE OWNER.
 - PLANTS SHOULD CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE COMPLIANCE OF LANDSCAPE PLANS WITH THE CITY REQUIREMENTS.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION (WITH PHYSICAL BARRIERS) AND MAINTENANCE OF EXISTING AND TRANSPLANTED TREES DURING CONSTRUCTION (WHERE APPLICABLE).
 - THE LANDSCAPE CONTRACTOR SHALL ADJUST PLANTING AS NEEDED TO ALLOW FOR THE SCREENING OF PROPOSED ELECTRICAL TRANSFORMERS.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE PLACEMENT OF PLANT MATERIAL WITH THE SITE AND BUILDING LIGHTING LOCATIONS AS PER ARCHITECTURAL PLANS.
 - LAWN AREAS TO BE SODDED SHALL BE RAKED FREE OF STONES AND DEBRIS. DEBRIS AND STONES OVER 3/4" IN DIAMETER SHALL BE REMOVED FROM THE SITE. ALL DAMAGED SOD WILL BE REJECTED. ALL SOD MUST BE PLACED WITH STAGGERED JOINTS, TIGHTLY BUTTED, WITH NO INEQUALITIES IN GRADE. PLACE ALL SOD IN ROWS AT RIGHT ANGLES TO SLOPES (WHERE APPLICABLE).
 - PLANT MATERIALS ARE TO MEET ANSI Z60 AMERICAN STANDARDS FOR NURSERY STOCK.
- GENERAL NOTES**
- PLANTING LAYOUT, BASED ON PROTOTYPE LANDSCAPE PLAN, IS TO BE PROVIDED BY BRINKER INTERNATIONAL DESIGN DEPARTMENT.
 - FINAL LOCATION OF ALL PLANTING SHALL BE DETERMINED IN THE FIELD BY THE OWNER'S CONSTRUCTION MANAGER.
 - ANY MODIFICATIONS TO PLANTING LAYOUT, PLANT MATERIALS, ETC. SHALL BE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER PRIOR TO EXECUTION.
 - ALL AREAS TO BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM WITH TIME CLOCK. LANDSCAPE CONTRACTOR TO VERIFY AND ADJUST FOR ANY SITE VISIBILITY ANGLES.

REVISIONS	BY

FREELAND and KAUFFMAN, INC.
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864-233-5497
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Firm Registration 23369

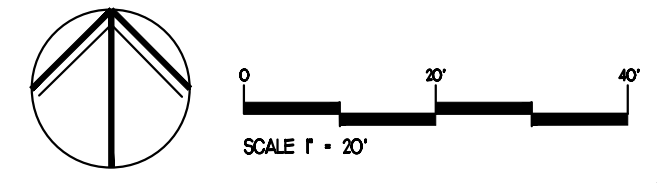


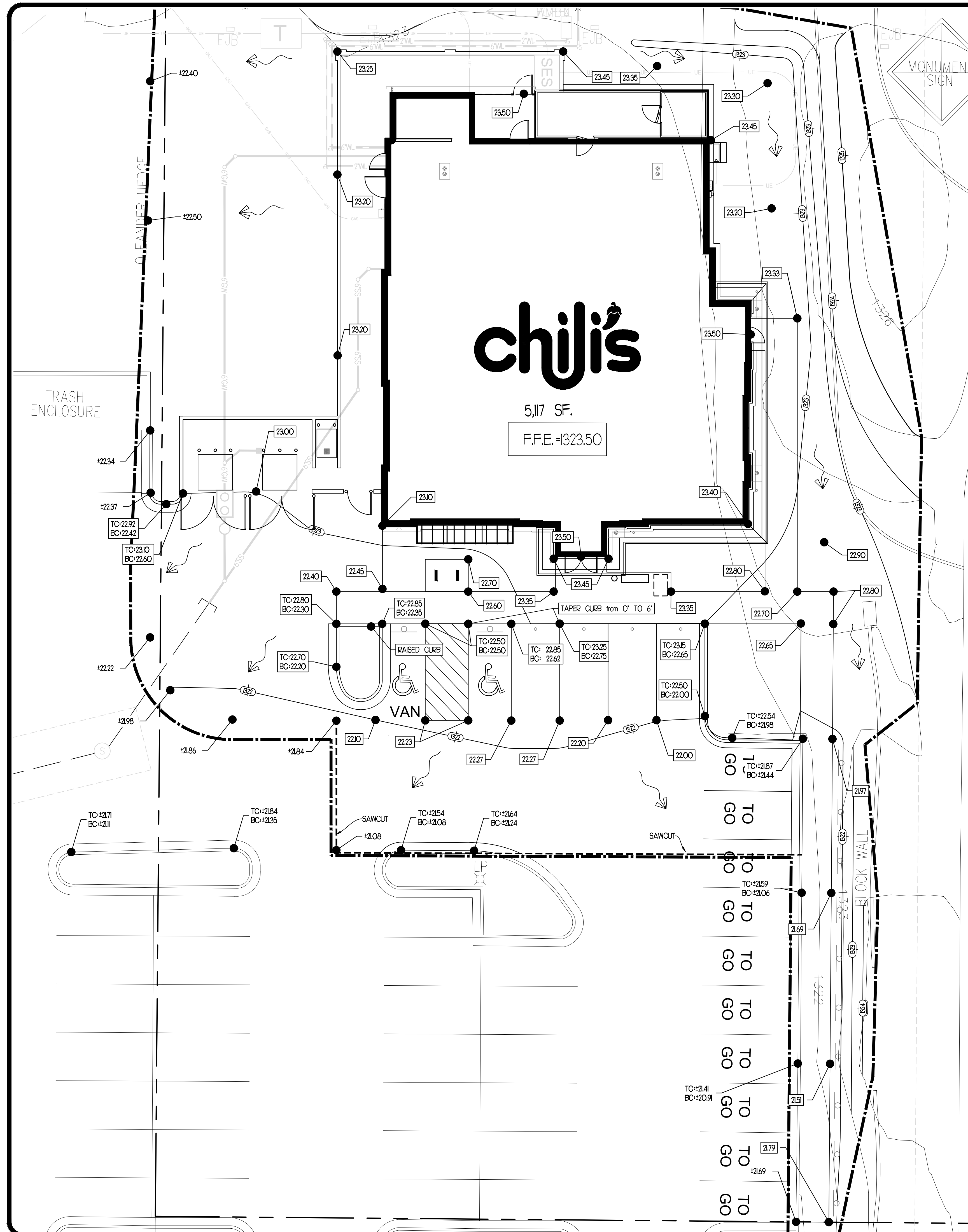
CHILI'S RESTAURANT #1646
5016 S POWER RD
MESA, AZ 85212
BRINKER RESTAURANT CORPORATION, A VA CORPORATION
3000 OLYMPUS BLVD.
DALLAS, TX 75019 TEL: (972) 770-6880

DRAWN
MCJ
CHECKED
TMB
DATE
02/08/2022
SCALE

DRAWING
L101

LANDSCAPE PLAN





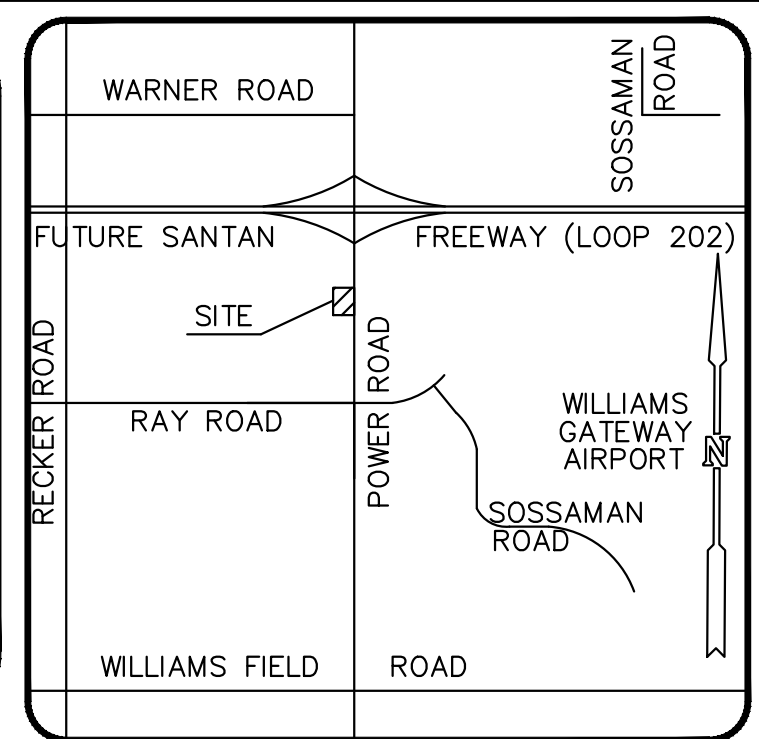
REF: CLEANTOUT DETAIL 1/06/02
ROOF DRAIN CONNECT DETAIL 7/06/01
YARD INLET DETAIL 8/06/01
STORM SEWER SPECS C002

DEWATERING NOTE:
WHEN PERFORMING GRADING OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DEWATERING, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.

LEGEND

PROPOSED	DESCRIPTION
	HANDICAP SYMBOL
	STRIPING
	SITE LIGHTING
	STORM DRAIN
	SPOT ELEVATION
	CONTOUR LINE

EXISTING: PROPOSED:



NOTE:
FOR ALL STORM DRAIN PIPE MATERIALS AND SPECIFICATIONS - REFERENCE PLAN SHEET C002

EX. POND PROTECTION NOTE:
FLOWS TO EX. STORMWATER POND FOR OVERALL DEVELOPMENT. CONTRACTOR SHALL INSPECT AND DOCUMENT EXISTING POND AND PIPE CONDITIONS PRIOR TO CONSTRUCTION. SYSTEM SHALL BE MONITORED DURING CONSTRUCTION AND CONTRACTOR SHALL ENSURE THAT NO SEDIMENT LADEN RUNOFF ENTERS SYSTEM. CONTRACTOR WILL BE RESPONSIBLE FOR CLEANING THE EX. PIPE AND POND SHOULD ANY SEDIMENT RELEASE OCCUR.

EXISTING UTILITY LOCATIONS BASED ON SURVEY PROVIDED BY A.W. LAND SURVEYING, LLC DATED 06/09/21. CONTRACTOR TO FIELD VERIFY PRIOR TO START OF CONSTRUCTION AND NOTIFY ENGINEER OF ANY POTENTIAL CONFLICTS.

SUBJECT SITE DRAINAGE INCLUDED IN PREVIOUSLY APPROVED DRAINAGE REPORT FOR GILBERT GATEWAY TOWNE CENTER BY CMX, LLC. (09/2/03)

ACREAGE SUMMARY (IN ACRES)

TOTAL PARCEL AREA	0.99
ON-SITE DISTURBED AREA	0.52
OFF-SITE DISTURBED AREA	0.00
TOTAL DISTURBED AREA	0.42
IMPERVIOUS AREA PRE-CONSTRUCTION (ALLOWABLE - ON-SITE ONLY)	0.40
PERVIOUS AREA PRE-CONSTRUCTION (ON-SITE ONLY)	0.59
IMPERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	0.68
PERVIOUS AREA POST-CONSTRUCTION (ON-SITE ONLY)	0.31

GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
3. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
4. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
5. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
6. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
8. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
9. ALL STORM SEWER MAN-HOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MAN-HOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE "LABELED" STORM SEWER.
10. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL NPDES PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
11. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS, 1% MIN. SLOPE.
13. TOPOGRAPHIC INFORMATION IS TAKEN FROM INFORMATION PROVIDED BY OVERALL DEVELOPER. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. ALL SLOPES 3:1 AND STEEPER SHALL RECEIVE AN EROSION CONTROL BLANKET. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
16. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
17. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
18. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND TOWN OF GILBERT. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
19. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF PONDS, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER BY A REGISTERED SURVEYOR OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
20. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE TOWN A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS, AS BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
21. NOTIFY UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE TOWN.
23. ALL STEPS IN DRAINAGE STRUCTURES SHALL LINE UP WITH STRUCTURE CASTING TO ENSURE ACCESSIBILITY.
24. ALL PROPOSED DRAINAGE STRUCTURES ARE SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR ACCURATE LOCATION OF THE STRUCTURE(S) SUCH THAT THE APPLICABLE CASTING IS CORRECTLY ALIGNED WITH THE SURFACE FEATURES AS DESIGNED.
25. CONTRACTOR SHALL OBTAIN ADEQ NOTICE OF COVERAGE APPROVAL AND/OR TOWN OF GILBERT, LAND DIST. PERMIT FOR ALL BORROW/SPOIL SITES.

REVISIONS BY

NO.	DESCRIPTION	DATE	BY

FREELAND and KAUFFMAN, INC.
Engineers & Landscape Architects
209 West Stone Avenue
Greenville, South Carolina 29609
864-233-5497
fax 864-233-5916
Firm Registration 23369

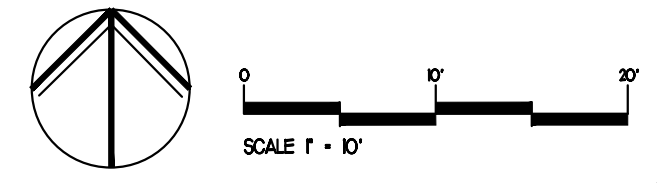


CHIL'S RESTAURANT #1646
5016 S POWER RD
MESA, AZ 85212
BRINKER RESTAURANT CORPORATION, A VA CORPORATION
3000 OLYMPIUS BLVD.
DALLAS, TX 75019 TEL: (972) 770-6880

DRAWN MCJ
CHECKED TMB
DATE 02/08/2022
SCALE

DRAWING
C102

GRADING PLAN



EXTERIOR FINISH SCHEDULE		
EXTERIOR TILE		MANUFACTURER
ET-1	BUCKS COUNTY SOUTHERN LEDGE	CORONADO STONE PRODUCTS
BRICK		
BR-1	BURGUNDY	BLACKSON BRICK CO.
MORTAR		
M-1	IRON BLACK	BLACKSON BRICK CO.
FINISH		
EF-1	EFS	PAREX
EXTERIOR PAINTS AND STAINS		
EP-1	SHENADOUH TAUPE	BENJAMIN MOORE
EP-2	JACKSON TAUPE	BENJAMIN MOORE
EP-4	TRICORN BLACK	SHERWIN WILLIAMS
EP-5	SALUTE RED	ARCONIC
METAL TRIM		
EMT-1	EDGE TRIM	WESTERN STATES
EMT-2	METAL REVEAL	FRY REGLET
EMT-3	FASCIA COVER	WESTERN STATES
EMT-4	METAL REVEAL	FRY REGLET
ROOFING		
R-1	STANDING SEAM METAL	WESTERN STATES
R-2	SINGLE-PLY GREY	DUROLAST
AWNING		
AW-1	STANDING SEAM METAL	WESTERN STATES
NOTE: FOR COMPLETE SPECIFICATIONS OF FINISHES, REFER TO SHEET A002. ALL ROOF DRAINAGE IS INTERNAL.		

DR21-138 Chili's
Attachment 7 - Elevations



CORPORATE:
BRINKER RESTAURANT, CORP.
3000 OLYMPIUS BLVD.
DALLAS, TEXAS 75019
972.980.9917
www.brinker.com

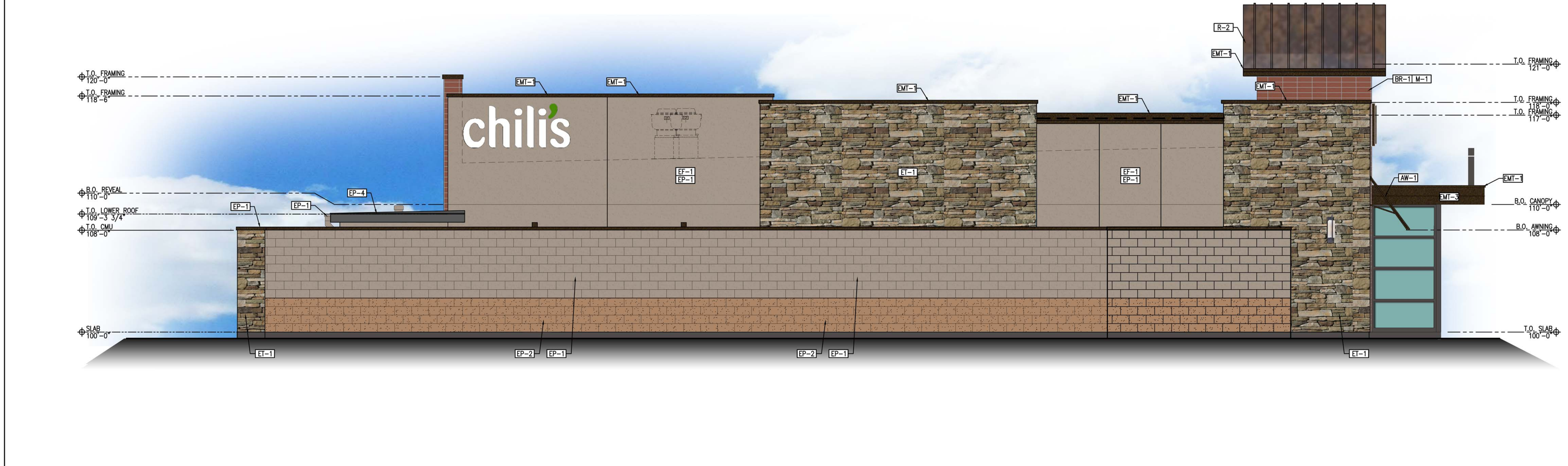
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09/27/21

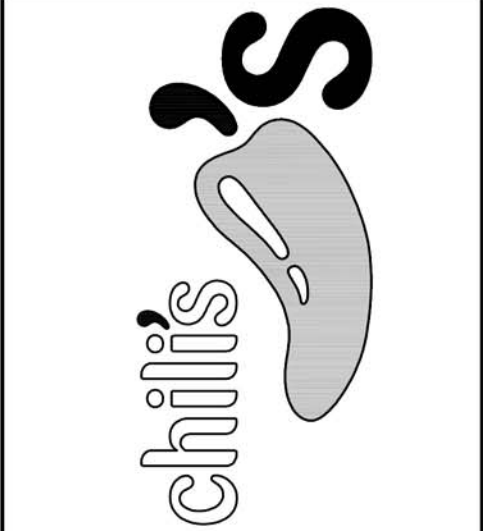
RESTAURANT CH1846
PROTOTYPE 18.2S.7
CHILI'S GILBERT GATEWAY
5016 SOUTH POWER RD.
MESA, AZ 85212
CLIENT: BRINKER RESTAURANT, CORP.



FRONT ELEVATION 1
1/4"=1'-0"



LEFT ELEVATION 2
1/4"=1'-0"



DATE	DESCRIPTION

PROJECT NUMBER:
CHI21004

SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A201



REAR ELEVATION
1/4"=1'-0" 1

EXTERIOR FINISH SCHEDULE	
EXTERIOR TILE	MANUFACTURER
ET-1 BUCKS COUNTY SOUTHERN LEDGE	CORONADO STONE PRODUCTS
BRICK	
BR-1 BURGUNDY	BLACKSON BRICK CO.
MORTAR	
M-1 IRON BLACK	BLACKSON BRICK CO.
FINISH	
EF-1 EIFS	PAREX
EXTERIOR PAINTS AND STAINS	
EP-1 SHENADOUH TAUPE	BENJAMIN MOORE
EP-2 JACKSON TAUPE	BENJAMIN MOORE
EP-4 TRICORN BLACK	SHERWIN WILLIAMS
EP-5 SALUTE RED	ARCONIC
METAL TRIM	
EMT-1 EDGE TRIM	WESTERN STATES
EMT-2 METAL REVEAL	FRY REGLET
EMT-3 FASCIA COVER	WESTERN STATES
EMT-4 METAL REVEAL	FRY REGLET
ROOFING	
R-1 STANDING SEAM METAL	WESTERN STATES
R-2 SINGLE-PLY GREY	DUROLAST
AWNING	
AW-1 STANDING SEAM METAL	WESTERN STATES

NOTE: FOR COMPLETE SPECIFICATIONS OF FINISHES, REFER TO SHEET A002.
ALL ROOF DRAINAGE IS INTERNAL.

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6201 CAMPUS CIRCLE DRIVE
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WWW.IDSTUDIO4.COM

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09/27/21

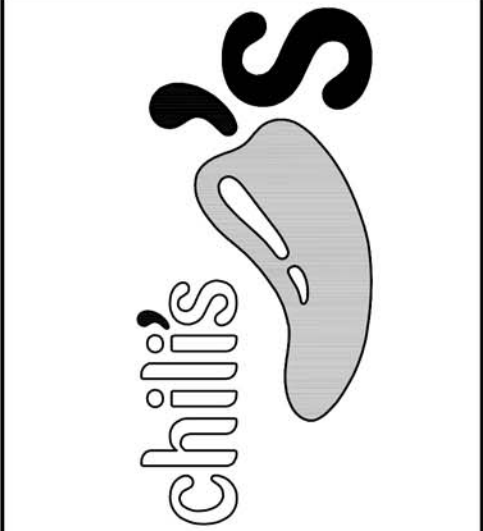
RESTAURANT CH1846
PROTOTYPE 18.23.7

CHILI'S GILBERT GATEWAY
5016 SOUTH POWER RD.
MESA, AZ 85212

CLIENT: BRINKER RESTAURANT, CORP.



RIGHT ELEVATION
1/4"=1'-0" 2



DATE	DESCRIPTION

PROJECT NUMBER:
CH121004

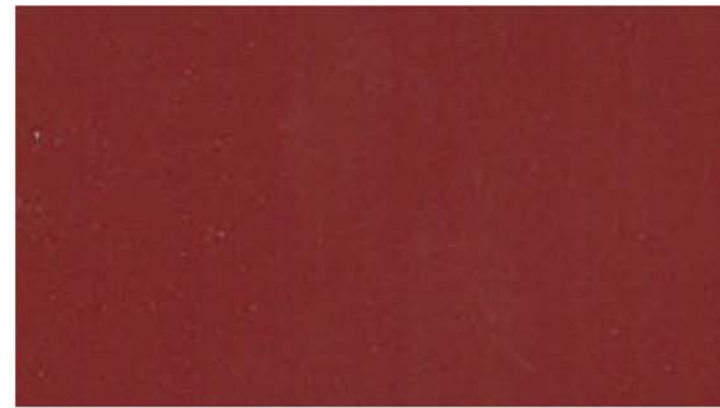
SHEET TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A202

**DR21-138 Chili's
Attachment 8 - Colors and Materials**



STUCCO EP-1
"SHENADOUH TAUPE" - Benjamin Moore
- Contact Mike Koncilja (602) 653.9577



PAINT EP-5
"SALUTE RED" - ARCONIC -
CONTACT CHERYL WILKERSON, (317)-771-9263



MORTAR M-1
"IRON BLACK" - Blackson Brick Co.
- Contact Brae Barton 817874 3194



STOREFRONT GLASS
"SOLEX GREEN GLASS"



STUCCO EP-2
"JACKSON TAUPE" - Benjamin Moore
- Contact Mike Koncilja (602) 653.9577



AWNING AW1
"CORTEN AZP RAW" - Contact Western States Rusty Falls (602) 495.0048



BRICK BR-1
"BURGUNDY" - Blackson Brick Co. Thin Brick -
Contact Brae Barton 817874 3194



EMT-1 & EMT-3
"WEATHERED RUSTIC"
Contact: Western States Rusty Falls (602) 495.0048



STOREFRONT
"DARK BRONZE" ARCONIC -
CONTACT CHERYL WILKERSON, (317)-771-9263



TILE ET-1
"Bucks County Southern Ledge" - Coronado Stone Products -
Contact Tonya Owen 214.809.5277

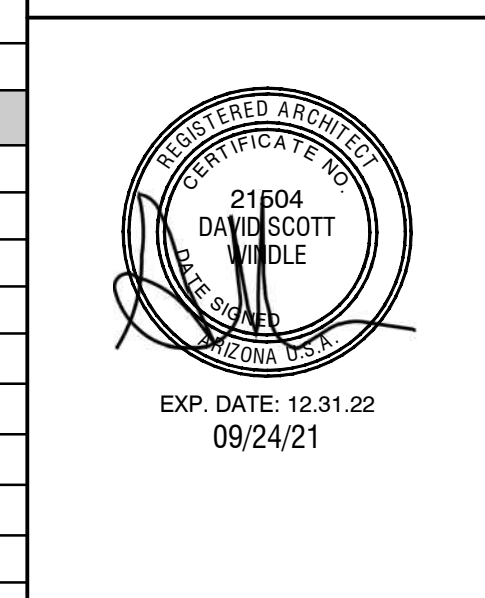
LEGEND	AREA	CODE REFERENCE	CALCULATED QUANTITY	ACTUAL QUANTITY OF SEATS/EMP.	HIGHER AMOUNT OF CALCULATION OR ACTUAL
[Hatched Pattern]	ASSEMBLY WITHOUT FIXED SEATS	670 S.F.	15 S.F./PERSON	45	106
[Hatched Pattern]	ASSEMBLY WITH FIXED SEATS	204 L.F.	1 PER 24" OF BOOTH	102	102
[Hatched Pattern]	ASSEMBLY WITHOUT FIXED SEATS-WAITING	23 S.F.	7 S.F./PERSON	4	4
[Hatched Pattern]	ASSEMBLY WITH FIXED SEATS-WAITING	5 L.F.	1 PER 18" OF BENCH	4	4
[Hatched Pattern]	KITCHEN - COMMERCIAL	1522 S.F.	200 S.F./PERSON	8	18
[Hatched Pattern]	MECHANICAL ROOM/STORAGE	461 S.F.	300 S.F./PERSON	2	2
[Hatched Pattern]	OFFICES	41 S.F.	100 S.F./PERSON	1	1
[Hatched Pattern]	ACCESSORY USE (TOILETS, AISLES, ETC.)	-	EXCLUDED	0	0
TOTAL OCCUPANTS			166	229	237

SEATING CAPACITIES			
TYPES	PARTIES	SEATS	% OF PARTIES
BAR DINING			
BAR STOOLS	0	16	0
BAR ADA	0	2	0
2 TOP FLEX	2	4	4.3
4 TOP FLEX	3	12	6.5
6 TOP FLEX	1	6	2.2
4 TOP BOOTH	8	32	17.4
BAR TOTAL	14	72	30.4%
MAIN DINING			
4 TOP FLEX	8	32	17.4
6 TOP FLEX	4	24	8.7
4 TOP BOOTH	20	80	43.5
DINING TOTAL	32	136	69.6
GRAND TOTAL	46	208	100.0%

EGRESS NOTES	
BUILDING DIAGONAL:	APPROX. 93 FT.
DISTANCE BETWEEN (> THAN 1/3, SPRINKLERED)	APPROX. 43 FT (88/3=29)
MINIMUM 2 EXITS REQUIRED	2 PROVIDED IN DINING 3 PROVIDED FOR BUILDING
MAXIMUM TRAVEL DISTANCE: (ALLOWABLE: 250 FT, SPRINKLERED)	APPROXIMATELY 86 FT., WOMEN'S
TOTAL EGRESS WIDTH REQUIRED: 60"	
TOTAL EGRESS WIDTH PROVIDED: 134"	



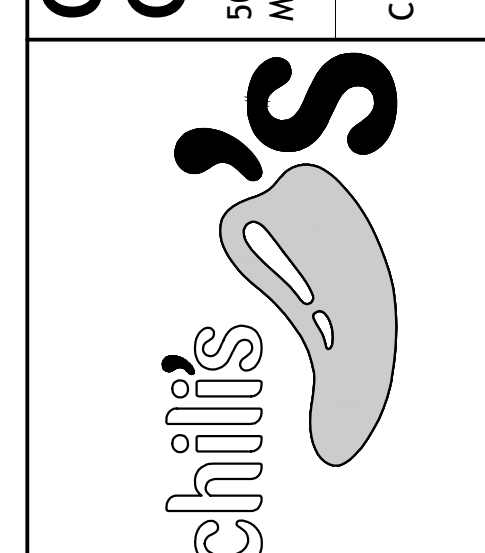
CORPORATE:
BRINKER RESTAURANT, CORP.
3000 OLYMPUS BLVD.
DALLAS, TEXAS 75019
972.980.9917
www.brinker.com



RESTAURANT CHILLI'S
PROTOTYPE 18.25.17

**CHILLI'S
GILBERT GATEWAY**
5016 SOUTH POWER RD.
MESA, AZ 85212

CLIENT: BRINKER RESTAURANT, CORP.



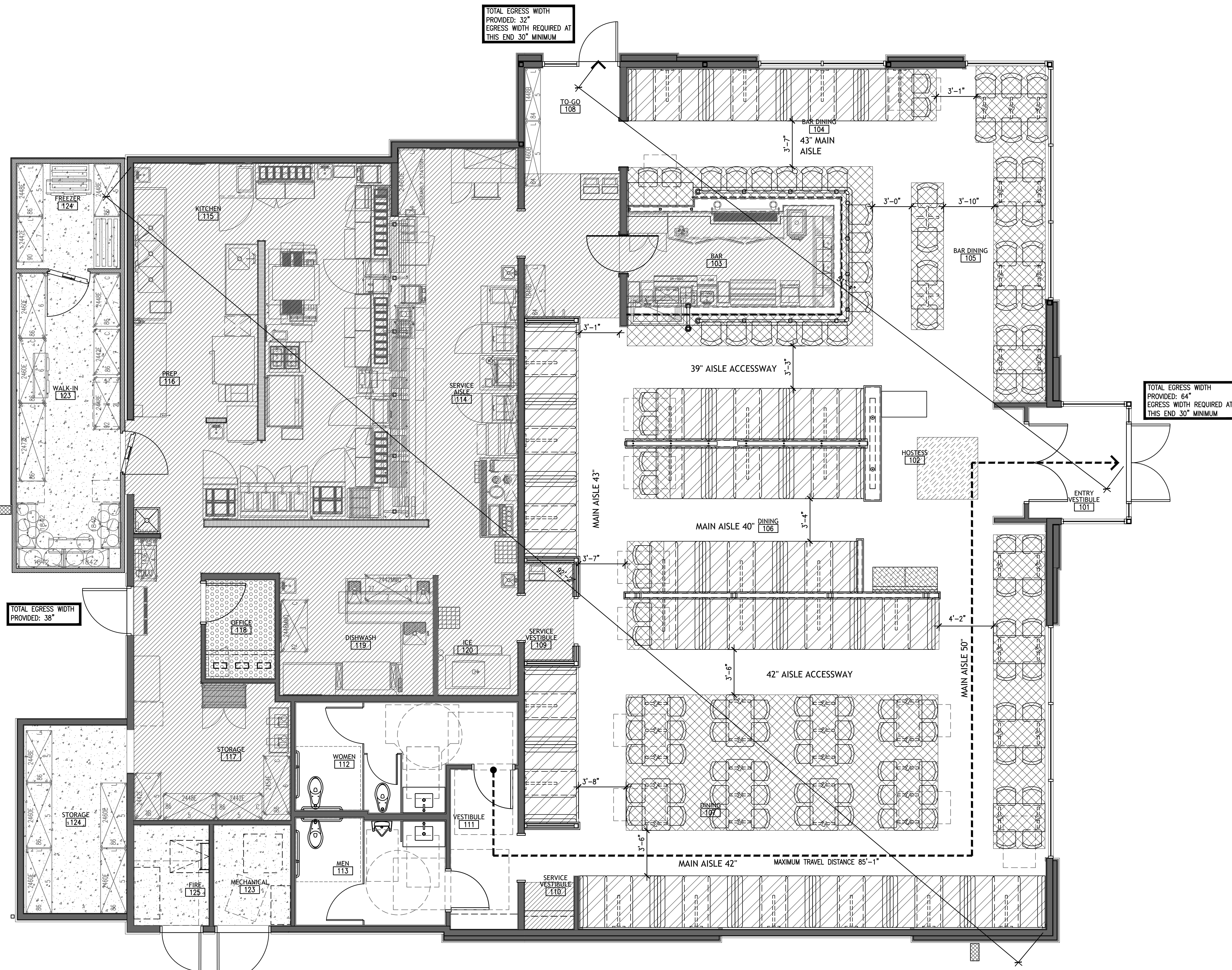
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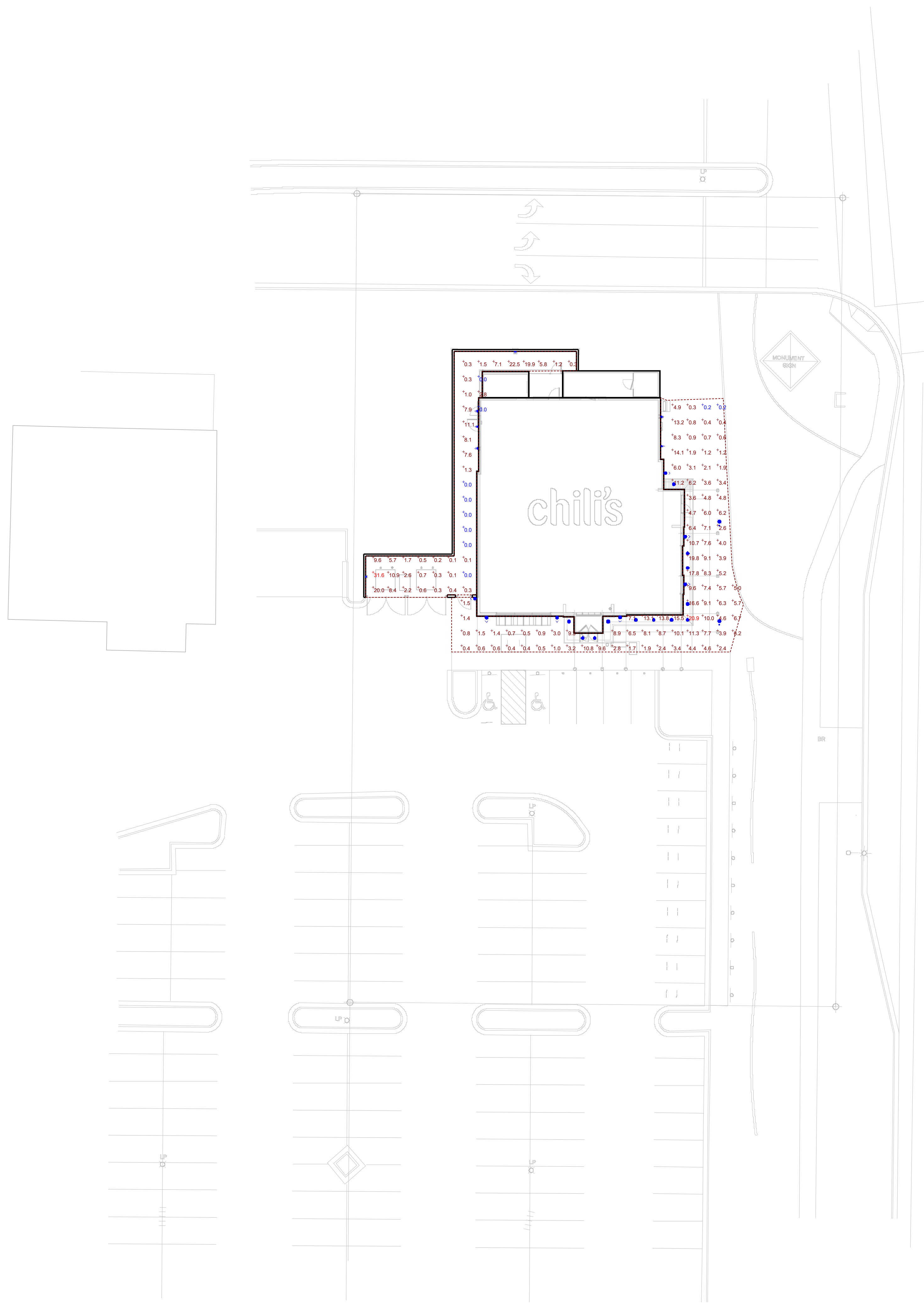
PROJECT NUMBER:
CHI21004

SHEET TITLE:
**OCCUPANCY LOAD/
EGRESS PLAN**

SHEET NUMBER:

A001





Plan View
Scale - 1" = 20ft

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
○	W3	7	WAC Lighting	WS-W45720	LED-5ftx4ft	NA	1	WS-W45720.IES	740.52	1	19.1578
○	D	12	Juno Lighting	2LEDTG2A-827F-XX w/ 2LEDDRVC2-6-120	2" ROUND ADJUSTABLE GIMBAL, 600L LED AIMED AT 0DEGREES	LED/80CRI-27K WITH FLOOD OPTIC	1	2LEDTG2A-827F-XX_w_2LEDDRVC2-6-120.ies	669.4935	1	7.5
□	N	2	RAB LIGHTING INC.	SLMFC37N (FULL CUT-OFF HOOD)	CAST BROWN PAINTED METAL HOUSING, EXTRUDED 2-PIECE DIFFUSE METAL HEAT SINK, 1 WHITE CIRCUIT BOARD WITH 16 LEADS, MOLDED PLASTIC REFLECTOR WITH SPECULAR FINISH, CLEAR FLAT PRISMATIC GLASS LENS IN CAST BROWN PAINTED METAL LENS FRAME WITH INTEGRAL VISOR, LENS PRISMS DOWN.	SIXTEEN WHITE MULTI-CHIP LIGHT EMITTING DIODES (LEDS), AIMED 10-DEGREES FROM VERTICAL BASE-UP POSITION, SLMFC37Y, ACTUAL PERFORMANCE MAY VARY. Area, Canopy, Dock, Educational, Facade, Government, Healthcare, Hospitality, Hotel, Industrial, Institutional, Library, Manufacturing, Marine, Medical, Office, Parking, Parks, Pathway, Pedestrian, Pool, Recreation, Residential, Retail, Site, Tunnel, Underpass, Utility, Walkway [MORE] Warehouse, Water Treatment, Direct, Emergency, Security	16	rab02611mod40.ies	220.8944	1	34.6
○	W4	5	Lithonia Lighting	LDN6CYL 30/15 L06AR LS	6IN LDN CYLINDER, 3000K, 1500LM, CLEAR, SPECULAR REFLECTOR, CRI80		1	LDN6CYL_30_15_L06AR_LS.ies	1572.875	1	17.52
●	SA	2	RAB LIGHTING INC.	ALED5T52N/D10			1	aled5t52n-d10_012102103-Zamod40.ies	6978	1	52.8

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
dumpster	+	4.4 ft	31.6 ft	0.0 ft	N/A	N/A
Site	+	5.5 ft	20.9 ft	0.2 ft	104.5:1	27.5:1

FREELAND and KAUFFMAN, INC.

ENGINEERS - LANDSCAPE ARCHITECTS

Project Narrative

The proposed site development is located in Lot 8 of the Gilbert Gateway Towne Center at 5016 S Power Road in Gilbert, Arizona. The property is 0.99 acres and is zoned as RC. The proposed improvements will consist of the construction of one 5,117 SF building as well as all associate utilities, parking, sidewalks, landscaping, and grading. The proposed development will disturb approximately 0.52 acres.

The proposed Chili's restaurant will be a full service, sit-down type restaurant and bar that serves liquor by the drink. Chili's Grill & Bar offers a wide variety of adult beverages including liquor, beer & wine for individuals over the age of 21. Our servers, bartenders and managers are trained in the Responsible Service of Alcohol to ensure compliance with all local and state regulations. The hours are Sunday - Thursday 11am - 10pm and Friday - Saturday 11am - 11pm.

The proposed project is classified as a full-service restaurant. This use is permitted in RC districts as well as the Gateway Overlay District. The proposed project is in compliance with all regulations for both the RC and Gateway Overlay Zoning Districts. 36 parking spaces, as well as 4 bicycle spaces will be provided, meeting and exceeding the required 26 parking spaced and 4 bicycle spaces. Building height, lot coverage, sign regulations and all other applicable regulations of both zoning districts have been met.

The proposed project has been designed to follow the Commercial Design Guidelines, the Land Development Code and the Standard Commercial and Industrial Site Plan Notes. The building orientation and location of the dumpster enclosure matches the existing buildings adjacent to the proposed building. Pedestrian and bike access has been designed to be convenient and to avoid conflicts with vehicles. The landscaping and grading have been designed to follow the guidelines in the Commercial Design Guidelines and the Land Development Code. The building is also designed to meet or exceed these requirements.

Landscaping has been implemented around the building pad to aid with reducing any heat island effect. Chili's utilizes low flow fixtured within the kitchen and bathroom to reduce water flow. Dimming controls will be utilized throughout the building to reduce the total wattage output of lamps. Occupancy sensors will be utilized where required by code to reduce the amount of energy utilized in our building.