



12

Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: SAMANTHA NOVOTNY, PLANNER I *SN*
(480) 503-6602, SAMANTHA.NOVOTNY@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *Am*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: JANUARY 5, 2022

SUBJECT: DR21-137, DUTCH BROS

STRATEGIC INITIATIVE: Exceptional Built Environment

To develop a drive-thru beverage service restaurant on a vacant pad that is part of a master site plan within the Baseline Medical Growth Area.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR21-137 Dutch Bros: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 0.89 acres, generally located at the southeast corner of Higley Road and Inverness Avenue and zoned Regional Commercial (RC).

APPLICANT

Company: PHNX Design
 Name: Mike Hills
 Address: 1855 E Southern Ave., Ste 204
 Mesa, AZ 85204
 Phone: (602) 762-7354
 Email: mikeh@phnx-design.com

OWNER

Company: Avalon Higley, LLC
 Name: Scott Wolski
 Address: 7333 E Doubletree Ranch Rd.
 Scottsdale, AZ 85258
 Phone: (480) 216-3065
 Email: swolski@avalondevelopment.com

BACKGROUND

History

The project site was part of a master site plan approval (DR14-16), which included the Hampton Inn hotel and a vacant pad site (Lot 1B) that was to be developed as a future phase. At the time of the design review for DR14-16, the subject site was anticipated to develop as an office building.

Date	Description
<i>February 9, 1982</i>	The Town Council adopted Ordinance No. 314, annexing the subject site into the Town of Gilbert in the C-2 zoning district.
<i>February 1, 2005</i>	The Town Council adopted Ordinance No. 1625, a revised Zoning Map and Land Development Code, reclassifying all properties within the Town of Gilbert. The subject site was reclassified to RC.
<i>January 8, 2008</i>	The Town Council approved Z07-57 (Ordinance No. 2111) to rezone a portion of the site to RC zoning district.
<i>July 10, 2014</i>	The Design Review Board approved DR14-16 for the new Hampton Inn & Suites Hotel and future retail/office pad on 4.8 acres at the southeast corner of Higley Road and Inverness Avenue.

Overview

The applicant is proposing the development of a Restaurant, Beverage Service on a vacant pad site, Lot 1B, at the southeast corner of Higley Road and Inverness Avenue within the Baseline Medical Growth Area as depicted on the General Plan. The pad is part of the commercial subdivision that also includes the Hampton Inn & Suites hotel. This project consists of amending the master site plan to conform to the proposed user's needs, commercial design guidelines, and Land Development Code (LDC) requirements. This project is being reviewed under the LDC that was adopted February 2005.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial	Regional Commercial	Inverness Avenue and vacant land

	Existing Land Use Classification	Existing Zoning	Existing Use
South	Regional Commercial	Regional Commercial	Hampton Inn hotel and Cracker Barrel restaurant
East	Regional Commercial	Regional Commercial	Hampton Inn hotel
West	Regional Commercial	Regional Commercial	Higley Road and vacant land
Site	Regional Commercial	Regional Commercial	Vacant pad site

Project Data Table

This project has been reviewed under the Regional Commercial (RC) zoning district and the Vertical Overlay Zoning District (Area 1) development regulations under the LDC:

Site Development Regulations	Required per LDC	Proposed
Maximum Building Height (ft.)/(Stories)	Site located within the Vertical Development Overlay District (Area 1): 90' / 6	25' / 1
Minimum Building Setback		
Front	25'	61' (closest)
Side (Street)	20'	219' (closest)
Side (Non-residential)	20'	0' (internal to site)
Rear (Non-residential)	20'	0' (internal to site)
Minimum Perimeter Landscape Area (ft.)		
Front	25'	25'
Side (Street)	20'	20'
Side (Non-Residential)	20'	20'
Rear (Non-Residential)	20'	0' (internal to site)
Landscaping (% of net lot area)	15%	44%
Parking (1 space per 200 SF in RC zoning district)	7 spaces	25 spaces + 2 ADA-accessible spaces
Drive-Thru Stacking	4	8

DISCUSSION

Site

The site is proposed to contain a 896-square foot (SF) building with a 434-SF patio area and 3,000-SF freestanding shade structure, all on approximately 0.89 acres of vacant land that is remaining from the Hampton Inn & Suites hotel master site plan. Currently on site are existing site improvements and infrastructure including landscaping, grading and drainage, and sidewalk connections.

The site is accessed by two existing right-in, right-out access points; one from Higley Road to the south, and the other from Inverness Avenue to the northeast. Staff is continuing to study the need for a right-turn decel lane at the Inverness Avenue access point and has included a condition as part of this staff report requiring the developer to enter into a development agreement with the Town for the possible future installation of the decel lane. There is an existing cross-access agreement for vehicular and pedestrian ingress and egress with the Hampton Inn & Suites hotel. The proposed user requires a minimum of seven (7) parking spaces, and twenty-seven (27) are provided on the subject site. The Hampton Inn & Suites hotel and proposed Dutch Bros each satisfy the parking minimum requirements on their respective lots.

The proposed Dutch Bros building will have the front elevation facing west toward Higley Road. Two drive-thru entryways are at the north area of the site to create two separate lanes that merge into one lane. A bypass lane will also be provided at the merge point for those wishing to exit the drive-thru lanes sooner. It is proposed that there will be menu display boards, but no order speaker. Instead the employees will take orders along a raised sidewalk between the lanes underneath a shade canopy. The applicant is providing more than the minimum requirement of queuing spaces for the drive.

This location is proposed to operate 24 hours, but customer hours of operation are from 5AM-11PM on weekdays, and 5AM to 1AM on weekends.

Landscape

The existing landscaping on the subject site was included with the original Design Review, and improvements were made at the time of Hampton Inn & Suites construction. The applicant is proposing to make landscape modifications to the site to fit Dutch Bros site design. With the modifications, the landscaping requirements are still being met. A total of 44% of the net area is landscaped, which exceeds the required landscaping percentage for the site. A variety of trees, shrub,

accent, and ground cover have been proposed along the foundation, parking lot, and retention areas. New trees and shrubs will include Fruitless Olive (Street Theme Tree), Southern Live Oak, Petite Pink Oleander, Dwarf Olive, Rio Bravo Sage, Hopseed Bush, and Compact Dwarf Myrtle. New ground cover shrubs will include Bush Morning Glory and Blue Elf Aloe.

Grading and Drainage

Stormwater drainage has been provided in the form of surface retention along the western and northern boundaries and underground retention below the parking area. The proposed Grading and Drainage Plan generally meets the requirements of the Town of Gilbert Engineering Division.

Elevations, Floor Plan, Colors and Materials

The proposed architecture reflects the Dutch Bros corporate identity with modifications to ensure the materials and colors coordinate with the architecture of the Hampton Inn & Suites hotel to the east of the subject site. The floor plan provides a limited beverage service restaurant with no interior dining room much like the other Dutch Bros locations across the nation.

The submitted building elevations include one primary building with two attached shade canopies for the drive-thru window and a patio seating area. A freestanding shade canopy over a portion of the drive-thru lanes is also included to provide protection from the elements for employees taking customer orders. The main body of the building is comprised of split face CMU block veneer in Sherwin Williams “Egret White”, stucco in “Westhighland White”, and metal flashing parapet cap in “Pacific Blue”. The tower element is stucco in “Oak Creek” and the metal flashing parapet cap in “Pacific Blue”. The attached shade canopies are stucco in “Westhighland White”, split face CMU block veneer in “Egret White”, and the metal flashing parapet cap and metal canopy in “DB Dark Gray”.

The freestanding canopy over the drive-thru lanes is proposed to be powder-coated steel columns, pre-fabricated metal canopy, and shade sail fabric. The canopy is approximately 2,480 SF and is larger than the proposed building. The canopy utilizes complementary design features from the primary building such as split face CMU block posts with metal flashing and the signature “Pacific Blue” cap. Staff has worked closely with the applicant on the design of the shade structure to ensure a high-quality design consistent with the Town of Gilbert Commercial Design Guidelines.

Lighting

The proposed lighting types are building wall-mounted lighting, parking lot pole lighting, and canopy down lighting. Parking lot lighting is mounted at 16', and wall lighting is mounted at 8' and 5'. The Photometric Plan demonstrates compliance with the LDC requirements of a maximum of 0.3-foot candles at the property line. All site lighting is required to comply with Town codes.

Signage

Signage is not included in this approval. All new signage will need to amend administratively the existing Comprehensive Sign Plan (DR14-16-S) prior to sign permitting.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was mailed per the requirements of the LDC Section 5.205. This project was continued from the December 1, 2021 Planning Commission hearing.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR21-137 Dutch Bros: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 0.89 acres, generally located at the southeast corner of Higley Road and Inverness Avenue, and zoned Regional Commercial, subject to conditions:

- a. Construction of the project shall conform to the exhibits approved by the Planning Commission at the January 5, 2022 public hearing.
- b. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
- c. Prior to approval of any construction permits, the applicant shall enter into a development reimbursement agreement with the Town of Gilbert to reimburse the cost of installation of a right turn deceleration lane for future installation should it be determined that the deceleration lane is warranted.

Beginning after issuance of the Certificate of Occupancy, the applicant shall conduct quarterly traffic counts over a one-year period, to be submitted to the Town Traffic Engineer for evaluation to determine if the deceleration lane is warranted.

Respectfully submitted,



Samantha Novotny
Planner I

Attachments and Enclosures:

- 1) Findings of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Master Site Plan
- 5) Site Plan
- 6) Landscape
- 7) Grading and Drainage
- 8) Elevations
- 9) Colors and Materials
- 10) Floor Plan
- 11) Lighting
- 12) Applicant's Narrative

**FINDINGS OF FACT
DR21-137 DUTCH BROS**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

DR21-137 Dutch Bros Attachment 2 - NOPH/Vicinity Map

PLANNING COMMISSION DATE:

Wednesday, December 1, 2021* TIME: 6:00 PM

LOCATION: Gilbert Police Department-Amphitheater
75 E Civic Center Dr.
Gilbert, AZ 85296

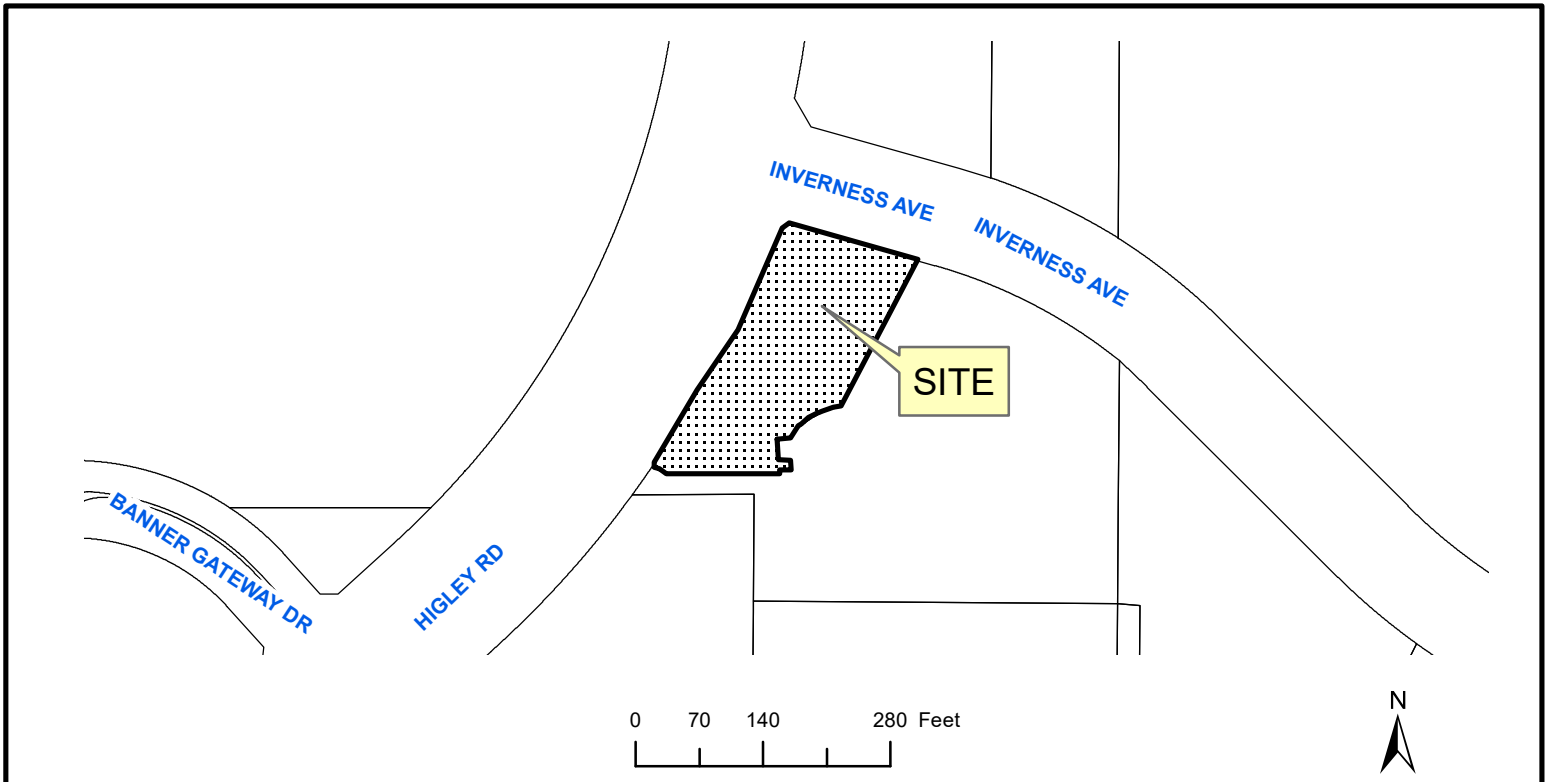
*Call Planning Division to verify date and time: (480) 503-6602

The application is available to the public for review at the Town of Gilbert Planning Division Monday - Thursday 7AM - 6PM. Staff reports and the agenda are available prior to the meeting at www.gilbertaz.gov/departments/development-services/planning/planning-commission

REQUESTED ACTION:

DR21-137 DUTCH BROS: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approximately 0.89 acres, generally located at the southeast corner of Higley Rd. and Inverness Ave., and zoned Regional Commercial (RC).

SITE LOCATION:



APPLICANT: PHNX Design
CONTACT: Mike Hills
ADDRESS: 1855 E. Southern Ave., Ste 204
Mesa, AZ 85204

TELEPHONE: (602) 762-7354
E-MAIL: mikeh@phnx-design.com

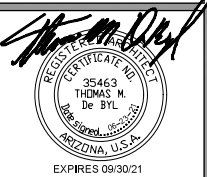


Map



Maricopa County GIO, Maricopa County Assessor's Office
6/21/2021 4:55:06 PM

PHNX
DESIGN
1855 EAST SOUTHERN AVE, SUITE 204
MESA, ARIZONA 85206
PHONE: (602) 762-7564



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PROPOSED SITE PLAN
HIGLEY ROAD AND INVERNESS AVENUE
GILBERT, ARIZONA

△	DATE	REVISION
1		
2		
3		
4		
5		

AERIAL MAP

A101

PHNX DESIGN # 20-180

**DR21-137 Dutch Bros
Attachment 4 - Master Site Plan**

PROJECT DESCRIPTION:

DEVELOPMENT OF A NEW DUTCH BROS BUILDING, PATIO AND SITE REDEVELOPMENT.

PROJECT TEAM:

OWNER:
THOMPSON/McCARTHY COFFEE Co.

1702 W. 3RD STREET
TEMPE, AZ 85281
CONTACT: BILL CANTIERI
PIAZZA RESTAURANT DEVELOPMENT
PH: (480) 818.9736
EMAIL: BILL@PIAZZA-AZ.COM

CIVIL:
BECK ENGINEERING
2942 NORTH 24TH STREET, SUITE 114
PHOENIX, AZ 850196
CONTACT: JUSTIN EVINGER
PH: (602) 810.2975

ARCHITECT:
PHNX DESIGN, LLC

1855 EAST SOUTHERN AVE, SUITE 204
MESA, ARIZONA 85204
CONTACT: MIKE HILLS
PH: (602) 762.7354
EMAIL: MIKEH@PHNX-DESIGN.COM

LANDSCAPE:
COLLABORATIVE V

7116 EAST 1ST AVE., SUITE 103
SCOTTSDALE, AZ 85251
CONTACT: AARON HILLMAN
PH: (480) 347.0590

SITE DATA

APN: 141-53-901B
EXISTING ZONING: RC TO REMAIN
PROPOSED USE: COMMERCIAL RESTAURANT
EXPIRES 09/30/24

NET SITE AREA: 38,564 S.F. (0.89 AC)

BUILDING AREA: 896 S.F.
PATIO AREA: 434 S.F.
TOTAL AREA: 1,330 S.F.

DRIVE-THRU SHADE CANOPY AREA: 3,000 S.F.

CONSTRUCTION TYPE: V-B
LOT COVERAGE: 1,330 / 38,564 X 100 = 3.45%

LANDSCAPE AREA: 20,293 S.F.
LANDSCAPE COVERAGE: 44%

BUILDING HEIGHT: 25 FT
REQUIRED PARKING: (1/200) 7 SPACES
TOTAL PARKING PROVIDED: 27 SPACES

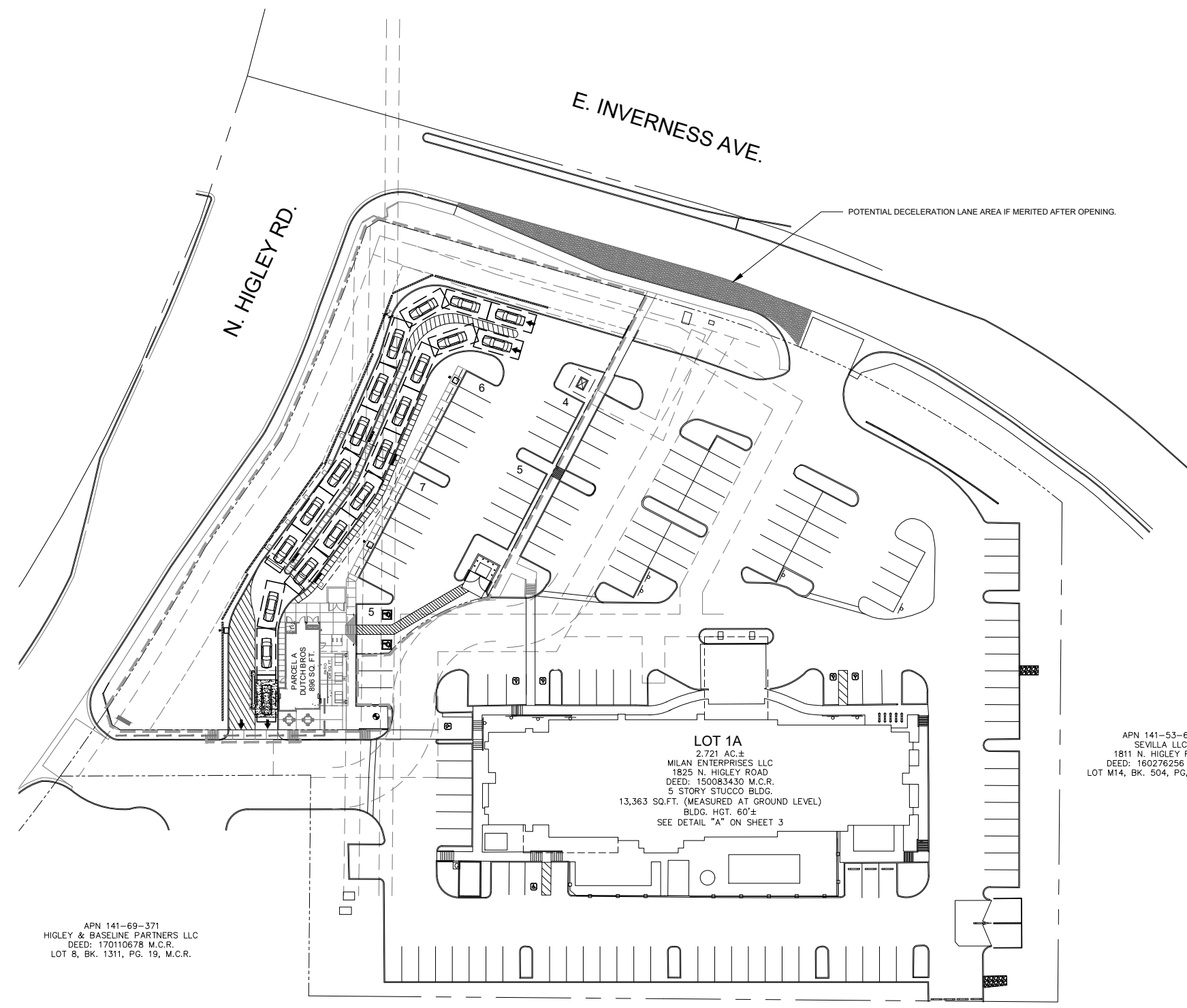
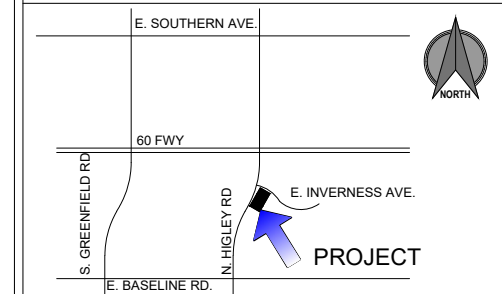
ADA PARKING REQUIRED: 27 / 25 = 2
ADA PARKING PROVIDED: 2

BIKE PARKING REQUIRED: 4
BIKE PARKING PROVIDED: 6

REFERENCE CODES:
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2018 INTERNATIONAL FIRE CODE
2017 NATIONAL ELECTRIC CODE
AMERICANS WITH DISABILITY ACT ACCESSIBILITY GUIDELINES

VICINITY MAP

SCALE: NOT TO SCALE

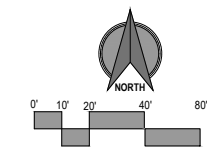


APN 141-69-371
HIGLEY & BASELINE PARTNERS LLC
DEED: 170110678 M.C.R.
LOT 8, BK. 1311, PG. 19, M.C.R.

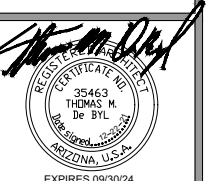
APN 141-53-509
SEVILLA LLC
1811 N. HIGLEY ROAD
DEED: 160276256 M.C.R.
LOT G2, BK. 504, PG. 48 M.C.R.

APN 141-53-697
SEVILLA LLC
1811 N. HIGLEY ROAD
DEED: 160276256 M.C.R.
LOT M14, BK. 504, PG. 48 M.C.R.

LOT 1A
2.721 AC.±
MILAN ENTERPRISES LLC
1825 N. HIGLEY ROAD
DEED: 150083430 M.C.R.
5 STORY STUCCO BLDG.
13,363 SQ.FT. (MEASURED AT GROUND LEVEL)
BLDG. HGT. 60'±
SEE DETAIL "A" ON SHEET 3



SCALE: 1/32" = 1'-0"
DATE: 11.11.2021



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PROPOSED SITE PLAN
HIGLEY ROAD AND INVERNESS AVENUE
GILBERT, ARIZONA

△	DATE	REVISION
1		
2		
3		
4		
5		

PROPOSED SITE PLAN

A103

PHNX DESIGN #: 20-180

**DR21-137 Dutch Bros
Attachment 5 - Site Plan**

PROJECT DESCRIPTION:

DEVELOPMENT OF A NEW DUTCH BROS BUILDING, PATIO AND SITE REDEVELOPMENT.

PROJECT TEAM:

OWNER:
THOMPSON/McCARTHY COFFEE Co.
1702 W. 3RD STREET
TEMPE, AZ 85281
CONTACT: BILL CANTIERI
PIAZZA RESTAURANT DEVELOPMENT
PH: (480) 818.9736
EMAIL: BILL@PIAZZA-AZ.COM

CIVIL:
BECK ENGINEERING
2942 NORTH 24TH STREET, SUITE 114
PHOENIX, AZ 850196
CONTACT: JUSTIN EVINGER
PH: (602) 810.2975

ARCHITECT:
PHNX DESIGN, LLC
1855 EAST SOUTHERN AVE, SUITE 204
MESA, ARIZONA 85204
CONTACT: MIKE HILLS
PH: (602) 762.7354
EMAIL: MIKEH@PHNX-DESIGN.COM

LANDSCAPE:
COLLABORATIVE V
7116 EAST 1ST AVE., SUITE 103
SCOTTSDALE, AZ 85251
CONTACT: AARON HILLMAN
PH: (480) 347.0590

SITE DATA

APN: 141-53-901B	RC TO REMAIN
EXISTING ZONING:	COMMERCIAL
EXISTING USE:	RESTAURANT
PROPOSED USE:	
NET SITE AREA:	38,564 S.F. (0.89 AC)
BUILDING AREA:	896 S.F.
PATIO AREA:	434 S.F.
TOTAL AREA:	1,330 S.F.
DRIVE-THRU SHADE CANOPY AREA:	3,000 S.F.
CONSTRUCTION TYPE:	V-B
LOT COVERAGE:	1,330 / 38,564 X 100 = 3.45%
LANDSCAPE AREA:	20,293 S.F.
LANDSCAPE COVERAGE:	44%
BUILDING HEIGHT:	25 FT
REQUIRED PARKING: (1/200)	7 SPACES
TOTAL PARKING PROVIDED:	27 SPACES
ADA PARKING REQUIRED:	27 / 25 = 2
ADA PARKING PROVIDED:	2
BIKE PARKING REQUIRED:	4
BIKE PARKING PROVIDED:	6
REFERENCE CODES:	
2018	INTERNATIONAL BUILDING CODE
2018	INTERNATIONAL MECHANICAL CODE
2018	INTERNATIONAL PLUMBING CODE
2018	INTERNATIONAL ENERGY CONSERVATION CODE
2018	INTERNATIONAL FIRE CODE
2017	NATIONAL ELECTRIC CODE
	AMERICANS WITH DISABILITY ACT ACCESSIBILITY GUIDELINES

KEYNOTES:

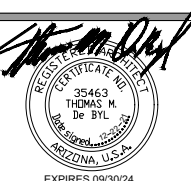
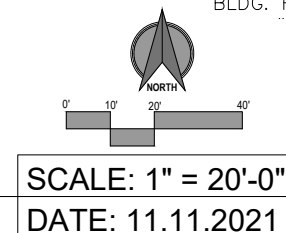
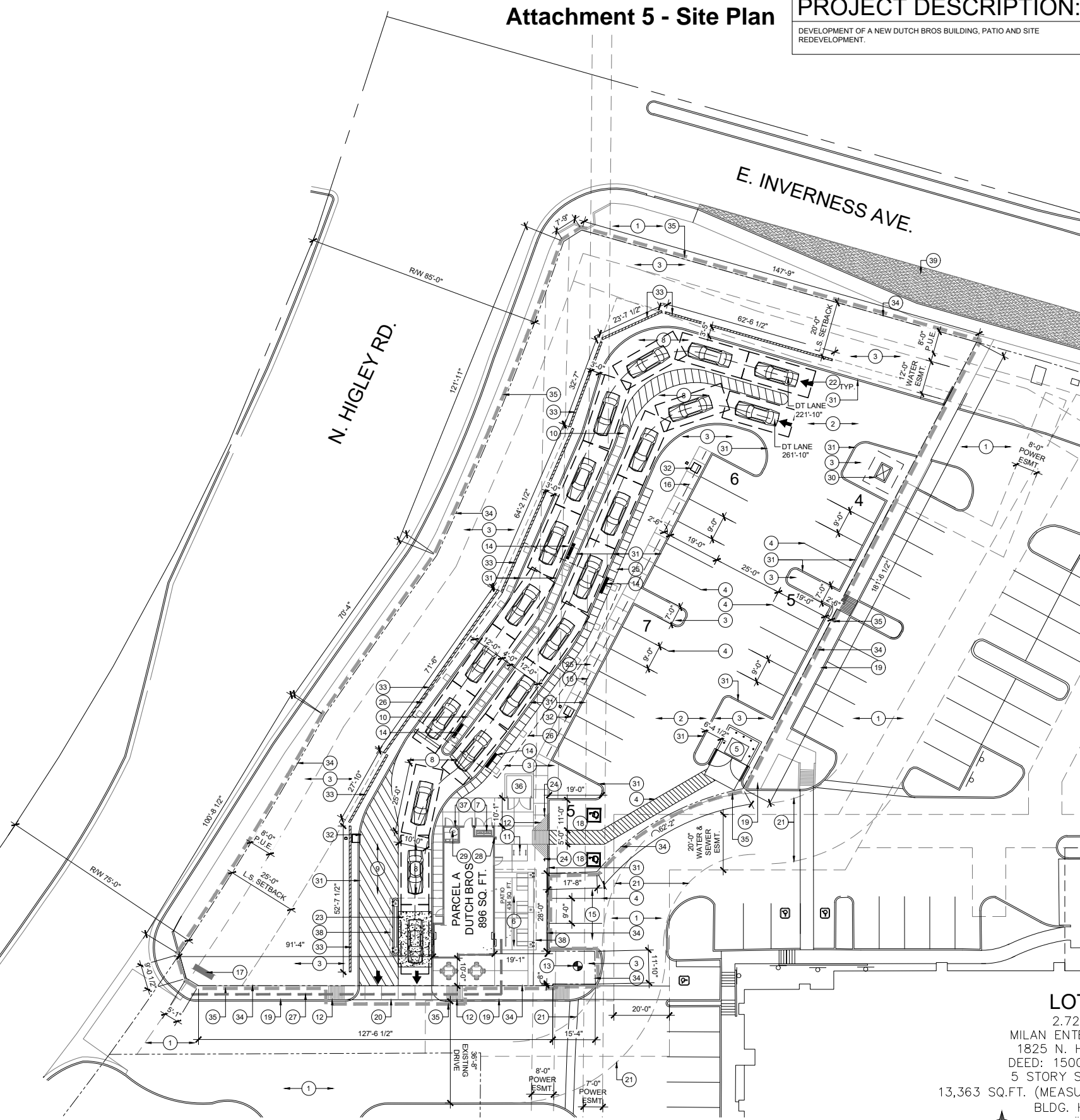
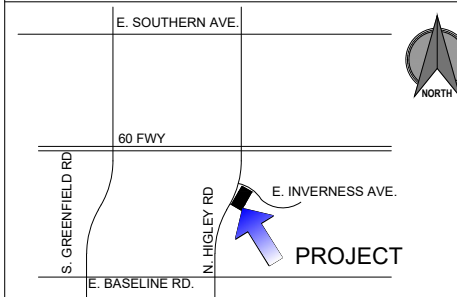
- ADJACENT PROPERTY IS EXISTING AND WILL REMAIN AS IS.
- ASPHALT DRIVE AREA, REFER TO CIVIL DRAWINGS.
- LANDSCAPE AREA, REFER TO LANDSCAPE DRAWINGS.
- 4" WIDE PAINT STRIPING.
- REFUSE ENCLOSURE, SIZE TO MATCH CITY STANDARD DETAIL, REFER TO DETAIL 10A/102.
- CONCRETE HARDCAPE AREA.
- ELECTRICAL SERVICE ENTRANCE SECTION (SES) LOCATION.
- ASPHALT DRIVE THRU LANE, REFER TO CIVIL DRAWINGS.
- BYPASS LANE.
- RAISED SIDEWALK FOR STAFF TO TAKE ORDERS ONLY, REFER TO DETAIL 16A/102.
- BIKE RACK, REFER TO DETAIL 4A/102.
- CONCRETE ACCESSIBLE CURB RAMP, REFER TO DETAIL 5 & 6A/102.
- EXISTING FIRE HYDRANT TO REMAIN, PROTECT DURING CONSTRUCTION.
- MENU DISPLAY BOARDS (NO ORDER SPEAKER AT THESE LOCATIONS), REFER TO ELECTRICAL DRAWINGS.
- EXISTING PARKING SPACES TO REMAIN, INCLUDED IN PARKING COUNT.
- 30" PARKING OVERHANG.
- EXISTING SIGN.
- ACCESSIBLE PARKING SPACES, REFER TO DETAIL 11A/102.
- EXISTING SIDEWALK TO REMAIN, TYP.
- NEW CONCRETE CROSSWALK TO MATCH ADJACENT SITE CROSSWALKS.
- DASHED LINES INDICATES 33' INSIDE RADIUS AND 55' OUTSIDE TURNING RADIUS.
- WHITE PAINTED DIRECTIONAL ARROWS, TYPICAL, REFER TO DETAIL 17A/102.
- 12'-0" WIDE BY 20'-0" LONG CONCRETE PAD CENTERED AT DRIVE-THROUGH WINDOW. CONCRETE COLOR: BLACK, REFER TO DETAIL 8A/102.
- NEW ADA PARKING SIGN.
- 4" THICK CONCRETE ACCESS SIDEWALK, REFER TO CONCRETE JOINT DETAILS 7A/102.
- DASH LINE INDICATES LOCATION OF SHADE CANOPY ABOVE, REFER TO SHEET A301 FOR ELEVATIONS.
- DASHED LINE DENOTES ACCESSIBLE ROUTE FROM SIDEWALK.
- FDC LOCATION.
- FIRE RISER ROOM LOCATION.
- ELECTRICAL TRANSFORMER.
- 6" CONCRETE CURB, TYP.
- SITE LIGHTING, REFER TO PHOTOMETRIC.
- 3'-0" HIGH C.M.U. SCREEN WALL AS INDICATED. REFER TO ELEVATIONS 18A/102.
- PROPERTY LINE, REFER TO CIVIL DRAWINGS.
- DASHED LINE INDICATES LIMIT OF CONSTRUCTION.
- OUTDOOR STORAGE LOCATION, WALLS TO BE 8'-0" TALL.
- KNOX BOX LOCATION.
- DASHED LINE INDICATES BUILDING CANOPY, TO BE SPRINKLERED.
- POTENTIAL DECELERATION LANE AREA IF MERITED AFTER OPENING.

GENERAL NOTES

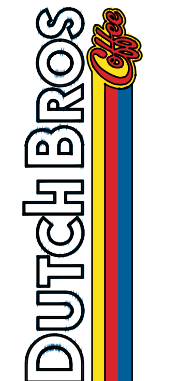
- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6" SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.
 - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT. PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR
 - ROUTED UNDERGROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICES. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
 - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM. COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

VICINITY MAP

SCALE: NOT TO SCALE



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PROPOSED SITE PLAN
HIGLEY ROAD AND INVERNESS AVENUE
GILBERT, ARIZONA

DATE	REVISION
1	
2	
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5	

PROPOSED SITE PLAN

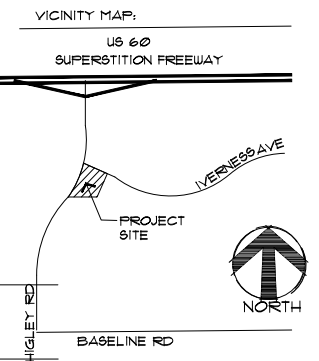
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PHNX DESIGN #: 20-180

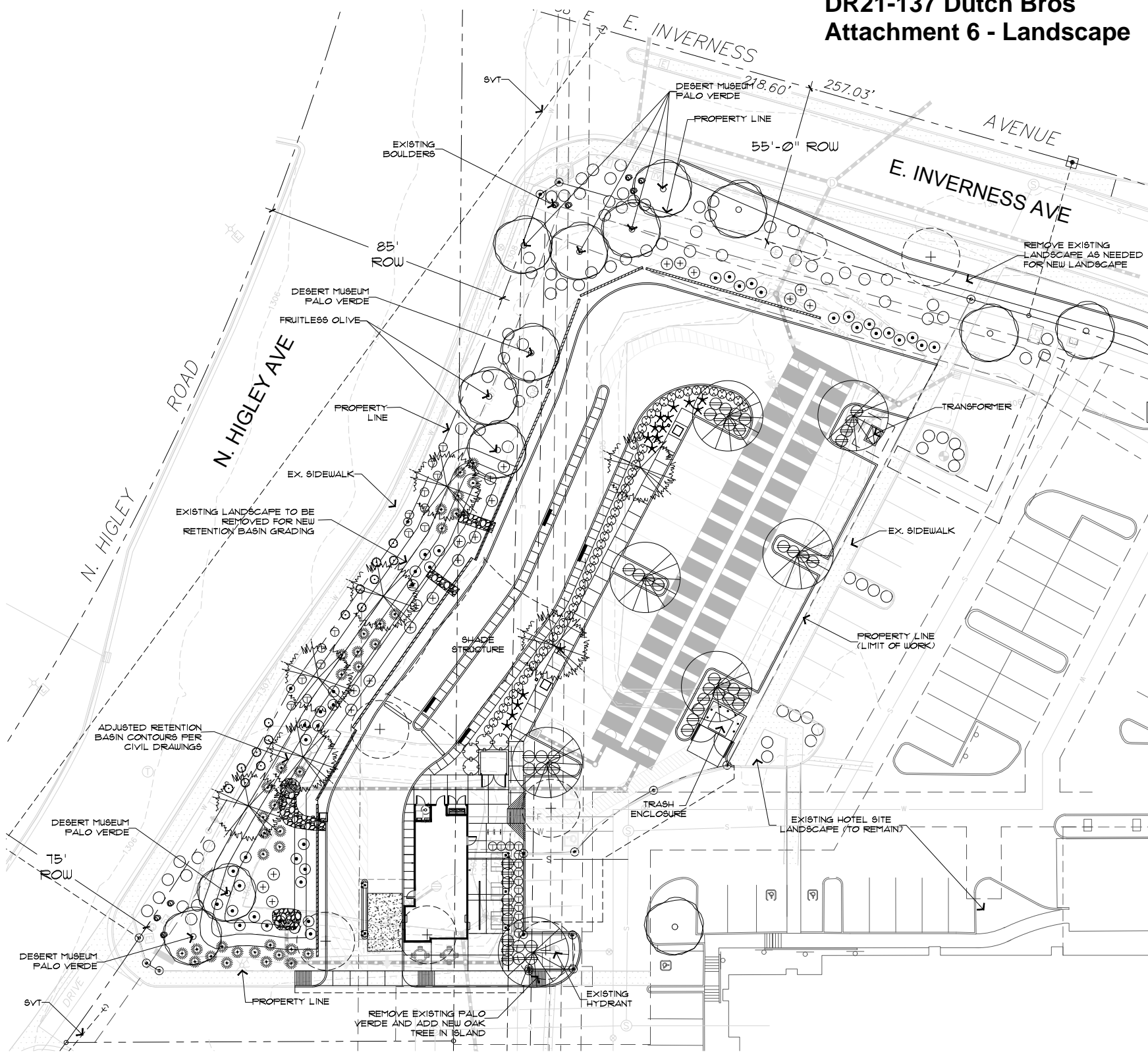
DR21-137 Dutch Bros Attachment 6 - Landscape

PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
TREES					
(Circle with cross)	Existing Tree (To Remain)				
(Circle with slash)	Existing Tree (To Be Removed)				
(Circle with dot)	Olea 'Wilsonii'	'Wilsonii' Fruitless Olive	24" Box	1	Multi-Trunk Dense Canopy
(Circle with horizontal lines)	Quercus virginiana	Southern Live Oak	24" Box	1	Standard Trunk Dense Canopy
CACTI/ACCENTS					
(Star)	Dasylirion wheeleri	Desert Spoon	5-Gal	16	As Per Plan
(Star with dot)	Muhlenbergia 'Regal Mist'	'Regal Mist' Grass	5-Gal	38	As Per Plan
SHRUBS					
(Circle with plus)	Existing Shrub To Remain				
(Circle with cross)	Dodonaea viscosa	Hopseed Bush	5-Gal	6	As Per Plan
(Circle with dot)	Leucophyllum langmaniae 'Rio Bravo'	'Rio Bravo' Sage	5-Gal	42	As Per Plan
(Circle with horizontal lines)	Myrtus 'Compacta'	Compact Dwarf Myrtle	5-Gal	55	As Per Plan
(Circle with vertical lines)	Nerium 'Petite Pink'	'Petite Pink' Oleander	5-Gal	21	As Per Plan
(Circle with diagonal lines)	Olea 'Little Ollie'	Dwarf Olive 'Little Ollie'	5-Gal	51	As Per Plan
GROUND COVERS					
(Circle with cross)	Convolvulus anserinum	Bush Morning Glory	1-Gal	14	As Per Plan
(Circle with dot)	Aloe 'Blue Elf'	'Blue Elf' Aloe	1-Gal	28	As Per Plan
MISCELLANEOUS					
(Square with DG)	Decomposed Granite - Size and Color to Match Existing 2" depth in all planting areas (Typ)				



Collaborative V
Design Studio Inc.
7116 East 1st Ave.,
Suite 103
Scottsdale, Arizona
85251
office: 480-347-0590
fax: 480-656-6012



LANDSCAPE SITE DATA

TOTAL NET SITE AREA	38,564	SQ. FT.	0.89	AC.
SQUARE FOOTAGE OF ON-SITE LANDSCAPING	16,924	SQ. FT.	44	% OF SITE
SQUARE FOOTAGE OF PUBLIC RIGHT-OF-WAY LANDSCAPING	3,369	SQ. FT.		
SQUARE FOOTAGE OF ON-SITE 4 ROW LANDSCAPING	20,293	SQ. FT.		

NOTE:
ALL LANDSCAPING SHALL COMPLY WITH TOWN OF GILBERT STANDARD DETAIL GIL-212 AT TIME OF INSTALLATION. ALL TREES WITHIN THE SIGHT LINE SHALL CANOPY AT 1' WHEN INSTALLED AND NO VEGETATION OR HARDSCAPE THAT WILL BE ABOVE 24" (AT MATURITY) WILL BE ALLOWED WITHIN THE SIGHT LINE.

TOWN OF GILBERT NOTES

- A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION SYSTEM. A CD WITH PDF FORMAT "AS-BUILTS" OF THE LANDSCAPE AND IRRIGATION PLANS IS ALSO REQUIRED.
- BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED: THE DEVICE MUST BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND THE TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE A CURRENT LIST OF CERTIFIED TESTERS FROM WHICH TO SELECT. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.
- DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.
- NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.
- NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 1 FOOT MINIMUM CLEAR CANOPY.
- ALL TREES, SHRUBS AND GROUND COVER SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS.
- CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

MAINTENANCE NOTE:
ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. THIS SHALL BE RESPONSIBILITY OF THE PROPERTY OWNER.

MAINTENANCE OF LANDSCAPING IN THE ROW IS THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER, WHETHER AN INDIVIDUAL, CORPORATION, PROPERTY OWNERS ASSOCIATION OR HOMEOWNERS ASSOCIATION. SINCE THIS IS PART OF A MASTER SITE PLAN, IT IS STRONGLY ENCOURAGED TO MAINTAIN LANDSCAPING UNIFORMLY WITH THE OTHER USER(S).

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY THE TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

FIRE HYDRANT AND FDC NOTE:
PLANT MATERIAL SHALL NOT BE INSTALLED OR ALLOWED TO GROW TO WITHIN 3' OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION (FDC). MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 15 FEET WHERE TREES OVERHANG THE CURB LINE. IFC 503.2.1 AND 503.5.5

PLANTING NOTES

- CLARIFICATION OF DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE SITE SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL MUST MEET ANA SPECIFICATIONS.
- THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL HE DEEMS UNACCEPTABLE. ALL PLANT MATERIAL SHALL BE INSPECTED PRIOR TO INSTALLATION.
- PLANTS TO BE LOCATED AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, POWER POLES, AND LIGHT FIXTURES AS NECESSARY. DO NOT INSTALL PLANT MATERIAL IN ANY AREA WHICH WILL CAUSE HARM TO ADJACENT IMPROVEMENTS.
- VERIFY PLANT QUANTITIES PRIOR TO INSTALLATION. QUANTITIES ARE LISTED FOR CONVENIENCE ONLY. THE ACTUAL NUMBER OF SYMBOLS INDICATED ON THE PLANTING PLANS SHALL HAVE PRIORITY OVER QUANTITIES DESIGNATED. NOTIFY THE LANDSCAPE ARCHITECT OF QUANTITY DISCREPANCIES IMMEDIATELY.
- PLANT TREES, SHRUBS, AND CACTI PLUMB, AND FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS OR VIEWS.
- NOTIFY OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHOULD SOIL CONDITIONS BE PRESENT WHICH WOULD PREVENT PROPER SOIL DRAINAGE AND ALLOW WATER TO STAND IN PLANTING PITS.
- DOUBLE STAKE ALL TREES OUTSIDE ROOTBALL, EXCEPT FOR SALVAGED TREES.
- LANDSCAPE CONTRACTOR TO PERFORM A SOILS TEST PRIOR TO LANDSCAPE CONSTRUCTION TO DETERMINE ANY NUTRIENT DEFICIENCIES. IF ANY DEFICIENCIES EXIST, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AMEND THE SOIL ACCORDINGLY.
- SIGNS REQUIRE SEPARATE APPROVALS AND PERMITS.

PLANTING PLAN

SCALE: 1" = 20'-0"



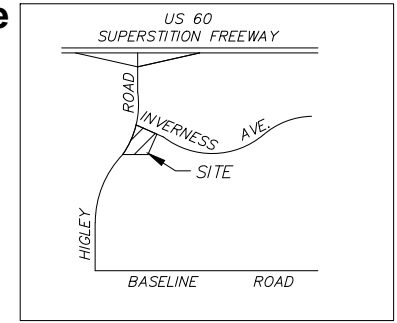
EPA WATERSENSE CONTROLLER NOTE
THIS PROJECT WILL UTILIZE A US EPA WATERSENSE CONTROLLER HUNTER INDUSTRIES HYDRAWISE X2-400

Landscape Improvement PLAN
DUTCHBROS
 1836 N Higley Road, Gilbert 85234

DESIGNED BY: AH
 DRAWN BY: AH
 CHECKED BY: PV / AH
 DATE: 04/22/21
 REVISIONS: 10/28/21 Comments

Planting Plan

DR21-137 Dutch Bros Attachment 7 - Grading and Drainage



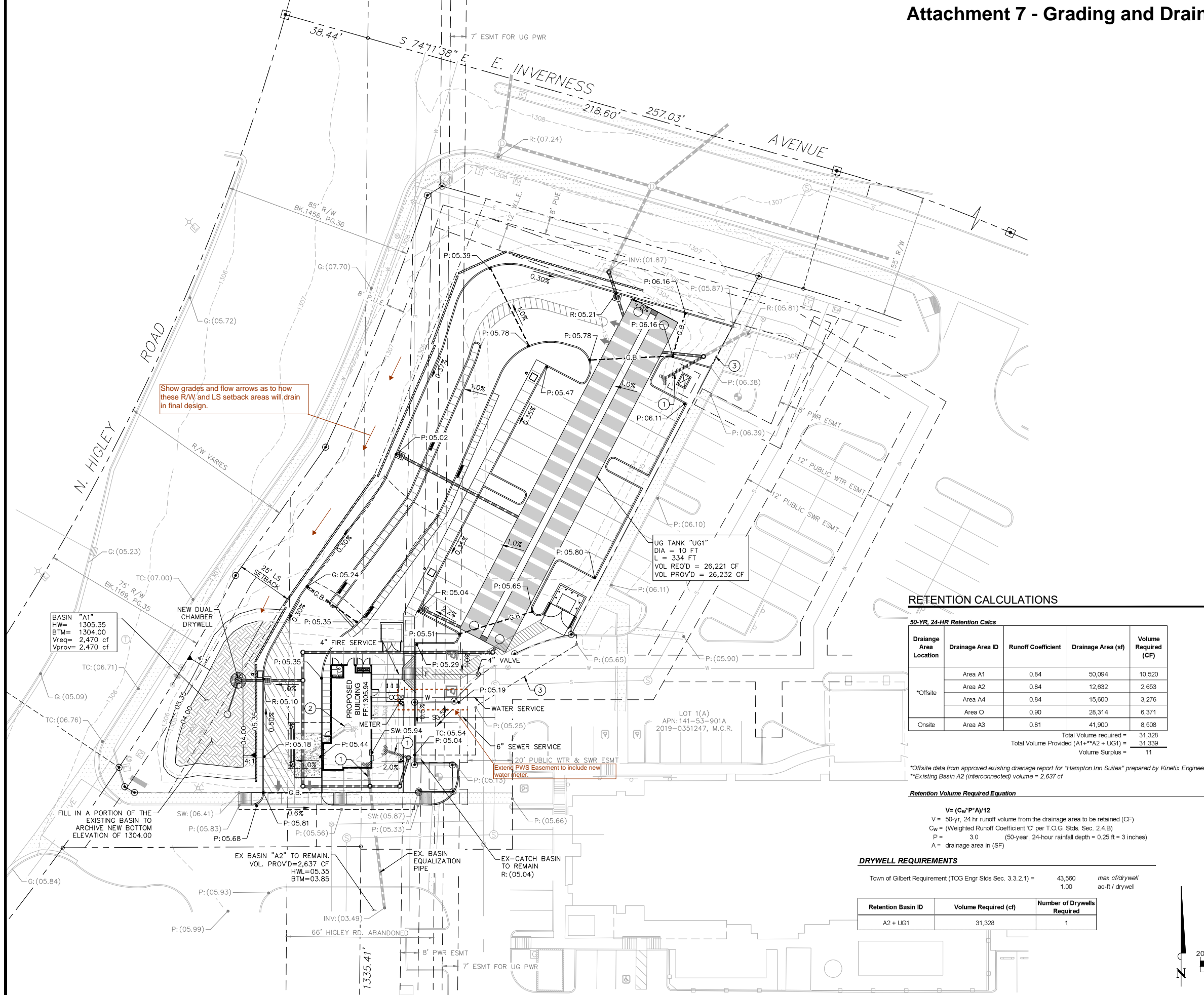
APN: 141-53-901B
SECTION: 34
TOWNSHIP: 1N
RANGE: 6E
VICINITY MAP
PHOENIX, AZ
NTS

2942 N. 24TH STREET
SUITE #114
PHOENIX, AZ 85016
PHONE: (602) 943-6200
FAX: (602) 943-6201

SCALE (H): 1"=20'
SCALE (V):
DESIGNED BY: BCE
DRAWN BY: BCE
CHECKED BY: BCE
DATE: 6-16-21

PRELIMINARY GRADING & DRAINAGE PLAN
DUTCH BROS COFFEE
SEC OF N. HIGLEY RD. AND E. INVERNESS AVE.
GILBERT, ARIZONA

NO. DATE
DESCRIPTION
Professional Engineer
47704
JUSTIN R. EVINGER
11/11
ARIZONA, USA
EXPIRES 11/11/2023
PROJECT NO.
215011
GD.1 of 1



DRAINAGE STATEMENT

THIS PARCEL IS CURRENT BEING UTILIZED AS A SURFACE RETENTION BASIN. THE PROPOSED DEVELOPMENT WILL PROVIDE A COMBINATION OF UNDERGROUND RETENTION AND SURFACE RETENTION SIZED FOR THE 50-YR, 24-HR STORM EVENT FOR THE DEVELOPED PARCEL AND THE TRIBUTARY ADJACENT "OFFSITE" DRAINAGE AREAS.

BENCHMARK

THE BENCHMARK USED FOR THIS SURVEY IS THE WEST QUARTER CORNER OF SECTION 35, MONUMENTED WITH AN ALUMINUM CAP FLUSH HAVING AN ELEVATION OF 1317.587, NAVD88 DATUM PER THE M.C.D.O.T. SURVEY DATASHEET AVAILABLE ONLINE.

BASIS OF BEARING

BASIS OF BEARING: THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 35, HAVING A BEARING OF NORTH 00 DEGREES 29 MINUTES 55 SECONDS EAST, ACCORDING TO HAMPTON INN AND SUITES MINOR LAND DIVISION, RECORDED IN BOOK 1456, PAGE 36, M.C.R.

FEMA FLOOD ZONE CLASSIFICATION

REVIEW OF THE FEMA FLOOD INSURANCE RATE MAP 04013C2288M DATED NOVEMBER 11, 2015, INDICATED THAT THE SITE LIES WITHIN SHADED ZONE "X": "AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE."

KEYED NOTES

1. REMOVED PORTION OF EXISTING STORM DRAIN.
2. REMOVE / CAP EXISTING DRYWELL.
3. SAWCUT PAVT.
4. CURB OPENING WITH SPILLWAY.

LEGEND

- STORM DRAIN / TANK
- EASEMENT LINE
- CENTERLINE
- PROPERTY LINE
- RIGHT OF WAY LINE
- EXISTING CONTOUR LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING MANHOLES, VAULTS AND BOXES
- GRADE BREAK
- FLOW ARROW
- PROPOSED ELEVATION
- EXISTING ELEVATION

ABBREVIATIONS

- EG: EXISTING GRADE
- SW: SIDEWALK
- FF: FINISHED FLOOR
- TC: TOP OF CURB
- G: GUTTER
- R: RIM
- P: PAVEMENT
- FG: FINISHED GRADE
- MCR: MARICOPA COUNTY RECORDER
- PUE: PUBLIC UTILITY EASEMENT
- MUTE: MULTI-USE TRAIL EASEMENT

RETENTION CALCULATIONS

50-YR, 24-HR Retention Calcs

Drainage Area Location	Drainage Area ID	Runoff Coefficient	Drainage Area (sf)	Volume Required (CF)
*Offsite	Area A1	0.84	50,094	10,520
	Area A2	0.84	12,632	2,653
	Area A4	0.84	15,600	3,276
	Area O	0.90	28,314	6,371
Onsite	Area A3	0.81	41,900	8,508
Total Volume required =				31,328
Total Volume Provided (A1+*A2 + UG1) =				31,339
Volume Surplus =				11

*Offsite data from approved existing drainage report for "Hampton Inn Suites" prepared by Kinetix Engineering Group.
**Existing Basin A2 (interconnected) volume = 2,637 cf

Retention Volume Required Equation

$$V = (C_w \cdot P \cdot A) / 12$$

V = 50-yr, 24 hr runoff volume from the drainage area to be retained (CF)
 C_w = (Weighted Runoff Coefficient 'C' per T.O.G. Stds. Sec. 2.4.B)
 P = 3.0 (50-year, 24-hour rainfall depth = 0.25 ft = 3 inches)
 A = drainage area in (SF)

DRYWELL REQUIREMENTS

Town of Gilbert Requirement (TOG Engr Stds Sec. 3.3.2.1) = 43,560 max cf/drywell ac-ft / drywell
1.00

Retention Basin ID	Volume Required (cf)	Number of Drywells Required
A2 + UG1	31,328	1

GRAPHIC SCALE
1 INCH = 20 FEET

ARIZONA
Call 811 or click Arizona811.com

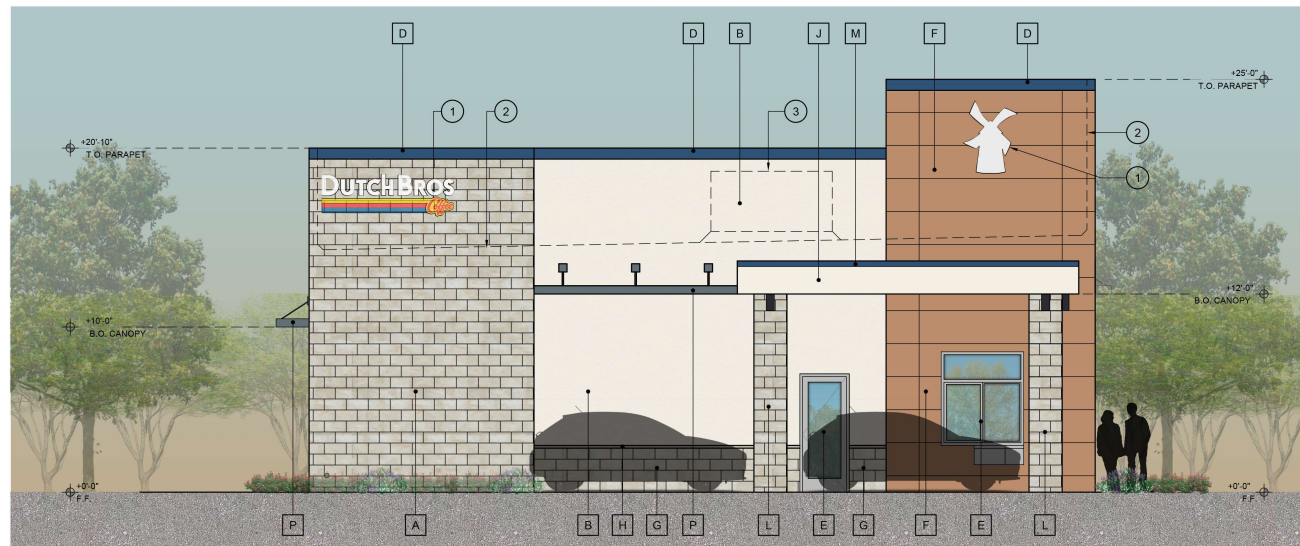
DR21-137 Dutch Bros Attachment 8 - Elevations

KEYNOTES

- SIGNAGE UNDER SEPARATE REVIEW AND PERMIT.
- DASHED INDICATES LINE OF ROOF BEYOND.
- MECHANICAL ROOF TOP UNIT, FULLY SCREENED BY PARAPET.
- BUILDING ADDRESS, VERIFY NUMBER, LOCATION AND EXACT SIZE WITH THE MUNICIPAL.
- SERVICE ENTRANCE SECTION (SES) PAINTED TO MATCH ADJACENT WALL COLOR.
- PROVIDE BLUE SPANDREL GLASS AT THIS WINDOW ONLY.

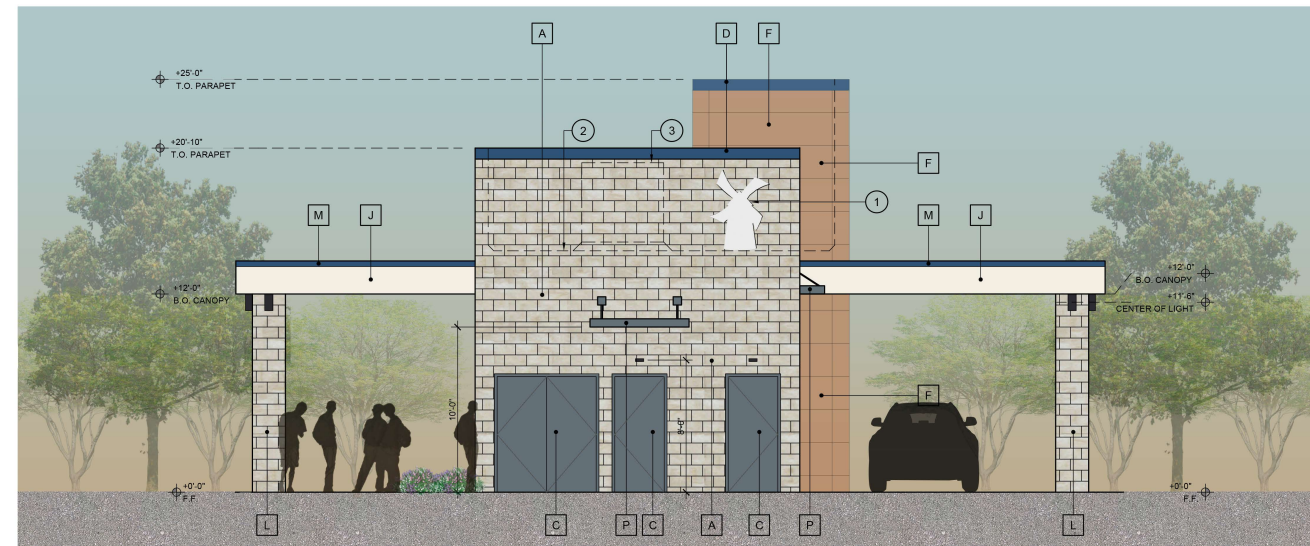
FINISH SCHEDULE

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
A	8" x 2" x 16" BLOCK VENEER	SUPERLITE	STANDARD SPLIT FACE BLOCK	COLOR: SHERWIN WILLIAMS 7570 "EGRET WHITE"
B	STUCCO	-	3-COAT SYSTEM WITH ACRYLIC MEDIUM SAND FINISH	COLOR: SHERWIN WILLIAMS 7566 "WESTHIGHLAND WHITE"
C	HOLLOW METAL DOOR	-	3'-0" x 7'-0"	COLOR: BLDG DB DARK GRAY
D	METAL PARAPET CAP	TAYLOR METALS	METAL FLASHING	COLOR: PACIFIC BLUE
E	STOREFRONT SYSTEM	KAWNEER OR APPROVED EQUAL	ALUMINUM STOREFRONT SYSTEM W/ 1" CLEAR INSULATED GLAZING VALUE: (U=0.29, SHGC = .028)	COLOR: CLEAR ANODIZED
ZONE 2 (TOWER)				
F	STUCCO	-	3-COAT SYSTEM WITH ACRYLIC MEDIUM SAND FINISH	COLOR: SHERWIN WILLIAMS 7718 "OAK CREEK"
ZONE 3 (BASE)				
G	8" x 2" x 16" BLOCK VENEER	SUPERLITE	STANDARD SPLIT FACE BLOCK	COLOR: SHERWIN WILLIAMS 7570 "EGRET WHITE"
H	8" x 2" x 16" BLOCK VENEER	SUPERLITE	STANDARD SPLIT FACE BLOCK CAP	COLOR: SHERWIN WILLIAMS 7570 "EGRET WHITE"
ZONE 4 (FRAMED CANOPY)				
J	STUCCO	-	3-COAT SYSTEM WITH ACRYLIC MEDIUM SAND FINISH	COLOR: SHERWIN WILLIAMS 7566 "WESTHIGHLAND WHITE"
K	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G 1/8" REVEAL
L	8" x 2" x 16" BLOCK VENEER	SUPERLITE	STANDARD SPLIT FACE BLOCK	COLOR: SHERWIN WILLIAMS 7570 "EGRET WHITE"
M	METAL PARAPET CAP	TAYLOR METALS	METAL FLASHING	COLOR: BLDG DB DARK GRAY
P	PRE-FABRICATED METAL CANOPY	-	-	COLOR: BLDG DB DARK GRAY



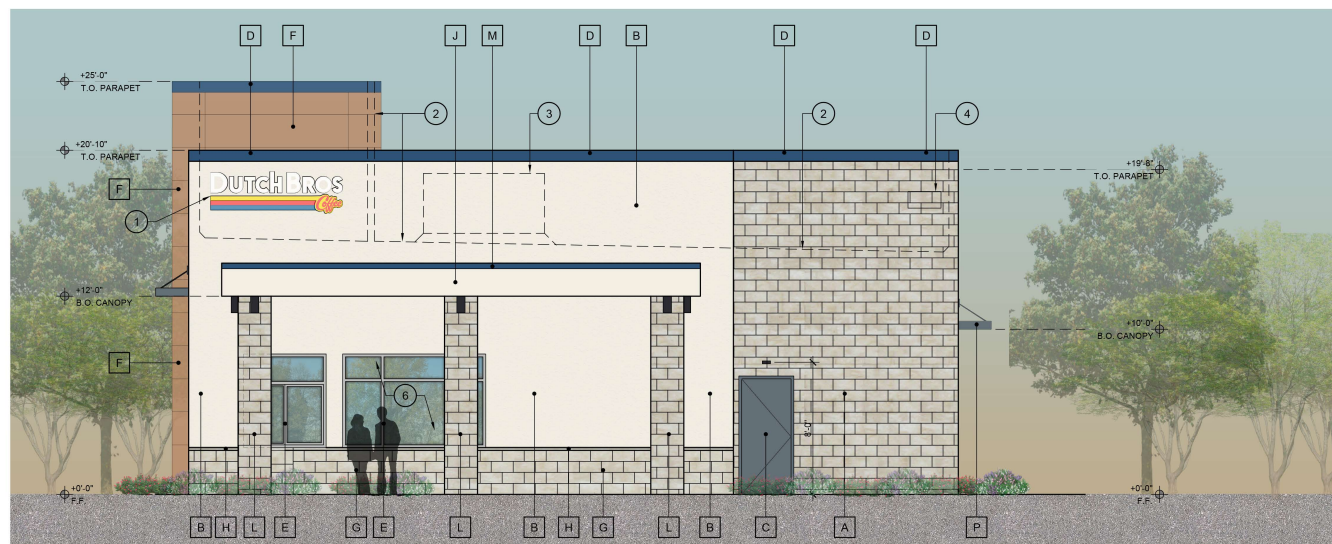
4 EAST ELEVATION (DRIVE THRU WINDOW)

SCALE: 3/16" = 1'-0"



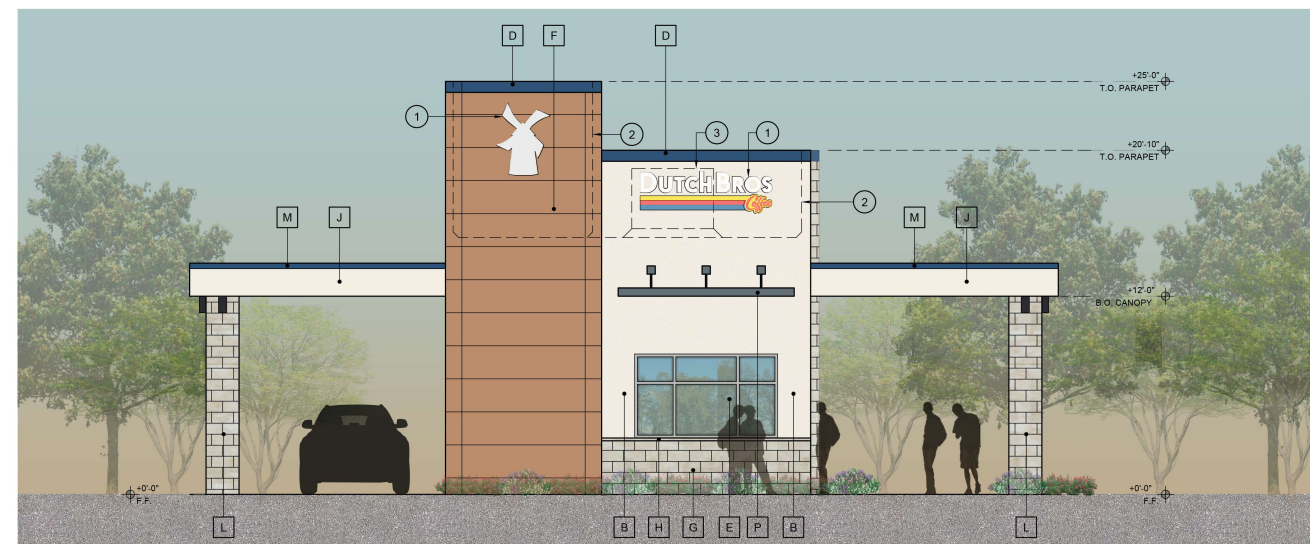
3 SOUTH ELEVATION (REAR ELEVATION)

SCALE: 3/16" = 1'-0"



2 WEST ELEVATION (WALK UP WINDOW)

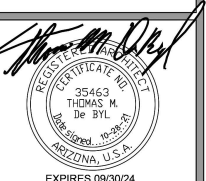
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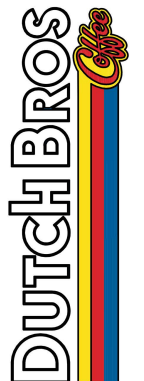
1 NORTH ELEVATION (FRONT ELEVATION)

SCALE: 3/16" = 1'-0"

PHNX DESIGN
1855 EAST SOUTHERN AVE., SUITE 204
MESA, ARIZONA 85206
PHONE: 602.762.7354



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PROPOSED SITE PLAN
HIGLEY ROAD AND INVERNESS AVENUE
GILBERT, ARIZONA

DATE	REVISION
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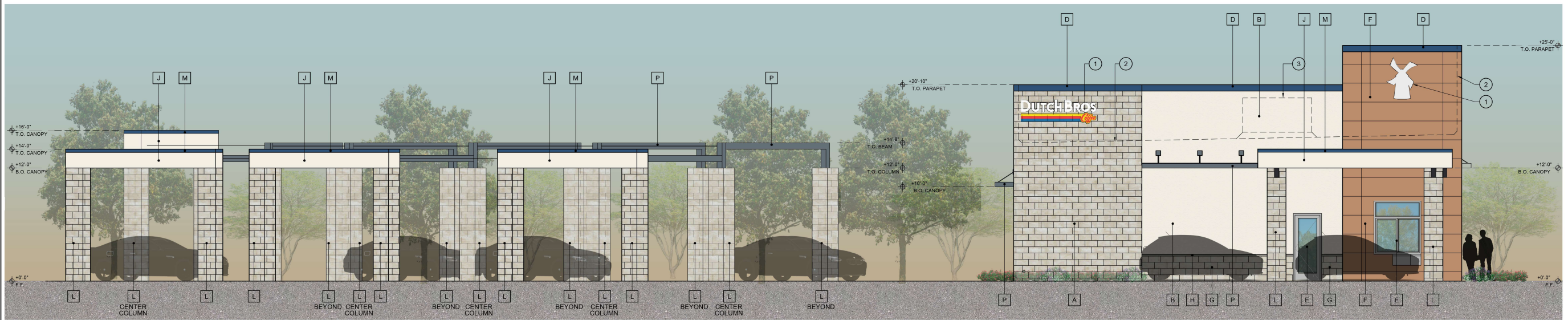
BUILDING ELEVATIONS

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PHNX DESIGN # 20-180

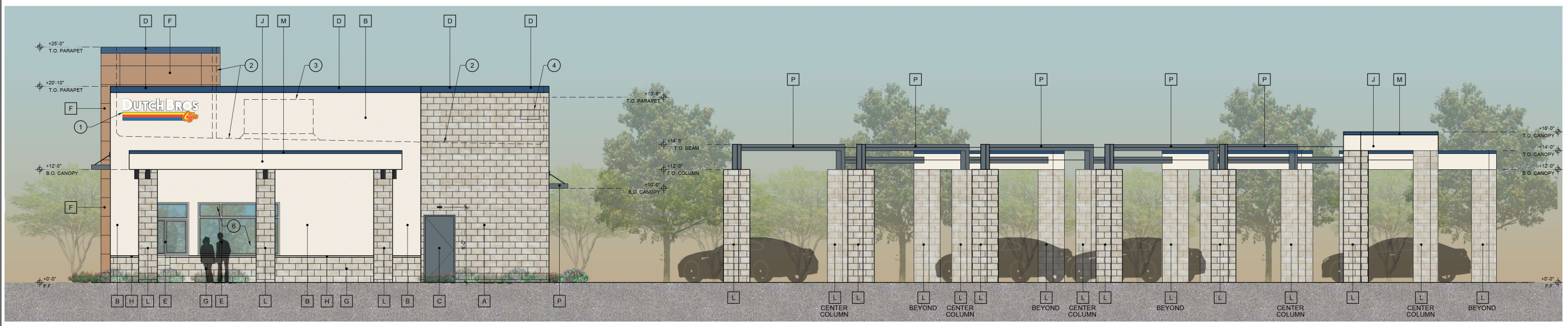
- # KEYNOTES**
- SIGNAGE UNDER SEPARATE REVIEW AND PERMIT.
 - DASHED INDICATES LINE OF ROOF BEYOND.
 - MECHANICAL ROOF TOP UNIT, FULLY SCREENED BY PARAPET.
 - BUILDING ADDRESS, VERIFY NUMBER, LOCATION AND EXACT SIZE WITH THE MUNICIPAL.
 - SERVICE ENTRANCE SECTION (SES) PAINTED TO MATCH ADJACENT WALL COLOR.
 - PROVIDE BLUE SPANDREL GLASS AT THIS WINDOW ONLY.

ID TAG	MATERIAL	MANUFACTURER	MODEL	REMARKS
ZONE 1 (BODY)				
A	8" x 2" x 16" BLOCK VENEER	SUPERLITE	STANDARD SPLIT FACE BLOCK	COLOR: SHERWIN WILLIAMS 7570 "EGRET WHITE"
B	STUCCO	-	3-COAT SYSTEM WITH ACRYLIC MEDIUM SAND FINISH	COLOR: SHERWIN WILLIAMS 7566 "WESTHIGHLAND WHITE"
C	HOLLOW METAL DOOR	-	3'-0" x 7'-0"	COLOR: BLDG DB DARK GRAY
D	METAL PARAPET CAP	TAYLOR METALS	METAL FLASHING	COLOR: PACIFIC BLUE
E	STOREFRONT SYSTEM	KAWNEER OR APPROVED EQUAL	ALUMINUM STOREFRONT SYSTEM W/ 1" CLEAR INSULATED GLAZING VALUE: (U=0.29, SHGC = .028)	COLOR: CLEAR ANODIZED
ZONE 2 (TOWER)				
F	STUCCO	-	3-COAT SYSTEM WITH ACRYLIC MEDIUM SAND FINISH	COLOR: SHERWIN WILLIAMS 7718 "OAK CREEK"
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H	8" x 2" x 16" BLOCK VENEER	SUPERLITE	STANDARD SPLIT FACE BLOCK CAP	COLOR: SHERWIN WILLIAMS 7570 "EGRET WHITE"
ZONE 4 (FRAMED CANOPY)				
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K	SOFFIT	HEWN ELEMENTS	NATURAL NORTHWESTERN SPRUCE	1x8, T&G 1/8" REVEAL
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M	METAL PARAPET CAP	TAYLOR METALS	METAL FLASHING	COLOR: BLDG DB DARK GRAY
P	PRE-FABRICATED METAL CANOPY	-	-	COLOR: BLDG DB DARK GRAY



2 EAST ELEVATION (DRIVE THRU WINDOW)

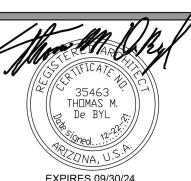
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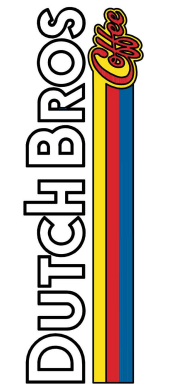
1 WEST ELEVATION (WALK UP WINDOW)

SCALE: 3/16" = 1'-0"

PHNX DESIGN
 1855 EAST SOUTHERN AVE. SUITE 204
 GILBERT, ARIZONA 85208
 PHONE: 602.762.7354



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PROPOSED SITE PLAN
 HIGLEY ROAD AND INVERNESS AVENUE
 GILBERT, ARIZONA

DATE	REVISION
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BUILDING ELEVATIONS

A301

PHNX DESIGN # 20-180



SHADE INDUSTRIES
2940 GRAND AVE.
PHOENIX, AZ 85017
602.258.2248
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www.shadeindustries.com
info@shadeindustries.com

ROC270019

DBC - HIGLEY & INVERNESS
SHADE STRUCTURE
1836 NORTH HIGLEY ROAD
GILBERT, ARIZONA 85234

DATE: 12/27/2021 STRUCTURE PLAN

S1.0



PROPERTY LINE

EXST BLDG

22'-6 $\frac{1}{2}$ "

32'-4 $\frac{1}{2}$ "

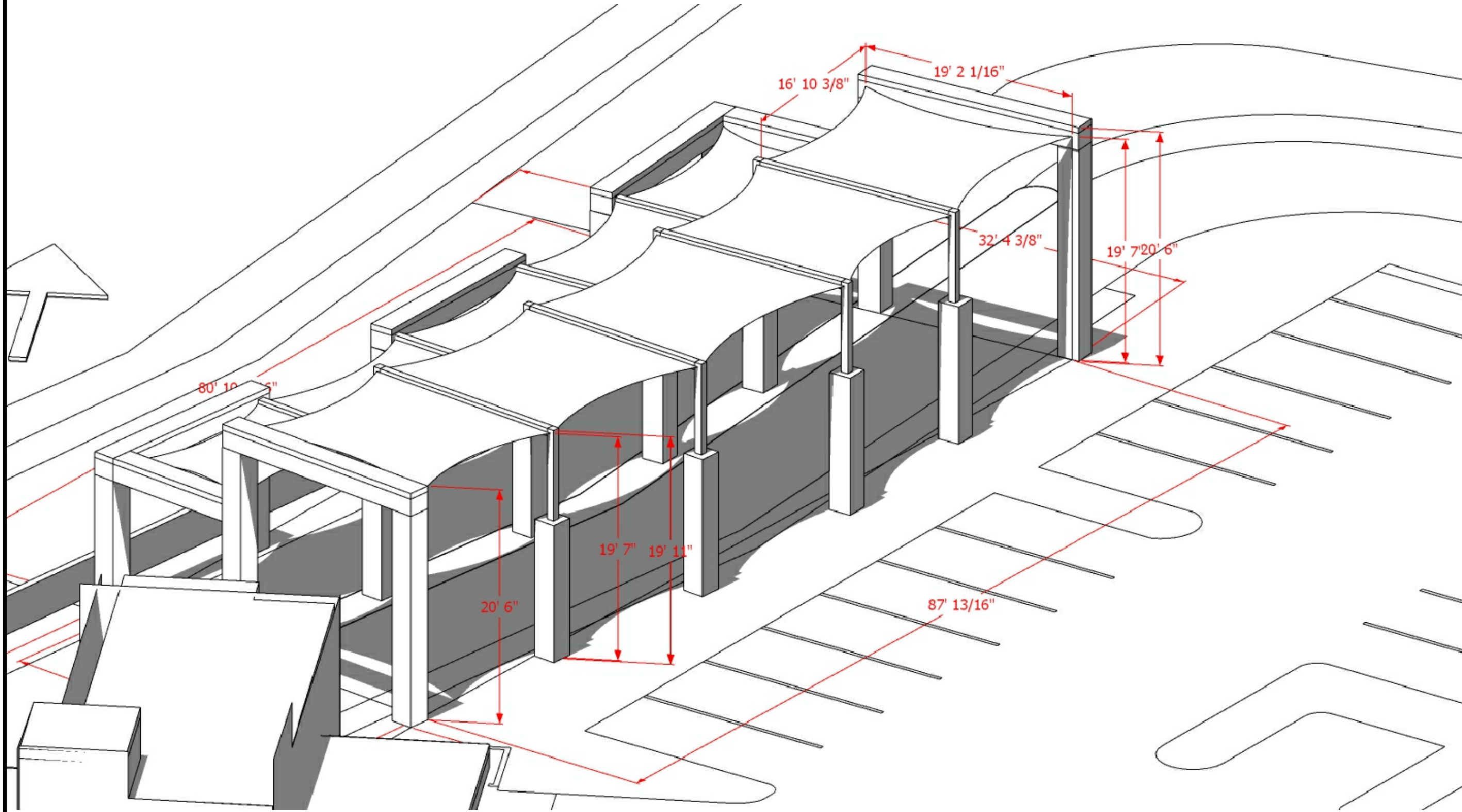
80'-10"

87'-1"

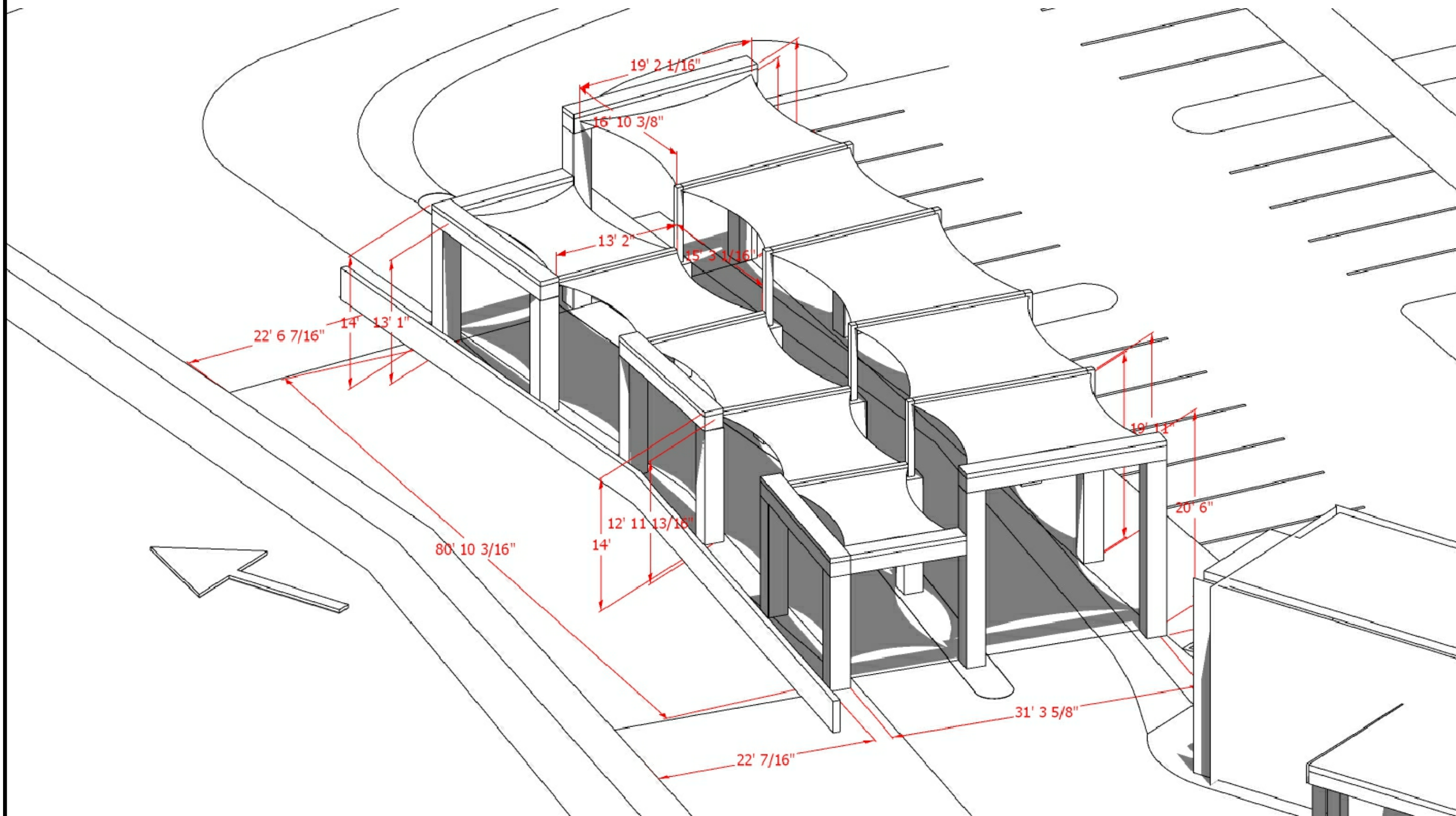
31'-3 $\frac{1}{2}$ "

21'-2"

1 STRUCTURE PLAN
S1.0 NTS



1 STRUCTURE ELEVATION
 S2.0 NTS



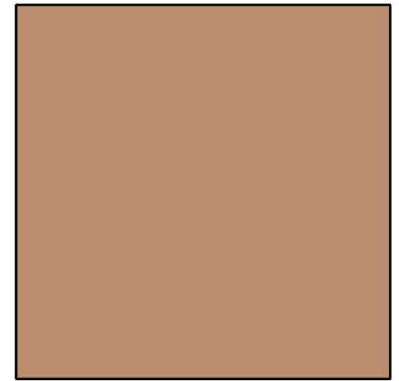
**DR21-137 Dutch Bros
Attachment 9 - Colors and Materials**



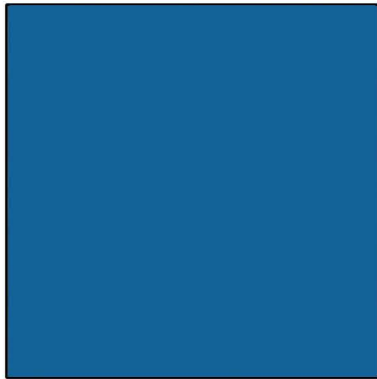
SPLIT FACE MASONRY 8X8X16
BLOCK
BASE COLOR: EGRET WHITE
CAP COLOR: OAK CREEK



PREFINISHED METAL FASCIA
MANUFACT: TAYLOR METALS
COLOR: BLDG DB DARK GRAY



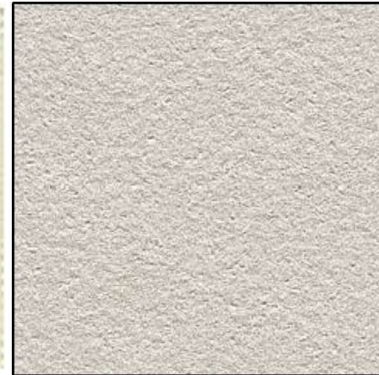
SYNTHETIC STUCCO SYSTEM
FINISH: ACRYLIC MEDIUM
SAND FINISH
COLOR: SHERWIN WILLIAMS
7718 "OAK CREEK"



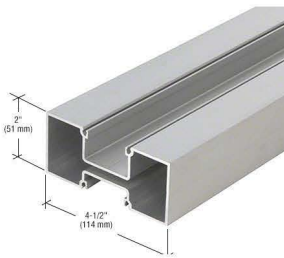
METAL PARAPET CAP
MANUFACT: TAYLOR METALS
COLOR: PACIFIC BLUE



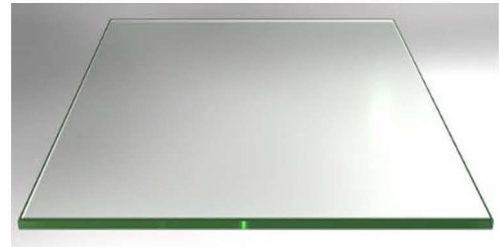
SHADE SAIL FABRIC
COMMERCIAL 95
BY GALE INDUSTRIES
COLOR: NATURAL WHITE



SYNTHETIC STUCCO SYSTEM
FINISH: ACRYLIC MEDIUM
SAND FINISH
COLOR: SHERWIN WILLIAMS
7566 "WESTHIGHLAND WHITE"



ALUMINUM STOREFRONT
MANUFACT: KAWNEER
COLOR: CLEAR ANODIZED

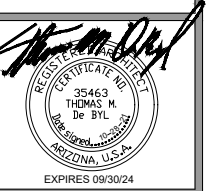


1" INSULATED GLAZING
(U=0.29, SHGC= 0.28)

FLOOR PLAN DATA

GROSS FLOOR AREA: 896 S.F.

PHNX
DESIGN
1855 EAST SOUTHERN AVE, SUITE 204
MESA, ARIZONA 85204
PHONE: 602.782.7354



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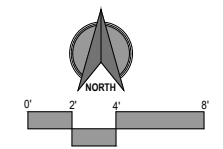
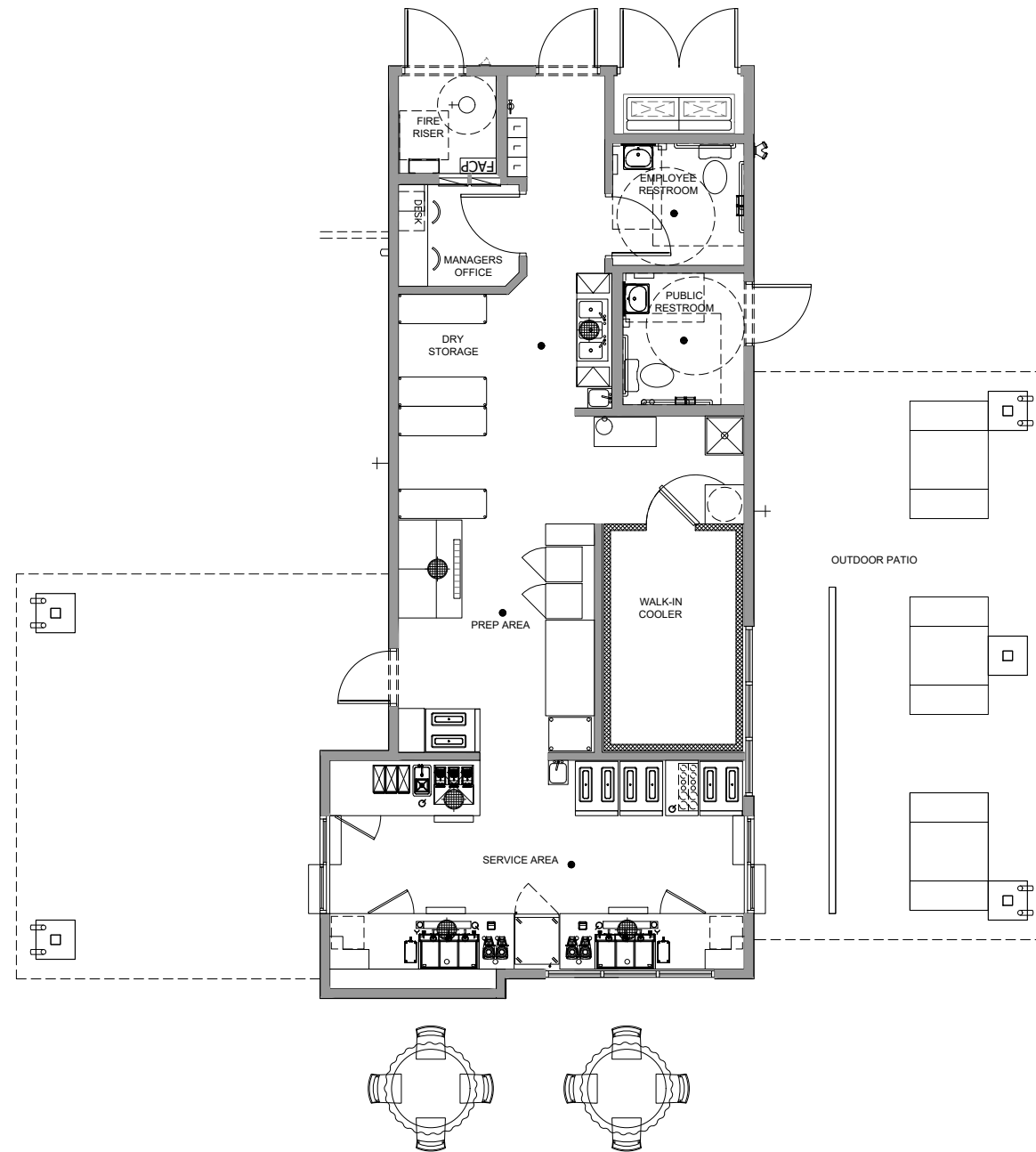
PROPOSED SITE PLAN
HIGLEY ROAD AND INVERNESS AVENUE
GILBERT, ARIZONA

△	DATE	REVISION
1		
2		
3		
4		
5		

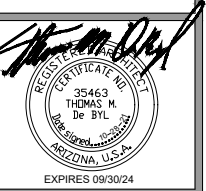
FLOOR PLAN

A200

PHNX DESIGN #: 20-180



SCALE: 1/4" = 1'-0"
DATE: 10.28.2021



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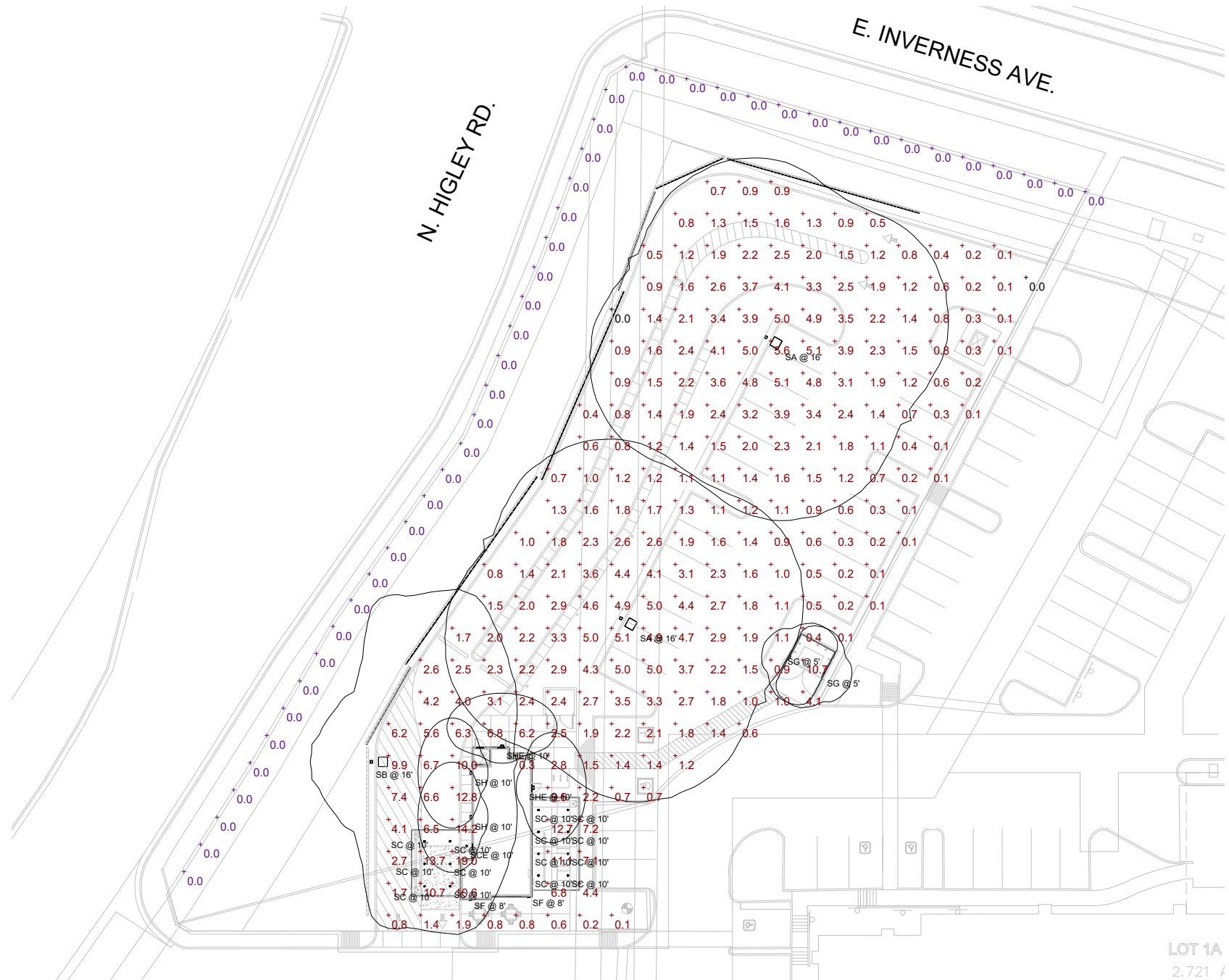
PROPOSED SITE PLAN
HIGLEY ROAD AND INVERNESS AVENUE
GILBERT, ARIZONA

DATE	REVISION
1	
2	
3	
4	
5	

PHOTOMETRIC

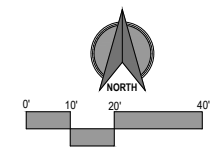
A101

PHNX DESIGN #: 20-180



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PROPERTY LINE - FC @ 5' AFG	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
SITE - FC @ GRADE	+	2.6 fc	19.0 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
□	SA	2	Lithonia Lighting	KAD LED 60C 1000 40K R5 MVOLT SPA DDB / SSS 13.5" W/2.5" BASE	SINGLE HEAD LED POLE HEAD - TYPE 5	LED - 3000K COLOR TEMP	KAD_LED_60C_1000_40K_R5_MVOLT.ies	21961	0.91	216	16'
□	SB	1	Lithonia Lighting	KAD LED 60C 1000 40K R4 MVOLT SPA HS DDB / SSS 13.5" W/2.5" BASE	SINGLE HEAD LED POLE HEAD - TYPE 4 W/HOUSE SIDE SHIELD	LED - 3000K COLOR TEMP	KAD_LED_60C_1000_40K_R4_MVOLT_HS.ies	16195	0.91	216	16'
○	SC	14	Lithonia Lighting	LDN6 40/07 LO6AR LSS MVOLT EZ10	6IN LDN, 4000K, 750LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80	LED - 3000K COLOR TEMP	LDN6_40_07_LO6AR_LSS.ies	759	0.91	8.91	10'
○	SCE	1	Lithonia Lighting	LDN6 40/07 LO6AR LSS MVOLT EZ10 EL	6IN LDN, 4000K, 750LM, CLEAR, SEMI-SPECULAR REFLECTOR, CRI80 W/EM BATTERY PACK	LED - 3000K COLOR TEMP	LDN6_40_07_LO6AR_LSS.ies	759	0.91	8.91	10'
□	SF	2	VISA LIGHTING	OW1041 L40K-L MVOLT (FINISH)	WALL SCONCE - HALF CYLINDER 16"	LED - 3000K COLOR TEMP	OW1041-L35K-L.ies	919	0.91	9.43	8'
□	SG	2	Lithonia Lighting	WPX1 LED P1 40K MVOLT (FINISH)	WPX1 LED wallpack 1500lm 4000K color temperature 120-277 Volts	LED - 3000K COLOR TEMP	WPX1_LED_P1_40K_MVOLT.ies	1568	0.91	11.47	5'
□	SH	2	Lithonia Lighting	WST LED P1 40K VW MVOLT DDB	WST LED, Performance package 1, 4000 K, visual comfort wide, MVOLT	LED - 3000K COLOR TEMP	WST_LED_P1_40K_VW_MVOLT.ies	1659	0.91	12	10'
□	SHE	2	Lithonia Lighting	WST LED P1 40K VW MVOLT E7WH DDB	WST LED, Performance package 1, 4000 K, visual comfort wide, MVOLT W/EM BATTERY PACK	LED - 3000K COLOR TEMP	WST_LED_P1_40K_VW_MVOLT.ies	1659	0.91	12	10'





Project Narrative

Prepared for: **City of Gilbert, Planning & Development Department**
90 E. Civic Center Drive
Gilbert, AZ 85296

Location: SEC of N. Higley Rd and E. Inverness Ave.
Proposed Use: Dutch Bros. Coffee
APN: 141-53-901B
Date: June 23rd 2021

Project Description/Scope of Work:

Dutch Bros Coffee is in contract for the abovementioned site in Gilbert at the SEC corner of N. Higley Rd. and E. Inverness Ave. We will be constructing a new 896 SF building plus a covered patio, drive through lanes, new parking spaces, sidewalks, landscaping, screen wall and other site improvements. It is our goal to begin the planning process immediately and to open first quarter of 2022.

Building and Finishes

The building that we are proposing consists of a main coffee production area with public restrooms, and a covered patio. The building finishes will be a combination of stucco, metal and barnwood. There will be a fully covered patio on the walk up side of the building. Screening will be accomplished through a block screen wall and landscape plantings.

Hours, Operation and Products

Dutch Bros Coffee would like to operate this store 24 hours a day but will begin with hours of operation from 5 am to 11 pm weekdays and 5 am to 1 am on weekends.

Dutch Bros Coffee does not utilize a drive through intercom system, orders are taken by baristas on the sidewalks along the drive through lanes who text in the order with an IPod. This significantly increases the speed of service to an average of 45 seconds or less per vehicle. There is no interior dining room. The business model is predominantly drive through, but we have included a small covered patio for those customers who prefer to walk up and enjoy their beverage on site. There will be pedestrian access sidewalks from N. Higley Rd to the front of the building to facilitate that foot traffic.

The products served are Espresso based beverages (Latte's, Cappuccino, Mocha's, etc), Frozen Coffee Drinks (Freezes), Hot and Iced Tea, Flavored Energy Drinks, Fruit smoothies, Shakes (called Frosts), Kid Friendly Versions of the drinks and Custom Pastries that are delivered fresh each morning. At this time there is no food production on

site but some of the stores have added reheatable breakfast sandwiches as a test item so that is a possibility in the future.

Access, Circulation on Site and “Escape Lane”

The store can be accessed from internally from the Hampton Inn and Suites.

The Franchisee has chosen to make the drive through lanes significantly longer than city code requires so more cars can be contained within the drive through lanes rather than just the 7 car stack required in most cities. The “double funnel” design shown on the site plan allows two rows of cars to stack in the side by side drive aisles. The orders will be taken face to face by Baristas with I-pads in the sidewalks beside the drive through lanes and they text the orders to the drink production area inside and will direct the cars into the funnel after their order is taken.

Additionally, this site plan has what we are internally refer to as an “Escape Lane.” This is the striped lane parallel to the main drive through lane against the building. This is a new feature on Dutch Bros site plans. For the past two years Dutch Bros has been constructing stores with a “Runner Door” beside the drive through window that allows the Operations team to run drinks out to cars as soon as the order is ready so they don’t have to wait until they get to the drive through window to enjoy their drink. The addition of this escape lane allows cars that receive their drinks early to pull out of the lane and drive out around the car at the window. This increases our speed of service and helps to shorten the drive through queue significantly.

Summary

We are excited about the opportunity to expand into a second location within the City of Gilbert and look forward to your approval. Please contact me at the number below should you have any questions or need additional information.

Sincerely,

Bill Cantieri
PIAZZA Restaurant Construction Consultants
PO Box 51643
Phoenix, AZ 85076
480-818-9736
bill@piazza-az.com