



## NOTICE OF ADMINISTRATIVE DECISION

June 28, 2021

Zelig Hess  
16845 N. 29<sup>th</sup> Ave #445  
Phoenix, AZ 85053  
Email: z.hess@gmail.com

RE: Administrative Design Review for Evan's Ranch - Comprehensive Sign Plan (CSP):  
**DR16-01-S-B (PDR-2021-00069)**

Dear Applicant:

Staff has reviewed and **approved** your Administrative Design Review **DR16-01-S-B (PDR-2021-00069)**, regarding the approval of the CSP for Evan's Ranch located at 7115 S. Val Vista Rd. and zoned Shopping Center (SC).

Staff has reviewed the drawings received for Administrative Design Review regarding the Evan's Ranch Comprehensive Sign Plan. Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following conditions:

1. Signs shall conform to the approved Comprehensive Sign Plan as attached.

If you have any questions regarding these findings, please contact me at (480) 503-6742.

Sincerely,

*Kristen Devine*  
Kristen Devine  
Planner II

Attachments: Evan's Ranch Comprehensive Sign Plan stamped June 28, 2021

# The Shops at Evans Ranch

## Comprehensive Sign Plan

### Property Management

Evans Ranch Retail Association, Inc

480-699-0195

[Rentals@hhpgroup.net](mailto:Rentals@hhpgroup.net)

### Property Location

NE Corner of Val Vista Dr and Riggs Rd

7115,7121,7125,7131 and 7135 S Val Vista Dr Gilbert AZ 85298

### TABLE OF CONTENTS

1. Narrative
2. Overall Site Plan
3. Building Elevations for THE SHOPS
4. General Requirements
5. Design Requirements
6. Construction Requirements
7. Prohibited Signage
8. Sign Consultant Contact Info

### NARRATIVE

This comprehensive sign plan has been developed to ensure design compatibility among all signs located with the development of The Shops at Evans Ranch. Conformance to this CSP will be enforced by the Evans Ranch Retail Association, Inc. Any sign installed that is non-conforming with regards to this plan and/ or the Town of Gilbert sign ordinance shall be removed or brought into conformance by the applicant and/ or their sign contractor at their sole expense.

**APPROVED**

Administrative Design Review  
Case # PDR-2021-00069 (DR16-01-S-B)  
Date 06/28/2021

## GENERAL REQUIREMENTS

- A. Where there is a conflict between these regulations and the Town of Gilbert, the more restrictive shall apply.
- B. Any Sign Type that is not listed in this CSP shall be approved at the Associations discretion.
- C. Letter style and color shall be open pending approval from the Association.
- D. Descenders which are the lower portion of a letter which extends below the baseline shall not be included in the sign area.
- E. All signs must be submitted to the town of Gilbert for review and approval. An approved permit must be obtained from the town of Gilbert prior to the installation of any signs.
- F. No signs, advertisements, notices, or other lettering shall be exhibited, inscribed, painted or affixed on any part of a sign except that lettering which is required by code (UL labels, manufacturers label etc.)
- G. Applicant shall have the sole responsibility for compliance with all applicable status/codes, ordinances or other regulations for all work performed on the premises by or on behalf of the applicant.
- H. All Signage is subject to approval by Evans Ranch Retail Association, Inc. The association will support all applications for signs in compliance with this CSP but cannot guarantee Town of Gilbert approval.

## DESIGN REQUIREMENTS – FOR SHOPS A, B, C, D, and E

All exterior building mounted signs shall be fabricated and installed according to this CSP drawings and details attached hereto.

- A. All tenants are entitled to at least (1) internally illuminated sign Ex of types of signage (but not limited to) Pan Channel, Reverse Pan channel, Custom Cabinet, or Letters mounted to a backer panel. However, any sign design must be approved by Association and must follow those standards set forth by the Gilbert LDC. Addresses on buildings and /or multi-tenant panels on development freestanding signage are not included in square footage calculations.
- B. Wall, fascia, and parapet signs are allowed on the exterior elevation of the space occupied by the tenant.
- C. The sign area for each business shall not exceed 1.5 square foot of signage for each lineal foot of business wall elevation upon which the sign is displayed.
- D. Tenants with multiple frontages and/ or located on a pad shall be allowed the maximum per the Gilbert LDC.
- E. In no case shall a tenant's building sign exceed 80% of the length or height of the sign band or building frontage to which the sign is attached.

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Administrative Design Review  
Case # PDR-2021-00069 (DR16-01-S-B)  
Date 06/28/2021

- F. Such signs shall identify the businesses by name. the sign shall show the name of the business and up to (3) principal services)
- G. No labels shall be permitted on exposed surfaces or signs, except those required by local ordinance, which shall be applied in an inconspicuous location.
- H. National corporate logos (including colors and fonts) are allowed and encouraged.
- I. All signs must be internally illuminated using neon or LED.
- J. With respect to Monument Signs, the Evans Ranch Retail Association shall have the sole discretion to determine the placement and location of the tenant panels on each Monument Sign. In addition, the Association reserves the exclusive right to determine the use of the top panel of each Monument Sign, which may be used either for the Association's own purposes, or which may be used by a particular tenant in the Association's sole discretion.

### **CONSTRUCTION REQUIREMENTS**

- A. All signs shall be defined as either pan channel or reverse pan channel letters. Final approval of any face color is at the sole discretion of the association.
- B. All letters should be of a standard 3" or 5" deep returns. Trim cap and return color are open, but subject to association approval.
- C. All fabrication must be completed by a UL approved shop.
- D. Installation must be completed by a licensed Arizona sign contractor.
- E. Reverse pan channel letters should have clear acrylic backs with diffuser film.

### **PROHIBITED SIGNS**

- A. Animated or moving signs, intermittent or flashing signs or iridescent painted signs.
- B. Painted lettering.
- C. No exposed crossovers, conduits, conductors, transformers or other equipment shall be permitted.
- D. No unpermitted temporary signage.
- E. Signage not approved by the association.

uSIGN CONSULTANT

Z HESS

D'S Signs and Lighting LLC

ROC 309624

[Z.HESS01@GMAIL.COM](mailto:Z.HESS01@GMAIL.COM)

602-350-4572

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Administrative Design Review  
Case # PDR-2021-00069 (DR16-01-S-B)  
Date 06/28/2021

# Approved Monument sign placement based on Tea Cup and Corner store CSP

**APPROVED**

Administrative Design Review  
 NAME Dana Stevens

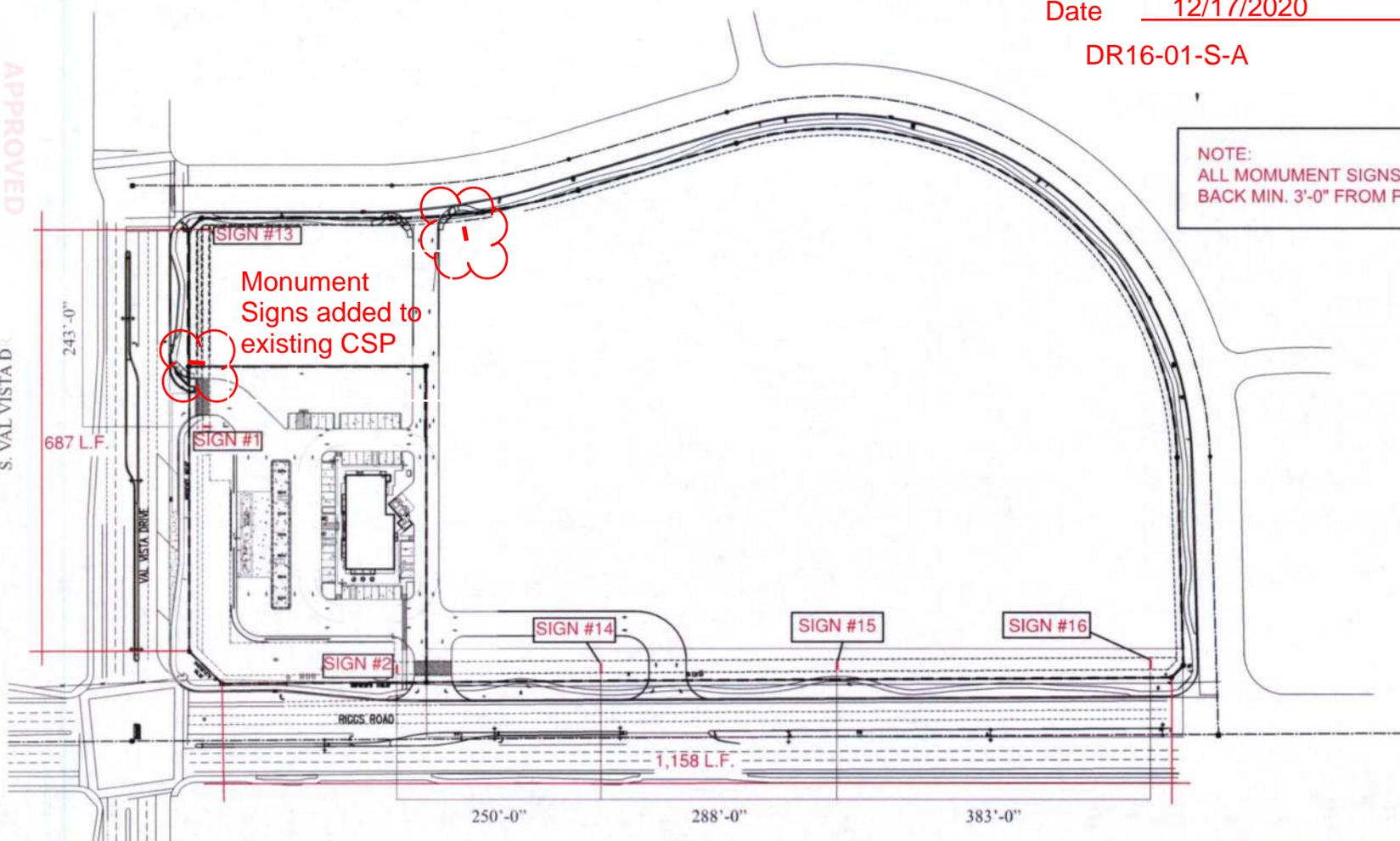
Date 12/17/2020

DR16-01-S-A

Administrative Design Review  
 Case Planner Initials: DR  
 Case # DR16-01-S  
 Date: 12/17/20

**APPROVED**

VAL VISTA DR S



NOTE:  
 ALL MONUMENT SIGNS TO BE SET  
 BACK MIN. 3'-0" FROM PROPERTY LINE

Monument  
 Signs added to  
 existing CSP

MONUMENT SIGN ALLOWANCE CALCULATION:  
 S VAL VISTA DRIVE = 687 L.F.  
 RIGGS ROAD = 1158 L.F.  
 TOTAL FRONTAGE - 1 L.F. / 300 = 6.15 OR 6 SIGNS ALLOWED

SITE PLAN  
 SCALE: 1/128" = 1'-0"

**Sign Development Inc.**  
 License #576277  
 Upland, CA 91786 (909) 920-5535

PROPRIETARY  
 related  
 purposes  
 disclosure  
 copying  
 sales n

Additional 1689 linear frontage  
 along Merlot

ings, designs and  
 sed solely for the  
 print Inc., may not be  
 erves all patent,  
 xduction, use, and

CUSTOMER APPROVAL

\_\_\_\_\_  
 SIGN AND PRINT FULL NAME

\_\_\_\_\_  
 DATE

NO. PAGE: 1 OF 6

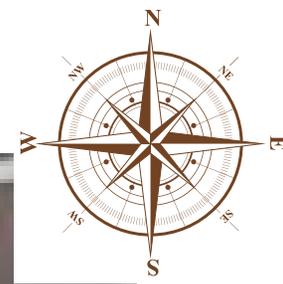
DATE: 01.29.16BA  
 REV: 02.22.16BA 02.23.16BA 02.29.16BA  
 03.01.16BA 04.18.16BA 04.29.16BA  
 07.15.16BA

**VALERO** #1642  
 7165 S. VAL VISTA DR.  
 GILBERT, AZ 85298

**APPROVED**

Administrative Design Review  
 Case # PDR-2021-00069 (DR16-01-S-B)  
 Date 06/28/2021

**SITE MAP**



7115 S Val Vista Drive  
Gilbert, AZ 85298

**APPROVED**

Please carefully check this layout. Check all spelling and be sure all colors and proportions are to your specifications. If order is changed or cancelled after approval, 1 Stop Signs reserves the right to charge for work and/or material already ordered.

**Administrative Design Review**  
Case # PDR-2021-00069 (DR16-01-S-B)

LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_  
CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

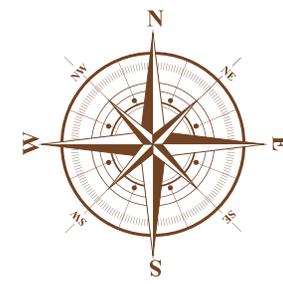
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E-mail: \_\_\_\_\_  
Project: Signage  
Drawing: Top Cup Coffee House.ai  
Make Changes: \_\_\_\_\_  
Approved: \_\_\_\_\_  
Date: (03/24/2020, 01:14 pm)

Date 06/28/2021  
**APPROVED**  
**Administrative Design Review**  
File # DR16-01-S-A  
Date 12/17/2020

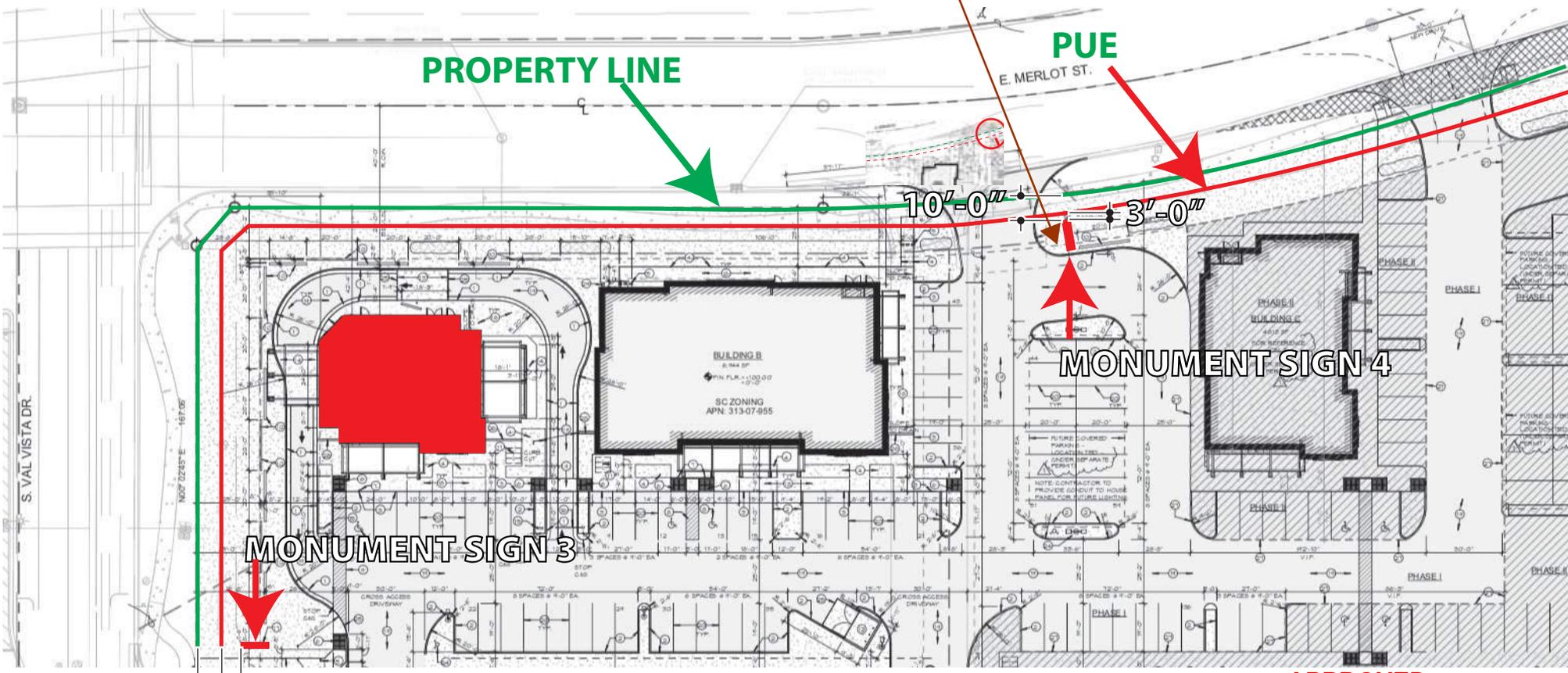
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# VICINITY MAP



Ensure that the sign placement does not interfere with any sewer line in this location.



**APPROVED**

Administrative Design Review  
PDR-2021-00069 (DR16-01-S-B)

Case # \_\_\_\_\_  
Date 06/28/2021

7115 S Val Vista Drive  
Gilbert, AZ 85298

Please carefully check this layout. Check all spelling and be sure all colors and proportions are to your specifications. If order is changed or cancelled after approval, 1 Stop Signs reserves the right to charge for work and/or material already ordered.

LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_  
CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

Customer: Top Cup Coffee House  
E-mail: \_\_\_\_\_  
Project: Signage  
Make Changes: Top Cup Coffee House.ai  
Approved: \_\_\_\_\_  
Date: (03/24/2020, 01:14 pm)

**APPROVED**  
Administrative Design Review  
File # DR16-01-S-A  
Date 12/17/2020

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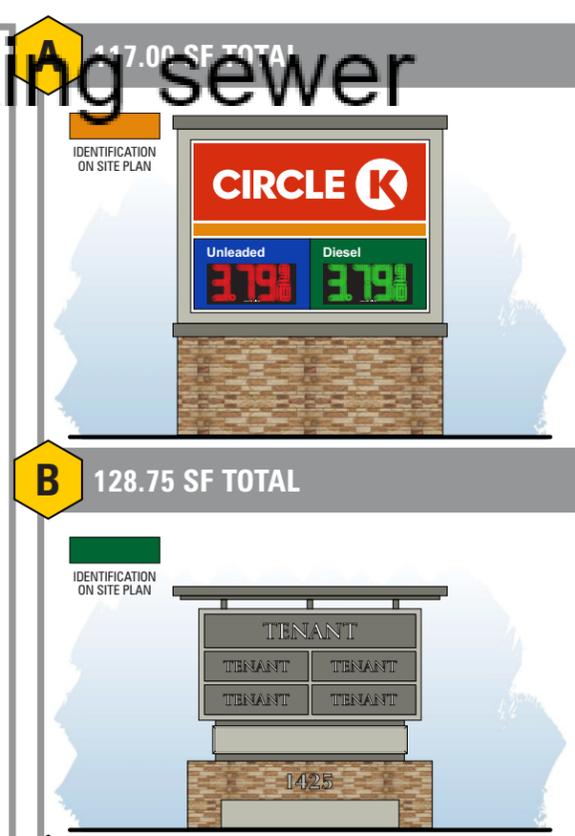
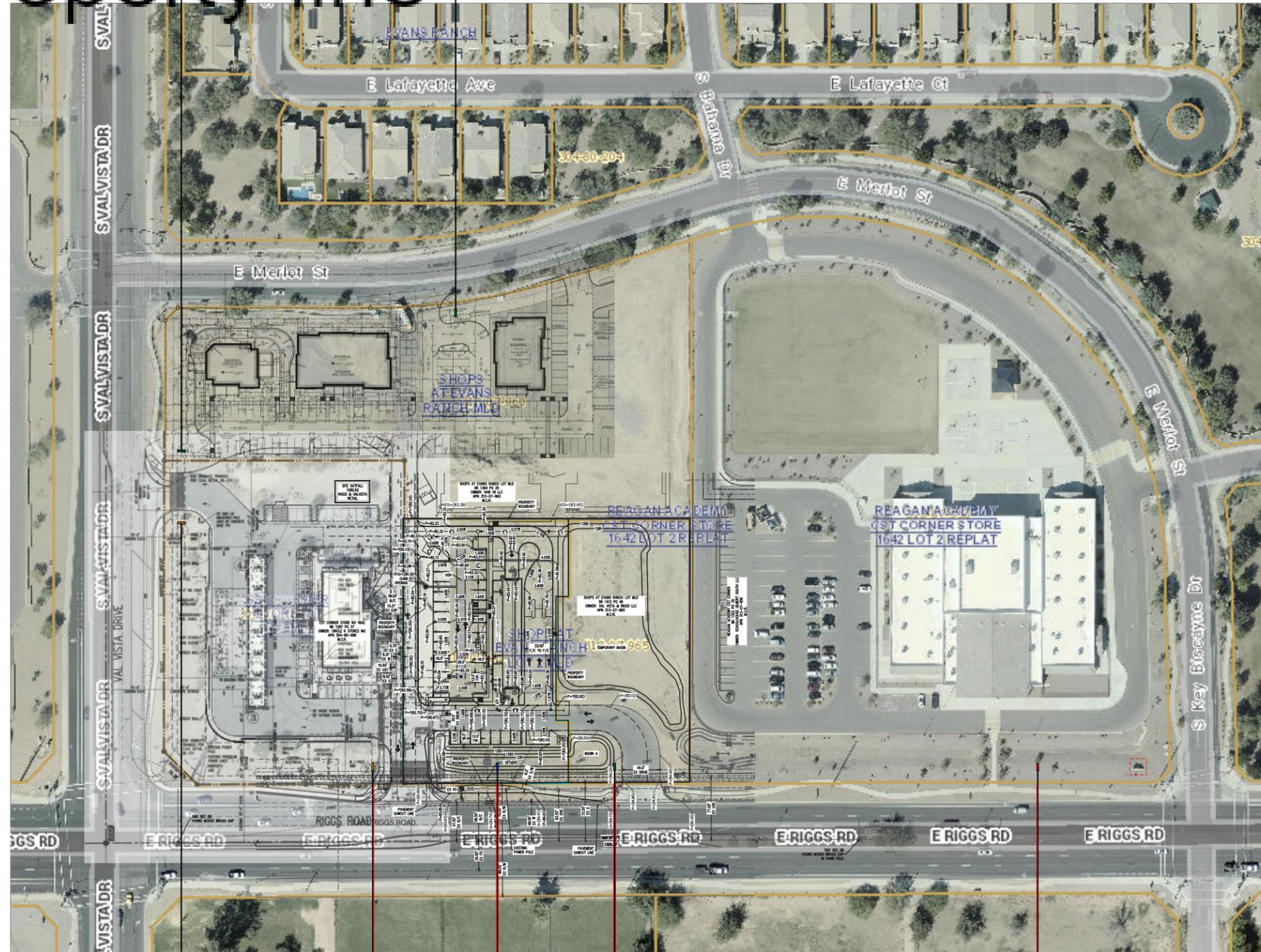
INTERNATIONAL  
SIGN ASSOCIATION



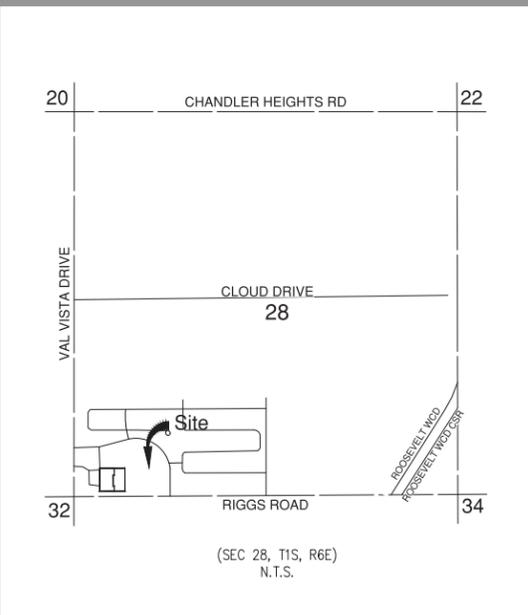


All monuments to be back 3ft from property line

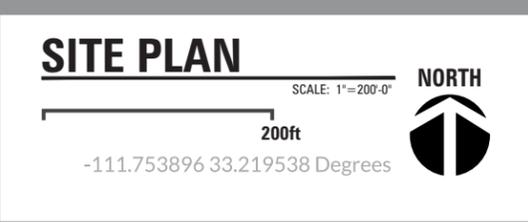
Not to interfere with existing sewer



PROJECT VICINITY MAP:



PROJECT NOTES:



Future Monuments MONU

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 Administrative Design Review  
 Case # PDR-2021-00069 (DR16-01-S-B)  
 Date 06/28/2021

# Building A Phase



NE VIEW

N.T.S.



NW VIEW

N.T.S.



SE VIEW

N.T.S.



SW VIEW

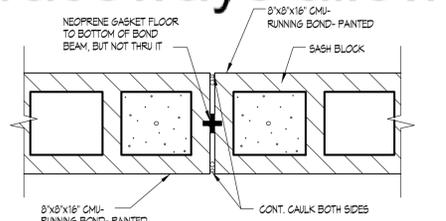
N.T.S.

## OWNER REVISIONS - AUG. 2019

- BUILDING ELEVATIONS NOTES REVISED TO INDICATE STUCCO OVER WOOD STUD WALL FRAMING INSTEAD OF CMU WALLS.
- EXPOSED I-BEAMS OVER OPENINGS AND WINDOWS REMOVED AND REPLACED WITH GLU-LAM BEAM AND STUCCO POP-OUTS - SEE STRUCTURAL.
- CANOPIES REVISED TO BE WOOD STUD FRAMING.

\*SIGNAGE AREAS ARE FOR GENERAL VISUAL PURPOSES ONLY. ACTUAL SIGNAGE LOCATIONS ARE BASED ON ASSOCIATION and GILBERT APPROVALS

No Exposed raceways allowed

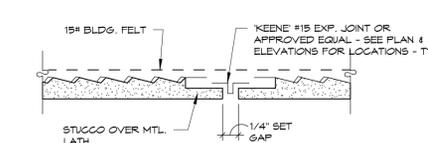


MASONRY CONTROL JOINT

1 1/2" = 1'-0"

2  
A-B

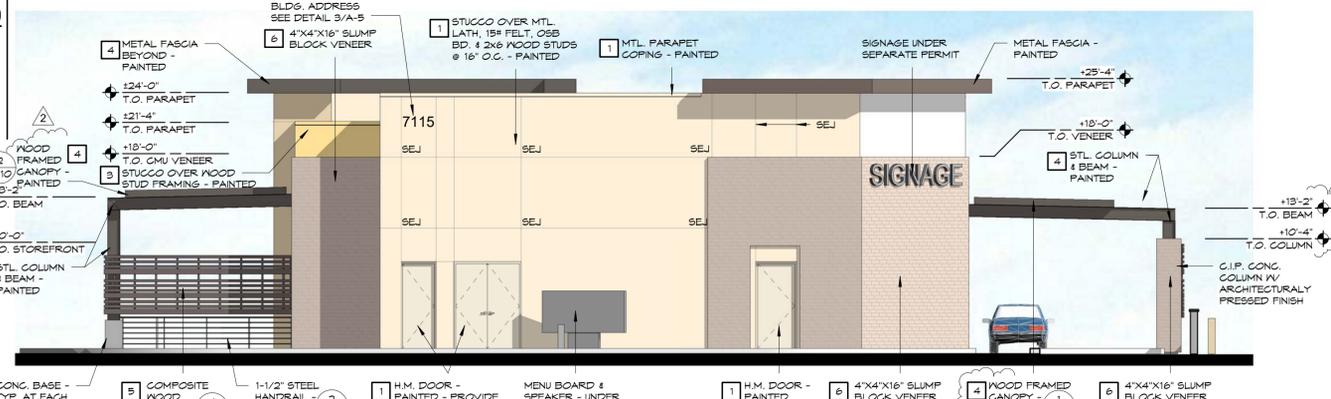
NOTE: ADDRESS/SUITE NUMBERS, MINIMUM THREE INCHES HIGH, ONE-HALF INCH STROKE WIDTH AND CONTRASTING COLOR. IDENTIFICATION MUST BE VISIBLE FROM STREET OR DRIVE. ALL EXTERIOR SUITE DOORS SHALL BE LABELED, AS REQUIRED BY IFC 505, IN COMPLIANCE WITH IBC 107.1. SEE DETAIL 3/A-5



STUCCO EXPANSION JT.

1/4" = 1'-0"

1  
A-B



NORTH ELEVATION

NOTE: SEJ - INDICATES STUCCO EXPANSION JOINT

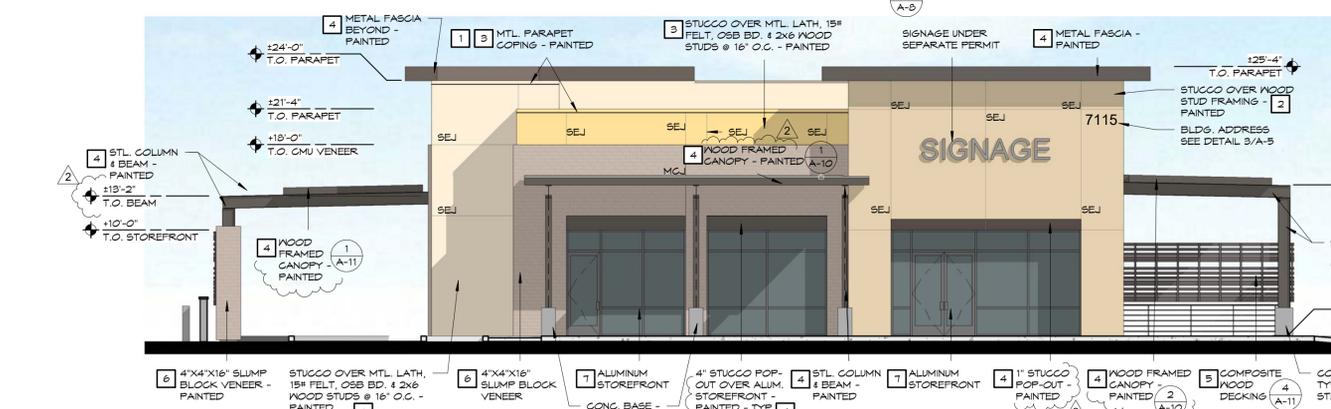
1/8" = 1'-0"



EAST ELEVATION

NOTE: SEJ - INDICATES STUCCO EXPANSION JOINT

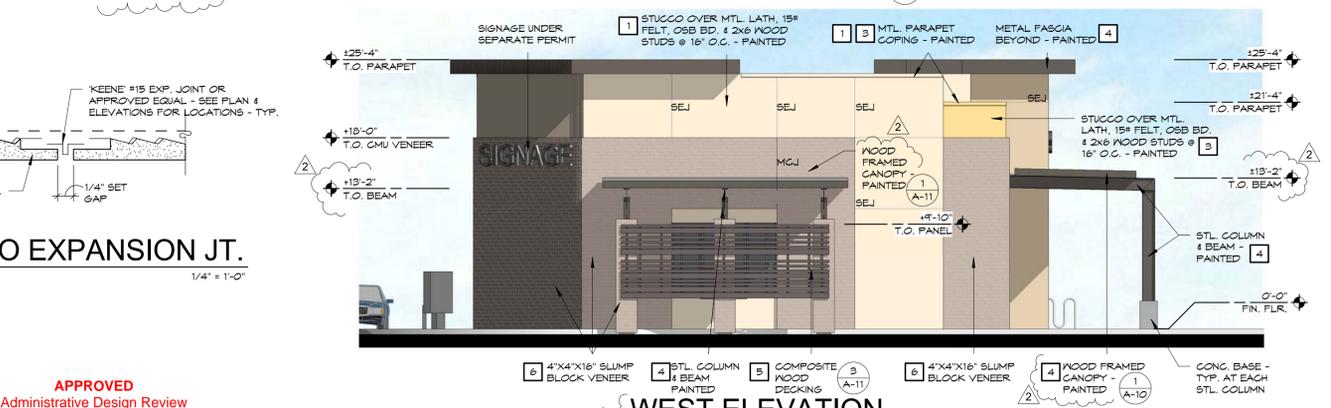
1/8" = 1'-0"



SOUTH ELEVATION

NOTE: SEJ - INDICATES STUCCO EXPANSION JOINT

1/8" = 1'-0"



WEST ELEVATION

NOTE: SEJ - INDICATES STUCCO EXPANSION JOINT

1/8" = 1'-0"

## COLOR LEGEND

- STUCCO - MAIN BODY:**
  - 1 MFR: DUNN EDWARDS COLOR: DE6206 'DESERT SWIDE'
- STUCCO - ACCENT:**
  - 2 MFR: DUNN EDWARDS COLOR: DE5201 'EGYPTIAN SAND'
  - 3 MFR: DUNN EDWARDS COLOR: DE5300 'WHEAT BREAD'
- METAL COLUMNS/BEAMS:**
  - 4 MFR: DUNN EDWARDS COLOR: DEC756 'WEATHERED BRONZ'
- COMPOSITE WOOD DECKING:**
  - 5 MFR: NEW TECH WOOD PRODUCT 'SOLID BOARD V807' COLOR: BRAZILIAN IPE
- CMU SLUMP BLOCK VENEER:**
  - 6 MFR: SUPERLITE PRODUCT: 4"x4"x16" SLUMP BLOCK COLOR: CHOCOLATE
- ALUMINUM STOREFRONT**
  - 7 MFR: KAWNEER PRODUCT: ALUMINUM STOREFRONT W/GLAZER GLAZING COLOR: DARK BRONZE NO. 40

A NEW SHELL BUILDING AND COFFEE SHOP FOR HHB GROUP

associatedarchitects, inc. architecture · construction management · planning  
www.associated-architects.com  
p 480-964-8451 6 East Palo Verde Street, Suite 1 · Gilbert · Arizona · 85296



DATE	DESCRIPTION	BY	CHKD
7/18/18	WOOD STUDS REVISION	BTJ	TRC
08/13/18			



SHEET 28  
A-8  
OF

# BUILDING B PHASE 1

## OWNER REVISIONS - AUG. 2019

- BUILDING ELEVATIONS NOTES REVISED TO INDICATE STUCCO OVER WOOD STUD WALL FRAMING INSTEAD OF CMU WALLS.
- EXPOSED I-BEAMS OVER OPENINGS AND WINDOW REMOVED AND REPLACED WITH GLASS BEAM AND Drip Edge POP-OUTS - SEE STRUCTURAL.
- CANOPIES REVISED TO BE WOOD STUD FRAMING.



NE VIEW N.T.S.



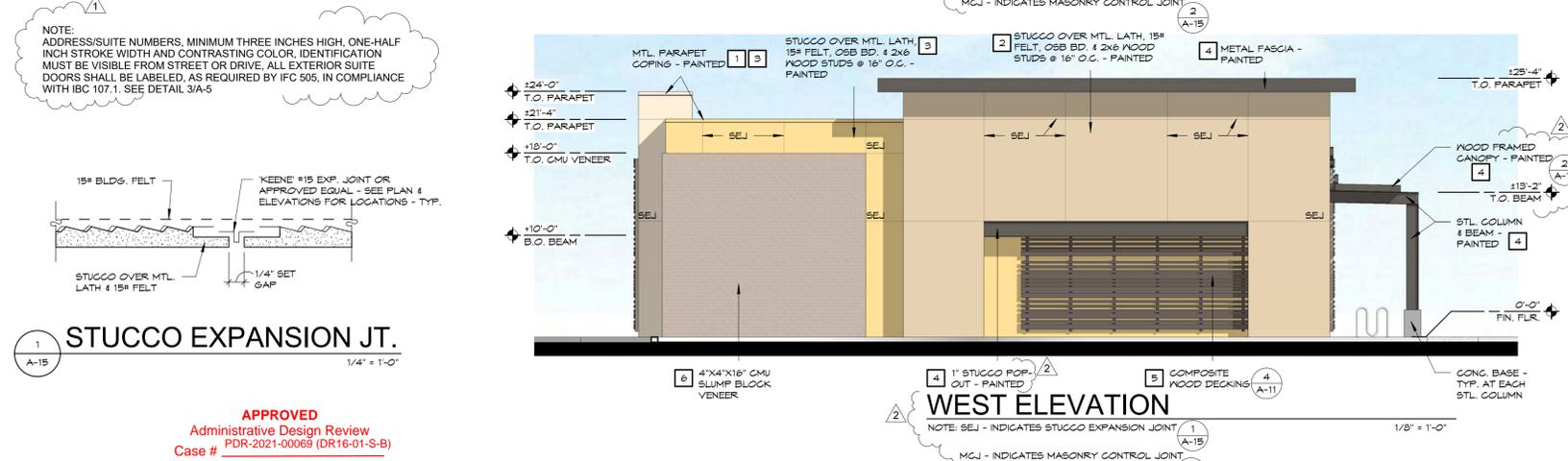
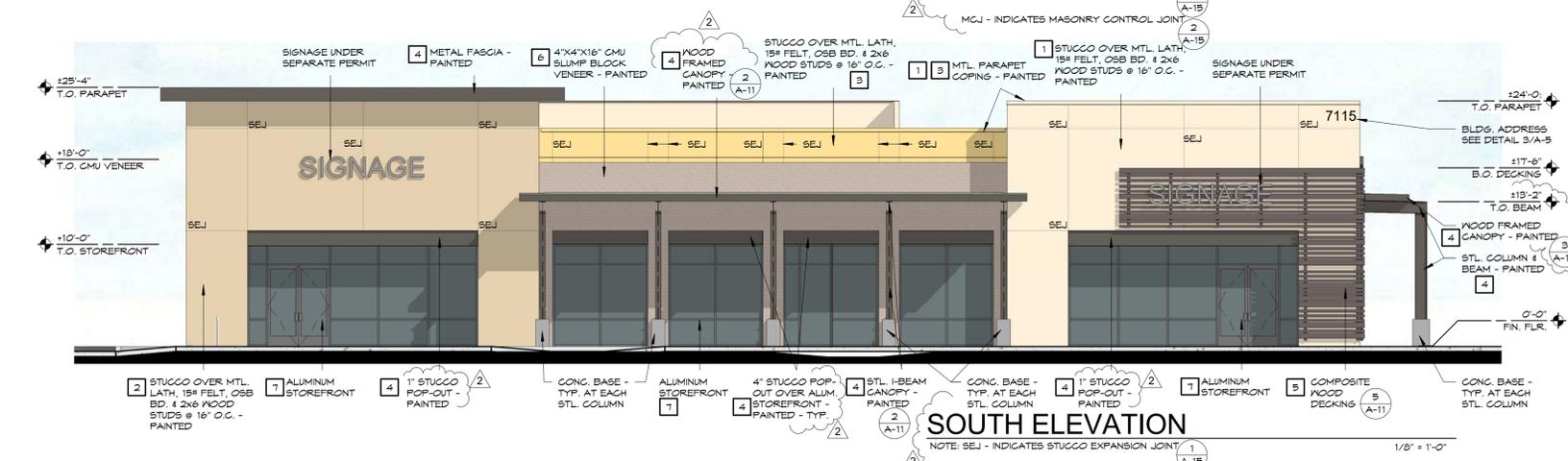
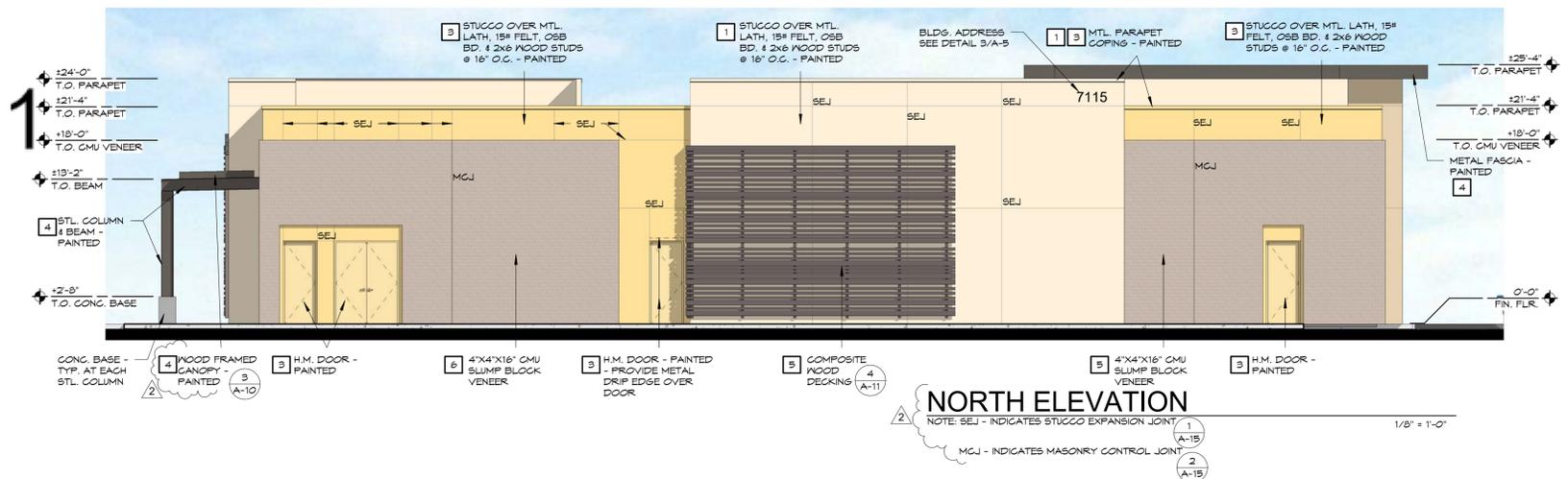
NW VIEW N.T.S.



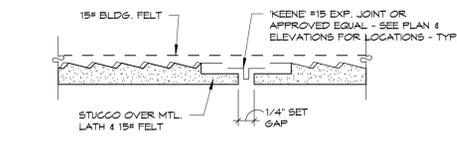
SE VIEW N.T.S.



SW VIEW N.T.S.



NOTE: ADDRESS/SUITE NUMBERS, MINIMUM THREE INCHES HIGH, ONE-HALF INCH STROKE WIDTH AND CONTRASTING COLOR. IDENTIFICATION MUST BE VISIBLE FROM STREET OR DRIVE. ALL EXTERIOR SUITE DOORS SHALL BE LABELED, AS REQUIRED BY IFC 505, IN COMPLIANCE WITH IBC 107.1. SEE DETAIL 3/A-5



**APPROVED**  
Administrative Design Review  
Case # PDR-2021-00069 (DR16-01-S-B)  
Date 06/28/2021

## COLOR LEGEND

- STUCCO - MAIN BODY:**  
1 MFR: DUNN EDWARDS COLOR: DE6206 "DESERT SUEDE"
- STUCCO - ACCENT:**  
2 MFR: DUNN EDWARDS COLOR: DE6207 "EGYPTIAN SAND"
- STUCCO - ACCENT:**  
3 MFR: DUNN EDWARDS COLOR: DE6207 "EGYPTIAN SAND"
- METAL COLUMNS/BEAMS:**  
4 MFR: DUNN EDWARDS COLOR: DE6207 "EGYPTIAN SAND"
- COMPOSITE WOOD DECKING:**  
5 MFR: NEW TECH WOOD PRODUCT: SOLID BOARD US01 COLOR: BRAZILIAN IPE
- CMU SLUMP BLOCK VENEER:**  
6 MFR: SUPERLITE PRODUCT: 4"X4"X16" SLUMP BLOCK COLOR: CHOCOLATE
- ALUMINUM STOREFRONT**  
7 MFR: KAMNEER PRODUCT: ALUMINUM STOREFRONT IN CLEAR GLAZING COLOR: DARK BRONZE NO. 40

A NEW SHELL BUILDING AND COFFEE SHOP FOR HHB GROUP  
N.E. CORNER VAL VISTA DRIVE & RIGGS ROAD, GILBERT, AZ  
CONSTRUCTION DOCUMENTS

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architecture · construction management · planning  
www.associated-architects.com  
p 480-964-8451  
6 East Palo Verde Street, Suite 1 · Gilbert · Arizona · 85296



DATE	REVISION
7/18/19	WOOD STUDS REVISION



SHEET 35  
**A-15**  
OF

# BUILDING C PHASE 2



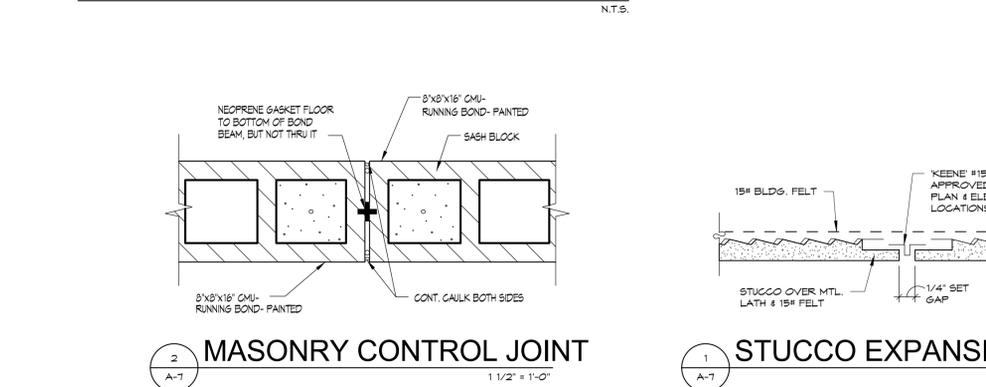
NORTHWEST VIEW



NORTHEAST VIEW



SOUTHEAST VIEW



**OWNER REVISIONS - AUG. 2019**

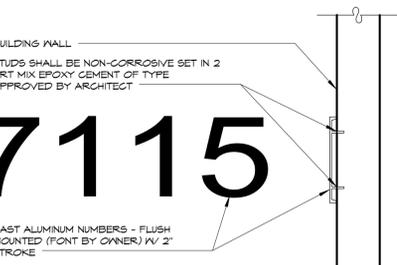
- BUILDING ELEVATIONS NOTES REVISED TO INDICATE STUCCO OVER WOOD STUD WALL FRAMING INSTEAD OF CMU WALLS.
- EXPOSED I-BEAMS OVER OPENINGS AND WINDOWS REMOVED AND REPLACED WITH GLU-LAM BEAM AND STUCCO POP-OUTS - SEE STRUCTURAL.
- CANOPIES REVISED TO BE WOOD STUD FRAMING.

## NO EXPOSED RACEWAYS

**\*SIGNAGE AREAS ARE FOR GENERAL VISUAL PURPOSES ONLY. ACTUAL SIGNAGE LOCATIONS ARE BASED ON ASSOCIATION and GILBERT APPROVALS**



NOTE: ADDRESS/SUITE NUMBERS, MINIMUM THREE INCHES HIGH, ONE-HALF INCH STROKE WIDTH AND CONTRASTING COLOR. IDENTIFICATION MUST BE VISIBLE FROM STREET OR DRIVE. ALL EXTERIOR SUITE DOORS SHALL BE LABELED, AS REQUIRED BY IFC 505 AND GFD REGULATIONS 12-505.1, IN COMPLIANCE WITH IBC 107.1.



**7115**

CAST ALUMINUM NUMBERS - FLUSH MOUNTED (FONT BY OWNER) 1/2\"/>

ADDRESS DETAIL



### COLOR LEGEND

- 1 STUCCO - MAIN BODY:**  
MFGR: DUNN EDWARDS  
COLOR: DE6206 'DESERT SUEDE'
- 2 STUCCO - ACCENT:**  
MFGR: DUNN EDWARDS  
COLOR: DE6201 'EGYPTIAN SAND'
- 3 STUCCO - ACCENT:**  
MFGR: DUNN EDWARDS  
COLOR: DE3600 'WHEAT BREAD'
- 4 METAL COLUMNS/BEAMS:**  
MFGR: DUNN EDWARDS  
COLOR: DEC156 'WEATHERED BROWN'
- 5 COMPOSITE WOOD DECKING:**  
MFGR: NEW TECH WOOD  
PRODUCT: SOLID BOARD US07  
COLOR: BRAZILIAN IPE
- 6 CMU SLUMP BLOCK VENEER:**  
MFGR: SUPERLITE  
PRODUCT: 4\"/>

NEW SHELL BUILDINGS FOR  
**HHB GROUP - PHASE II**  
N.E. CORNER VAL VERDE DRIVE & RIGGS ROAD, GILBERT, AZ

**associatedarchitects, inc.**  
architecture · construction management · planning  
www.associated-architects.com  
p 480-964-8451  
6 East Palo Verde Street, Suite 1 · Gilbert · Arizona · 85296



DATE	REVISION
7/18/19	MOOD STUDIOS REVIEW/ISSUE
12/19/19	1ST REVIEW COMMENTS
03/20	PRINTED
12/19/19	PRINTED



# BUILDING D PHASE II

**OWNER REVISIONS - AUG. 2019**

- BUILDING ELEVATIONS NOTES REVISED TO INDICATE STUCCO OVER WOOD STUD WALL FRAMING INSTEAD OF CMU WALLS. EXPOSED I-BEAMS OVER OPENINGS AND WINDOWS REMOVED AND REPLACED WITH GLU-LAM BEAM AND STUCCO POP-OUTS - SEE STRUCTURAL.
- CANOPIES REVISED TO BE WOOD STUD FRAMING.



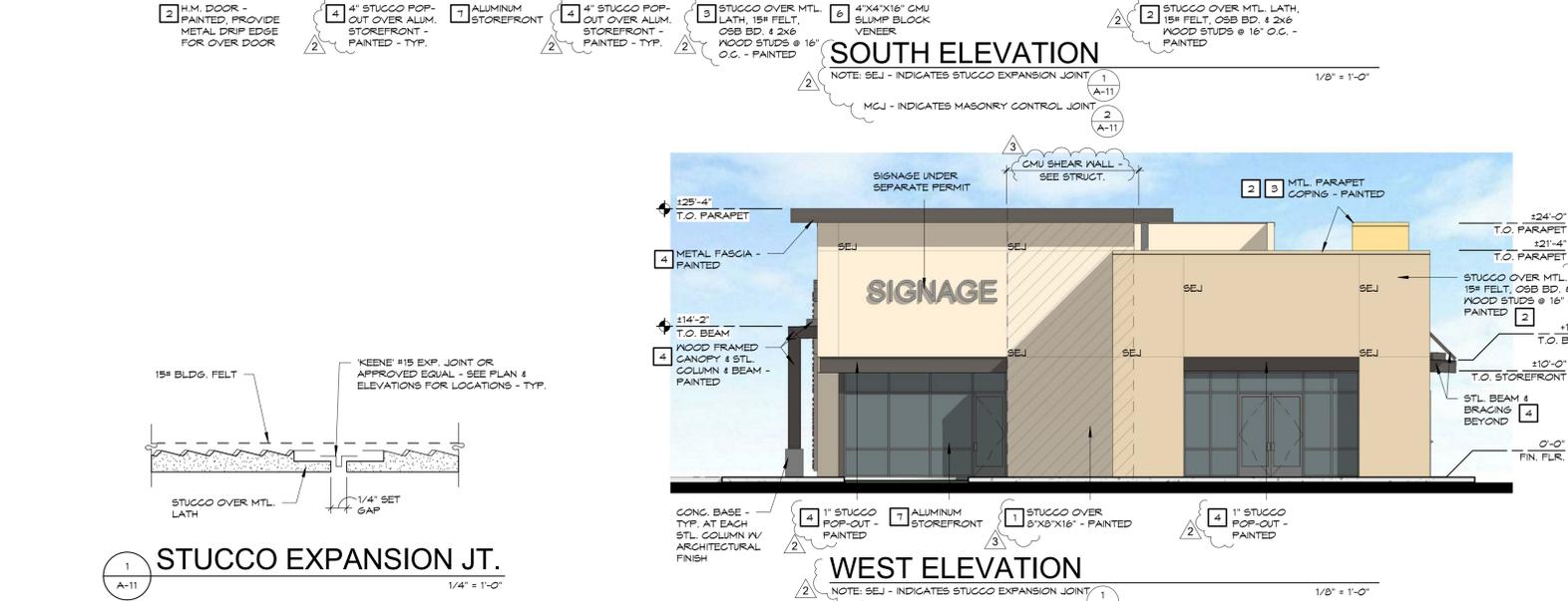
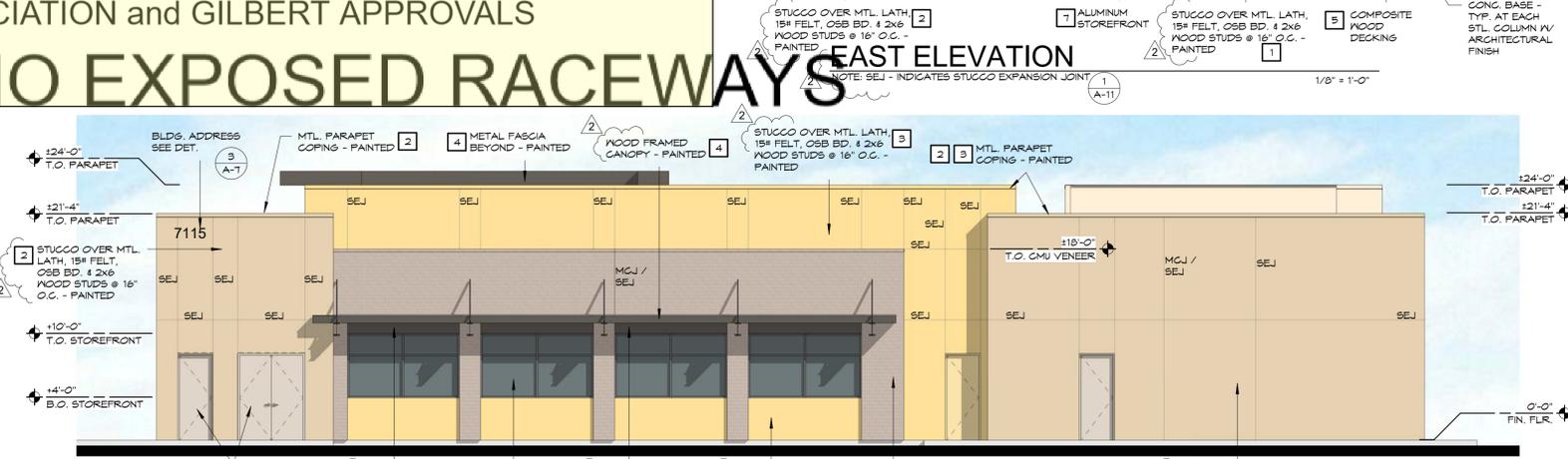
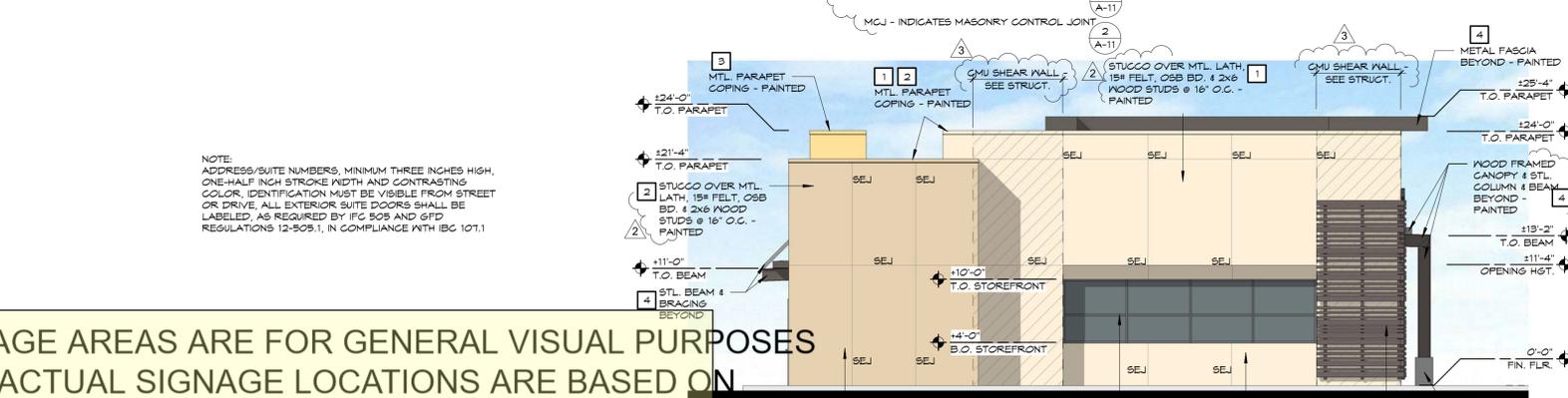
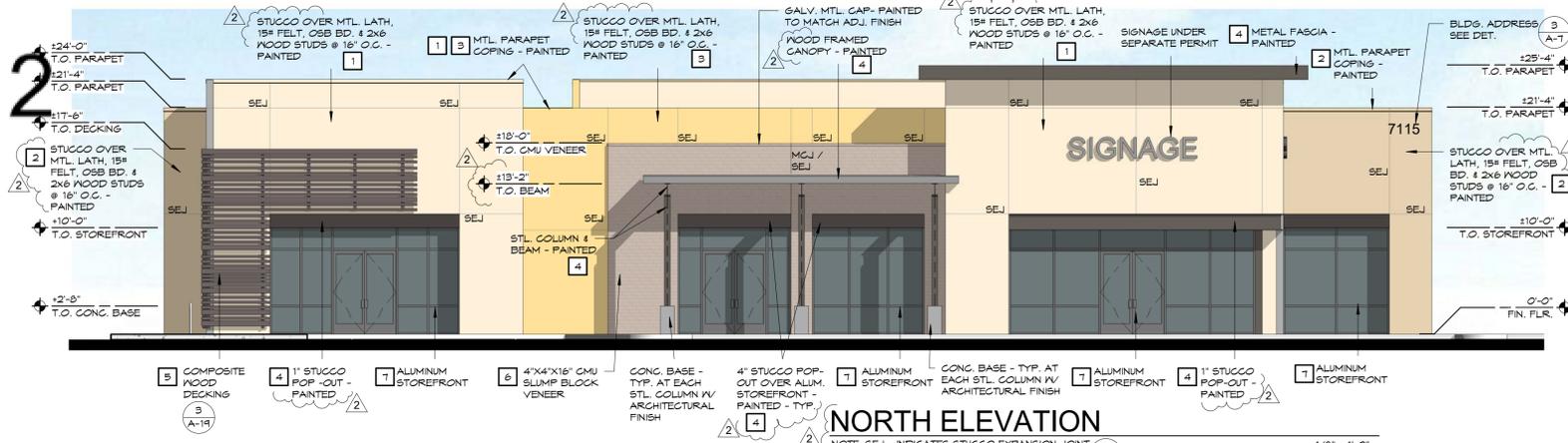
NORTHWEST VIEW



SOUTHWEST VIEW

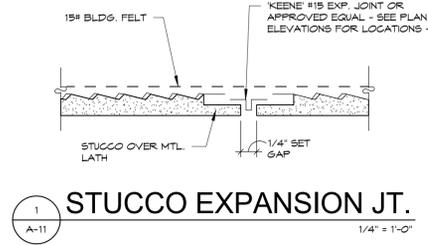
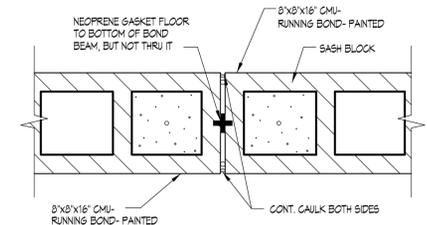


SOUTHWEST VIEW



\*SIGNAGE AREAS ARE FOR GENERAL VISUAL PURPOSES ONLY. ACTUAL SIGNAGE LOCATIONS ARE BASED ON ASSOCIATION and GILBERT APPROVALS

## NO EXPOSED RACEWAYS



### COLOR LEGEND

- 1 STUCCO - MAIN BODY:**  
MFR: DUNN EDWARDS  
COLOR: DE6206 'DESERT SUEDE'
- 2 STUCCO - ACCENT:**  
MFR: DUNN EDWARDS  
COLOR: DE6207 'EGYPTIAN SAND'
- 3 STUCCO - ACCENT:**  
MFR: DUNN EDWARDS  
COLOR: DE6207 'EGYPTIAN SAND'
- 4 METAL COLUMNS/BEAMS:**  
MFR: DUNN EDWARDS  
COLOR: DE6206 'WEATHERED BROWN'
- 5 COMPOSITE WOOD DECKING:**  
MFR: NEW TECH WOOD  
PRODUCT: SOLID BOARD US01  
COLOR: BRAZILIAN IPE
- 6 CMU SLUMP BLOCK VENEER:**  
MFR: SUPERLITE  
PRODUCT: 4"X4"X16" SLUMP BLOCK  
COLOR: CHOCOLATE
- 7 ALUMINUM STOREFRONT**  
MFR: KAMNEER  
PRODUCT: ALUMINUM STOREFRONT  
IN CLEAR GLAZING  
COLOR: DARK BRONZE NO. 40

NEW SHELL BUILDINGS FOR  
**HHB GROUP - PHASE II**  
N.E. CORNER VAL VISTA DRIVE & RIGGS ROAD, GILBERT, AZ  
CONSTRUCTION DOCUMENTS

**associated architects, inc.**  
architecture · construction management · planning  
www.associated-architects.com  
p 480-964-8451  
6 East Palo Verde Street, Suite 1 · Gilbert · Arizona · 85296



NO.	REVISION	DATE
1	WOOD STUDS REVISION	7/15/19
2	1ST REVIEW COMMENTS	12/19/19



SHEET 29  
**A-11**  
OF

**APPROVED**  
Administrative Design Review  
Case # PDR-2021-00069 (DR16-01-S-B)  
Date 06/28/2021

# BUILDING E PHASE 2



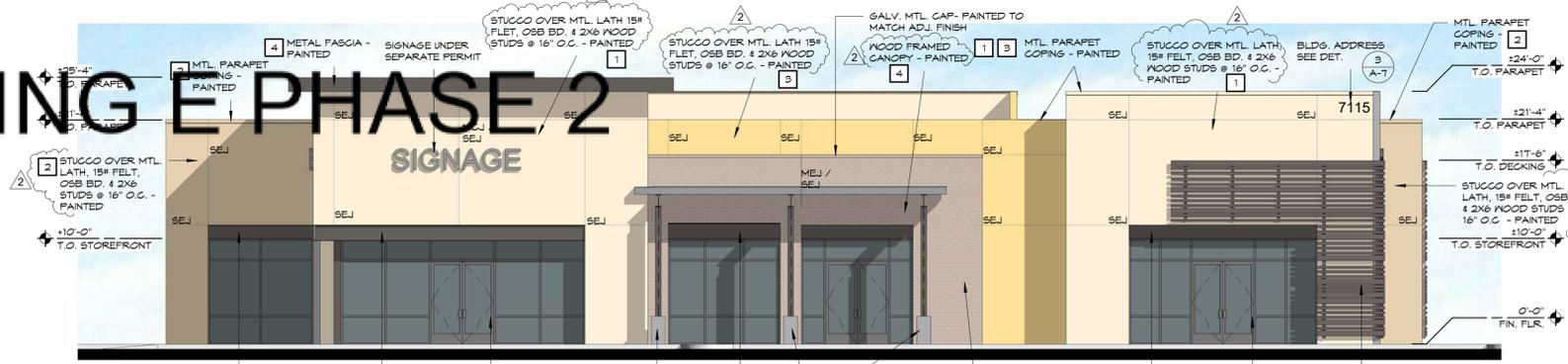
NORTHWEST VIEW



NORTHEAST VIEW



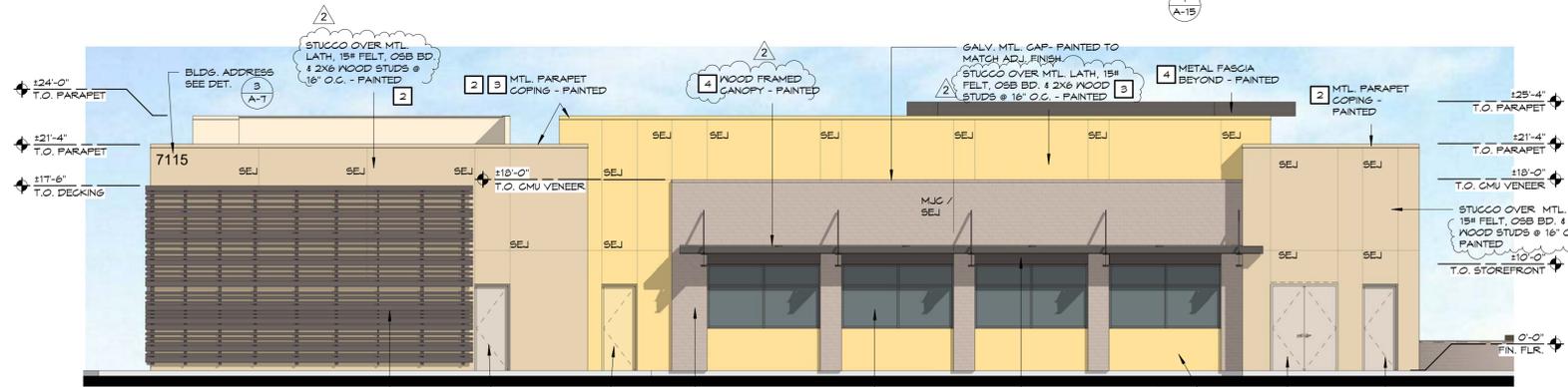
SOUTHWEST VIEW



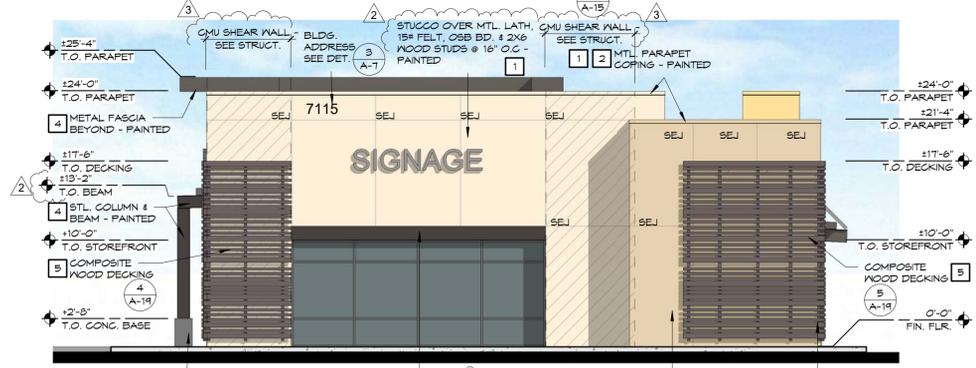
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION - BUILDING 'E'

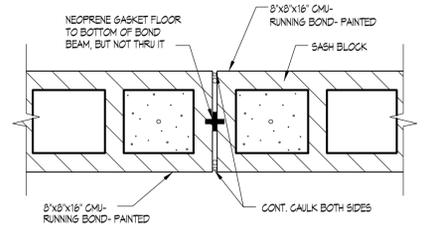
**OWNER REVISIONS - AUG. 2019**

- BUILDING ELEVATIONS NOTES REVISED TO INDICATE STUCCO OVER WOOD STUD WALL FRAMING INSTEAD OF CMU WALLS.
- EXPOSED I-BEAMS OVER OPENINGS AND WINDOWS REMOVED AND REPLACED WITH GLU-LAM BEAM AND STUCCO POP-OUTS - SEE STRUCTURAL.
- CANOPIES REVISED TO BE WOOD STUD FRAMING.

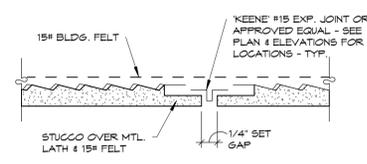
**\*SIGNAGE AREAS ARE FOR GENERAL VISUAL PURPOSES ONLY. ACTUAL SIGNAGE LOCATIONS ARE BASED ON ASSOCIATION and GILBERT APPROVALS**

**NO EXPOSED RACEWAYS**

NOTE: ADDRESS/SITE NUMBERS, MINIMUM THREE INCHES HIGH, ONE-HALF INCH STROKE WIDTH AND CONTRASTING COLOR. IDENTIFICATION MUST BE VISIBLE FROM STREET OR DRIVE. ALL EXTERIOR SUITE DOORS SHALL BE LABELED, AS REQUIRED BY IFC 503 AND GFD REGULATIONS 12-505.1, IN COMPLIANCE WITH IBC 107.1



MASONRY CONTROL JOINT



STUCCO EXPANSION JT

## COLOR LEGEND

- 1 STUCCO - MAIN BODY:**  
MFGR: DUNN EDWARDS  
COLOR: DE6208 'DESERT SWIDE'
- 2 STUCCO - ACCENT:**  
MFGR: DUNN EDWARDS  
COLOR: DE6207 'EGYPTIAN SAND'
- 3 STUCCO - ACCENT:**  
MFGR: DUNN EDWARDS  
COLOR: DE6360 'HEAT BREAD'
- 4 METAL COLUMNS/BEAMS:**  
MFGR: DUNN EDWARDS  
COLOR: DE6756 'WEATHERED BROWN'
- 5 COMPOSITE WOOD DECKING:**  
MFGR: NEW TECH WOOD  
PRODUCT: SOLID BOARD US07  
COLOR: BRAZILIAN IPE
- 6 CMU SLUMP BLOCK VENEER:**  
MFGR: SUPERLITE  
PRODUCT: 4\"/>

NEW SHELL BUILDINGS FOR  
**HHB GROUP - PHASE II**  
N.E. CORNER VAL VISTA DRIVE & RIGGS ROAD, GILBERT, AZ  
CONSTRUCTION DOCUMENTS

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6 East Palo Verde Street, Suite 1 · Gilbert · Arizona · 85296

DATE	REVISION
7/15/19	WOOD STUDS REVISION
12/19/19	1ST REVIEW COMMENTS
03/31/20	
12/18/20	



# FREESTANDING GROUND MONUMENT

**A**

**58.50 SF PER, 117.00 SF TOTAL**

PRE A.S.A. ENGINEERING FOR QUOTATION ONLY  
 [6'-0"] [72"] [H]  
 [12'-0"] [OAH] x [10'-4"] [OAW] ÷ 144 = [103 SF]  
 [PILE/FOOTING] [8] [2.5" DIA] x [7" DEPTH]  
 [PIPE] [6] [5" DIA] [0.258 TINSEL]

**UL** THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.  
**UL** SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES.  
**2018 IBC 2018**  
 SIGN INSTALLATION COMPLIANCY IN ACCORDANCE WITH 2018 IBC® AND 2018 NEC™ AS ADOPTED BY LOCAL JURISDICTION.

**EXISTING APPROVED**  
**CASE: DR16-01S-A**  
**(PDA-2016-00040)**  
**DATE: 07.26.16**

**APPROVED**

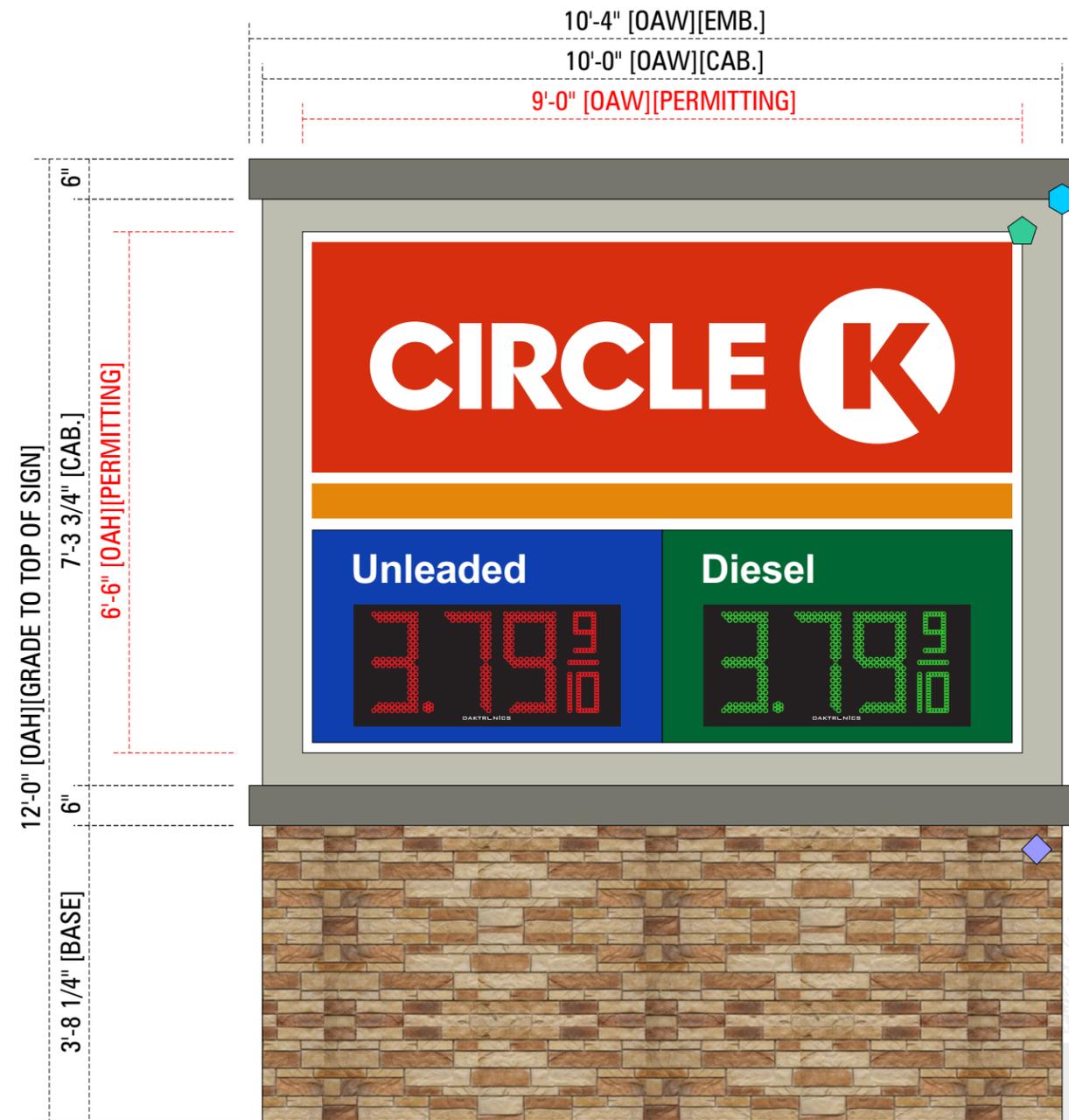
Administrative Design Review  
 Case # PDR-2021-00069 (DR16-01-S-B)  
 Date 06/28/2021

EXISTING AND INSTALLED, (2) **TWO TOTAL**;  
 DOUBLE-FACED UL LISTED WHITE L.E.D. TECH.  
 INTERNALLY-ILLUMINATED FREE-STANDING  
 ALUMINUM CONSTRUCTED MONUMENT I.D.  
 STRUCTURE AS FOLLOWS:

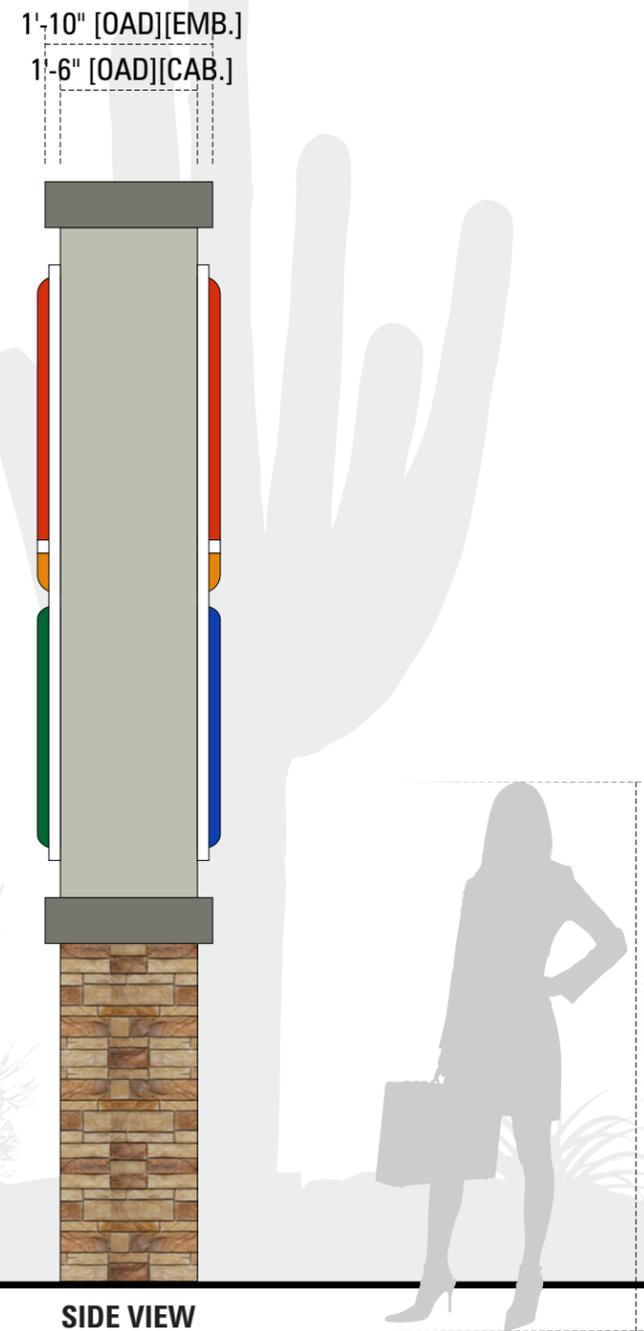
- ◆ (.090) GRADE ALUMINUM CONSTRUCTION MAIN CABINET PAINTED TO MATCH COMPLEX COLORATION(S) & ARCHITECTURAL BUILD-OUT ELEMENTS WITH PAINTED TOPPER & REVEAL EMBELLISHMENT(S)
- ◆ (3/16") THICK GLOSS WHITE HIGH-IMPACT MOLDED ACRYLIC FACE(S) WITH (1ST) SURFACE 3M™ TRANSLUCENT VINYL GRAPHIC OVERLAY(S) WITH DAKTRONICS DIGITAL GAS PRICE READER BOARDS
- ◆ (.090) GRADE ALUMINUM CONSTRUCTION BASE SKINNED WITH HARDY BACKER BOARD & STACKED STONE VENEER TO MATCH COMPLEX COLORATION(S) & ARCHITECTURAL BUILD-OUT ELEMENTS

FLUSH MOUNTED TO GRADE AS DEMONSTRATED.

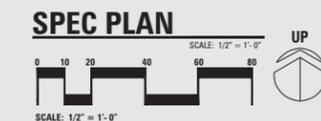
**\*\*\* REQUIRES ONSITE SAKRETE CONCRETE FOOTING POUR AND PIPE SETTING. REQUIRES A.S.A. SIGN ENGINEERING FOR WIND LOAD & TINSEL STRENGTH. REQUIRES LANDLORD APPROVAL ON LAYOUT, COLOR(S) & LOCATION. REQUIRES CITY/COUNTY DESIGN REVIEW & PERMITTING.**



**FRONT VIEW**



**SIDE VIEW**



**REQUIRES FIELD SURVEY FOR PRODUCTION MEASUREMENTS**  
**RETURN TO ART DEPARTMENT FOR PRODUCTION FILE CREATION**

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www.arizonacommercialsigns.com

PROJECT NAME:

SHOPS AT EVANS RANCH  
 N.W.C. EAST RIGGS ROAD &  
 SOUTH VAL VISTA DRIVE  
 GILBERT, ARIZONA 85298

CONTACT:  
 PHONE:  
 EMAIL:

CONTACT REP:

SCOTT HUDSON - (c) (480) 341-1407

DESIGNER:

CHRIS HEARN - (d) 480-663-2087

DESIGN NUMBER:

SHOPS AT EVANS RANCH - RIGGS & VAL VISTA - CSP - 040821 - R2 DESIGN

SCALE:

AS NOTATED

DATE:

04/08/2021 03:09 PM MST, rev. 05/05/2021 01:11 PM MST

PROJECT NUMBER:

000000

REVISIONS:

- 1 [C][D] UPDATED LAYOUT
- 2 [C] 60 SF MAX, SPACING MEASUREMENTS BETWEEN ON SITE PLANS
- 3
- 4
- 5

LANDLORD / DEVELOPER APPROVAL  
 SIGNATURE & DATE:

CUSTOMER APPROVAL  
 SIGNATURE & DATE:

SHEET:

**1** OF **5**

DESIGN



# MONUMENT SIGNS

## QTY=2 DOUBLE SIDED

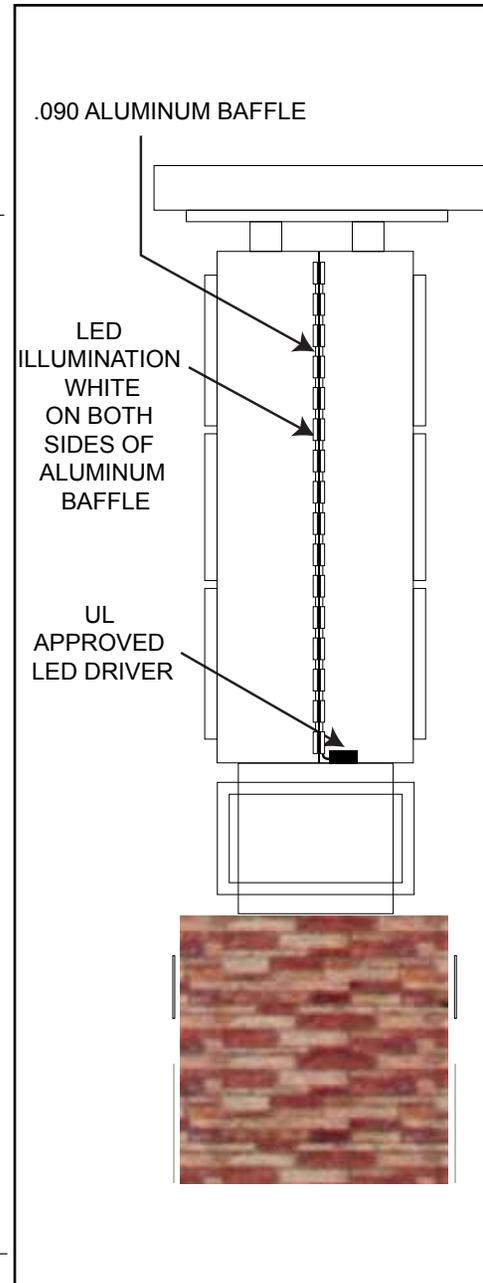
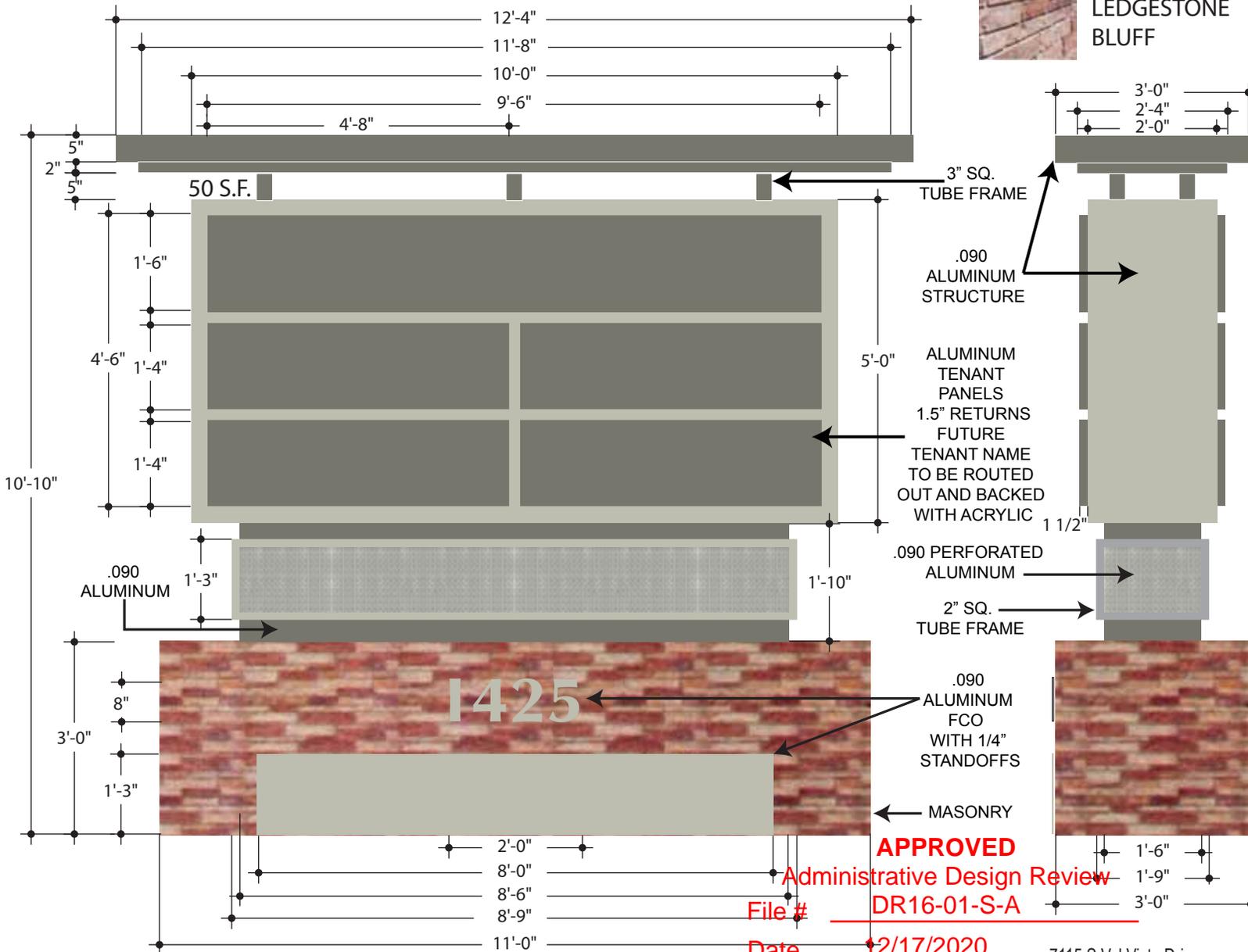
**B**

SW 7019  
GAUNTLET GRAY

SW 7017  
DORIAN GRAY



NICHIHA  
KURASTONE  
LEDGESTONE  
BLUFF



1425

**APPROVED**  
Administrative Design Review  
File # DR16-01-S-A  
Date 2/17/2020

7115 S Val Vista Drive  
Gilbert, AZ 85298

Please carefully check this layout. Check all spelling and be sure all colors and proportions are to your specifications. If order is changed or cancelled after approval, 1 Stop Signs reserves the right to charge for work and/or material already ordered.

LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_  
 CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_  
 Case # PDR-2021-00069 (DR16-01-S-B)

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INTERNATIONAL SIGN ASSOCIATION  
 Date 06/28/2021



Customer: Top Cup Coffee House  
 E-mail: \_\_\_\_\_  
 Project: Signage  
 Approved: Top Cup Coffee House.ai  
 Date: (03/24/2020, 01:14 pm)

PERMIT - ELECTRICAL INFORMATION

VOLTS REQ'D: 120 TOTAL AMPS: 3  
 CUSTOMER TO PROVIDE REQUIRED ELECTRICAL TO SIGN LOCATION  
 CIRCUITS REQUIRED: 1  
 WIRING AS PER U.L. LABEL: X  
 ALWAYS OPERATE LED SIGNS WITH A TIMER OR PHOTO CELL

This sign is intended to be installed in accordance with the requirements of article 600 of the national electrical code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

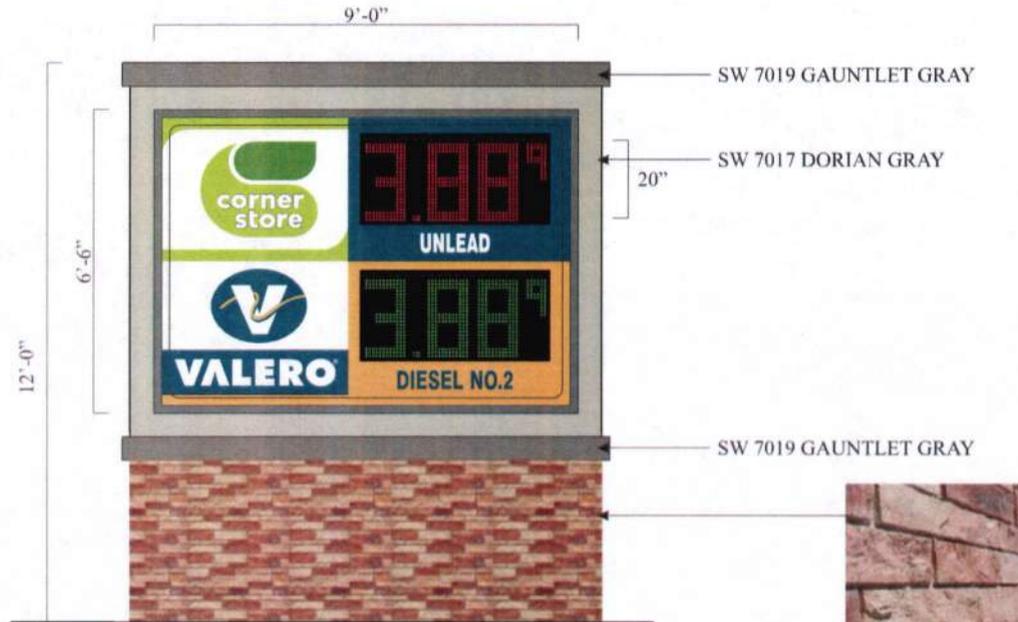
The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code.

E354615 U.L. LISTED

# Originally approved corner store monument per CSP

**APPROVED**

Administrative Design Review  
 Case Planner Initials: DB  
 Case # PDR-2021-00069 (DR16-01-S-B)  
 Date: 7/27/16



**SIGNS #1 & #2**

INSTALL TWO (2) NEW INTERNALLY ILLUMINATED  
 D/F PRICE/ID SIGNS  
 58.50 sq. ft. ✓

SCALE: 3/8"=1'-0"



NICHIIA KURASTONE  
 LEDGESTONE BLUFF



**Sign Development Inc.**  
 License #576277

Upland, CA 91786 (909) 920-5535

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**CUSTOMER APPROVAL**

\_\_\_\_\_  
 SIGN AND PRINT FULL NAME                      DATE

**NO.**                      **PAGE: 3 OF 6**  
**DATE: 01.29.16BA**  
**REV: 02.22.16BA 02.23.16BA 02.29.16BA**  
**03.01.16BA 04.18.16BA 04.29.16BA**  
**07.15.16BA**

**VALERO** #1642  
 7165 S. VAL VISTA DR.  
 GILBERT, AZ 85298

**APPROVED**

Administrative Design Review  
 Case # PDR-2021-00069 (DR16-01-S-B)  
 Date 06/28/2021

# Originally approved Corner store Building elevation

**SIGN 6** NEW ILLUMINATED CORNER STORE CHANNEL LETTERS

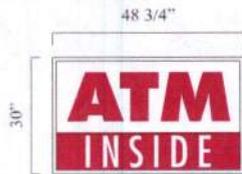
**SIGN 5** NEW ILLUMINATED ATM S/F WALL SIGN

116'-8"



WEST BUILDING ELEVATION

SCALE: 1/8" = 1'-0"



SCALE: 3/8" = 1'-0"

**SIGN 5** NEW ILLUMINATED ATM S/F WALL SIGN

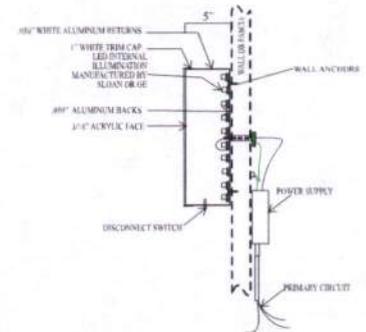
10.15sq.ft.



**SIGN 6** NEW ILLUMINATED CORNER STORE CHANNEL LETTERS

80.55

SCALE: 3/8" = 1'-0"



**APPROVED**  
 Administrative Design Review  
 Case Planner Initials: AC  
 Case # DR16-015  
 Date: 7/27/16

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NO. PAGE: 6 OF 6

DATE: 01.29.16BA  
 REV: 02.22.16BA 02.23.16BA 02.29.16BA  
 03.01.16BA 04.18.16BA 04.29.16BA

**VALERO** #1642  
 7165 S. VAL VISTA DR.  
 GILBERT, AZ 85298

SIGN AND PRINT FULL NAME

DATE

07.15.16BA

**APPROVED**

Administrative Design Review  
 Case # PDR-2021-00069 (DR16-01-S-B)  
 Date 06/28/2021