



NOTICE OF DECISION

July 28, 2021

RE: San Tan Medical Comprehensive Sign Plan (DR21-53)

Dear Applicant:

Staff has reviewed the revised drawings received for Administrative Design Review regarding the San Tan Medical Comprehensive Sign Plan (DR21-53). Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:

1. All signs shall conform to the exhibits approved with this request. All exhibits are stamped administratively approved on July 28, 2021.

If you have any questions regarding the above, please contact me at (480) 503-6812.

Sincerely,

Keith Newman,
Senior Planner

Attachments:

San Tan Medical Comprehensive Sign Plan stamped and dated 7/28/21



Comprehensive Sign Program

San Tan Medical

A Medical Office Development by
Whiteboard, Inc.

3717 S. Rome St. | Gilbert, AZ 85297

TRADEMARK

VERSION 105793-06 | 07.08.21

APPROVED
Administrative Design Review
Case # DR21-53
Date 7/28/21

PROJECT DESCRIPTION

INTRODUCTION

PROPERTY SIGN MATRIX

CREATIVE MATERIALS

SIGN LOCATION PLAN

SIGN TYPES

- STREET ADDRESS SIGN
- MULTI-TENANT MONUMENT SIGN
- TENANT ID CANOPY SIGN
- TENANT WINDOW GRAPHICS

SIGN ELEVATIONS

PROJECT

San Tan Medical
3717 South Rome Street
Gilbert, AZ 85297

DEVELOPER

Whiteboard, Inc.
4455 East Camelback Road, Suite #A242
Phoenix, AZ 85016

ARCHITECT OF RECORD

DLR Group

SIGNAGE CONSULTANT

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480-235-4224
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PARCEL INFORMATION

ZONING
GO: General Office with Vertical Overlay Area 5

PARCEL NO.
304-53-208D

BUILDING SIZE
22,166 GSF

OCCUPANCY

TYPE
Medical Office

PARKING
151 Spaces

JURISDICTION

Town of Gilbert
Section 5.602B.1 - Administrative Design Review

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General Signage Standards

Installation/ Sealing Of Building Wall Penetrations

All mounting is to be performed by the tenant's sign company. Tenant's building signage must be mounted directly to the building façade or canopy as shown on the elevations. Façade penetrations should be kept to a minimum. All penetrations of the building wall structure required for sign installation shall be neatly sealed in a watertight fashion. No roof penetrations are allowed. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.

Openings In Building Walls

Locations of all openings for conduit and sleeves in building walls must be indicated by the sign contractor on the drawings submitted. The contractor shall install the sign in accordance with the approved drawings. All penetrations made shall be sealed during the sign installation to prevent damage to the building walls/ materials.

Electrical Requirements

No exposed tubing, raceways, or conduit will be permitted. All conductors, transformers, and other equipment shall be concealed. All electrical signs shall bear the UL label and shall conform to National Electrical Code Standards. Electric signs shall display an electrical component tag certifying compliance with the City Electrical Code, or an approved tag issued by a testing laboratory approved by the Planning and Development Department.

Damage Caused By Or During Installation

The sign contractor and/or tenant will pay for any damage to a building's fascia, canopy, structure, roof, building elements or flashing caused by sign installation.

Upkeep And Maintenance

Each Tenant is fully responsible for the upkeep and maintenance of its sign(s), including any individual pylon or monument signage, and tenants are to repair any sign defects within five (5) days of notification. If a tenant does not repair said sign(s), the owner, at the tenant's sole cost and expense, may repair and/or replace sign(s). A penalty of 100% of the owner's cost to repair said signage, in addition to the cost of the repair, may be assessed to the tenant if the landlord or building owner is required to provide the necessary maintenance due to the tenant's non compliance following notification.

Owner's Right To Modify Requirements

The owner's representative has the right to modify the sign design standards and requirements for any Tenant.

Required Insurance For Sign Contractors

All sign contractors must carry workers' compensation and commercial liability insurance against all damages suffered or done to any and all persons and/or property while engaged in the construction or installation of signs, with a combined single limit in an amount not less than two million and no/100 dollars (\$2,000,000.00) per occurrence. Every sign contractor must hold a current contractor's license in the State of Arizona. Landlord or building owner must be named as additionally insured in the workers' compensation and commercial liability insurance. Contact the owner's representative for this information.

Sign Identification Tags

Permitted signs shall display an identification tag which is readily visible from public property or property accessible to the public after the sign is erected. The Planning and Development Department shall issue a sign permit tag bearing the permit number for all signs requiring a permit. All signs for which a variance or use permit has been granted shall display a special identification tag to show that the sign has been exempted from complying with one or more of the requirements of this ordinance. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Labels required shall be applied in an inconspicuous location.

General Construction Requirements

All signs shall be fabricated using full welded construction. All exposed fasteners shall be painted to render them inconspicuous. All signs shall conform to International Building Code Standards. Flashing, moving, or audible signs will not be permitted.

Illuminated Signs

A Permanent Sign on a parcel in a nonresidential use may be illuminated by internal illumination, internal indirect (halo) illumination, or lit by external indirect illumination. Permanent Sign may not be illuminated in a manner that leaves the illumination device exposed to public view except with the use of neon tubing. The illumination of signs shall meet all regulations as set forth in the Gilbert Municipal Code, Chapter 42, Article II, Section 42-34.

Illumination Timer

Power to illuminate the tenant's sign is to be from tenant's electrical meter, switched through a time clock and photo cell, set in accordance with schedules determined by the owner and shopping center manager.

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CANOPY SIGN

A wall sign designed to be installed, attached or otherwise applied to or located directly on the roof of a canopy and used to accent the building entry.

GRAPHICS

Lettering, symbols, and logos used for name identification (primary identification), and for identification of product and services (secondary identification or modifiers).

MONUMENT SIGN

A permanent sign that displays the name of a multi-tenant complex, tenants within the subject complex, and the physical address of the complex. A monument sign is placed along a street frontage and is attached to one or two sides of a freestanding wall or other ground structure separate from a building.

PERMANENT SIGN

A sign displayed for an unrestricted period of time.

PROHIBITED SIGN

Any sign not allowed by the Town of Gilbert. See Town of Gilbert Land Development Code 4.404: Prohibited Sign for a comprehensive list.

SIGN AREA

The area contained within the outer limits of the text, together with the material or color forming the background for the text but not including the supporting structure or wall to which it is attached. Actual sign area allowed will correspond to the length of the building elevation of the tenant or user suite where its principal entrance is located. See Figure 1 on this sheet for examples.

SIGN BAND

A physical architectural feature on a building surface, often above building entrances, designed to accommodate wall signage.

SIGN ENVELOPE

Located within a sign band, the sign envelope is the designated area that defines the overall height and length allowances for sign area designated for tenant sign placement on a building elevation. For this project, the area of a sign envelope is ascribed as 80 percent of available horizontal and vertical wall space or sign band on which the sign is placed. A sign envelope does not necessarily define the allowable sign area for a sign. See Figure 2 on this sheet for example.

STREET ADDRESS SIGN

A permanent sign of the street address numerals that shall serve as visible street address and identifier for delivery of mail and official governmental notification. The Street Address Sign may be externally or internally illuminated. The Street Address Sign shall not exceed six (6) square feet in Sign Area.

TEMPORARY SIGN

Any sign displayed for a restricted period of time. Please see the Town of Gilbert Land Development Code 4.408: Temporary Signs for details.

WINDOW GRAPHICS

A sign applied or attached to a window, or displayed within 6 feet of the interior of a first floor window area so as to attract attention of persons outside the building. Window Signs shall not cover more than 25% of the first floor window area. Window Signs do not include merchandise in a window display.

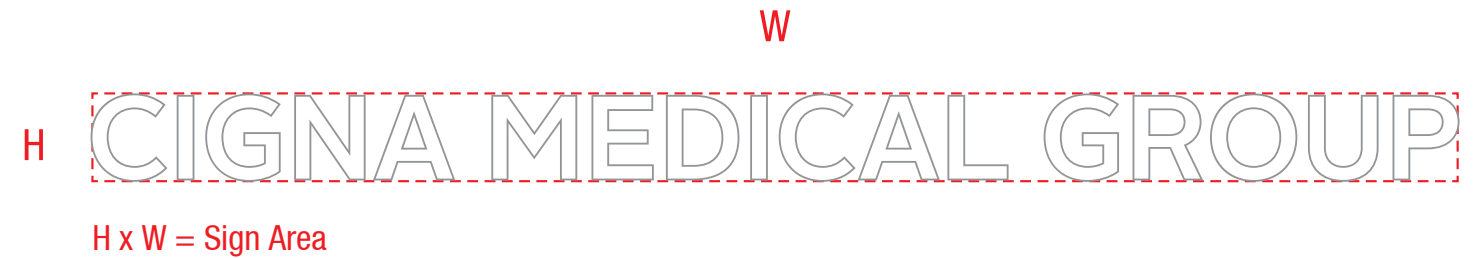


FIGURE 1

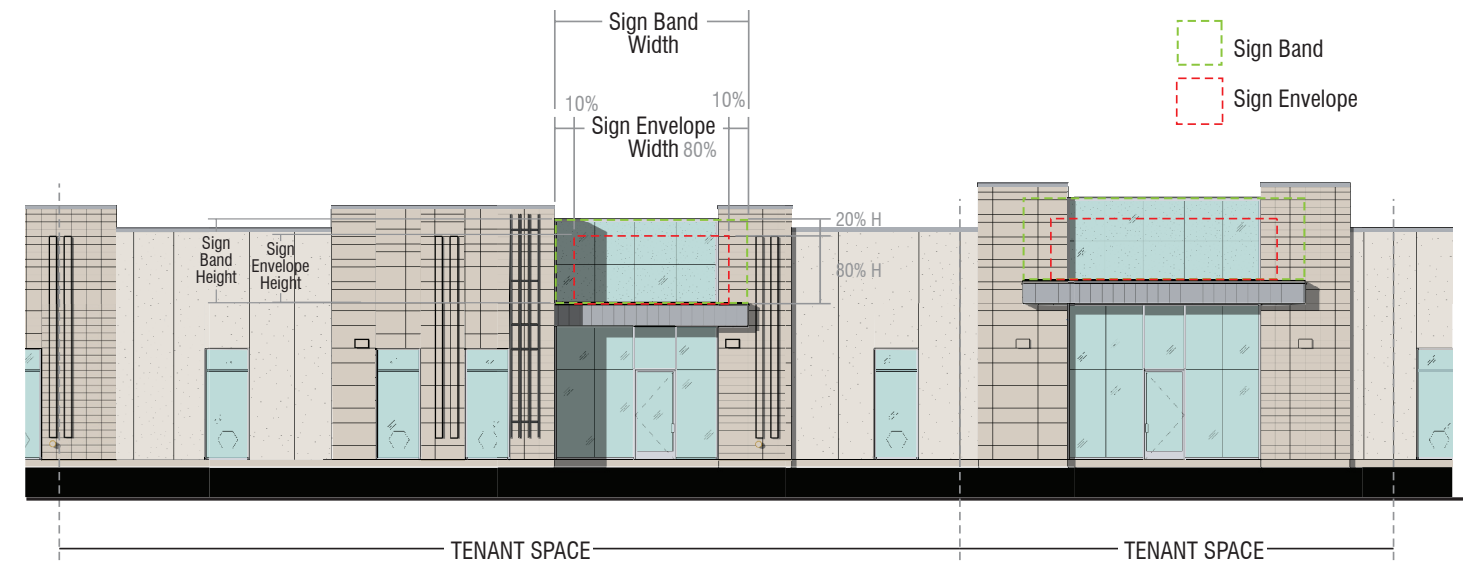


FIGURE 2

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Property Sign Matrix

| SIGN TYPE | FUNCTION | SIGN LOCATION | SIGN CONSTRUCTION | ILLUMINATION | MATERIALS | GRADE TO T.O. SIGN | SIGN FACE AREA |
|---|---------------------------------|--|---|---|--|--|---|
| A1 Street Address Sign | Address Identification | Installed on the parking screen wall facing Rome Street | Reverse pan channel number set. | Indirectly illuminated by external up-lights; white LED | Painted Metal (Aluminum or Steel) | XX'-XX" | 6.00 square feet maximum |
| A2 Multi-Tenant Monument Sign | Tenant Identification | Installed in front of parking screen wall facing Rome Street | Single-sided illuminated monument to match architecture of building. Tenant Panels made with copy routed from face and backed with acrylic. | Face-illuminated; white LED | Acrylic, Painted Metal (Aluminum or Steel), Various Vinyls (Typical) | 12'-0" maximum from grade to top of embellishments | 60.00 square feet maximum |
| B1 Tenant ID Canopy Sign | Tenant Identification | Installed on canopy above tenant's entry doors | Pan channel letterset &/or logo with white acrylic faces, returns, & backs on concealed raceway | Face-illuminated; white LED | Acrylic, Painted Metal (Aluminum or Steel), Various Vinyls (Typical) | -- | 32 square feet minimum; not to exceed eighty (80) percent of the vertical dimension of the sign band or wall space on which the sign is placed. |
| B2 Tenant Window Graphics | Tenant and Suite Identification | Installed to the 1st surface of suite storefront entry glass | Ready-to-apply vinyl graphics | none | Various Vinyls (Typical) | -- | Shall not cover more than 25% of the first floor window area. |

ALLOTTED TENANT CANOPY SIGN AREA

One-and-one-half (1.5) square feet of sign area for each one (1) linear foot of building elevation adjacent to the suite.

Minimum of 32 square feet

Not to exceed (80%) eighty percent of the length of the canopy

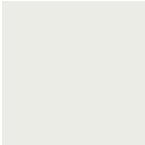

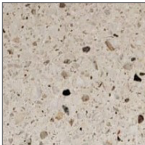
NORTH FRONTAGE (facing parking lot) = 242'-0" x 1.5 = **363 square feet maximum**

EAST FRONTAGE = 97'-4" x 1.5 = **146 square feet maximum**

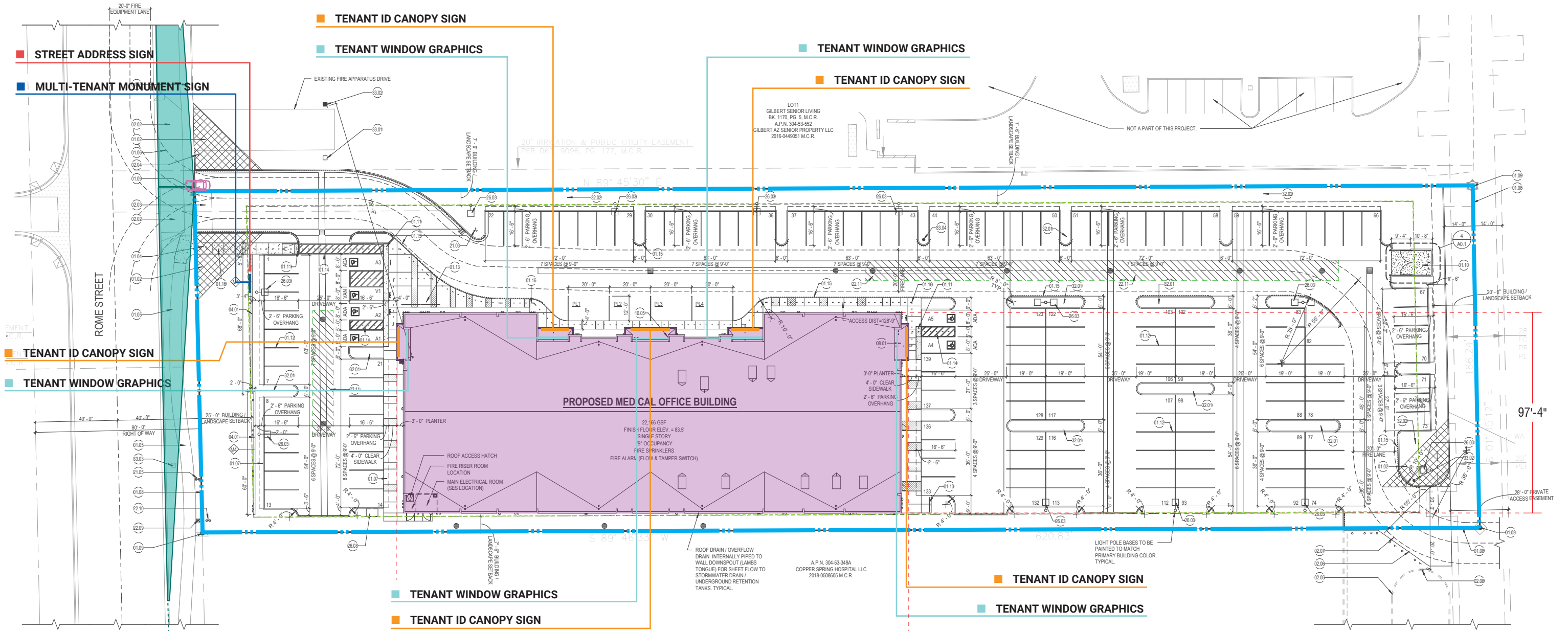
WEST FRONTAGE (facing Rome Street) = 97'-4" x 1.5 = **146 square feet maximum**

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Creative Materials

| Building Materials / Colors / Finishes | Property Font | Materials / Colors / Finishes | |
|--|--|--|---|
|  <p>Tube Steel Trellis Dunn Edwards 'Dark Engine' (DE 6350)</p> | <p>The Type Families exhibited on this page shall hereinafter be referred to as the "Project Fonts". Tenant signage is not confined to the Project Fonts. With Landlord approval, Tenant Names and Logos may utilize corporate colors, fonts, logos and logotypes.</p> <p>Type Family - Alright Sans</p> | <p>Materials shown under this header are not an exhaustive list of all materials used to fabricate San Tan Medical signs, but rather is a listing of specialty materials that are preferred finishes or veneers. Other materials such as steel, aluminum, acrylic and polycarbonate are also commonly used in the construction of San Tan Medical signs. Tenant sign standards and brand colors may be utilized. In the event a tenant does not have official branding; the tenant is to select from the colors below:</p> | |
|  <p>Painted Screen Walls Dunn Edwards 'Frostbite' (DE 6274)</p> | | | <p>Alright Sans Regular abcdefghijklmnopqrstuvwxyz ABCDEFGHIJKLMNOPQRSTUVWXYZ 0123456789</p> <p>Alright Sans Medium abcdefghijklmnopqrstuvwxyz ABCDEFGHIJKLMNOPQRSTUVWXYZ 0123456789</p> <p>Alright Sans Bold abcdefghijklmnopqrstuvwxyz ABCDEFGHIJKLMNOPQRSTUVWXYZ 0123456789</p> |
|  <p>EFIS System Sherwin Williams 'Simple White' (SW 7021)</p> |  <p>Painted; Satin Finish Dunn Edwards 'Dark Engine' (DE 6350)</p> | | |
|  <p>Storefront Mullions & Canopy Clear Anodized Aluminum</p> |  <p>Satin Aluminum Finish Matthews Paint Brushed Aluminum (MP 41342SP)</p> | | |
|  <p>Central Arizona Block Co Color: Mission White/Mission White Gray</p> |  <p>Painted; Satin Finish Sherwin Williams 'Simple White' (SW 7021)</p> | | |
| |  <p>Painted; Satin Finish Dunn Edwards 'Frostbite' (DE 6274)</p> | <p style="text-align: center;">APPROVED Administrative Design Review Case # <u>DR21-53</u> Date <u>7/28/21</u></p> | |

Sign Location Plan



FACE OF CURB

242'-0"

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SCALE 1" = 60'0"

- SITE MAP LEGEND**
- Building/Landscape Setback
 - Property Line
 - Visibility Triangle
 - Building Footprints
 - Street Address Sign
 - Multi-Tenant Monument Sign
 - Tenant ID Canopy Sign
 - Tenant Window Graphics

A1 Street Address Sign

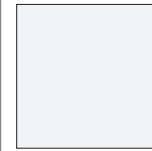
A2 Multi-Tenant Monument

SCALE: 1/2" = 1'0"

A1 STREET ADDRESS SIGN AREA = 3.17 SF

A2 9.33 SF per TENANT PANEL
@ 4 Panels = 37.32 SF
+ 6.032 SF PROPERTY ID
TOTAL SIGN AREA = 43.35 SF

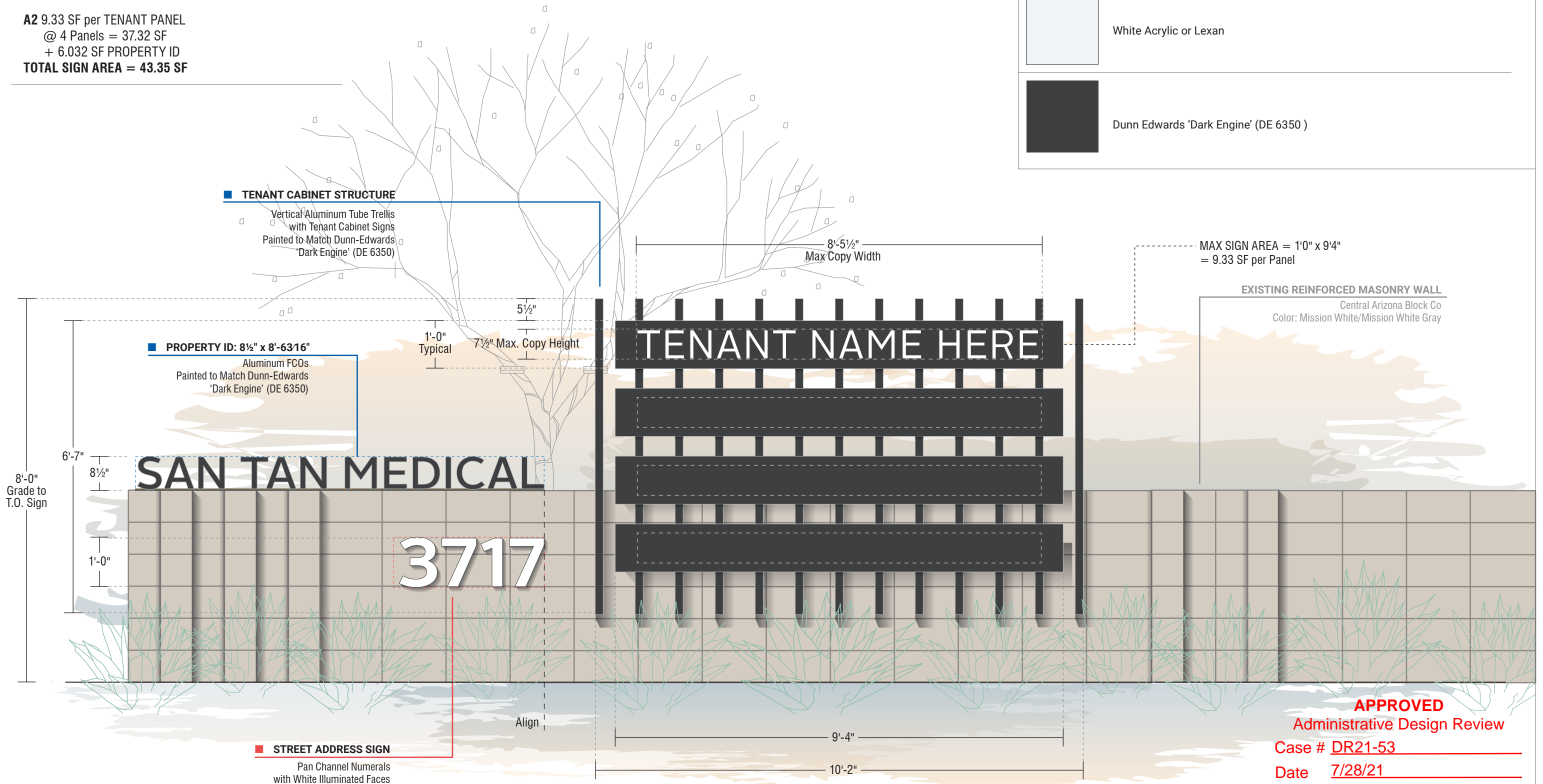
Colors



White Acrylic or Lexan



Dunn Edwards 'Dark Engine' (DE 6350)



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ILLUMINATION RENDERING

SAN TAN MEDICAL

3717

TENANT NAME HERE

TENANT NAME

ANOTHER TENANT

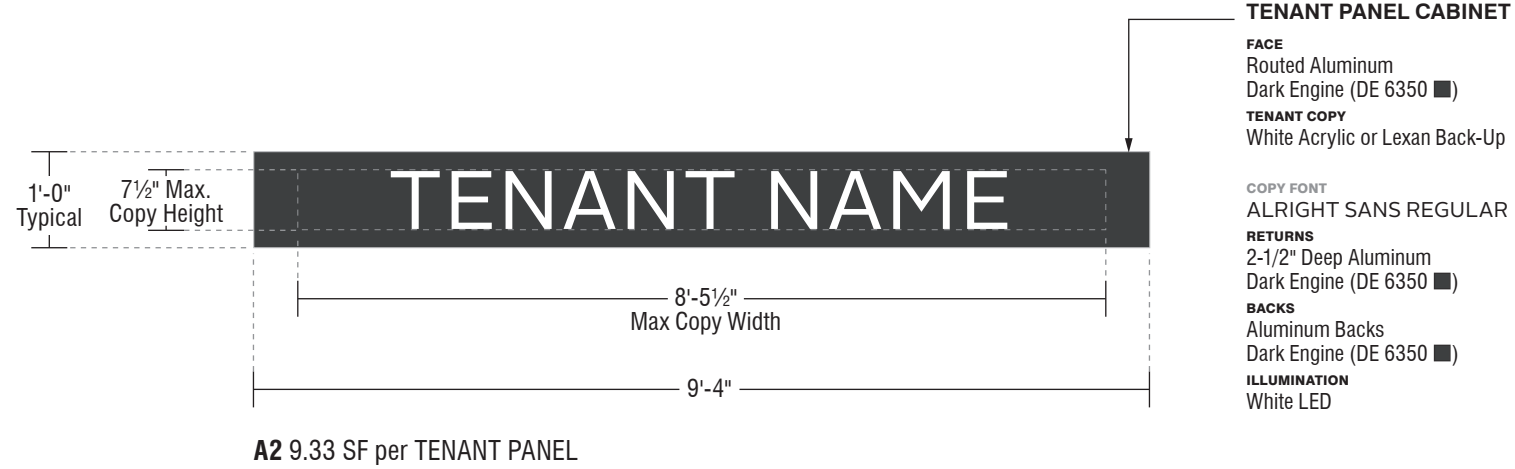
A TENANT NAME

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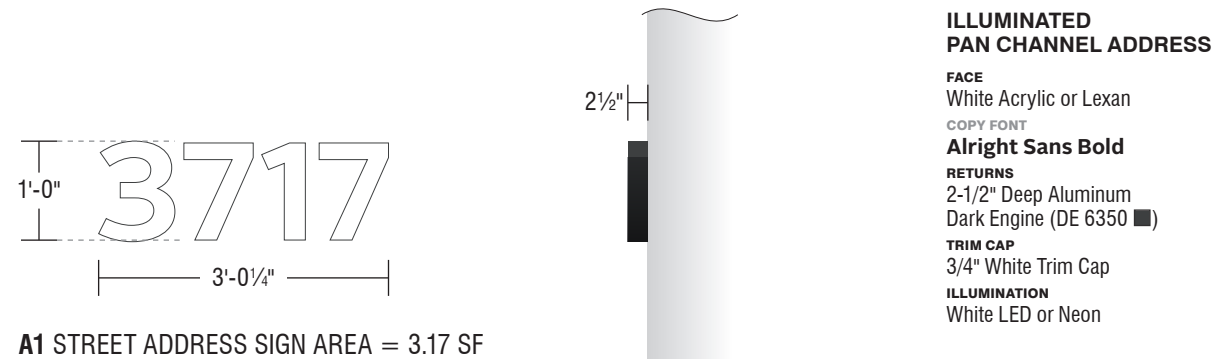
Date 7/28/21



A Typical Tenant Panel
SCALE 1/2" = 10"



B Project Detail - Property ID
SCALE 1/2" = 10"



C Project Detail - Address Number
SCALE 1/2" = 10"

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B1 Tenant ID Canopy Sign

Height Not to Exceed 80% of Vertical Background

XX XX"

Length not to Exceed 80% of Horizontal Background

X' XX"

ILLUMINATED PAN CHANNEL LETTER

FACE
White Acrylic/Polycarbonate Face

RETURNS
3" Deep Aluminum/Steel
White Spirit (MP 32351 □)

TRIM CAP
1" Trim Cap
White (□)

BACKS
White Aluminum/Steel Backs

ILLUMINATION
White LED or Neon

Matthews Paint 'White Spirit' (MP 32351) Satin Finish

| | |
|-------------------------|---|
| SIGN DESIGNATION | A3 - TENANT ID CANOPY SIGN |
| TYPE | Individual Letters |
| ILLUMINATION | Internal LED Illumination |
| MATERIAL | Aluminum; Steel; Stainless Steel; Acrylic; Polycarbonate |
| CONSTRUCTION | Internally Illuminated Pan Channel |
| LETTER STYLE | Alright Sans - All Caps |
| LOGO | Not Permitted |
| COLOR | Text to be White Only - Face, Returns, & Backs. |
| SIZE RESTRICTION | Not to exceed 80% of horizontal & vertical background. TRELLIS-MOUNTED SIGNS ARE SUBJECT TO TOWN OF GILBERT REVIEW AND APPROVAL |
| INSTALLATION | Mounted to building awning via appropriate hardware. |

A Typical Sign Detail

B Sign Criteria





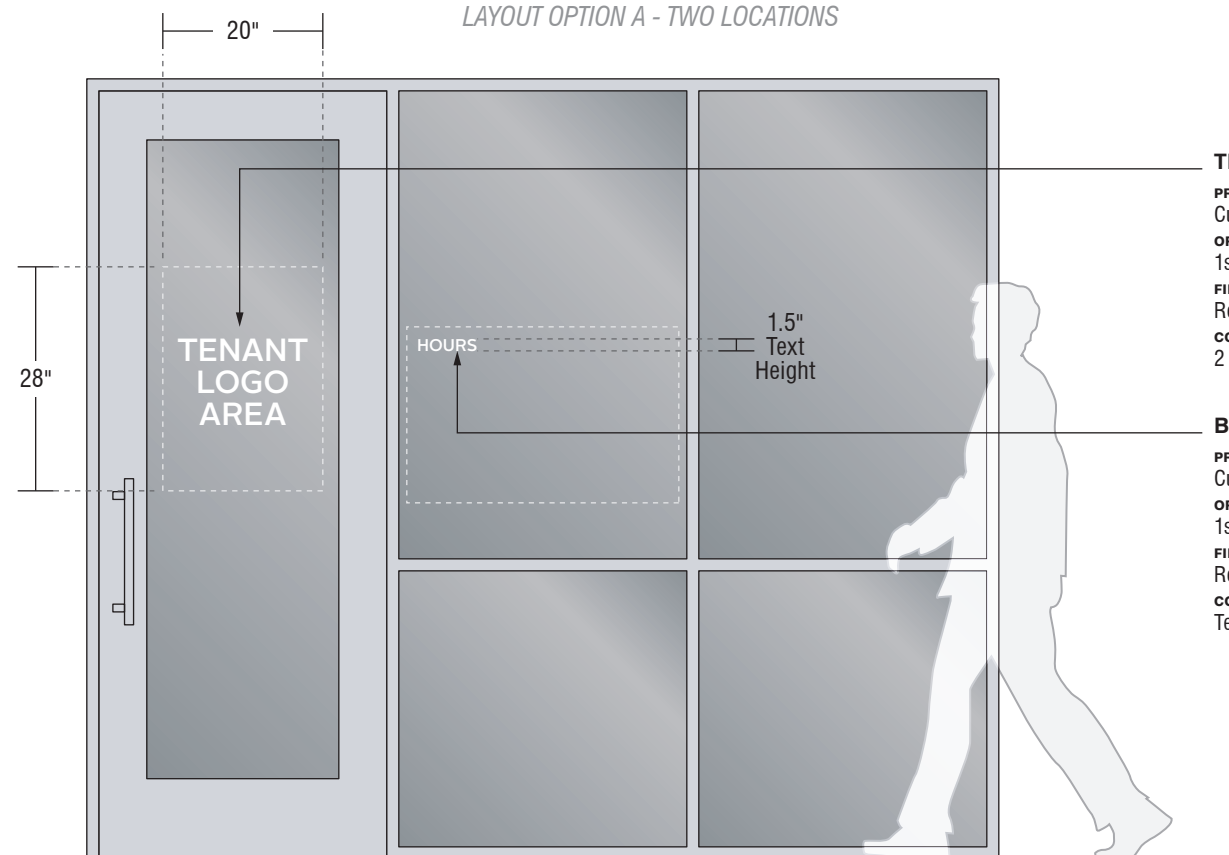
3M Vinyl 'Matte White' (3M 220-20)

| SIGN DESIGNATION | T1 - TENANT SIGN - WINDOW SIGNS |
|------------------|---|
| TYPE | Applied Window Graphics |
| ILLUMINATION | Non-Illuminated |
| MATERIAL | Ready to Apply Window Vinyl |
| LETTER STYLE | Corporate Letterstyles, Logotype and Logo Graphics may be used |
| LOGO | Logotype and Logo Graphics may be used per Landlord Approval |
| COLOR | Logo to be 2-Colors Maximum. Business Info Copy to be White Only. |
| SIZE RESTRICTION | Total graphics not to exceed twenty-five (25) percent of window area. Business Info text to be 1.5" Maximum Cap Height |
| INSTALLATION | Applied 1st Surface to Door & Frontage Windows |

B Sign Criteria

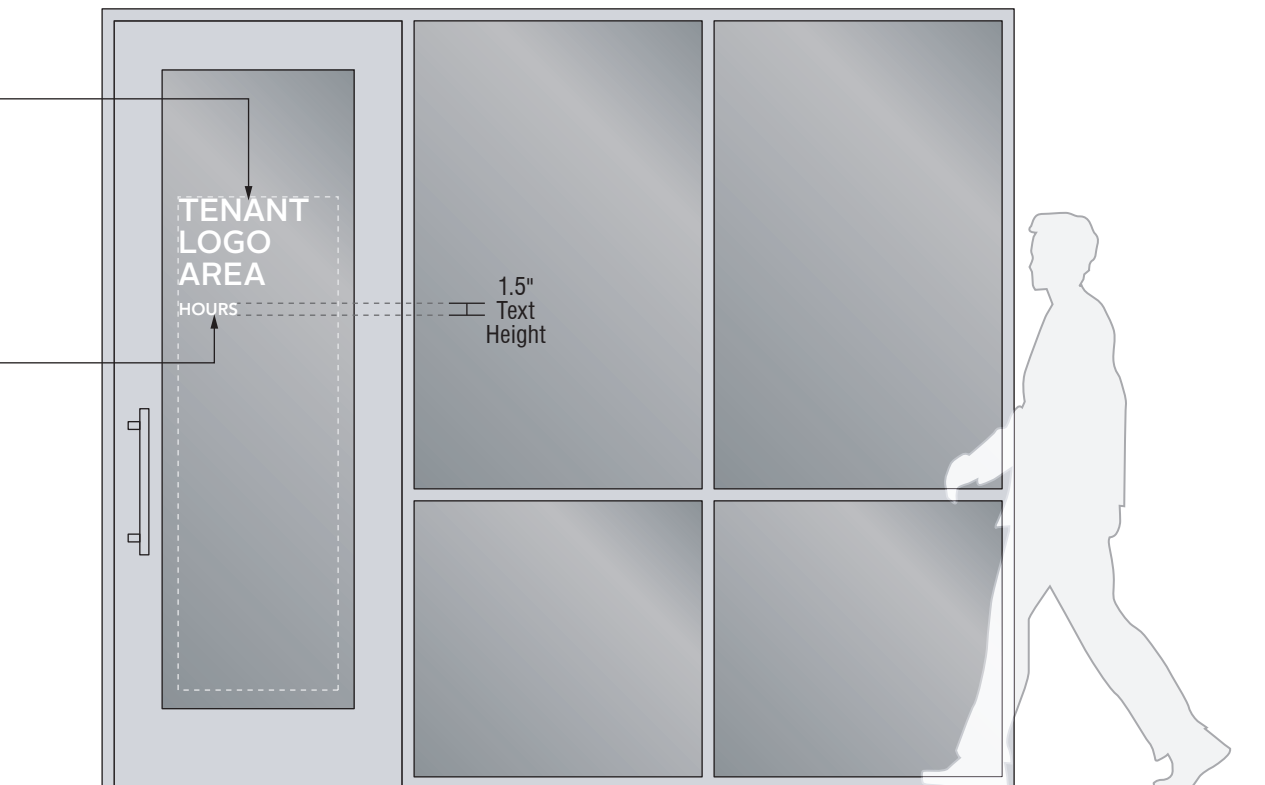
LAYOUT OPTION A - TWO LOCATIONS

LAYOUT OPTION B - DOOR ONLY



TENANT LOGO
PROCESS
 Cut Vinyl
ORIENTATION
 1st Surface
FINISHING
 Ready to Apply
COLOR
 2 Color Maximum

BUSINESS INFO AREA
PROCESS
 Cut Vinyl
ORIENTATION
 1st Surface
FINISHING
 Ready to Apply
COLOR
 Text - White (□)



NOTE: TOTAL SIGN AREA NOT TO EXCEED 25% OF WINDOW AREA

NOTE: TOTAL SIGN AREA NOT TO EXCEED 25% OF WINDOW AREA

A Typical Tenant Window Sign - Elevation View
 SCALE 1/2" = 1'0"

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