



NOTICE OF ADMINISTRATIVE DECISION

February 5, 2019

Carol Shipman/ Glenn Probert
Arizona Commercial Signs
4018 E. Winslow Ave.
Phoenix, AZ 85040
Email: permits@arizonacommercialsigns.com

RE: Administrative Design Review for the Tierra Office Park - Comprehensive Sign Plan **DR06-50-S-A (PDR-2018-00203)**.

Ms. Shipman/ Mr. Probert:

Staff has reviewed and **approved** your Administrative Design **DR06-50-S-A (PDR-2018-00203)** for the Comprehensive Sign Plan for the Tierra Office Park buildings located east of the NEC of McQueen Road and Elliot Road zoned Community Commercial (CC) zoning district. Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
- The project is consistent with all applicable provisions of the Zoning Code;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved **DR06-50-S-A (PDR-2018-00203)**. A general summary of the proposed requests on the subject site and required conditions of approval are listed below:

Tenant/ Wall Mounted Signage –

- The overall buildings tenant wall mounted signage will consist of the following, as identified below:
 - Seven (7) overall office buildings are located on the subject site for the Tierra Office Park. Building elevations are afforded a maximum allowable sign area (sq. ft.) and placement/ location, etc. based on the requirements of the LDC – 4.409.

- Building Elevations facing residentially designated land uses to north and east of the Tierra Office Park subject site shall comply with the requirements of the LDC – 4.409.B.3.b.5.
- Tenant Suite/ Wall Signage – wall signage will consist of a combination of halo-illuminated reverse pan-channel letters mounted to the building facade. Each tenant suite is afforded a maximum square footage and sign band area as identified by the LDC – 4.409 and the Tierra Office Park Comprehensive Sign Plan.
- Tenant Suite/ Wall Signage colors/ materials, letter style, etc. are identified by the Tierra Office Park Comprehensive Sign Plan.
- The proposed Tierra Office Park Comprehensive Sign Plan will comply with all signage requirements of the Land Development Code (LDC), Article 4.4 – Sign Regulations and 4.4012, Commercial Zoning District Sign Regulations, based upon the type of proposed sign.

Freestanding Monument Signage –

- The overall freestanding monument signage will consist of the installation of one (1) monument sign, as identified below:
 - Staff notes that the linear length of the subject site (541'-6") would allow for up to two (2) monument signs. However the applicant has at this time proposed one (1) monument sign located at the southwestern access point from Elliot Road and the sign location demonstrating compliance with the LDC requirements for a minimum of 3' from ROW and out of the designated sight-visibility triangle.
 - **Freestanding Monument Sign** – the proposed monument signage details demonstrates compliance with the LDC. Colors and materials are proposed to provide compatibility with the colors/ materials and architecture of the existing office buildings. Proposed signage notes "Tierra Office Park" with aluminum cabinet with routed out letters and acrylic faces.

Staff has **approved** your request with the following conditions:

1. Construction of the monument sign shall conform to the exhibits submitted for this request, consisting of the following sheets: Tierra Office Park, Comprehensive Sign Plan (14 sheets). All exhibits are stamped administratively approved February 5, 2019.

Should you have any questions regarding these findings, please contact me at (480) 503-6805.

Sincerely,
 /S/
 Nathan Williams, AICP
 Senior Planner, Town of Gilbert

Attachments:

1. Tierra Office Park, Comprehensive Sign Plan (14 pages)



COMPREHENSIVE SIGN PROGRAM

TIERRA OFFICE PARK
1434, 1440, 1454, 1460, 1466, 1478, 1488
WEST ELLIOT ROAD
GILBERT, ARIZONA 85233

MANAGEMENT



ARIZONA COMMERCIAL MANAGEMENT, L.L.C.
2122 EAST HIGHLAND AVENUE | SUITE 450 | PHOENIX, ARIZONA 85016
P: 602.586.2880 | F: 602.586.2881 | az-c-m.com

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P: 480.921.9900 | F: 602.437.8073 | arizonacommercialsigns.com

[REPRESENTATIVE: GLENN PROBERT - M: 480.341.1407]

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APPROVED
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COMPREHENSIVE SIGN PROGRAM

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This criteria has been developed to insure design compatibility among all signs at "TIERRA OFFICE PARK". Conformance to this criteria will be strictly enforced. Any sign installed that is not conforming to this criteria and not approved by Landlord must be removed or brought into conformance by the Applicant and/or its Sign Contractor.

The Landlord shall approve all signs, in writing, prior to installation. Sign permits must be obtained from the Town of Gilbert. Tenant's sign company must provide Landlord with (3) three sets of building elevations with all details.

The following is a description of the design criteria:

GENERAL SIGNAGE REQUIREMENTS

Any reference herein to the word Tenant or Tenants shall be construed to be the same as Owner or Owners.

1. The Landlord shall review the shop drawings and specification (2) two sets and Return (1) one set to Tenant marked "Approved", "Approved as Noted", or "Revised and Re-Submit".
2. "Revised and Re-Submit" drawings will be returned to the Tenant with comments. These drawings shall be revised by the Tenant and re-submitted to Landlord for its approval.
3. Upon receipt of Landlord approval, Tenant shall proceed with the Town of Gilbert permit process. Subsequent to city approval, Tenant may proceed with installation.
4. No signs, advertisements, notices, or other lettering shall be exhibited, inscribed, painted, or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of Developer/Landlord.
5. Tenant or its representatives shall obtain all permits for its exterior sign and its installation. Tenant shall be responsible for all requirements and specifications.
6. Tenant shall have the sole responsibility for compliance with all applicable status/codes, ordinances, or other regulations for all work performed on the premises by or on behalf of the Tenant.
7. The Landlord's approval of Tenant's plans, specifications, calculations, or work shall not constitute an implication, representation, or certification by Landlord that said items are in compliance with applicable statutes/codes, ordinances, or other regulations set forth in the Town of Gilbert Land Development Code.
8. All signage is subject to the Town of Gilbert approval and this master sign exhibit. Developer/Landlord will support all applications for signs in compliance with this exhibit but cannot guarantee city approval.
9. All signage shall be constructed and installed at Tenant's expense.
10. Tenant and the Tenant's Contractor shall be responsible for the repair of any damage caused by installation or removal of signage.
11. All sign bolts, fastenings, sleeves, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
12. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
13. Any penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
14. All exposed metals shall be painted to render them inconspicuous.
15. No exposed tubing, conduit, or raceways will be permitted. All conductor, transformers, and other equipment shall be concealed.
16. All electrical signs shall bear the UL Label and be mounted on top of letters.
17. All signs shall conform to Uniform Building Code Standards.

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- 18. All electrical signs shall conform to National Electrical Code Standards.
- 19. Tenant shall be liable for the operation of their Sign Contractor.
- 20. Painted lettering will not be permitted.
- 21. Flashing, moving, or audible signs will not be permitted.
- 22. Logos may be permitted as an overall 25% of the total sign area.
- 23. Standard 3M™ Scotchcal™ ElectroCut™ opaque white vinyl die cut copy may be used to display tenant name, hours of business, emergency numbers, etc, on sidelight window, (1st) surface application [outside]. NO COLOR VINYL ALLOWED. All window graphics and displays shall be subject to the approval of the Landlord prior to fabrication or implementation. Maximum 25% of sidelight window area.
- 24. Wall signs shall consist of individual LED illuminated reverse pan-channel letters and/or individual NON illuminated reverse pan-channel letters. These letters shall be mounted on the building fascia in the area allocated for sign by the Landlord.
- 25. All signage for Tenants shall calculate by the following formula: buildings with set-backs equal to or less than (75) Seventy-Five Feet from right-of-way sign area is (1) One square foot of sign area to (1) One linear foot of occupied building elevation, buildings with set-backs equal to or more than (75) Seventy-Five Feet from right-of-way sign area is (1.5) One and a half square foot of sign area to (1) One linear foot of occupied building elevation. No sign to exceed 80% occupied suite building elevation. Maximum sign area to be no greater than the total sign allowance area set forth above for (a) the longest building elevation of the tenant or user suite facing the street, or (b) the length of the building elevation of the tenant or user suite where it's principle entrance is located.
- 26. Letter style and color shall be subject to the approval by the Landlord.

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TENANT STOREFRONT SIGNAGE

- 1. Type of Signage: Reverse Pan-Channel Letters mounted 1.5" off building fascia.
- 2. Tenant's face color to be determined by Tenant, with landlord approval.
- 3. Return colors to match faces.
- 4. LED color to be white.
- 5. Logos may be 25% of sign area.
- 6. Copy may not exceed sign band area.

FREESTANDING SIGNAGE

The design of all monument signs and panels are subject to review and approval by landlord. All freestanding signs shall be "monument" style and must compatible with the architecture of center.

- 1. Two (2) monument sign(s) are allowed:
- 2. Sign(s) shall be located in such a manner which will not present any traffic hazards.
- 3. The maximum sign area for the sign is (60) square feet.
- 4. The maximum height of the sign is twelve (12) feet above grade with two (2) foot architectural element at the top of the sign. Copy must be above (2) feet from grade to (10) feet. No copy above (10) feet.
- 5. Sign(s) shall maintain a minimum spacing between of one hundred (100) feet from any other monument sign on the same street frontage.

All other sign types permanent and/or temporary signs shall follow the rules and regulations set forth in the Town of Gilbert Land Development Code, Article 4.4, Sign Regulations. All sign types shall be reviewed by the Landlord prior to applying for permits.

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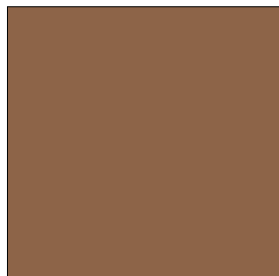
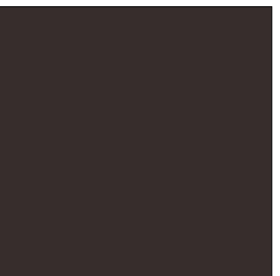
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STYLE A Building [7][2][5]

							
BODY (1) Frazee® Paint "Queensland Walnut" 8246N	BODY (2) Frazee® Paint "Timber Trail" 8746N	BODY (3) Frazee® Paint "Tannery" 7755D	BODY (4) Frazee® Paint "Tinderbox" 8683W	STACKED STONE VENEER El Dorado® Mountain Ledge "Durango"	METAL ROOF Una-Clad® Standing Seam Metal Roofing "Mansard Brown"	WINDOW MULLIONS Arcadia® Anodized Aluminium "Standard Medium Bronze"	WINDOW GLAZING Visteon Versalux® Glaze "Green"

NOTE: SIGN LOCATION DETERMINES SIGN COLORATION ALLOWANCE. BUILDING 7, 2 & 5 I.D. FASCIA BAND ARE PAINTED FRAZEE TANNERY AND REQUIRE A HIGH CONTRAST COLOR SCHEMATIC FOR VISIBILITY. THE ONLY ALLOWED COLOR(S) IN THE SCHEDULE FOR SIGN PAINTING ARE ANY COLOR DARKER THAN THE I.D. FASCIA BAND. [I.E. TIMBER TRAIL, MANSARD BROWN & STANDARD MEDIUM BRONZE. NO CORPORATE BRANDED COLORS WILL BE ALLOWED FOR COMPLEX VISUAL UNITY. ALL COLOR OPTION(S) TO BE DETERMINED AND APPROVED BY LANDLORD AND PERMITTING CITY.

STYLE B Building [1][3][4][6]

							
BODY (1) Frazee® Paint "Queensland Walnut" 8246N	BODY (2) Frazee® Paint "Timber Trail" 8746N	BODY (3) Frazee® Paint "Daplin" 8234M	BODY (4) Frazee® Paint "October Oak" 8226N	STACKED STONE VENEER El Dorado® Mountain Ledge "Durango"	METAL ROOF Una-Clad® Standing Seam Metal Roofing "Mansard Brown"	WINDOW MULLIONS Arcadia® Anodized Aluminium "Standard Medium Bronze"	WINDOW GLAZING Visteon Versalux® Glaze "Green"

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TENANT SIGN
TAGLINE OR BUSINESS DESCRIPTION

A HALO-ILLUMINATED REVERSE PAN CHANNELS [R.P.C.]

SINGLE-FACED UL LISTED WHITE L.E.D. HALO-ILLUMINATED REVERSE PAN CHANNEL LETTER SIGN AS FOLLOWS:

"TENANT SIGN", AS SPEC'D SINGLE-FACED UL LISTED WHITE L.E.D. HALO-ILLUMINATED REVERSE PAN CHANNEL LETTERS WITH (3") RETURNS AND FACES PAINTED THE SAME PER COMPLEX SIGN CRITERIA AND REQUIRING LANDLORD APPROVAL SPACE-MOUNTED (1-1/2") AWAY FROM I.D. WALL FASCIA BAND AS SHOWN.

TAGLINE OR BUSINESS DESCRIPTION", AS SPEC'D SINGLE-FACED UL LISTED WHITE L.E.D. HALO-ILLUMINATED REVERSE PAN CHANNEL LETTERS WITH (3") RETURNS AND FACES PAINTED THE SAME PER COMPLEX SIGN CRITERIA AND REQUIRING LANDLORD APPROVAL SPACE-MOUNTED (1-1/2") AWAY FROM I.D. WALL FASCIA BAND AS SHOWN.

***** REQUIRES PENETRATION HOLES TO BE DRILLED INTO FASCIA WALL FOR INSTALLATION MOUNTING.**



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B NON-ILLUMINATED REVERSE PAN CHANNELS [R.P.C.]

SINGLE-FACED NON-ILLUMINATED REVERSE PAN CHANNEL LETTER SIGN AS FOLLOWS:

"TENANT SIGN", AS SPEC'D SINGLE-FACED NON-ILLUMINATED REVERSE PAN CHANNEL LETTERS WITH (3") RETURNS AND FACES PAINTED THE SAME PER COMPLEX SIGN CRITERIA AND REQUIRING LANDLORD APPROVAL FLUSH SPACE-MOUNTED (1-1/2") AWAY FROM I.D. WALL FASCIA BAND AS SHOWN.

"TAGLINE OR BUSINESS DECIPTION", AS SPEC'D SINGLE-FACED NON-ILLUMINATED REVERSE PAN CHANNEL LETTERS WITH (3") RETURNS AND FACES PAINTED THE SAME PER COMPLEX SIGN CRITERIA AND REQUIRING LANDLORD APPROVAL FLUSH SPACE-MOUNTED (1-1/2") AWAY FROM I.D. WALL FASCIA BAND AS SHOWN.

***** REQUIRES PENETRATION HOLES TO BE DRILLED INTO FASCIA WALL FOR INSTALLATION MOUNTING.**



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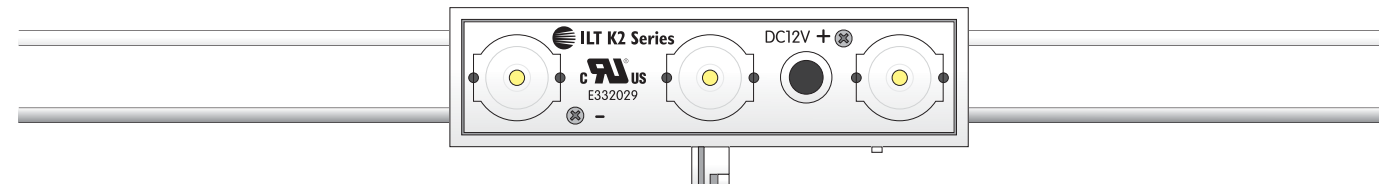
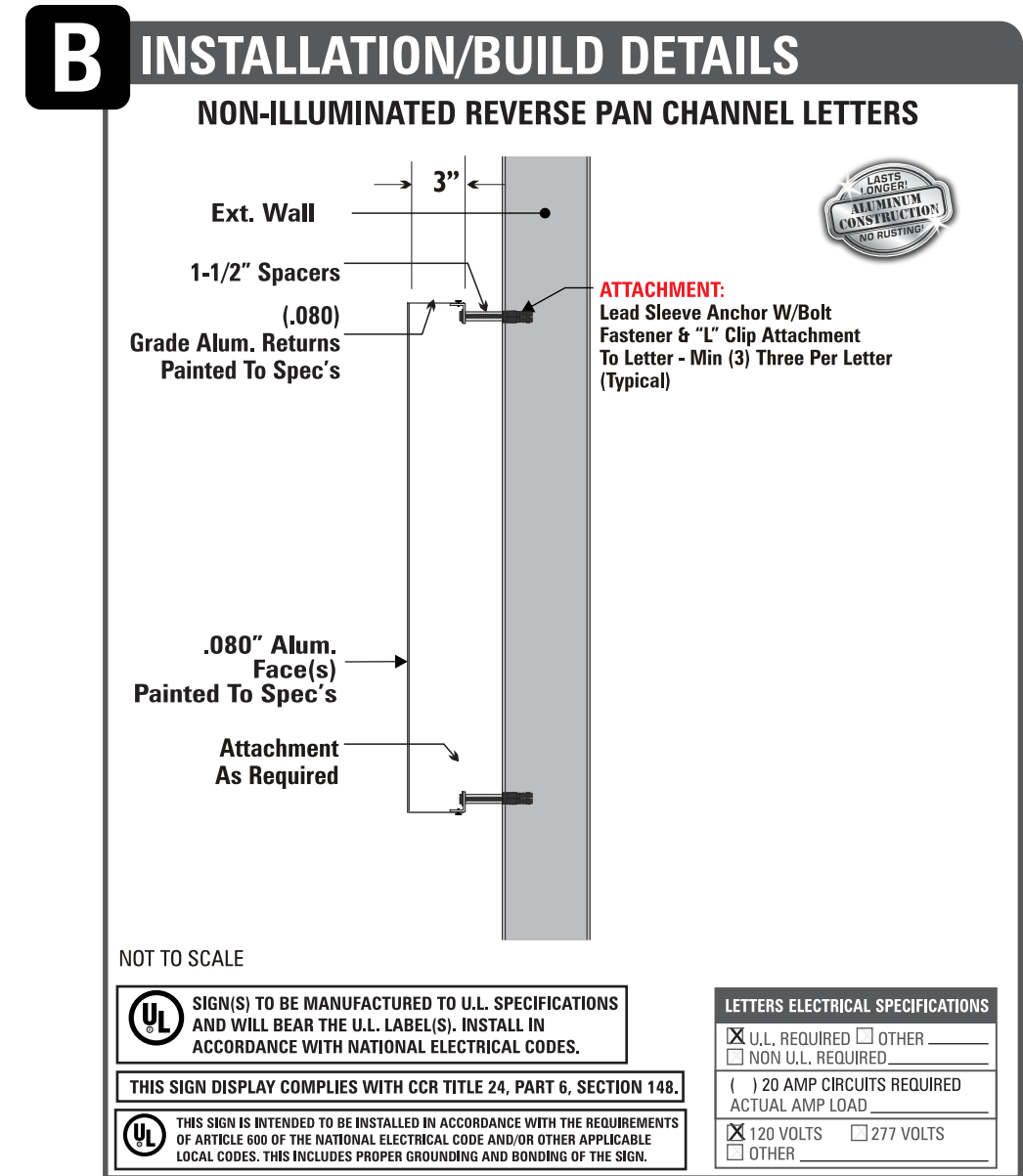
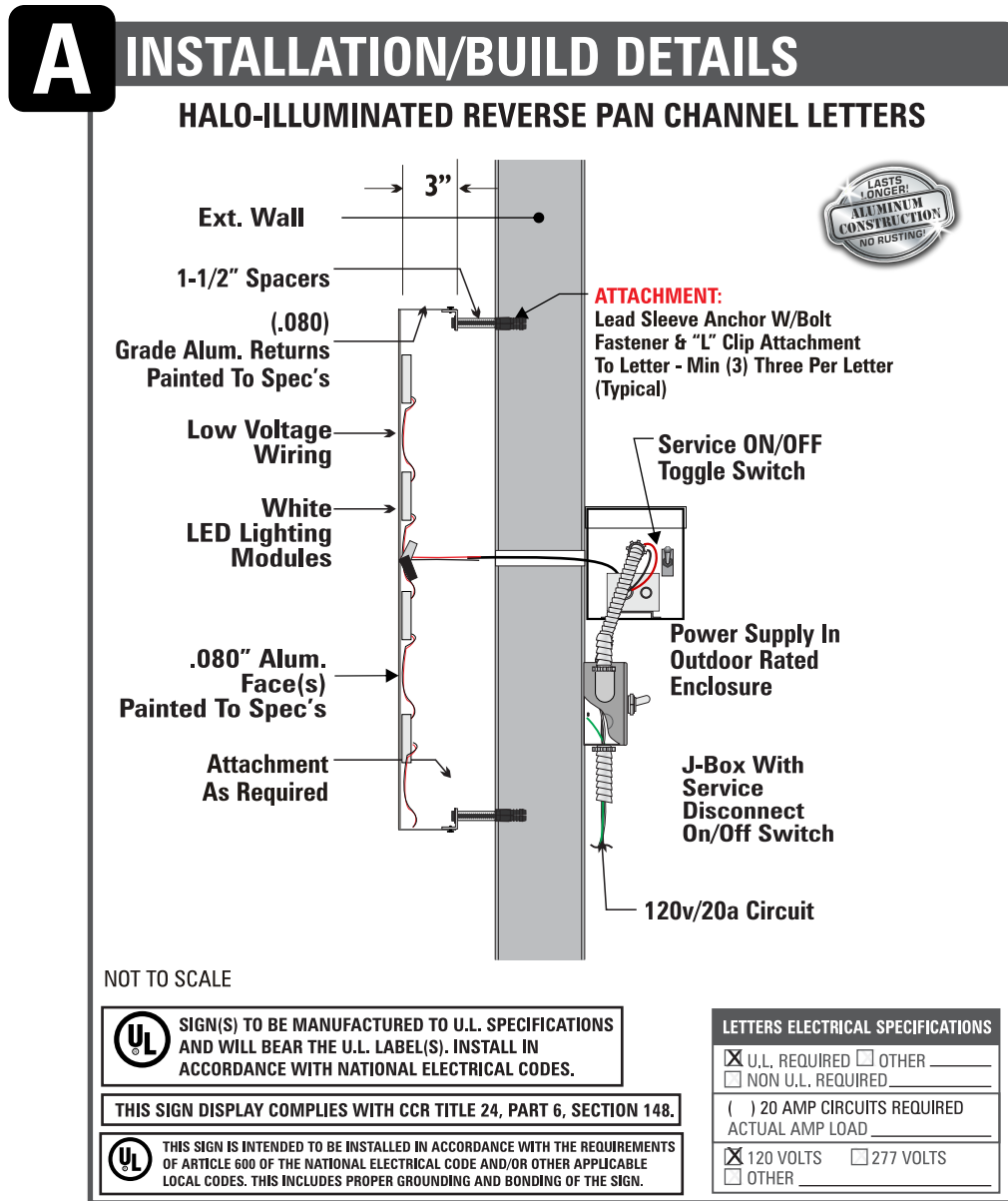


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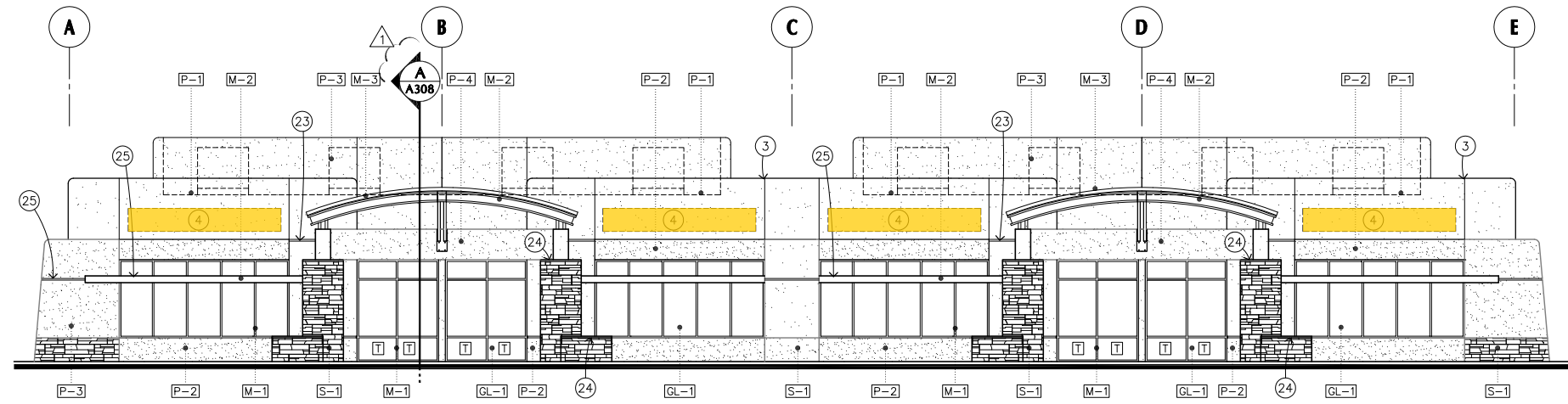


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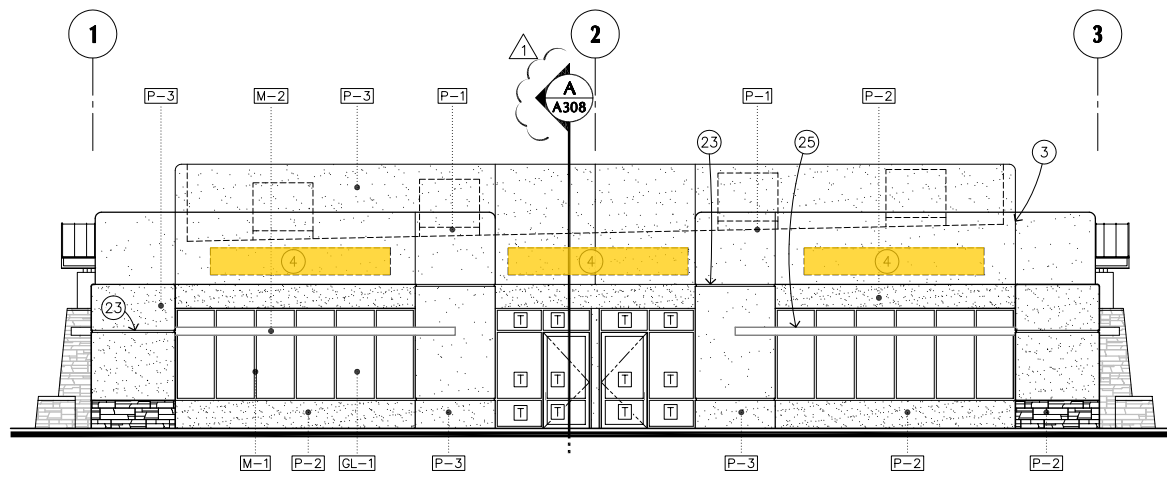
STYLE A Building [7] Demonstrated



SOUTHERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 180"(W) ÷ 144 = 32.75SF PER]

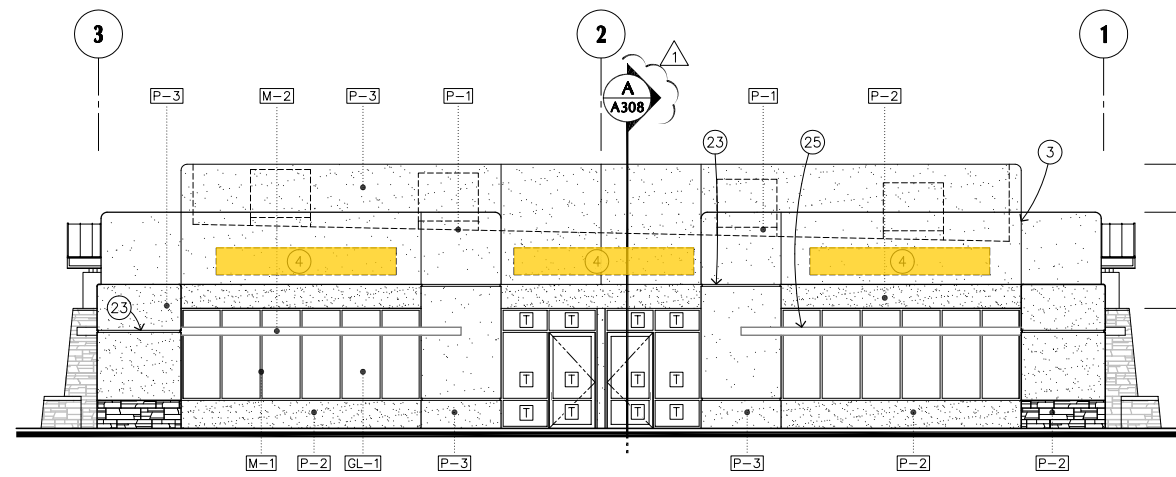
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WESTERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 180"(W) ÷ 144 = 32.75SF PER]

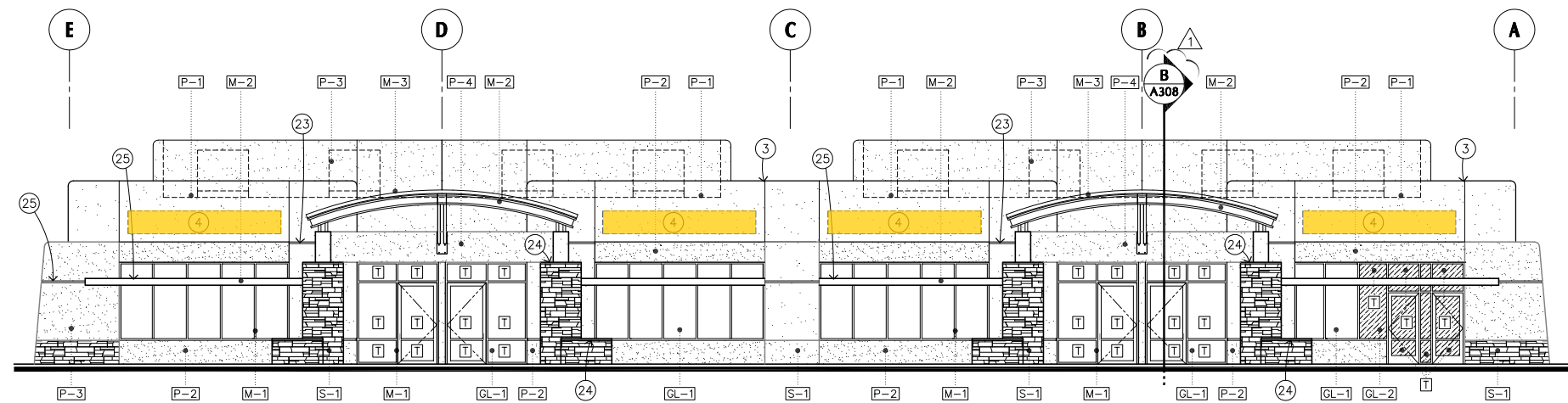
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EASTERN ELEVATION

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SCALING: 1/16" = 1'-0"



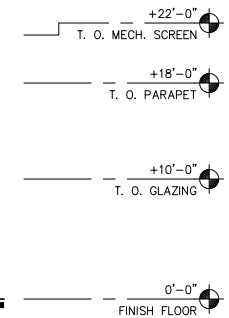
NORTHERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 180"(W) ÷ 144 = 32.75SF PER]

■ = LDC REQUIREMENTS 4.409 PERMANENT SIGNS:

(6) i. WALL SIGN AREA: BUILDINGS ONE-STORY IN HEIGHT.

1. MINIMUM WALL SIGN AREA - (32) SQUARE FEET
2. MAXIMUM WALL SIGN AREA - NO GREATER THAN SIGN ALLOWANCE AREA FOR: (A) THE LONGEST BUILDING ELEVATION OF THE TENANT OR USER SUITE FACING THE STREET, OR (B) THE LENGTH OF THE BUILDING ELEVATION OF THE TENANT OR USER SUITE WHERE ITS PRINCIPLE ENTRANCE IS LOCATED.
3. SIGN ALLOWANCE AREA - BUILDING SET-BACK (75) FEET OR LESS OF RIGHT-OF-WAY [(1) SQ.FT. : (1) LINEAL FT.], BUILDING SET-BACK (75) FEET OR MORE OF RIGHT-OF-WAY [(1.5) SQ.FT. : (1) LINEAL FT.]



APPROVED

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Date 2/5/2019 SCALING: 1/16" = 1'-0"

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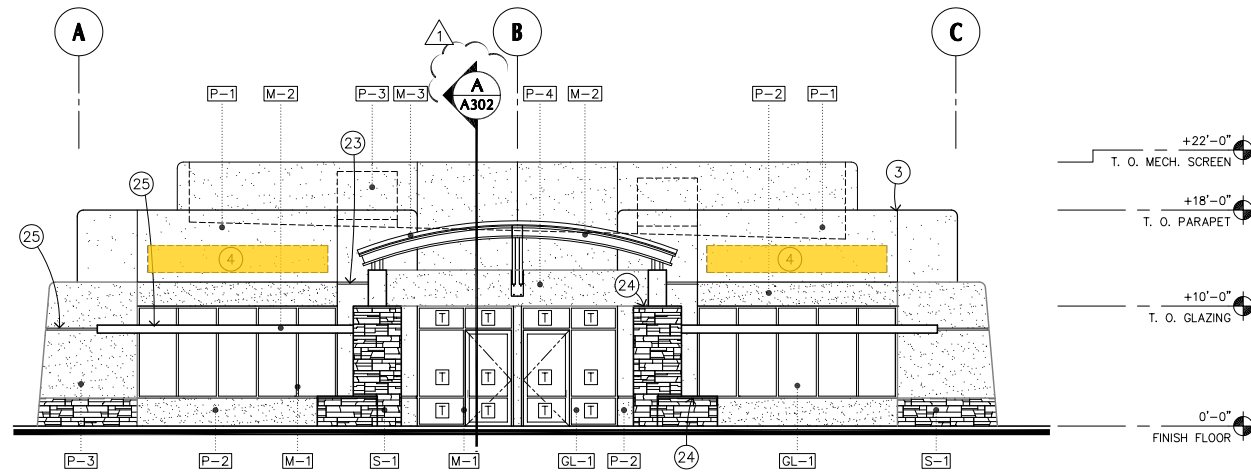
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STYLE A1 Building [2][5] Demonstrated

■ = LDC REQUIREMENTS 4.409 PERMANENT SIGNS:

(6) i. WALL SIGN AREA: BUILDINGS ONE-STORY IN HEIGHT.

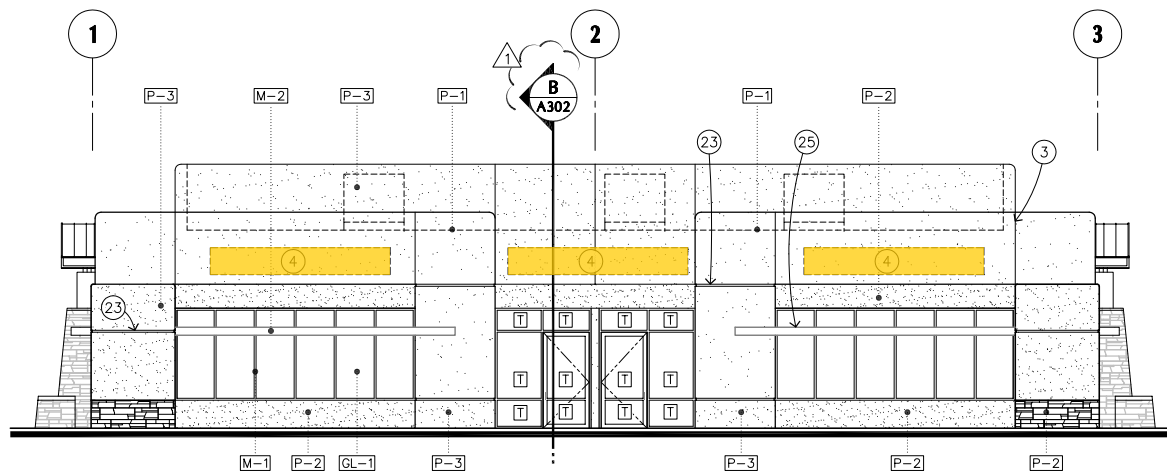
1. MINIMUM WALL SIGN AREA - (32) SQUARE FEET
2. MAXIMUM WALL SIGN AREA - NO GREATER THAN SIGN ALLOWANCE AREA FOR: (A) THE LONGEST BUILDING ELEVATION OF THE TENANT OR USER SUITE FACING THE STREET, OR (B) THE LENGTH OF THE BUILDING ELEVATION OF THE TENANT OR USER SUITE WHERE ITS PRINCIPLE ENTRANCE IS LOCATED.
3. SIGN ALLOWANCE AREA - BUILDING SET-BACK (75 FEET OR LESS OF RIGHT-OF-WAY [(1) SQ.FT. : (1) LINEAL FT.], BUILDING SET-BACK (75 FEET OR MORE OF RIGHT-OF-WAY [(1.5) SQ.FT. : (1) LINEAL FT.]



SOUTHERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 180" (W) ÷ 144 = 32.75SF PER]

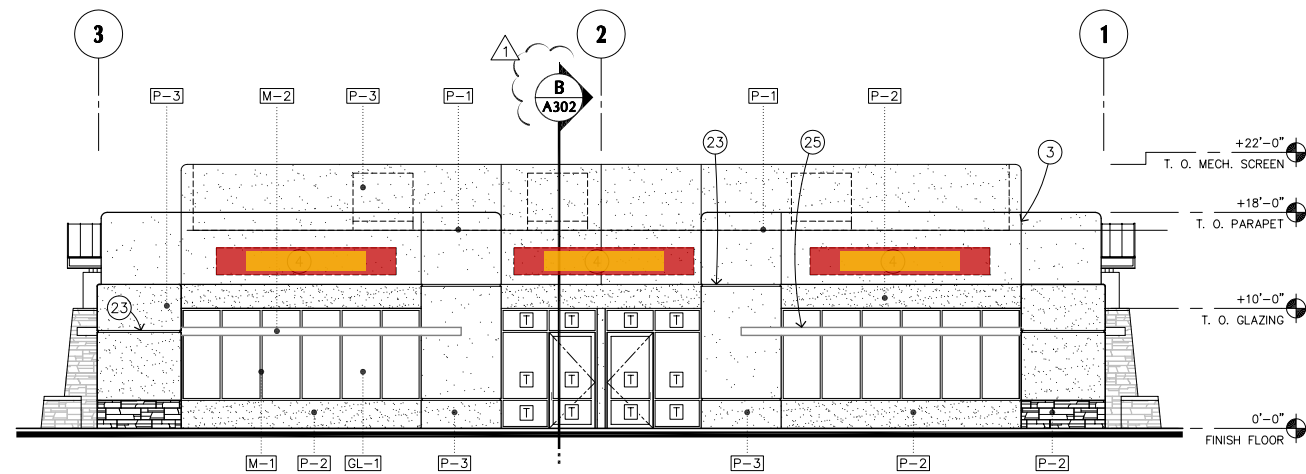
SCALING: 1/16" = 1'-0"



WESTERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 180" (W) ÷ 144 = 32.75SF PER]

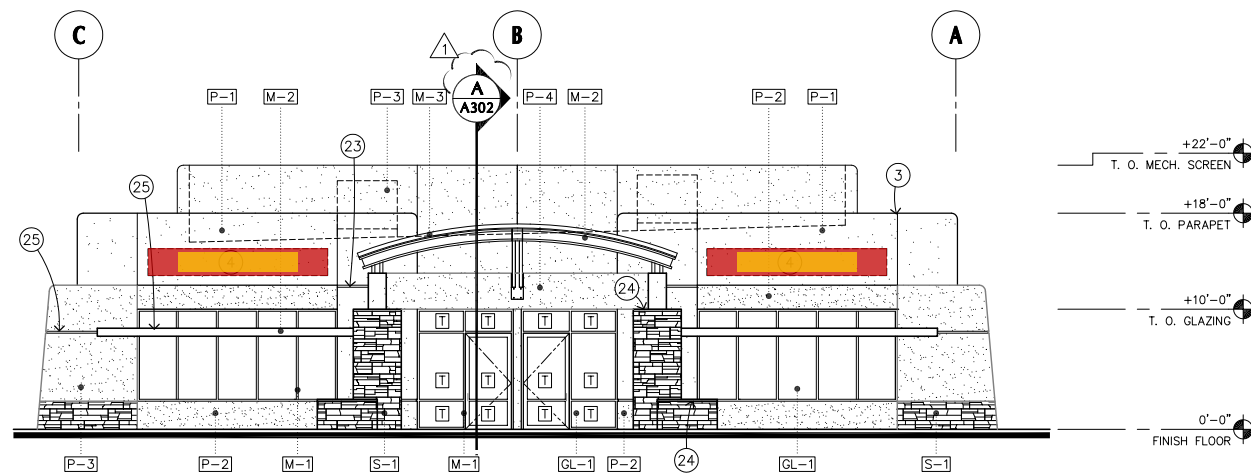
SCALING: 1/16" = 1'-0"



EASTERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [19.25"(H) X 120" (W) ÷ 144 = 16.00SF PER]

SCALING: 1/16" = 1'-0"



NORTHERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [19.25"(H) X 120" (W) ÷ 144 = 16.00SF PER]

SCALING: 1/16" = 1'-0"

■ = LDC REQUIREMENTS 4.409.B.3.b.5 STATES:

WALL SIGNS ON BUILDING ELEVATIONS ABUTTING PROPERTY DESIGNATED FOR RESIDENTIAL USE IN A GENERAL PLAN SHALL:

- NOT BE ILLUMINATED;
- NOT TO EXCEED (16) SQUARE FEET IN SIGN AREA; AND
- BE INSTALLED NO HIGHER THAN (14) FOURTEEN FEET ABOVE GRADE.

APPROVED
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 Case # DR06-50-S-A
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COMPREHENSIVE SIGN PROGRAM

TIERRA OFFICE PARK
 1434, 1440, 1454, 1460, 1466, 1478, 1488
 WEST ELLIOT ROAD
 GILBERT, ARIZONA 85233

MANAGEMENT



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 2122 EAST HIGHLAND AVENUE | SUITE 450 | PHOENIX, ARIZONA 85016
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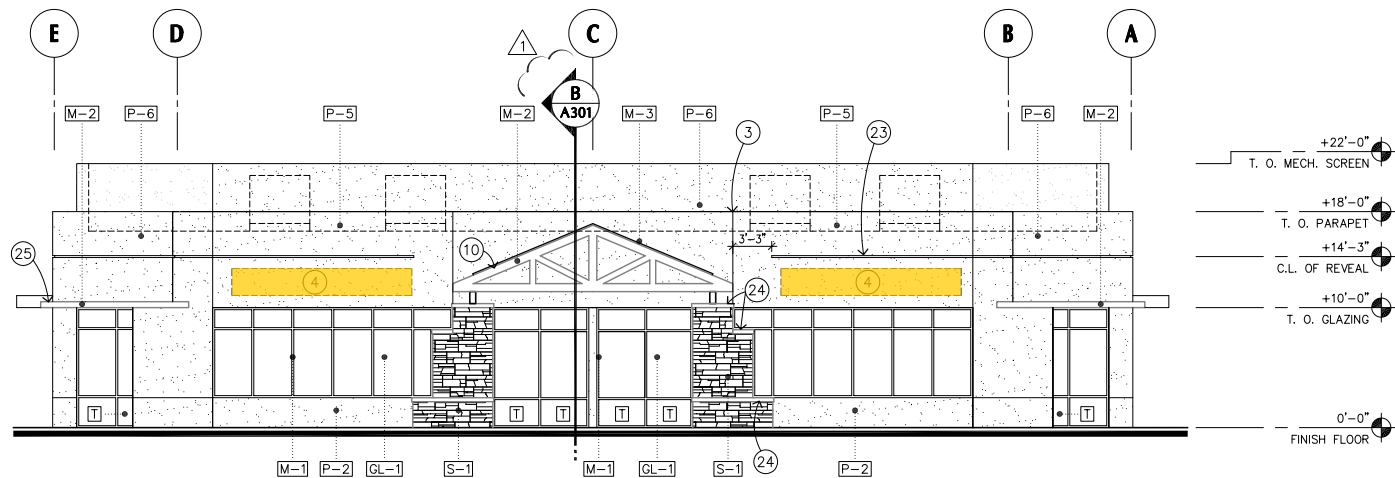
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STYLE B Building [1][6] Demonstrated

■ = LDC REQUIREMENTS 4.409 PERMANENT SIGNS:

(6) i. WALL SIGN AREA: BUILDINGS ONE-STORY IN HEIGHT.

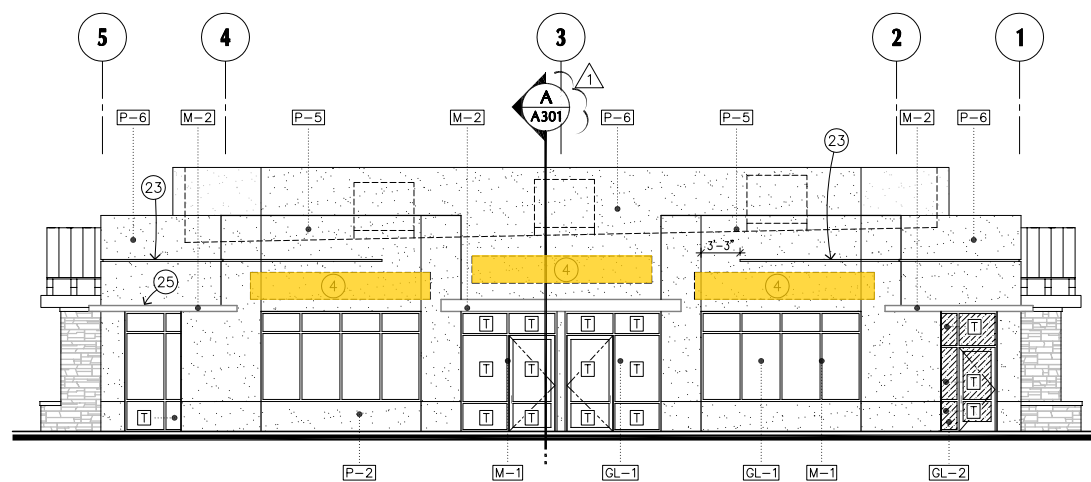
1. MINIMUM WALL SIGN AREA - (32) SQUARE FEET
2. MAXIMUM WALL SIGN AREA - NO GREATER THAN SIGN ALLOWANCE AREA FOR: (A) THE LONGEST BUILDING ELEVATION OF THE TENANT OR USER SUITE FACING THE STREET, OR (B) THE LENGTH OF THE BUILDING ELEVATION OF THE TENANT OR USER SUITE WHERE ITS PRINCIPLE ENTRANCE IS LOCATED.
3. SIGN ALLOWANCE AREA - BUILDING SET-BACK (75) FEET OR LESS OF RIGHT-OF-WAY [(1) SQ.FT. : (1) LINEAL FT.], BUILDING SET-BACK (75) FEET OR MORE OF RIGHT-OF-WAY [(1.5) SQ.FT. : (1) LINEAL FT.]



SOUTHERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 180"(W)]

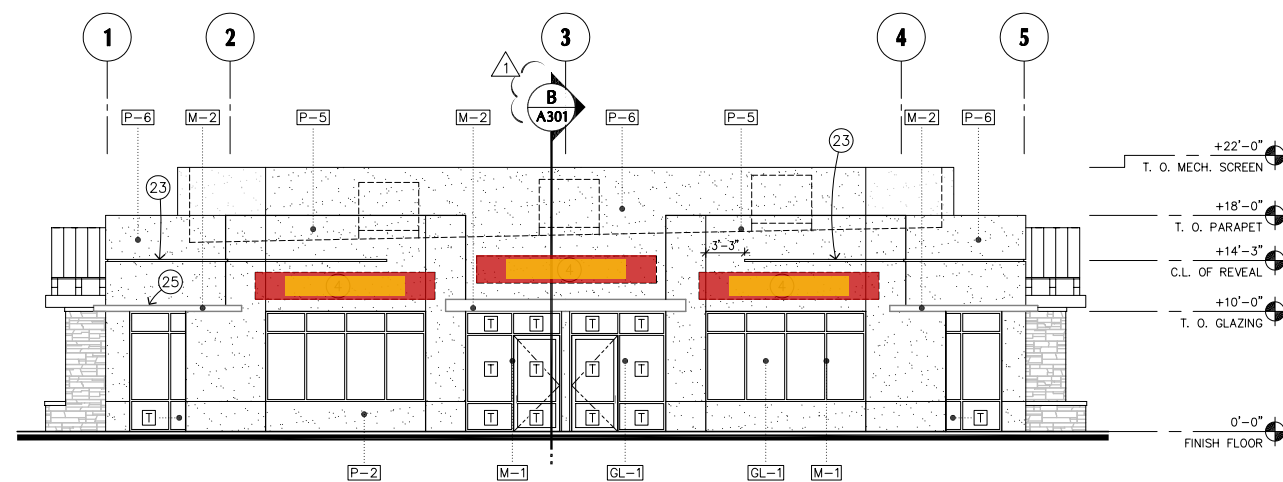
SCALING: 1/16" = 1'-0"



WESTERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 180"(W)]

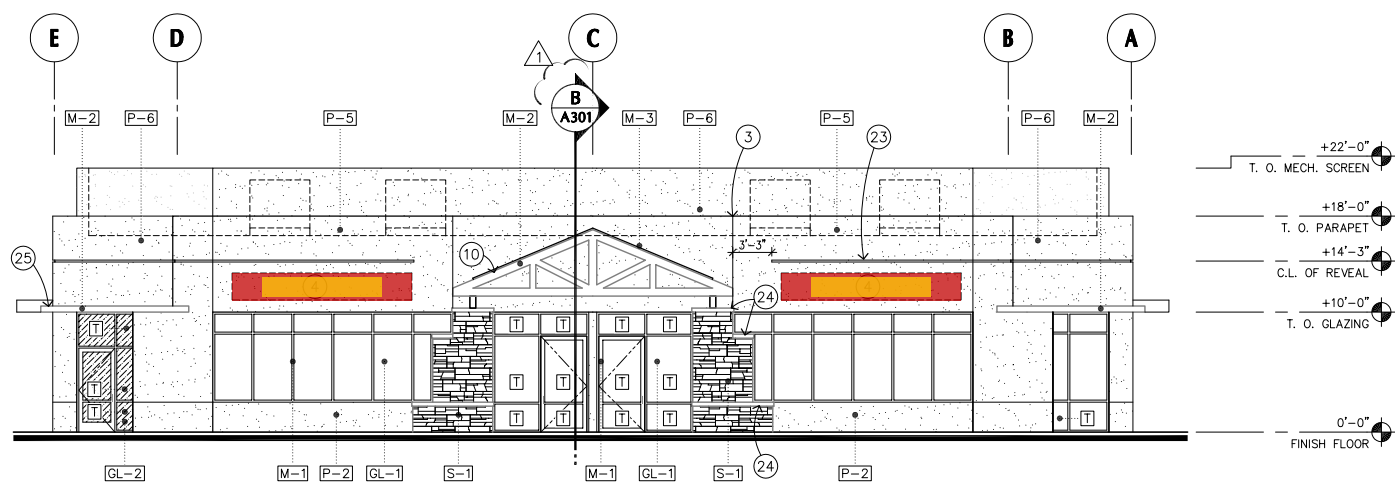
SCALING: 1/16" = 1'-0"



EASTERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [19.25"(H) X 120"(W) ÷ 144 = 16.00SF PER]

SCALING: 1/16" = 1'-0"



NORTHERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [19.25"(H) X 120"(W) ÷ 144 = 16.00SF PER]

SCALING: 1/16" = 1'-0"

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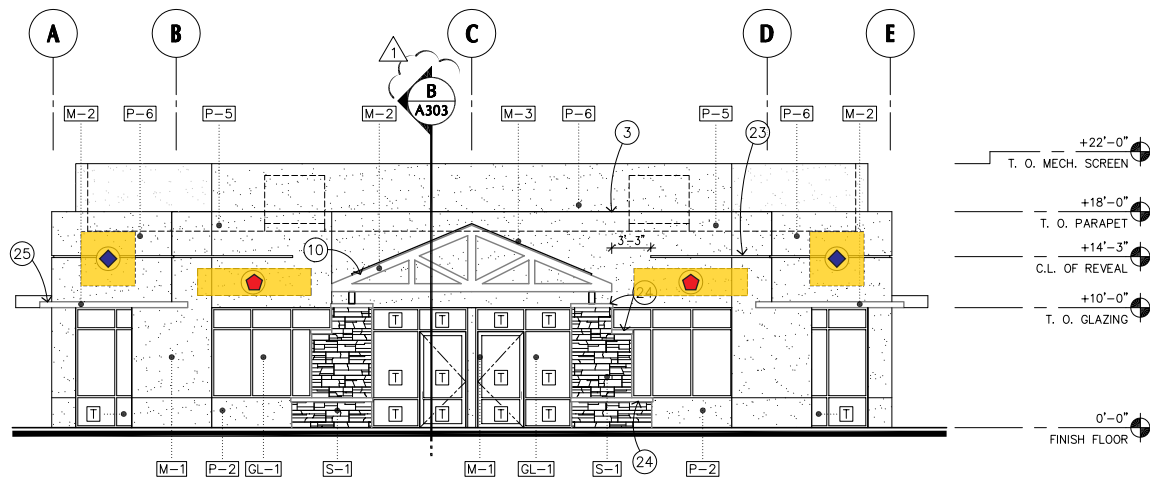
STYLE B1 Building [3][4] Demonstrated

■ = LDC REQUIREMENTS 4.409 PERMANENT SIGNS:

(6) i. WALL SIGN AREA: BUILDINGS ONE-STORY IN HEIGHT.

1. MINIMUM WALL SIGN AREA - (32) SQUARE FEET
2. MAXIMUM WALL SIGN AREA - NO GREATER THAN SIGN ALLOWANCE AREA FOR: (A) THE LONGEST BUILDING ELEVATION OF THE TENANT OR USER SUITE FACING THE STREET, OR (B) THE LENGTH OF THE BUILDING ELEVATION OF THE TENANT OR USER SUITE WHERE ITS PRINCIPLE ENTRANCE IS LOCATED.
3. SIGN ALLOWANCE AREA - BUILDING SET-BACK (75 FEET OR LESS OF RIGHT-OF-WAY [(1) SQ.FT. : (1) LINEAL FT.], BUILDING SET-BACK (75 FEET OR MORE OF RIGHT-OF-WAY [(1.5) SQ.FT. : (1) LINEAL FT.]

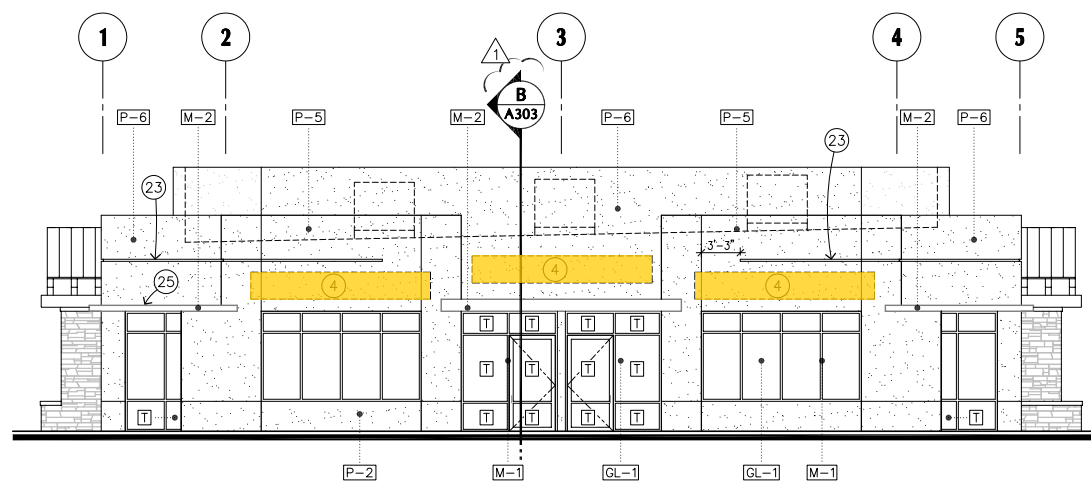
◆ = ONLY ALLOWED IF TENANT OCCUPIES ENTIRE BUILDING TO MAKE SQUARE FOOTAGE SIGN ALLOWANCE MORE CONGRUENT TO ENTIRE COMPLEX ALLOWANCE



SOUTHERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 113" (W) ÷ 144 = 21.20SF PER] ◆ [54"(H) X 54" (W) ÷ 144 = 20.25SF PER]

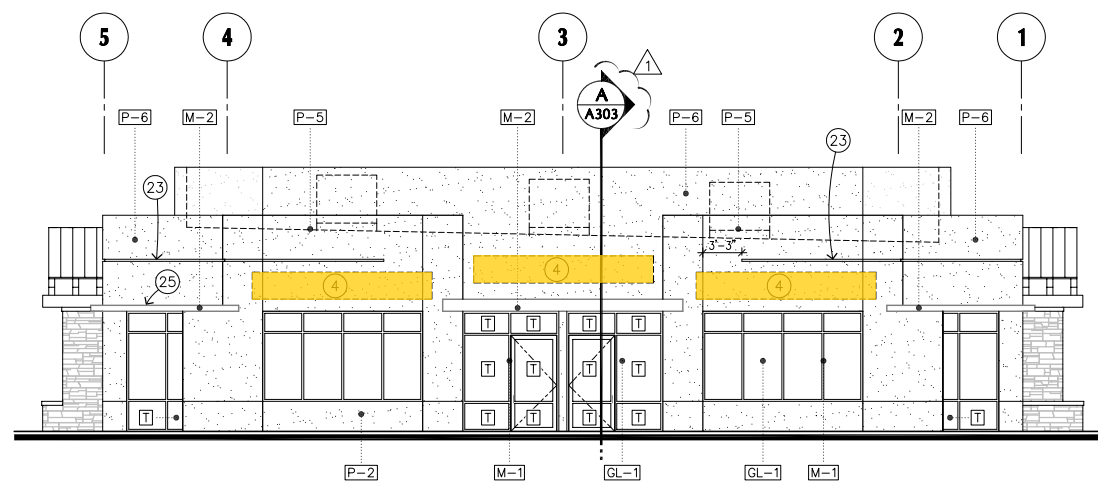
SCALING: 1/16" = 1'-0"



WESTERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 180" (W)]

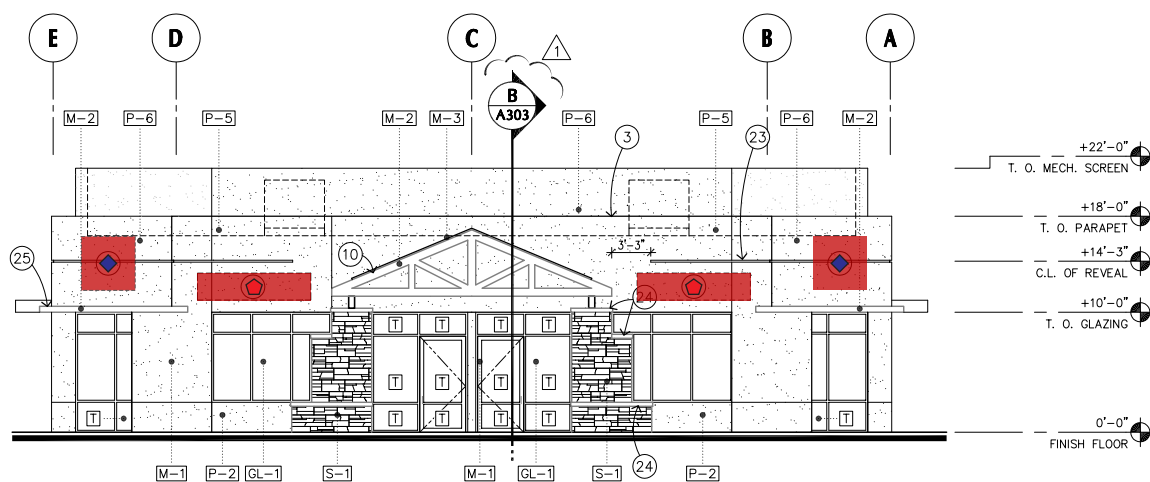
SCALING: 1/16" = 1'-0"



EASTERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 180" (W)]

SCALING: 1/16" = 1'-0"



NORTHERN ELEVATION

■ = IDENTIFIED SIGN LOCATION & AREA [27"(H) X 113" (W) ÷ 144 = 21.20SF PER] ◆ [54"(H) X 54" (W) ÷ 144 = 20.25SF PER]

SCALING: 1/16" = 1'-0"

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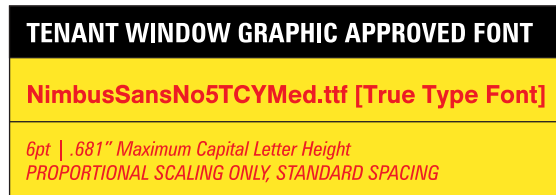
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C S/F NON-ILLUMINATED TENANT GRAPHICS

SCALE : 1" = 1'-0" **1.16 SQ.FT. TOTAL ALLOWANCE**

MANUFACTURE AND INSTALL (1) ONE SET OF SINGLE-FACED NON-ILLUMINATED TENANT VINYL WINDOW GRAPHICS AS FOLLOWS:

"BUSINESS LOGO, ADDRESS, CONTACT INFORMATION, BUSINESS HOURS", AS SPEC'D 3M™ SCOTCHCAL™ ELECTRO-CUT™ OPAQUE WHITE VINYL TENANT GRAPHICS APPLIED (1ST) SURFACE TO SIDELIGHT WINDOW AS DEMONSTRATED.

***** REQUIRES LANDLORD APPROVAL ON LAYOUT. REQUIRES WINDOWS TO BE PROFESSIONALLY CLEANED REMOVING ALL DIRT AND FOREIGN DEBRIS FROM GLASS SURFACE FOR OPTIMAL ADHESION.**



4'-1" [GRADE TO TOP OF TENANT GRAPHIC]

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- SPECIFICATION NOTES**
- ALUMINUM ARCH EMBELLISHMENT IS PAINTED MANSARD BROWN TO MATCH COMPLEX COLORATION.
 - ALUMINUM MAIN CABINET IS PAINTED FRAZEE 7755D TANNERY TO MATCH COMPLEX COLORATION. STREET SIDE OF CABINET IS ROUTED-OUT WITH PUSH-THRU ACRYLIC ILLUMINATED WITH WHITE L.E.D.S.
 - (1") DEEP PUSH-THRU ACRYLIC I.D. HEADER COPY WITH (1ST) SURFACE TRANSLUCENT VINYL OVERLAYS & (2ND) SURFACE DIFFUSER VINYL UNDERLAYS.
 - SIDE-BASE(S) ARE ALUMINUM CONSTRUCTED SKINNED WITH EL DORADO LEDGE STONE DURANGO TO MATCH COMPLEX.
 - (5") ADDRESS NUMBERS ARE FLAT-CUT-OUT [F.C.O.] (1/2") CLEAR ACRYLIC PAINTED TO SPECIFICATIONS.

D D/F INTERNALLY-ILLUMINATED COMPLEX ID MONUMENT [MAJOR]
 SCALE: 1/2" = 1'- 0" PERMITTING: 42.00 SF TOTAL [60.00 SF MAXIMUM]

Scope of Work
 Manufacture and install one (1) D/F internally-illuminated complex ID monument with push-thru I.D. Copy.



tierra

OFFICE PARK

COMPREHENSIVE SIGN PROGRAM

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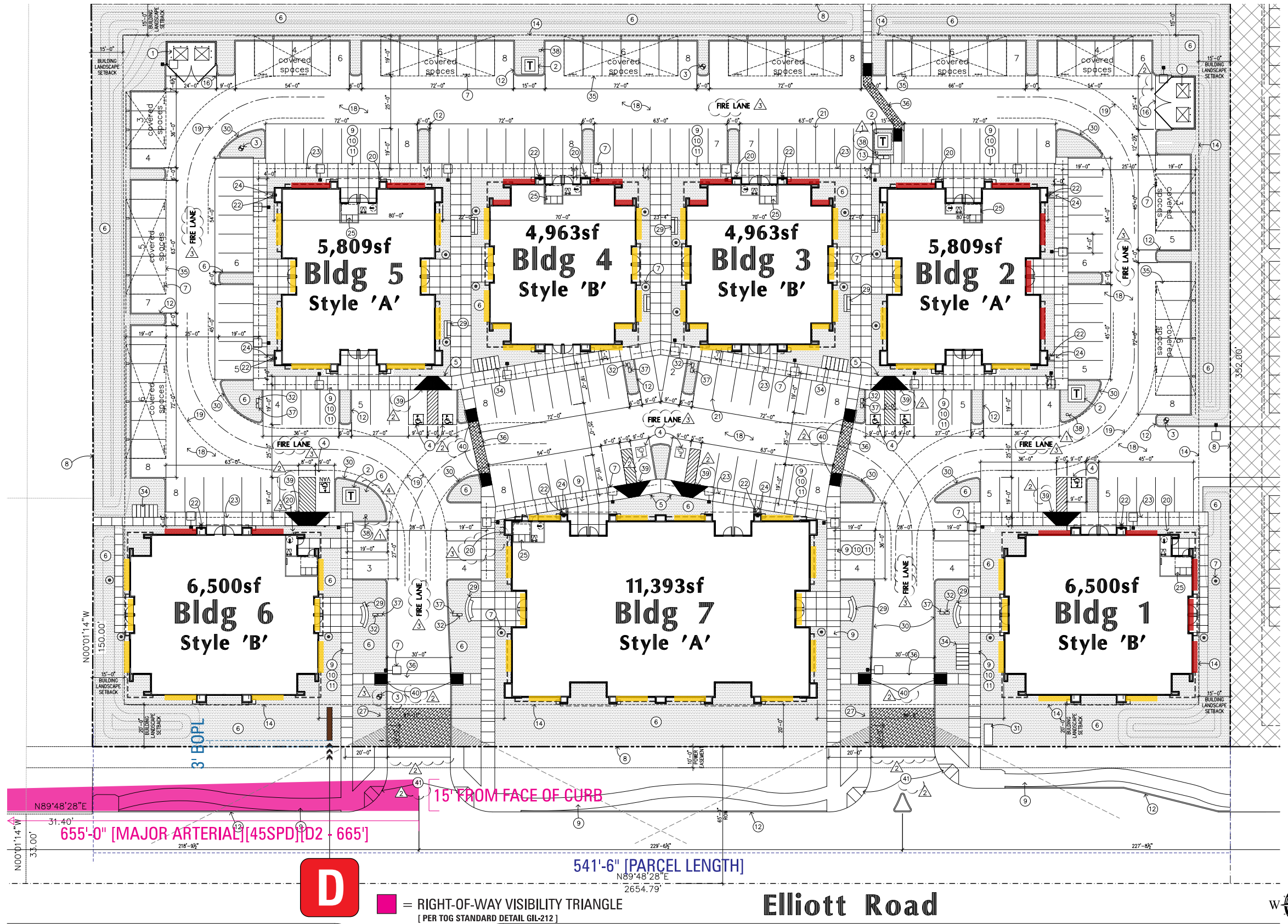
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Case #

2/5/2019

Date



SITE PLAN SCALE: 1" = 50'-0"

