



NOTICE OF DECISION

October 16, 2019

Scott Hudson
Arizona Commercial Signs
4018 E. Winslow Ave
Phoenix, AZ 85040
shudson@arizonacommercialsigns.com

RE: DR19-100 (DR07-29-A): Spectrum Centre CSP Amendment

Dear Applicant:

Staff has reviewed and **approved** your Administrative Design Review **DR19-100 (DR07-29-A)**, regarding the approval of the amendment to the CSP for the Spectrum Centre located at the northeast corner of Pecos Road and Val Vista Drive zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

Staff has reviewed the revised drawings received for the Administrative Design Review regarding the Spectrum Centre Comprehensive Sign Program (CSP) DR19-100 (DR07-29-A). Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:

1. Signs shall conform to the approved Comprehensive Sign Plan as attached.

If you have any questions regarding the above, please contact me at (480) 503-6721 or Sydney.bethel@gilbertaz.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "SB", with a stylized flourish.

Sydney Bethel
Planner II

Attachments:

1. Project Narrative
2. Amended Spectrum Centre CSP
3. Original Spectrum Centre CSP (DR07-29)



June 20, 2019

Project Narrative for
Administrative Amendment to Existing
Comprehensive Sign Plan.

The existing Comprehensive Sign Plan for the Spectrem Centre at 1660 E. Pecos Road in Gilbert AZ was approved on May 10, 2007.

Arizona Commercial Signs is requesting an Administrative Amendment to the existing Comprehensive Sign Plan. The requested changes are:

- The removal and modification of the Circle K sign. The existing sign will be removed and relocated in front of the Circle K building located on their parcel. The new sign would contain the Circle K Logo and an Electronic Message Board for gas pricing.
- Three (3) additional monument signs. Each sign would be 12' in height and 60 sq feet. The monument signs would integrate the colors and architecture of the new buildings.
- The existing architectural structure at the corner of Pecos and Val Vista would be revised to contain a halo illuminated sign that identifies the center as the Spectrem Centre.
- The allowable sign area on the buildings would be a maximum of 80% height and length of the sign band areas.

If you have questions, contact:

Scott Hudson

480-921-9900

Shudson@arizonacommercialsigns.com

APPROVED

Administrative Design Review

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Administrative Design Review
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D **DIVERSIFIED PARTNERS**
Nationwide Real Estate Services

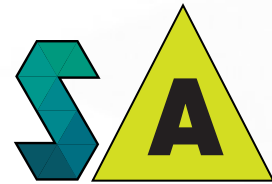
SPECTREM CENTRE
1660 EAST PECOS ROAD
GILBERT, ARIZONA 85295

CONTACT: ALEXANDRA SCHUCHTER
PHONE: 480.205.9625
EMAIL: ALEXANDRA@DPCRE.COM



ARIZONA COMMERCIAL SIGNS
4018 EAST WINSLOW AVENUE
PHOENIX, ARIZONA 85040

CONTACT: SCOTT HUDSON
PHONE: 602.570.1912
EMAIL: SHUDSON@ARIZONACOMMERCIALSIGNS.COM



Dunn Edwards® Paint
"Lynx"
DE6035
SATIN SMOOTH FINISH

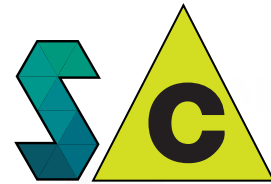
Coronado® Stone
"Carmel Mountain"
Idaho Drystack
MATTE SMOOTH FINISH



Dunn Edwards® Paint
"Desert Suede"
DE6206
SATIN SMOOTH FINISH

Dunn Edwards® Paint
"Trail Dust"
DE6123
SATIN SMOOTH FINISH

Superlite® Block
"Plum"
Plum Precision
MATTE SMOOTH FINISH



3M™ Scotchcal™
Translucent 3630-86
"Blue Lagoon"
MATTE FINISH

3M™ Scotchcal™
Translucent 3630-246
"Teal Green"
MATTE FINISH

3M™ Scotchcal™
Translucent 3630-56
"Glacier Green"
MATTE FINISH

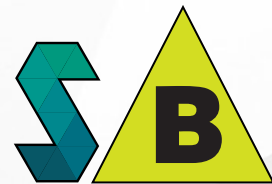


Matthews® Paint
"Black"
SOA929SP
SATIN FINISH

3M™ Scotchcal™
Translucent 3630-236
"Turquoise"
MATTE FINISH

3M™ Scotchcal™
Translucent 3630-216
"Blue Coral"
MATTE FINISH

Matthews® Paint
"Brushed Aluminum"
41342SP
SATIN FINISH



PPG® Porter Paints
"Knights Armor"
518-6 LRV 11
FINE GRAIN MONTEX
STUCCO FINISH

PPG® Porter Paints
"Eiffel Tower"
521-5 LRV 27
FINE GRAIN MONTEX
STUCCO FINISH



PPG® Porter Paints
"Granite"
521-6 LRV 14
FINE GRAIN MONTEX
STUCCO FINISH

Dunn Edwards® Paint
"Teal Fury"
DE5762
SATIN SMOOTH FINISH

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This criteria has been developed to insure design compatibility among all signs at "SPECTREM CENTRE". Conformance to this criteria will be strictly enforced. Any sign installed that is not conforming to this criteria and not approved by Landlord must be removed or brought into conformance by the Applicant and/or its Sign Contractor.

The Landlord shall approve all signs, in writing, prior to installation. Sign permits must be obtained from the Town of Gilbert. Tenant's sign company must provide Landlord with (3) three sets of building elevations with all details.

The following is a description of the design criteria:

GENERAL SIGNAGE REQUIREMENTS

Any reference herein to the word Tenant or Tenants shall be construed to be the same as Owner or Owners.

1. The Landlord shall review the shop drawings and specification (2) two sets and Return (1) one set to Tenant marked "Approved", "Approved as Noted", or "Revised and Re-Submit".
2. "Revised and Re-Submit" drawings will be returned to the Tenant with comments. These drawings shall be revised by the Tenant and re-submitted to Landlord for its approval.
3. Upon receipt of Landlord approval, Tenant shall proceed with the Town of Gilbert permit process. Subsequent to city approval, Tenant may proceed with installation.
4. No signs, advertisements, notices, or other lettering shall be exhibited, inscribed, painted, or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of Developer/Landlord.
5. Tenant or its representatives shall obtain all permits for its exterior sign and its installation. Tenant shall be responsible for all requirements and specifications.
6. Tenant shall have the sole responsibility for compliance with all applicable status/codes, ordinances, or other regulations for all work performed on the premises by or on behalf of the Tenant.
7. The Landlord's approval of Tenant's plans, specifications, calculations, or work shall not constitute an implication, representation, or certification by Landlord that said items are in compliance with applicable statutes/codes, ordinances, or other regulations set forth in the Town of Gilbert Land Development Code.
8. All signage is subject to the Town of Gilbert approval and this master sign exhibit. Developer/Landlord will support all applications for signs in compliance with this exhibit but cannot guarantee city approval.
9. All signage shall be constructed and installed at Tenant's expense.
10. Tenant and the Tenant's Contractor shall be responsible for the repair of any damage caused by installation or removal of signage.
11. All sign bolts, fastenings, sleeves, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
12. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
13. Any penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
14. All exposed metals shall be painted to render them inconspicuous.
15. No exposed tubing, conduit, or raceways will be permitted. All conductor, transformers, and other equipment shall be concealed.
16. All electrical signs shall bear the UL Label and be mounted on top of letters.
17. All signs shall conform to Uniform Building Code Standards.

18. All electrical signs shall conform to National Electrical Code Standards.
19. Tenant shall be liable for the operation of their Sign Contractor.
20. Painted lettering will not be permitted.
21. Flashing, moving, or audible signs will not be permitted.
22. Wall signs shall consist of individual LED face and halo-illuminated pan-channel letters on flat or pan backer(s). These letters shall be mounted on the building fascia in the area allocated for sign by the Landlord.
23. All signage for Tenants shall calculate by the following formula: buildings with set-backs equal to or less than (75) Seventy-Five Feet from right-of-way sign area is (1) One square foot of sign area to (1) One linear foot of occupied building elevation, buildings with set-backs equal to or more than (75) Seventy-Five Feet from right-of-way sign area is (1.5) One and a half square foot of sign area to (1) One linear foot of occupied building elevation. No sign to exceed 80% occupied suite building elevation. Maximum sign area to be no greater than the total sign allowance area set forth above for (a) the longest building elevation of the tenant or user suite facing the street, or (b) the length of the building elevation of the tenant or user suite where its principle entrance is located.
24. Letter style(s) and color(s) shall be subject to the approval by the Landlord.

TENANT STOREFRONT SIGNAGE

1. Type of Signage: Face & Halo Illuminated Pan-Channel Letters mounted 1.5" off building fascia to a flat or pan backer.
2. Tenant's sign color(s) to be determined by Tenant, with landlord approval.
3. LED color to be white.
4. Copy may not exceed sign band area.

FREESTANDING SIGNAGE

The design of all monument signs and panels are subject to review and approval by landlord. All freestanding signs shall be "monument" style and must compatible with the architecture of center.

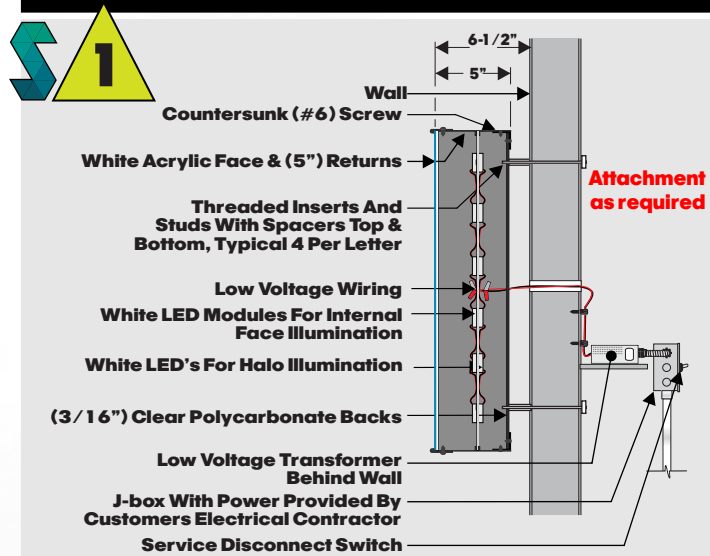
1. Three (3) monument sign(s) are allowed per arterial street frontage for a total of (6) for the entire center.
2. Sign(s) shall be located in such a manner which will not present any traffic hazards.
3. The maximum sign area for the sign is (60) square feet.
4. The maximum height of the sign is twelve (12) feet above grade with two (2) foot architectural element at the top of the sign. Copy must be above (2) feet from grade to (10) feet. No copy above (10) feet.
5. Sign(s) shall maintain a minimum spacing between of one hundred (100) feet from any other monument sign on the same street frontage.

All other sign types permanent and/or temporary signs shall follow the rules and regulations set forth in the Town of Gilbert Land Development Code, Article 4.4, Sign Regulations. All sign types shall be reviewed by the Landlord prior to applying for permits.

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INSTALLATION/BUILD INSTRUCTIONS

LED ILLUMINATED FACE & HALO ILLUMINATED CHANNEL LETTERS WITH POLYCARBONATE BACKS & REMOTE TRANSFORMERS



UL This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. E213532 This includes proper grounding and bonding of the sign.

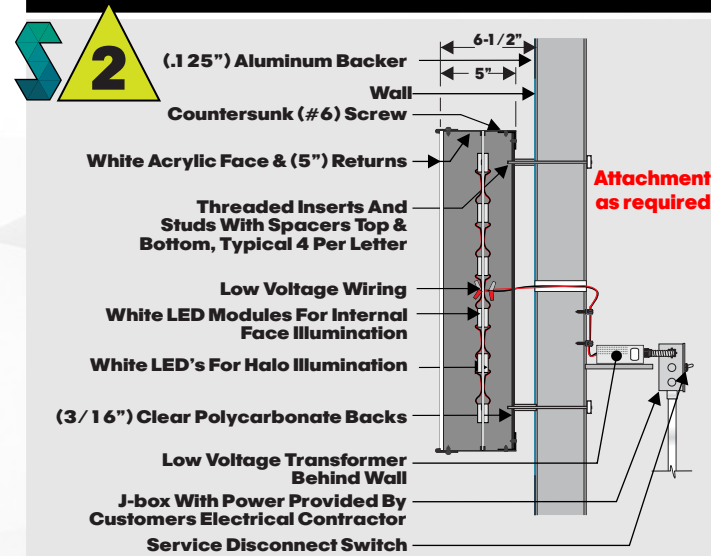
UL SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES. E213532



THIS SIGN DISPLAY COMPLIES WITH CCR TITLE 24, PART 6, SECTION 148.

INSTALLATION/BUILD INSTRUCTIONS

LED ILLUMINATED FACE & HALO ILLUMINATED CHANNEL LETTERS WITH POLYCARBONATE BACKS & REMOTE TRANSFORMERS - BACKER



UL This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. E213532 This includes proper grounding and bonding of the sign.

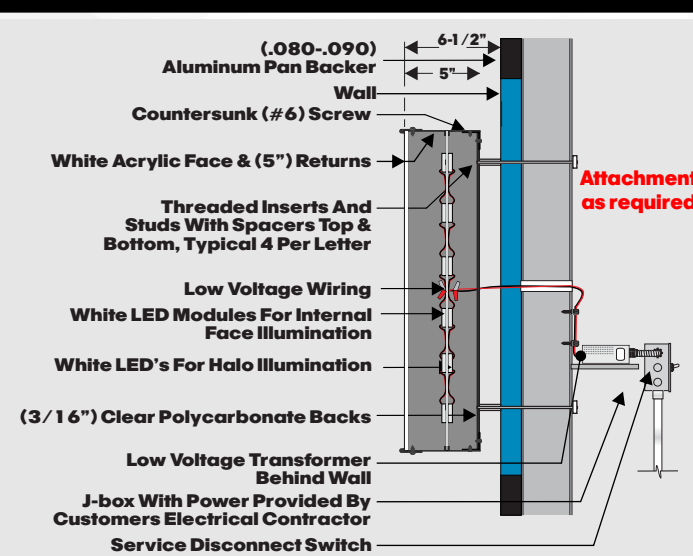
UL SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES. E213532



THIS SIGN DISPLAY COMPLIES WITH CCR TITLE 24, PART 6, SECTION 148.

INSTALLATION/BUILD INSTRUCTIONS

LED ILLUMINATED FACE & HALO ILLUMINATED CHANNEL LETTERS WITH POLYCARBONATE BACKS & REMOTE TRANSFORMERS - PAN BACKER



UL This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. E213532 This includes proper grounding and bonding of the sign.

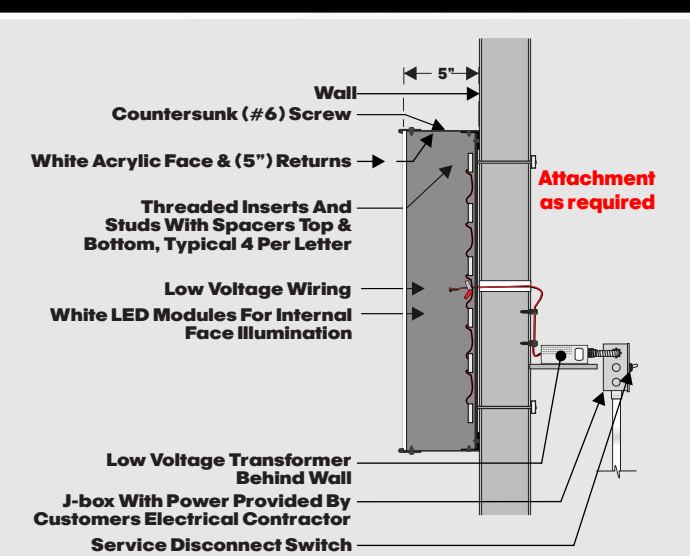
UL SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES. E213532



THIS SIGN DISPLAY COMPLIES WITH CCR TITLE 24, PART 6, SECTION 148.

INSTALLATION/BUILD INSTRUCTIONS

LED ILLUMINATED FACE ILLUMINATED CHANNEL LETTERS REMOTE TRANSFORMERS - FLUSH MOUNT



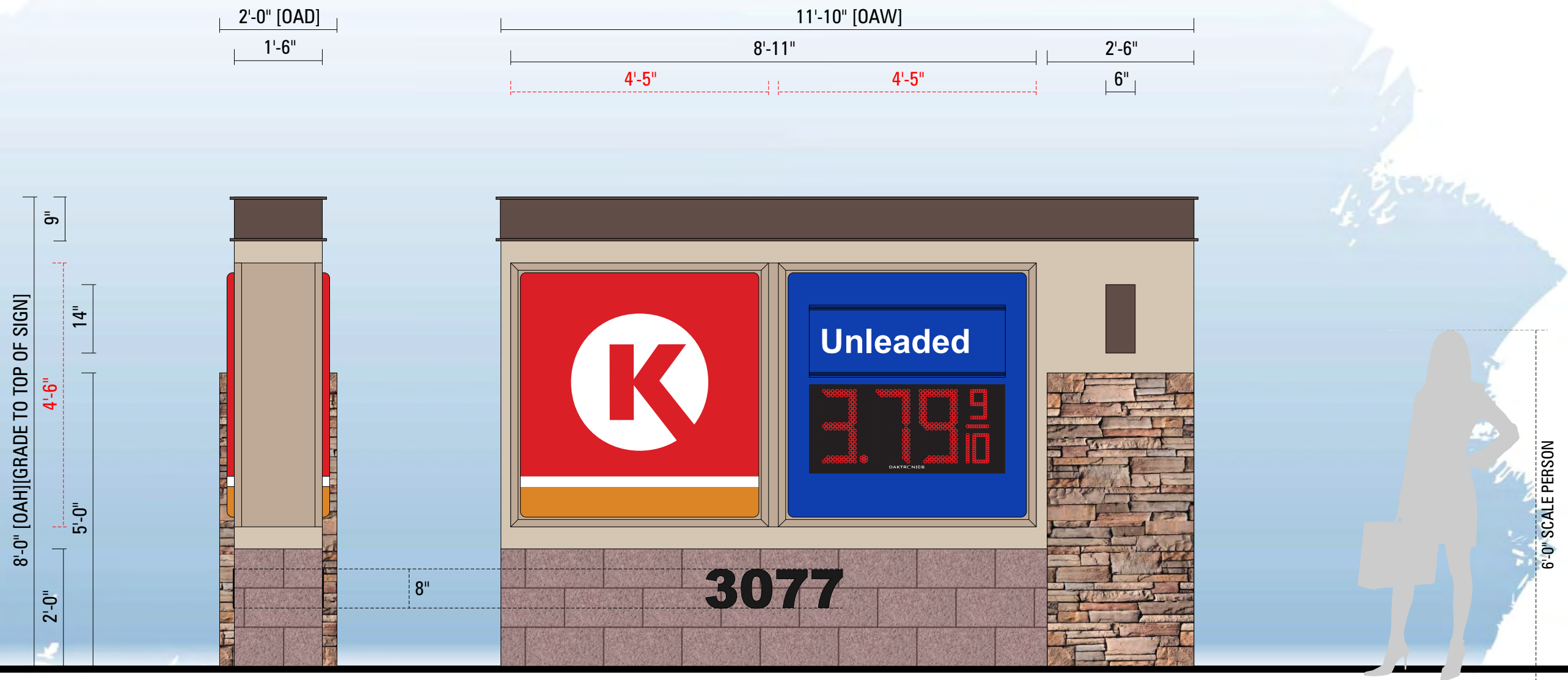
UL This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. E213532 This includes proper grounding and bonding of the sign.

UL SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES. E213532



THIS SIGN DISPLAY COMPLIES WITH CCR TITLE 24, PART 6, SECTION 148.

TO BE DONE AT LATER DATE



INTERNALLY-ILLUMINATED DOUBLE-FACED MONUMENT STRUCTURE

REMOVE FROM EXISTING ONSITE LOCATION, RETROFIT, PERMIT, RE-INSTALL IN NEW PROPOSED ONSITE LOCATION PER A.S.A. ENGINEERING STANDARDS.

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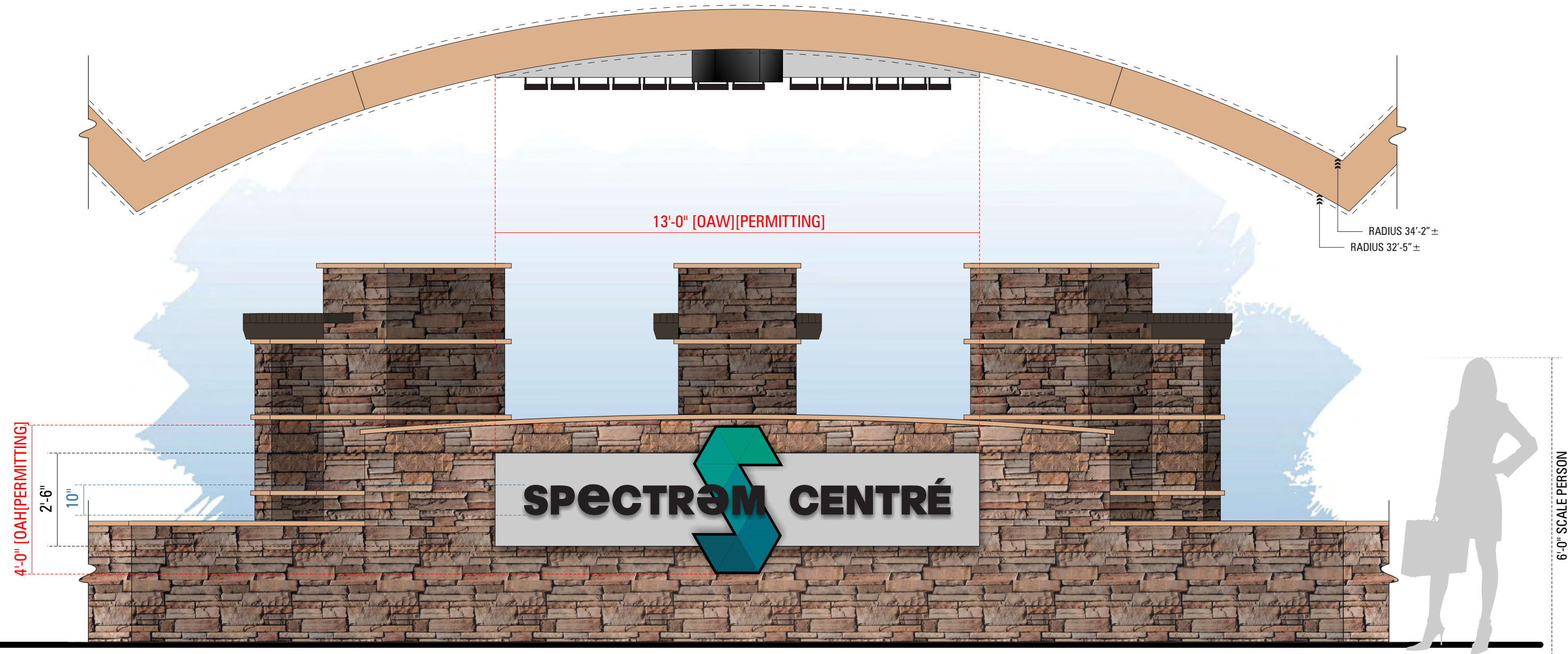
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40SF



PLAN VIEW



HALO & INTERNALLY-ILLUMINATED SINGLE-FACED GATEWAY R.P.C. STRUCTURE

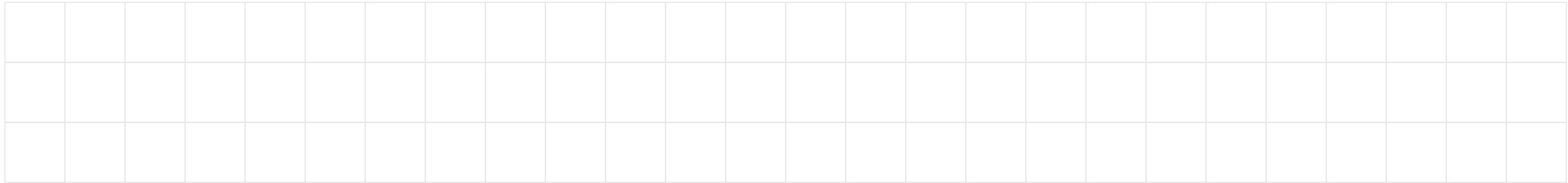
52SF

DESIGN, PERMIT, MANUFACTURE, INSTALL IN NEW PROPOSED ONSITE LOCATION PER A.S.A. ENGINEERING STANDARDS.

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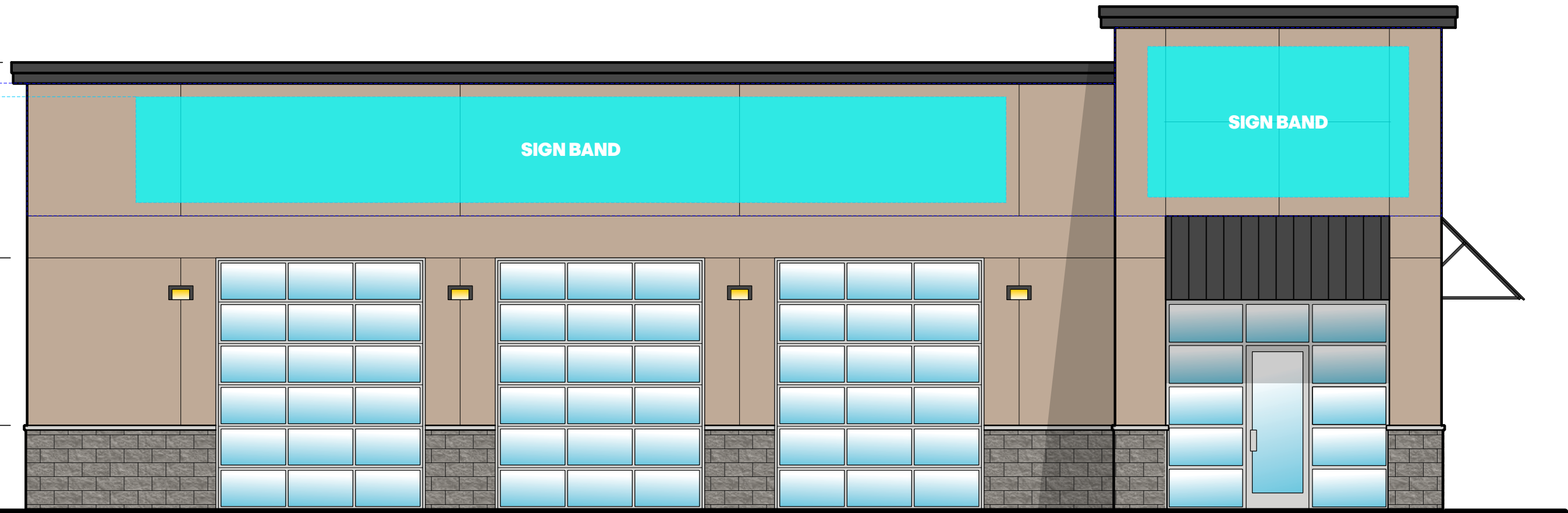




67'-9" [TOTAL LINEAR FRONTAGE]

EASTERN ELEVATION - SCALE: 3/16" = 1'-0"

- ARCHITECTURALLY DESIGNATED SIGN LOCATION (100%)
- T.O. PARAPET 21'-4"
- MAXIMUM ALLOWABLE SIGN AREA (80%)
- T.O. ROLL UP DOOR 12'-0"
- T.O. WAINSCOT 4'-0"
- F.F.L. 0'-0"



HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

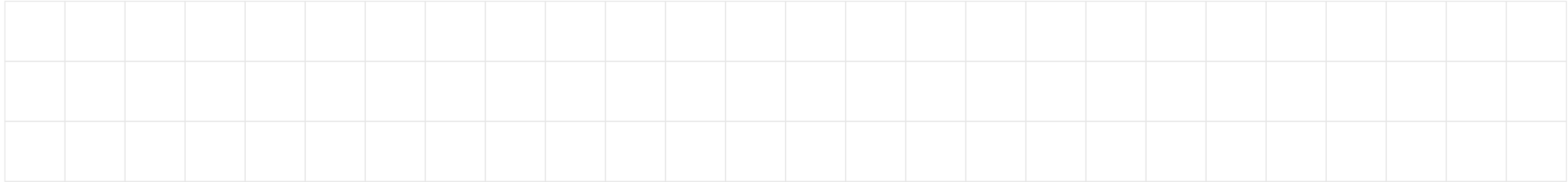
DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.

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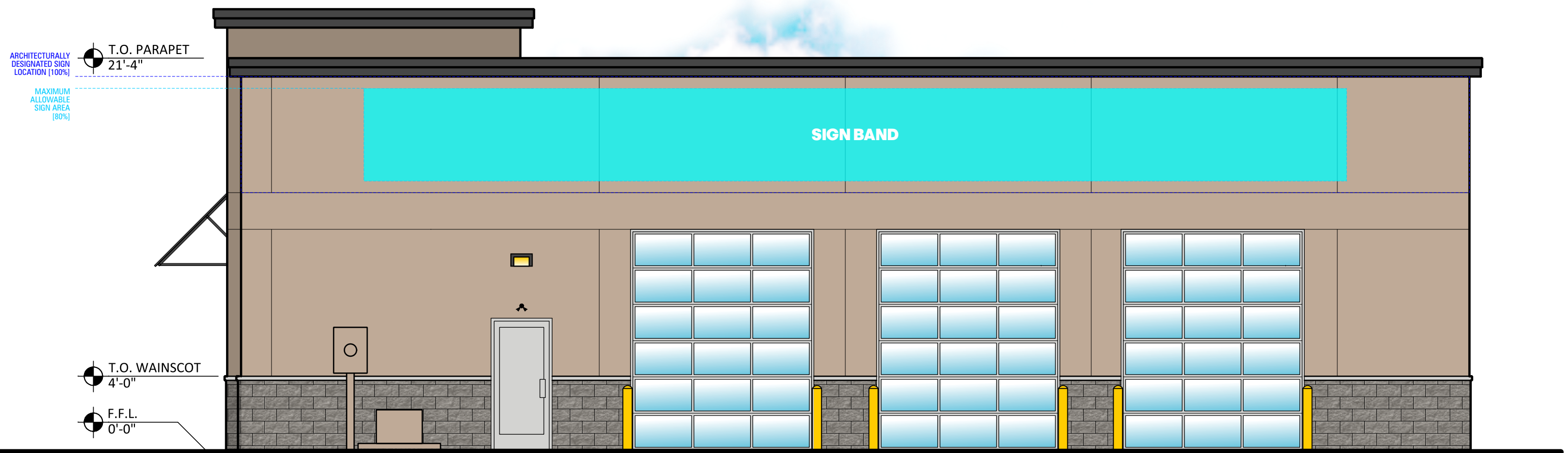
OOSF





67'-9" [TOTAL LINEAR FRONTAGE]

WESTERN ELEVATION - SCALE: 3/16" = 1'-0"



HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.

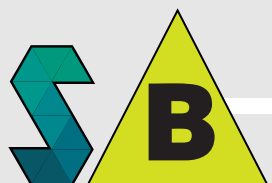
APPROVED

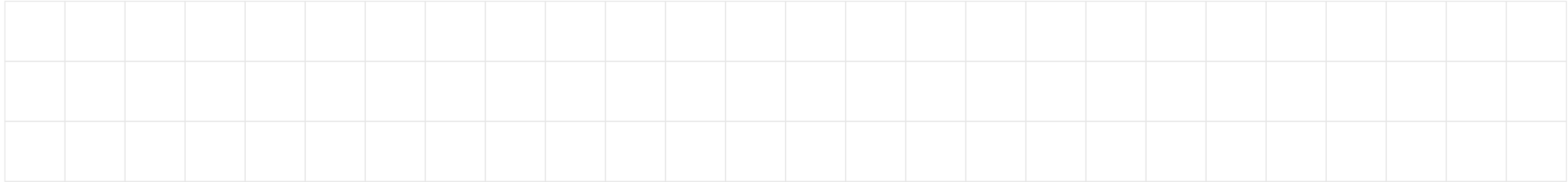
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OOSF





31'-3" [TOTAL LINEAR FRONTAGE]

SOUTHERN ELEVATION - SCALE: 3/16" = 1'-0"



HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.

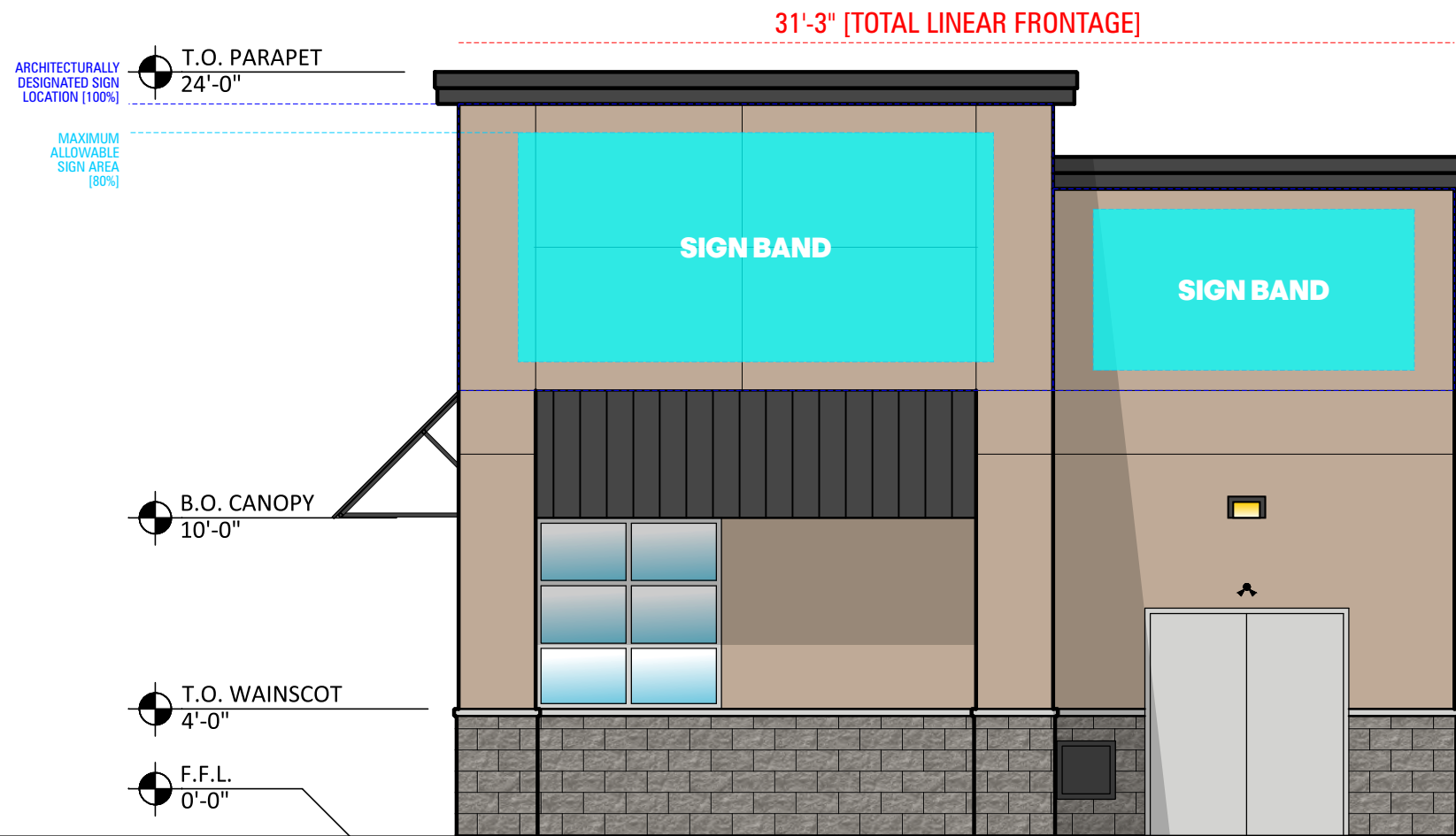
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NORTHERN ELEVATION - SCALE: 3/16" = 1'-0"



HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.

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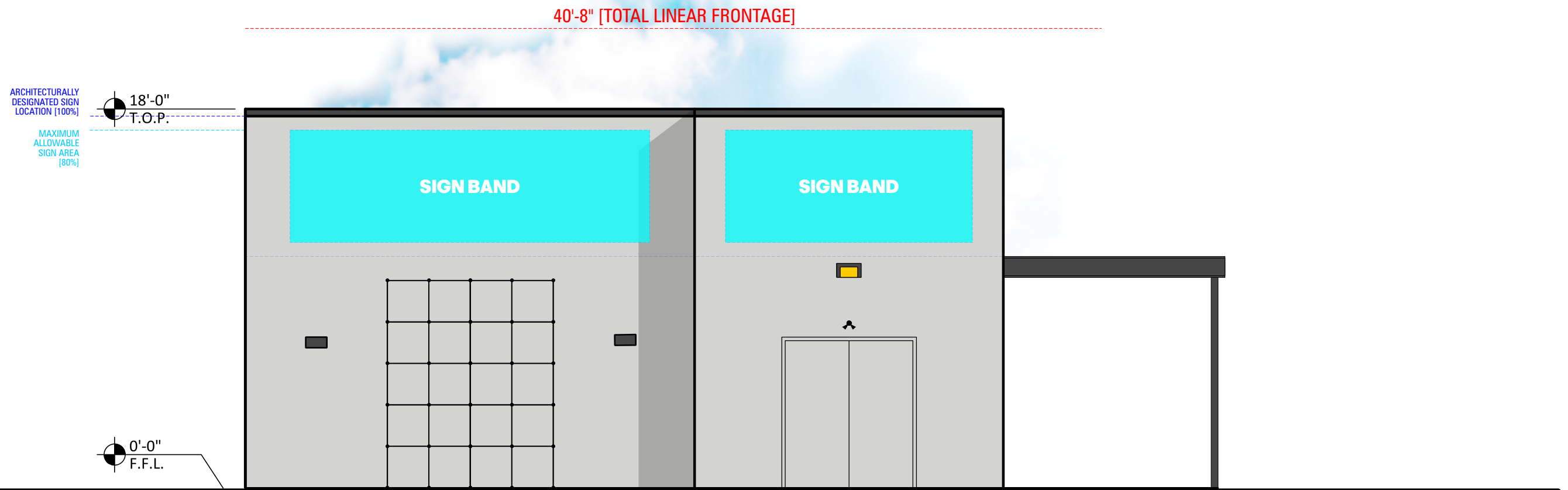
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EASTERN ELEVATION - SCALE: 3/16" = 1'-0"



HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

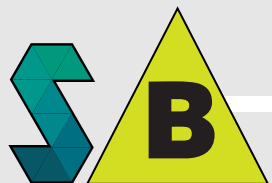
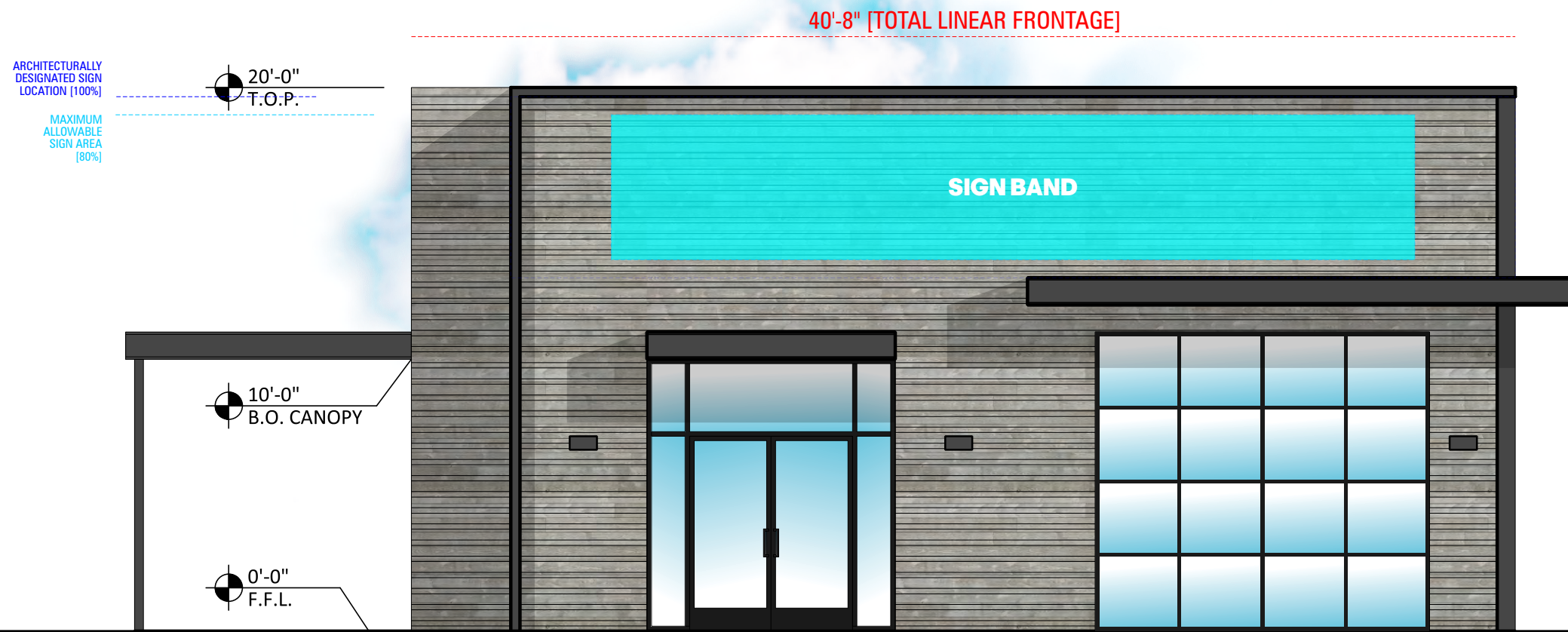
DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.

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WESTERN ELEVATION - SCALE: 3/16" = 1'-0"



HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.

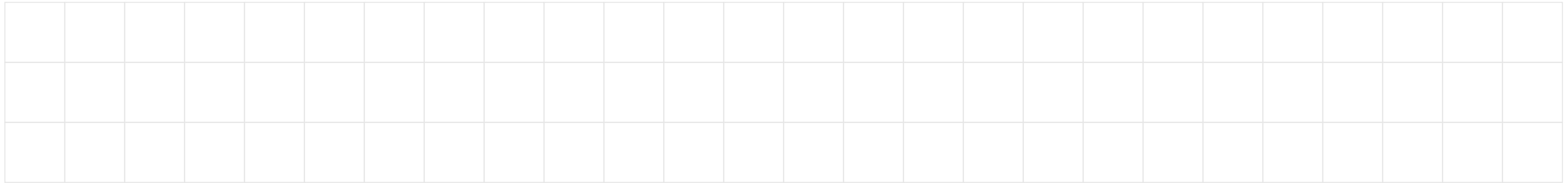
APPROVED

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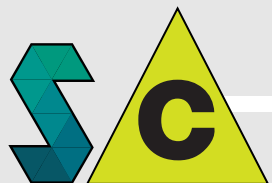
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SOUTHERN ELEVATION - SCALE: 3/16" = 1'-0"



HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.

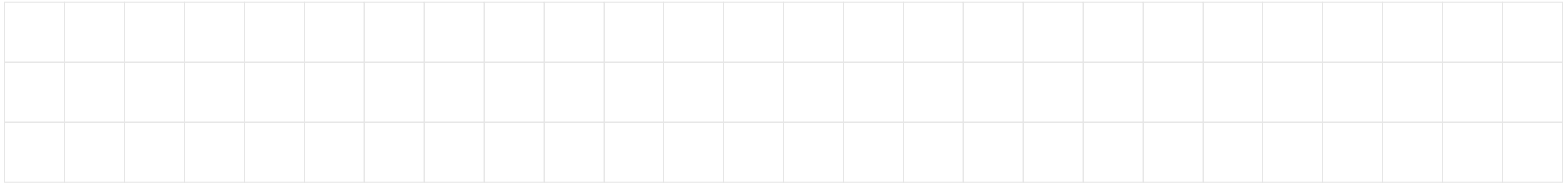
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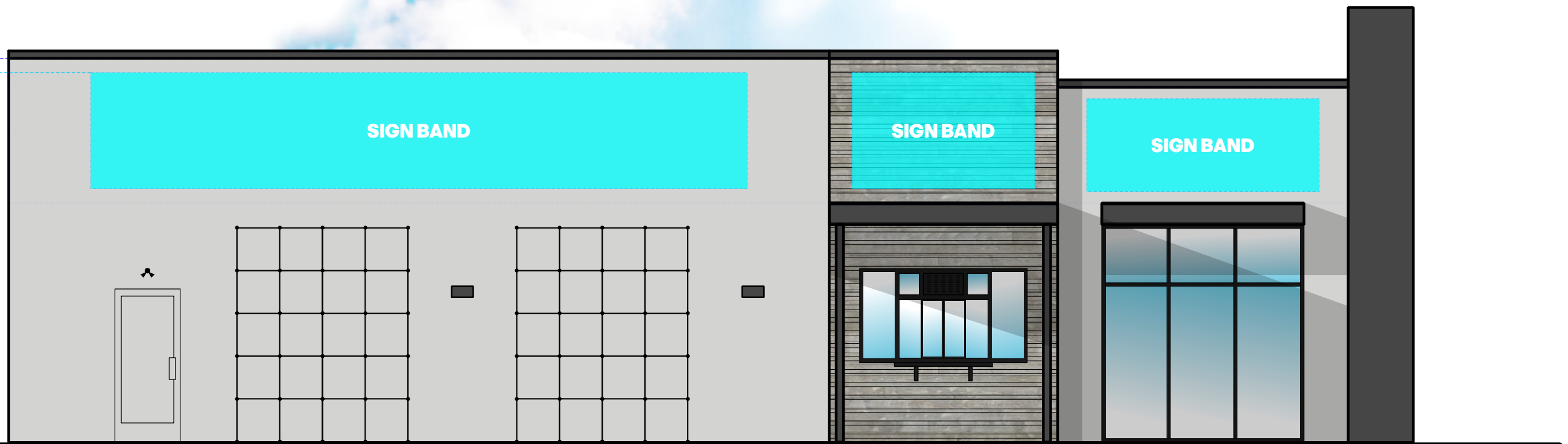
NORTHERN ELEVATION - SCALE: 3/16" = 1'-0"

64'-8" [TOTAL LINEAR FRONTAGE]

ARCHITECTURALLY DESIGNATED SIGN LOCATION [100%]
MAXIMUM ALLOWABLE SIGN AREA [80%]

18'-0"
T.O.P.

0'-0"
F.F.L.



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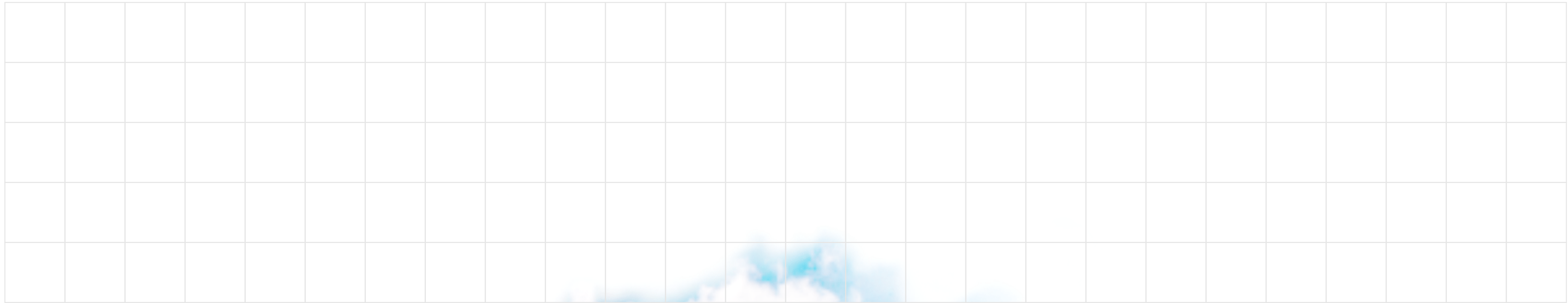
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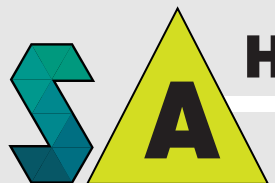
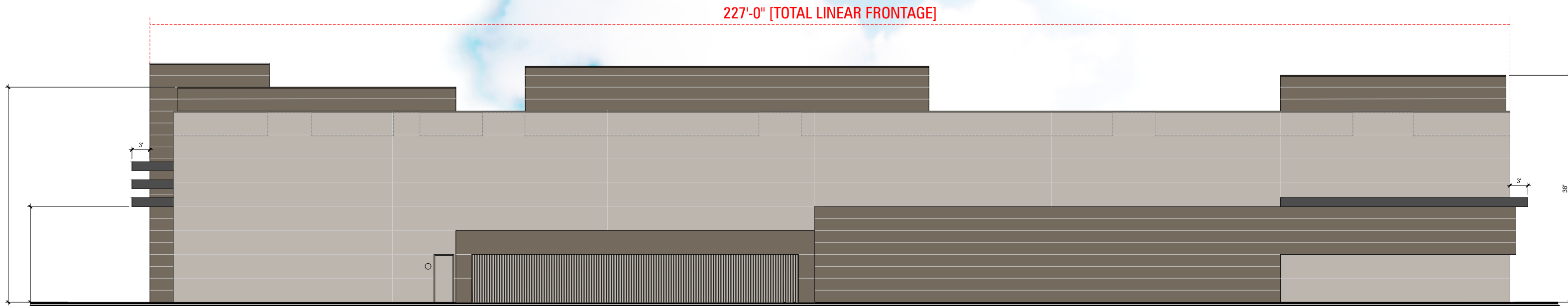


HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.



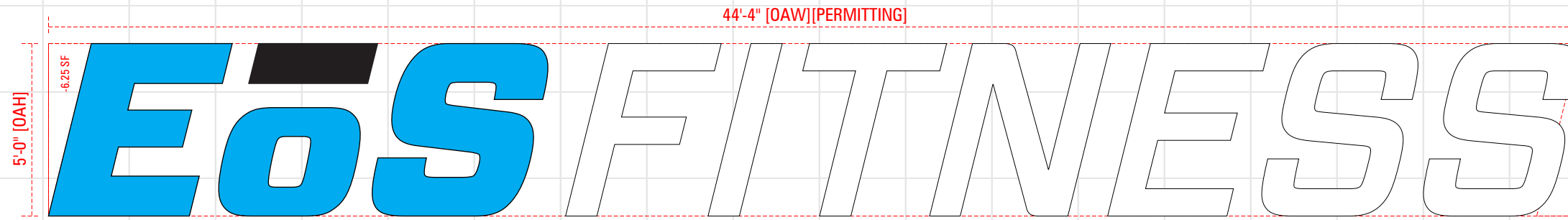
EASTERN ELEVATION - SCALE: 1/16" = 1'-0"



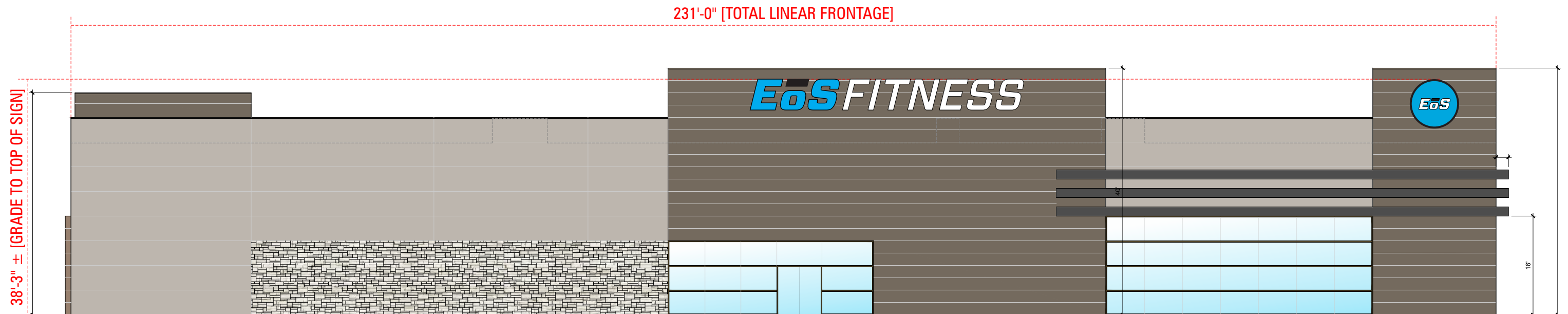
HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

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WESTERN ELEVATION - SCALE: 1/16" = 1'-0"



HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.

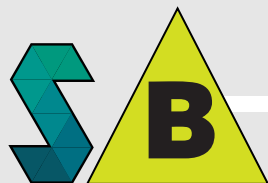
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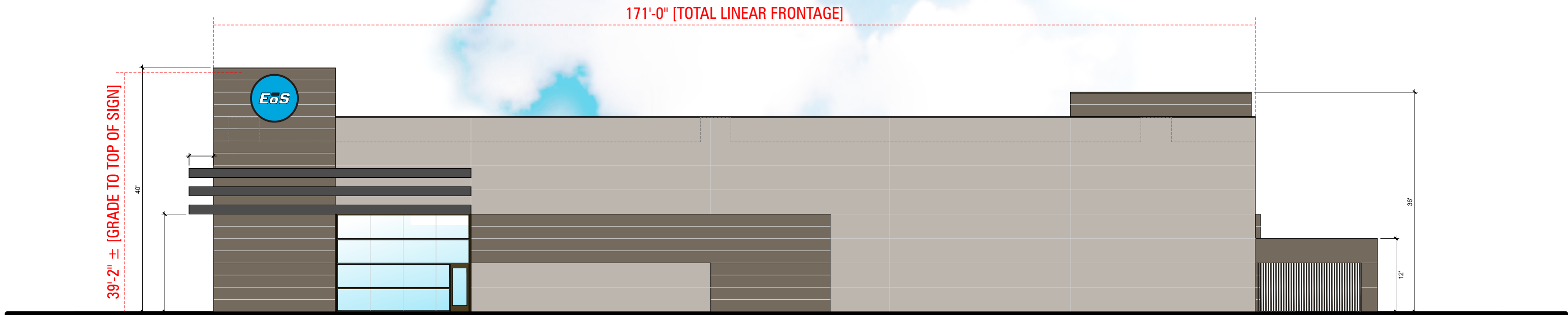
280 SF





(2) TWO TOTAL: (1) SOUTHERN ELEV. (1) WESTERN ELEV.

SOUTHERN ELEVATION - SCALE: 1/16" = 1'-0"



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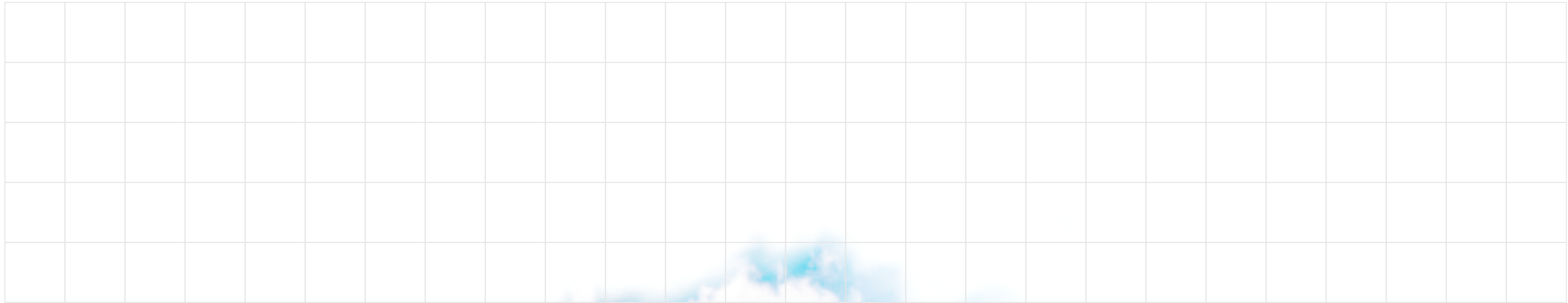
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64 SF

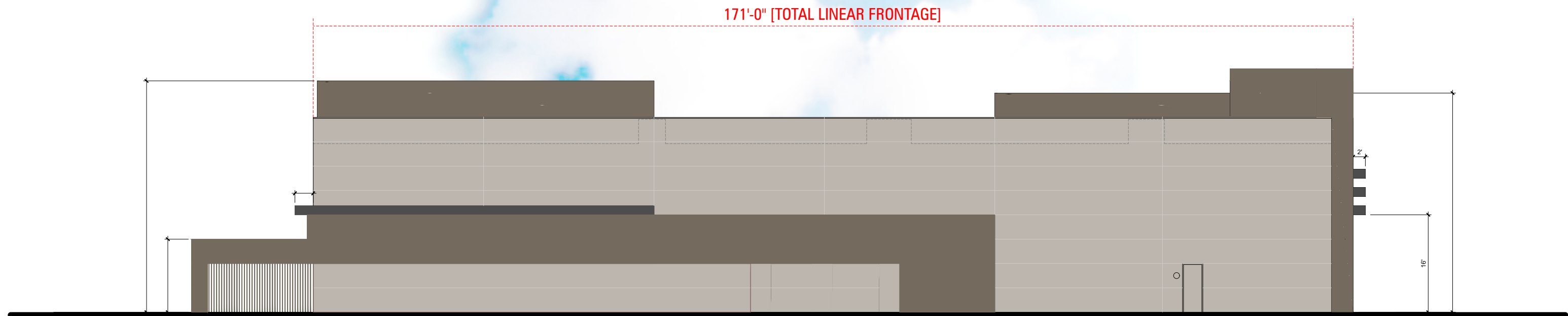
HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.





NORTHERN ELEVATION - SCALE: 1/16" = 1'-0"



APPROVED

Administrative Design Review

Case # DR19-100 (DR07-29-A)

Date October 16, 2019

000 SF

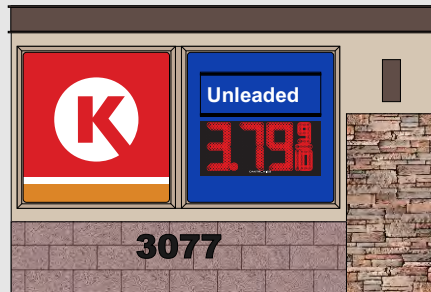
HALO & INTERNALLY-ILLUMINATED PAN CHANNEL WALL DISPLAY(S)

DESIGN, PERMIT, MANUFACTURE & INSTALL UL LISTED ILLUMINATED PAN CHANNEL WALL SIGNAGE PER A.S.A. SIGN ENGINEERING STANDARDS.



SA

TO BE DONE AT LATER DATE



SCALE: 3/16" = 1'-0"

SB

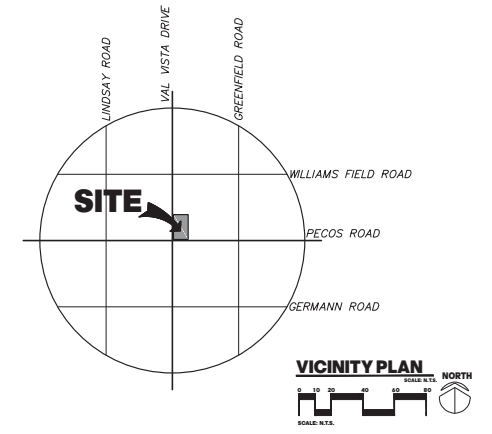
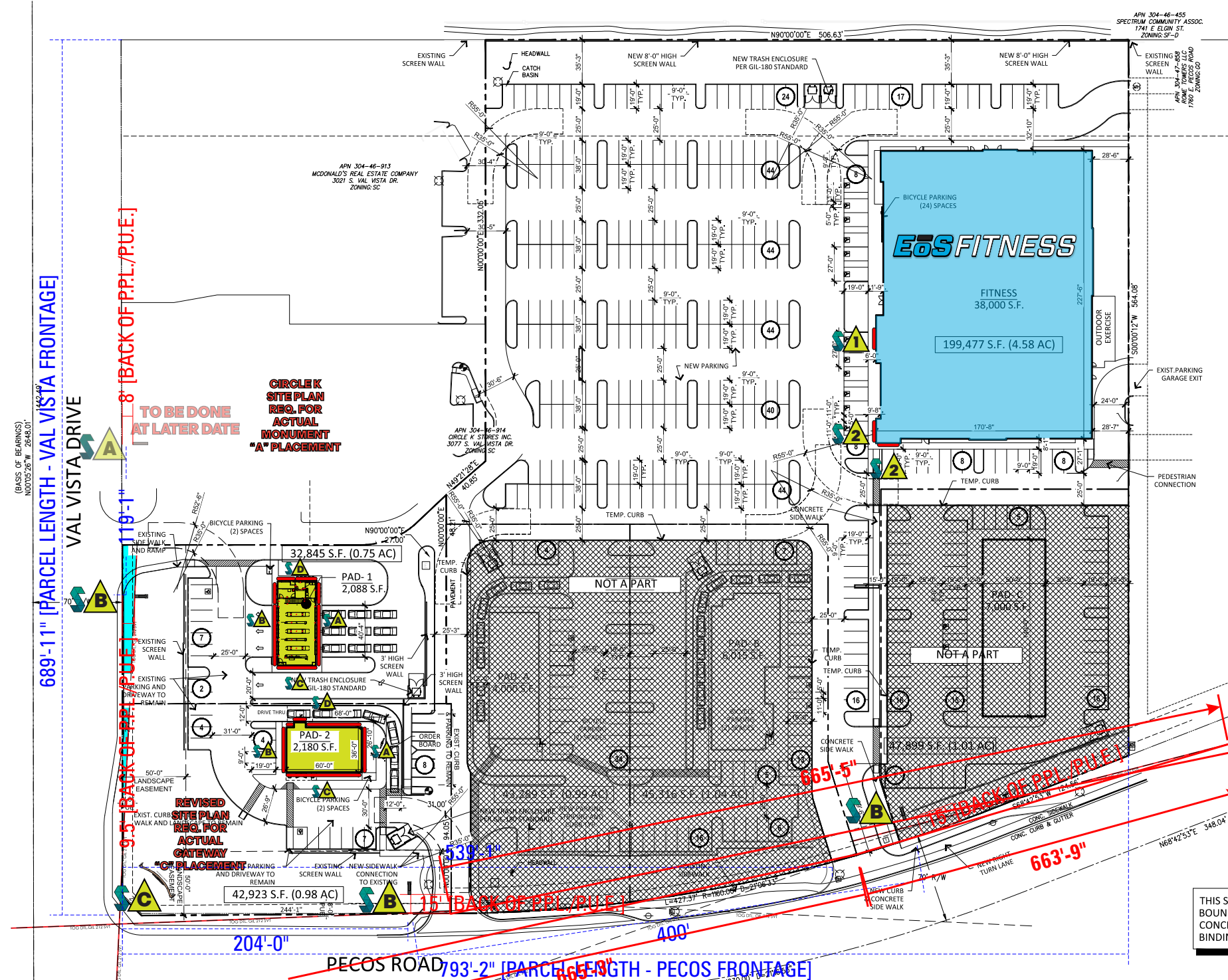


SCALE: 3/16" = 1'-0"

SC



SCALE: 3/16" = 1'-0"



PROJECT PERMIT INFORMATION

PROJECT ADDRESS:
**1660 EAST PECOS ROAD
 GILBERT, ARIZONA 85295**

PROJECT SUBDIVISION:
SPECTRUM CENTRE

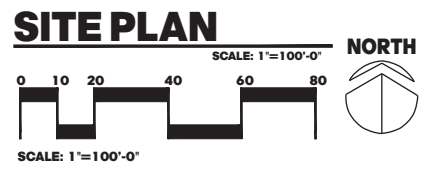
ARIZONA PARCEL NUMBER (APN):
304-46-915

PROPERTY ZONING:
SC (Shopping Center)

PARCEL USE CODE (PUC):
0021

MARICOPA COUNTY RECORDS (MCR):
903-19

JURISDICTION:
TOWN OF GILBERT - MARICOPA COUNTY

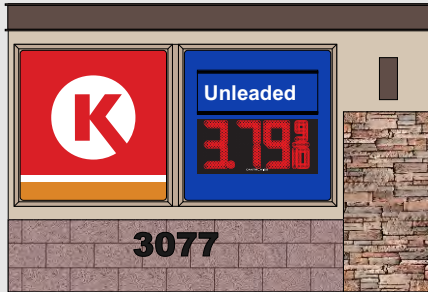


THIS SITE PLAN HAS BEEN PREPARED WITHOUT THE AID OF A SURVEY. ALL PROPERTY BOUNDARIES ARE ROUGH APPROXIMATIONS. THIS DRAWING IS TO BE USED FOR CONCEPTUAL PURPOSES ONLY AND IT IS NOT TO BE THE BASIS FOR ANY LEGALLY BINDING DOCUMENTATION.

APPROVED
 Administrative Design Review
 Case # DR19-100 (DR07-29-A)
 Date October 16, 2019



TO BE DONE AT LATER DATE



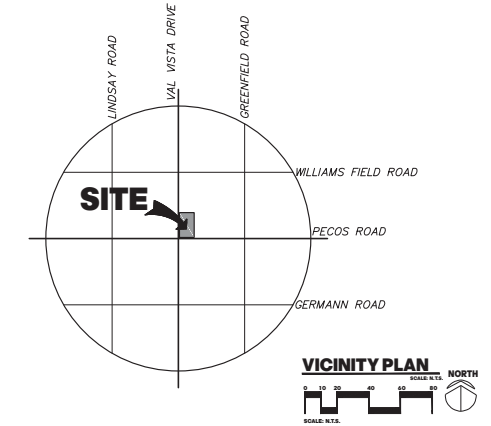
SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"

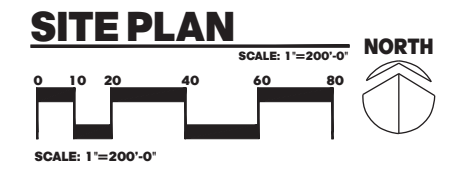


SCALE: 3/16" = 1'-0"



PROJECT PERMIT INFORMATION

- PROJECT ADDRESS:**
 ■ 1660 EAST PECOS ROAD
 GILBERT, ARIZONA 85295
- PROJECT SUBDIVISION:**
 ■ SPECTRUM CENTRE
- ARIZONA PARCEL NUMBER (APN):** ■ 304-46-915
 ■ 304-46-916
- PROPERTY ZONING:** ■ SC [Shopping Center]
- PARCEL USE CODE (PUC):** ■ 0021
- MARICOPA COUNTY RECORDS (MCR):** ■ 903-19
- JURISDICTION:**
 ■ TOWN OF GILBERT - MARICOPA COUNTY





DESIGN REVIEW BOARD STAFF REPORT

AGENDA #

13

TO: DESIGN REVIEW BOARD

FROM: MIKE MILILLO, SENIOR PLANNER *[Signature]*

THROUGH: MARIA S. CADAVID, AICP, PRINCIPAL PLANNER *[Signature]*

MEETING DATE: MAY 10, 2007

SUBJECT: DR07-29: SPECTRUM CENTRE, COMPREHENSIVE SIGN PROGRAM LOCATED AT THE NORTHEAST CORNER OF PECOS ROAD AND VAL VISTA DRIVE

REQUEST

Approval of the Comprehensive Sign Program for the Spectrum Centre shopping center, located at the northeast corner of Pecos Road & Val Vista Drive.

RECOMMENDED MOTION

Move to approve the findings and DR07-29 for the Comprehensive Sign Program for the Spectrum Centre development located at the northeast corner of Pecos Road and Val Vista Drive, subject to conditions.

APPLICANT/OWNER

Mr. James Carpentier
 YESCO
 6725 W. Chicago Street
 Chandler, AZ 85226
 V: 480-449-3726
 F: 480-961-5923

GCPI, LLC
 2231 E. Camelback Rd. #215
 Phoenix, AZ 85016
 V: 602-468-6100
 F: 602-468-6103

HISTORY

- March 9, 2006* The Design Review Board approved the Spectrum Centre development (DR05-102)
- May 11, 2006* The Design Review Board approved the Circle K within the Spectrum Centre development. (DR06-28)

PROJECT FACTS

SIGN DATA:

Total Site Acreage (net)	+/- 12 acres
Multi-Tenant Monument Signs (Types A, B, C)	4 – 8’/ 60 s.f. signs
Gateway Core Monument Sign (Type D)	1 – corner monument sign
Directional Signs	Multiple – 3’/ 3 s.f. internal directional signs
Wall Mounted Signs (F, G, H, I, K and PADS)	See Sign Criteria
Service Station Canopy Signs	2- 6 s.f. canopy mounted signs

DISCUSSION

SIGNAGE OVERVIEW

- The purpose of the sign criteria for Spectrum Centre is to ensure an attractive shopping center and to protect the interests of the landlord and tenants. All proposed signage incorporates the materials, colors and finishes approved for the buildings in this shopping center. The specific request is described below.

SIGN TYPES A, B, C– MULTI-TENANT MONUMENTS

- Two monuments are proposed along Pecos Road and two are proposed along Val Vista Drive. The signs are internally illuminated on a structure with stucco flat finishes. The monument base consists of dry stack LedgeStone and “plum” Superlite CMU to match building architecture. The proposed sign dimensions conform to the Zoning Code’s height and area requirements.

SIGN TYPE D –GATEWAY CORE MONUMENT

- This monument conforms to the design, materials and dimensions approved for the four corners of the Val Vista Drive and Pecos Road intersection. The Spectrum Centre identification sign features 3” deep fabricated metal letters painted pewter metallic on a 4” deep fabricated metal shelf painted copper metallic. Letter faces are illuminated from low profile ground mounted spot lights.

DIRECTIONAL SIGNS

- Multiple directional signs will be used to direct traffic on site. The 3’-tall, 3 square feet signs will be setback 25’ from right-of-way in conformance with the Zoning Code requirements.

WALL-MOUNTED SIGNS:

- The Comprehensive Sign Program proposes attached building wall signs to be located on the designated sign band area on building fascia walls for each tenant. All signs will feature internally illuminated aluminum pan channel letters with acrylic faces and dark bronze returns and trim caps.

Some of the Typical Wall Sign Band graphics (Attachment #7) show wall sign bands that appear to exceed 80 percent of the horizontal length of the exterior building elevation of a tenant suite. Staff recommends approval of these general sign band locations with the understanding that individual wall sign permits will be required to meet all Code requirements.

- The Circle K wall-mounted cabinet logo (Attachment #8) is proposed at 25 square feet. Code requires Design Review Board approval of logos over 6 square feet in area. Staff believes the size of this sign is proportional to the building elevations and recommends Design Review Board approval. .

SERVICE STATION CANOPY SIGNS:

- These Circle K logo cabinets are attached to the fuel pump canopy at two locations. Each sign will be 6 square feet in area in compliance with Code requirements.

FINDINGS

1. The project signage is consistent with the Commercial Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provision of public services

STAFF RECOMMENDAION

Approve the findings and approve DR07-29, the Comprehensive Sign Program for the Spectrum Centre shopping center, located at the northeast corner of Pecos Road & Val Vista Drive, subject to the following conditions:

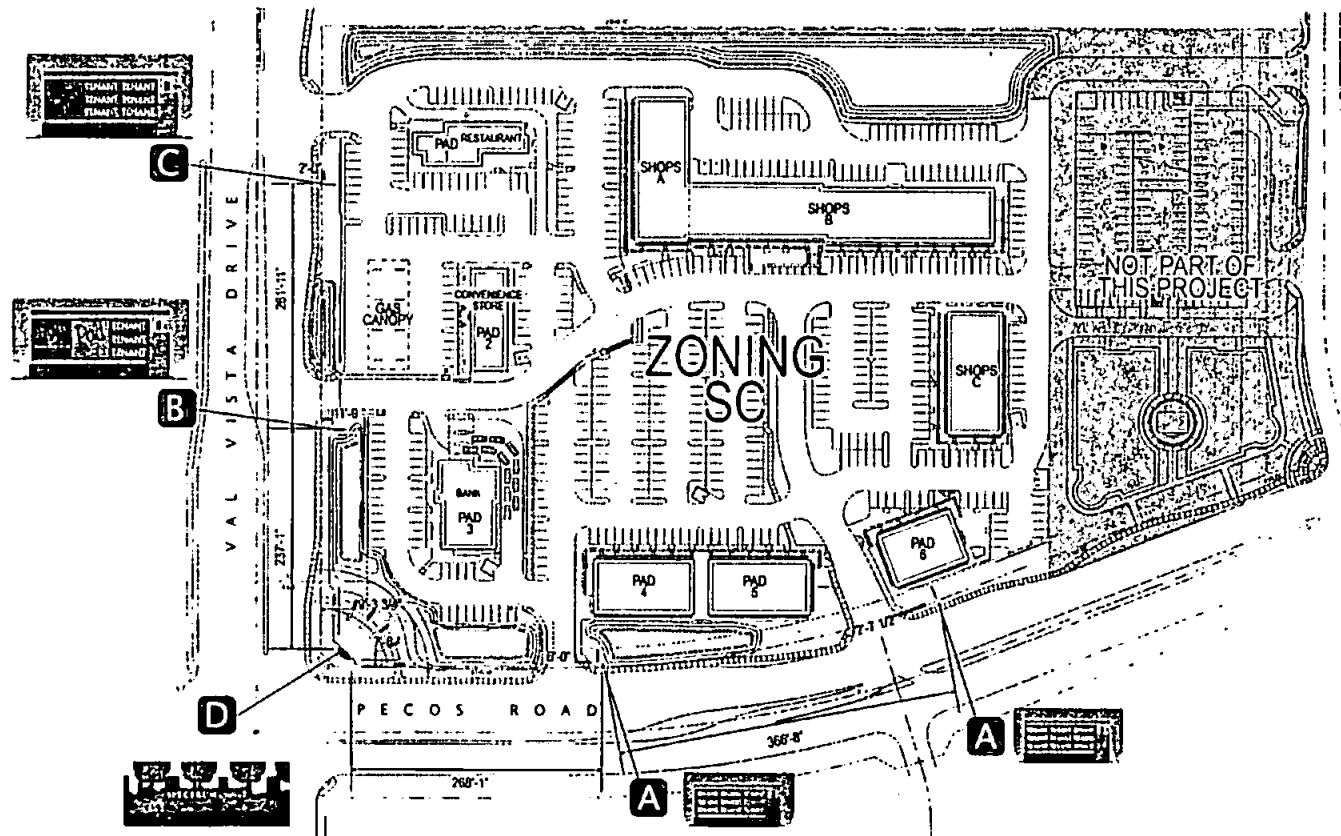
1. The Comprehensive Sign Program shall conform to exhibits approved by the Design Review Board at the May 10, 2007 public meeting.
2. Applicant shall revise and re-submit to staff the "Sign Band Locations" graphic showing sign envelopes meeting the dimensional criteria contained in LDC Section 4.407C.1.f.

Attachments

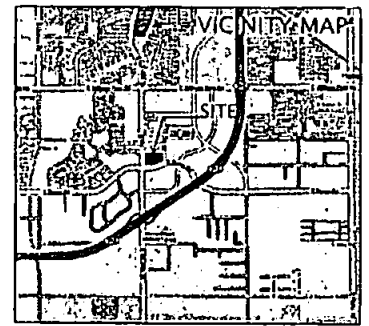
1. Vicinity Map & Site Plan Sign Locations
2. Findings of Fact
3. Spectrum Centre Sign Criteria
4. Multi-Tenant Monument Signs (3 pages)
5. Gateway Monument Sign
6. Typical Sign Band Calculation
7. Sign Band Locations (5 pages)

8. Illuminated Circle K Wall Cabinet
9. Circle K Wall Signs
10. Illuminated Circle K Canopy Cabinet

EXHIBIT A
 SITE PLAN
 SIGN
 LOCATIONS



SITE PLAN - SIGN LOCATIONS
 SCALE 1"=120'
 SIGN BAND LOCATIONS



Spectrum Cen

Case #: RR07-29
 Attachment 1: Vicinity Map & Site Plan Sign Locations
 May 10, 2007

FINDINGS OF FACT
DR07-29: Spectrum Centre Comprehensive Sign Program
NEC of Pecos & Val Vista

1. The project is consistent with the Commercial Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby regional commercial development; and
5. The project design provides for safe and efficient provision of public services.

Spectrum Centre

Pecos Rd. and Val Vista Drive
Gilbert, Arizona
August 1, 2006

DR07-29

I. Introduction

The purpose of this Sign Criteria is to ensure an attractive shopping center environment for *Spectrum Centre* and to protect the interests of the surrounding neighborhoods, landlord, and tenants.

All signage within the development shall be in conformance with the sign plan and any signage not specifically identified in the sign plan is prohibited.

Each tenant shall obtain copies of this sign program from the Landlord/Developer before creating and/or installing their signage.

II. Signage Outline

1. Retail Multi-Tenant Monument Signs (Exhibit A,B,C,D).

Location:	Ground mounted along the frontage of East Pecos Rd.(Exhibit B) and Val Vista Drive (Exhibit C & D) in Gilbert, AZ. A minimum setback of 3 feet from property line and shall not interfere with required vehicular sight distances.
Quantity:	Two (2) each on East Pecos Rd. and two (2) each on Val Vista Drive in Gilbert, AZ.
Height:	8 feet maximum per monument display.
Sign area:	60 square feet per monument display.
Letter size:	As allowed by overall area constraints.
Illumination:	Internally Illuminated with fluorescent fixtures.
Material:	Routed-out copy with 3/16" acrylic back up, on a structure with stucco flat finishes to match DE6206 "Desert Suede" and DE6123 "Trail Dust" with aluminum plate (similar to building Trellis) painted with DE6035 "Lynx".

Letter color: Routed-out copy with 3/16" acrylic back up. Color open.

Font style: Tenant copy as selected by tenant and approved by Landlord/Developer.

Monument Base: Combination of Dry stack ledge stone to and "Plum" superlite C.M.U. to match the architecture.

Changeable Message Copy: One-half (1/2) of such sign may be a changeable message sign, subject to Design Review Board approval.

2. Gateway Monument

The Gateway Monument Sign shall be and integral part of the low wall landscape feature at the corner of Val Vista Drive and Pecos Road. There shall be one set of free standing letters at the leading edge of a fabricated aluminum shelf. The shelf shall be cantilevered from the concave corner wall (Exhibit E).

3. Wall signage for all Tenants (Exhibits F,G,H,I,J,K)

All the signage is to be installed on the designated sign band area on building fascia walls as indicated in the attached exhibits.

Location: Selected building facades (Exhibits G thru K).

Quantity: One (1) per leased building elevation.

Sign Area: 1.5 square foot of sign area for each linear foot of building elevation adjacent to the tenants' or user's suite. Total Business sign Area shall be permitted a minimum wall sign area of 32 square feet. The maximum wall sign area permitted for a business shall be the greater of the longest building elevation of the tenant/user suite facing the street or the length of the building elevation of the tenant/user suite in which the principal entrance to the business is located. No sign shall exceed eighty percent (80%) of the length of business leased elevation.

Letter size: 24" in height for one line of copy, with 4" minimum space between double lines of copy, and minimum of 6" high copy for any second line of copy. Overall height not to exceed 24".

Illumination: Internally Illuminated with neon or LED lighting.

Materials: 5" deep, aluminum pan channel letters with 3/16" acrylic faces along with dark bronze returns and trim cap. Logos cannot exceed 25% of

total sign area, and 24" height. Logos accepted upon Landlord/Developer approval only.

Letter color: As selected by tenant and approved by Landlord/Developer.

Font style: As selected by tenant and approved by Landlord/Developer.

4. Pad Building Wall Signs

Location: As approved by the City of Gilbert and the Landlord/Developer.

Quantity: Per the City of Gilbert and the Landlord/Developer approval.

Sign area: 1.5 square foot of sign area for each linear foot of building elevation adjacent to the tenants' or user's suite. Total Business sign Area shall be permitted a minimum wall sign area of 32 square feet. The maximum wall sign area permitted for a business shall be the greater of the longest building elevation of the tenant/user suite facing the street or the length of the building elevation of the tenant/user suite in which the principal entrance to the business is located. No sign shall exceed eighty percent (80%) of the length of business frontage. All signage must go through a Master Sign Plan and be approved by the City of Gilbert. In no event shall a plan contain a wall sign that exceeds by more than fifty (50) percent any maximum height standard or by twenty-five (25) percent any maximum area standard allowed on the site by the City of Gilbert ordinance.

Wall-mounted cabinet signs exceeding six(6) square feet in area are prohibited, unless such sign utilizes a cabinet that is stylized in shape, rather than rectangle, to reflect the shape of the image printed on the sign face, or utilized a molded sign face, with embossed copy or sign copy or sign copy in relief, or utilizes a nationally registered trademark with colored sign copy on a colored background. Exposed raceways for individual letters are prohibited, except where it is not structurally feasible to erect such signs without an exposed raceway.

Letter size: As selected by owner and approved by the City of Gilbert.

Materials: 5" deep, aluminum pan channel letters with dark bronze returns and trim cap with 3/16" acrylic faces. Logos cannot exceed 25% of total sign area.

Tenants with federally registered trademarks shall be permitted their corporate signage in regards to colors, shape and design. Sign heights shall conform to the standards contained within this criteria and must be approved by Landlord/Developer.

Letter color: As selected by tenant/owner and approved by Landlord/Developer.

Font style: As selected by tenant/owner and approved by Landlord/Developer.

5. Directional Signs

Location: Any place with the exception of perimeter landscape areas. Directional signs are permitted to assist in traffic movement on a property. Directional signs shall include an arrow, and may include copy to read "Enter" "Exit" or Drive-Through" and a single business logo. Not counted as part of the total sign area for a use and shall comply with all regulations.

Quantity: Per the City of Gilbert and the Landlord/Developer.

Sign Area: Signs shall be no greater than 3 square feet in area and 3 feet in height. Signs shall be setback a minimum of 25 feet from the right-of-way.

Letter color: As selected by tenant/owner and approved by Landlord/Developer.

Font style: As selected by tenant/owner and approved by Landlord/Developer.

6. Service Station Canopy Signs

Location: Canopy only.

Quantity: Maximum of two (2) signs attached to a canopy.

Sign Area: Signs shall not exceed 6 square feet in area and shall not project more than 2 inches from a canopy wall. The sign shall be vertically centered on the face of the canopy and be a minimum of 3 inches from both the top and bottom.

Letter color: As selected by tenant/owner and approved by Landlord/Developer.

Font style: As selected by tenant/owner and approved by Landlord/Developer.

7. Pump Toppers or Spanner Signs

Pump toppers and Spanner signs shall be approved by the Design Review board. Colors, materials, placement, and dimensions shall complement the design and scale of the canopy structure and the main building.

8. Drive-Through Restaurant Menu signs

- Location: Location shall be approved by the Design Review Board.
- Quantity: Two per drive-through lane.
- Sign area: Signs shall be no greater than 50 square feet in area and 7 feet in height.
- Design: Drive-Through Restaurant Menu Signs shall be constructed with a solid base, finish to integrate with buildings architecture.

III. GENERAL

Landlord/Developer and the City of Gilbert shall administer and interpret the Criteria and shall have the right to approve all signs in writing prior to installation of such sign.

IV. SUBMITTAL AND COMPLIANCE

- A. The City of Gilbert requires sign permits for all signs and electrical permits for any sign, which is illuminated. It shall be Tenant's sole responsibility to secure these and any other permits which may be required.
1. Landlord/Developer, or Landlord/Developers Sign Consultant (listed below) must review all signs intended for installation for conformance to sign standards. All tenants will receive a copy of these sign standards before designing signs. Plans must be approved in writing prior to commencement of installation.
 2. Tenant shall submit or cause to be submitted to Landlord/Developer or Landlord/Developers Signage Consultant for approval three (3) sets of detailed shop drawings covering location, sizes, design, color, materials,

lettering, graphics, conduits, junction boxes, sleeves and other mounting apparatus of the proposed wall sign. Landlord/Developer or Landlord/Developer Sign Consultant shall review the drawings and return two sets marked "Approved", "Approved as Noted", or "Revise and Resubmit".

- a. "Approved" drawings will permit the Tenant to proceed with permits, construction, and installation of its sign in accordance with the drawings.
 - b. "Approved as Noted" drawings will permit the Tenant to proceed with permits, sign construction, and installation if the modifications noted are incorporated into the design. If the tenant takes exception to the modifications, Tenant shall revise and resubmit under (c) below.
 - c. "Revise and Resubmit" drawings will be returned to the tenant with comments. These drawings shall be revised and resubmitted for Developer approval within 15 days of their receipt by Tenant.
 - d. Tenants will be required to provide documentation of Developer approval with permit submittal.
 - e. Any sign presented for approval by the Tenant, which does not conform, with the approved Sign Plan must be reviewed and approved by the Landlord/Developer prior to submission for City approval.
3. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the buildings visible from outside the premises except as specifically approved by Developer. Signs installed without written approval or inconsistent with approved drawings may be subject to removal and reinstallation by Developer at Tenant's expense. Rude, obscene, or offensive signs are not permitted in any location, whether or not visible from outside the premises and shall be removed at Developer's discretion.
 4. Landlord/Developer or Landlord/Developers Signage Consultant approval of Tenant's plans shall not constitute an implication, representation, or certification by Landlord/Developer that said items complies with applicable statutes, codes, ordinances, or other regulations. Said compliance shall be the sole responsibility of Tenant for all work performed on the premises by or for Tenant.
 5. Landlord/Developer may replace any broken or faded sign at Tenant's expense.
 6. A copy of the master developer/owner's approval of a sign shall be submitted to the City with all requests for sign permits.
 7. All signs installed without master developer/owner or City approval shall be removed.

V. DESIGN REQUIREMENTS

NOTE: The City of Gilbert requires sign permits for all signs and electrical permits for any sign that is illuminated. It shall be Tenant's sole responsibility to secure these, and any other permits, which may be required. The area of each sign is calculated per Gilbert Zoning Ordinance guidelines utilizing a rectangle around each individual letter or a rectangle around connected letters.

- A. Visible cable or wiring will not be permitted.
- B. All exposed metal sign cabinet returns will be painted to match color of dark bronze. Federally registered trademarks shall be permitted their corporate signage in regards to colors, shape and design. Must be approved by Landlord/Developer.
- C. Power to illuminate the Tenant sign shall be from tenant's meter switched through a master time clock set in accordance with schedules determined by Landlord.
- D. Animated, flashing, blinking, rotating, moving, audible, placards, posters, playbills, postings, paintings, change-panel, flags, signs in public right-of-way, and fixed balloons and exposed neon are not permitted. Grand opening or special event signs shall be permitted in conformance with the Zoning Ordinance.
- E. Signs will be restricted to advertising only the person, firm, company or corporation operating the use conducted on the site, or the products sold therein.
- F. Directional Signs: Signs necessary for on-premise vehicle control and the performance of business transactions from a vehicle shall be allowed subject to the following conditions:
 - Maximum area of 3 square feet.
 - Maximum height of 3 feet.
 - Signs shall be permanently affixed to the ground.
- G. Developer shall have the right to modify the design requirements for any tenant.
- H. Sign text may be placed on more than one row, subject to space availability, required approvals, and provided the maximum allowable area guidelines are not exceeded.
- I. Retail tenants shall be allowed to place a sign in the window panel adjacent to entrance door. Business name, address or suite number, and hours of business shall be white vinyl letters. No other window signage will be allowed without Landlord approval. Window signage cannot exceed twenty-five percent (25%) of the total window area through which they are visible.
- J. Tenant shall identify their rear service door for delivery and emergency purposes. Signs shall identify the suite number only, and be located in the center of the door, five (5) feet from finished floor to centerline of 4" tall black vinyl letter.
- K. No sign shall be closer than 12 inches from a neutral strip between tenants.
- L. Building address numbers shall be provided per the requirements of the City of Gilbert Fire Department.

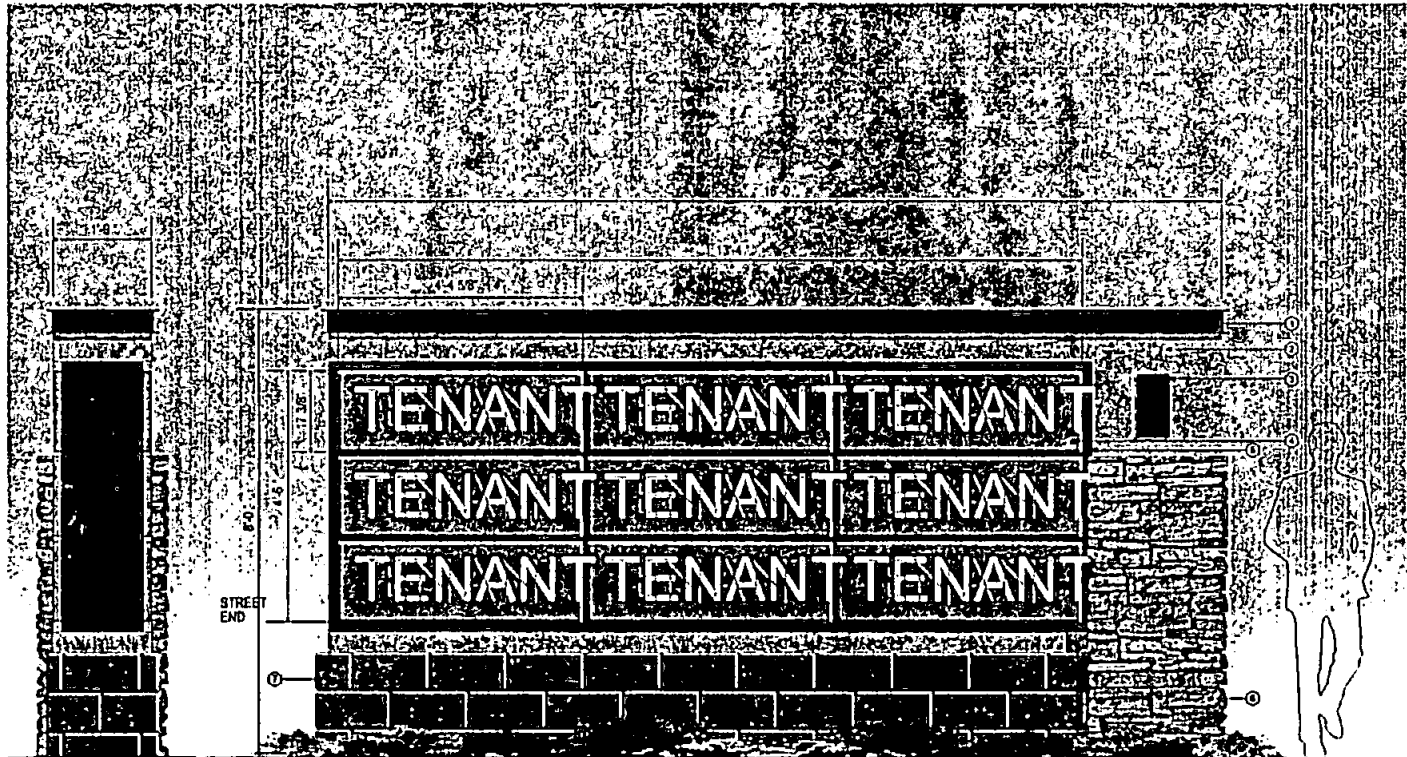
VI. CONSTRUCTION REQUIREMENTS

- A. All sign bolts, fastenings, sleeves, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
- B. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. All exposed metals shall be painted to render them inconspicuous.
- E. All letters flush mounted to wall shall have P-K housing (Neon or LED illuminated letters and Logos).
- F. Sign contractor and/or Tenant shall pay for any damage to the fascia, canopy, structure, roof, or flashing caused by sign installation.
- G. No exposed tubing, ballasts, crossovers, conductors, transformers, conduit, or raceways will be permitted except conduit at under canopy signs.
- H. All electrical signs shall bear the UL label.
- I. All signs shall conform to the local Building Code Standards and Electrical Code Standards.
- J. Fire Department connection shall be visible from the street.
- K. A three (3) foot clearance shall be provided around all fire equipment.

SIGNAGE CONSULTANT

Kelly G. Chipman
Young Electric Sign Company
6725 West Chicago Street
Chandler, Arizona 85226
(480) 449-3726 / kchipman@yesco.com

EXHIBIT B



- SPECIFICATION KEY**
- ① C CHANNEL ALUMINUM TOP (SIMILAR TO BUILDING TRELLIS) PAINTED SATIN FINISH DURN-EDWARDS 'LYNX' #DE6035.
 - ② FABRICATED ALUMINUM BACKGROUND AND STRUCTURE, # 2 MONTEX, PAINTED FLAT FINISH, DURN-EDWARDS 'DESERT SUEDE' # DE6208.
 - ③ ALUMINUM PLATE (SIMILAR TO BUILDING TRELLIS) PAINTED SATIN FINISH DURN-EDWARDS 'LYNX' #DE6035.
 - ④ 1 1/2" RAISED REMOVABLE ALUMINUM TENANT PANEL, #1 MONTEX, PAINTED FLAT FINISH, DURN-EDWARDS 'TRAIL DUST' #DE6123 (FOR FUTURE ROUTED WITH BACKED UP GRAPHICS PER TENANT SPECIFICATIONS).
 - ⑤ PAINT DURN EDWARDS 'LYNX' #DE 6035 #1
 - ⑥ MONTEX FINISH.
 - ⑦ DRY STACK LEDGE STONE TO MATCH THE ARCHITECTURE.

END VIEW

A INTERNALLY ILLUMINATED D/F MONUMENT SIGN - QU: 2
 SCALE: 1/2" = 1'-0" 600 SQ. FT. TOTAL SIGN AREA

Spectrum Cer

15



SPECIFICATION KEY

- ① C CHANNEL ALUMINUM TOP (SIMILAR TO BUILDING TRELLIS) PAINTED SATIN FINISH DUNN-EDWARDS "LYNX" #DE6035.
- ② FABRICATED ALUMINUM BACKGROUND AND STRUCTURE, # 2 MONTEX, PAINTED FLAT FINISH, DUNN-EDWARDS "DESERT SUEDE" # DE6208.
- ③ ALUMINUM PLATE (SIMILAR TO BUILDING TRELLIS) PAINTED SATIN FINISH DUNN-EDWARDS "LYNX" #DE6035.
- ④ 1 1/2" RAISED REMOVABLE ALUMINUM TENANT PANEL, #1 MONTEX, PAINTED FLAT FINISH, DUNN-EDWARDS "TRAIL DUST" #DE6123 (FOR FUTURE ROUTED WITH BACKED UP GRAPHICS PER TENANT SPECIFICATIONS).
- ⑤ PAINT DUNN EDWARDS "LYNX" #DE 6035 #1 MONTEX FINISH.
- ⑥ DRY STACK LEDGE STONE TO MATCH THE ARCHITECTURE.
- ⑦ "PLUM" SUPERLITE C M U.
- ⑧ 1 1/2" RAISED ALUMINUM RETAINERS, #1 MONTEX PAINTED "TRAIL DUST" #DE6123 (DUNN EDWARDS) MATTE FINISH. PAN FORMED EMBOSSED POLYCARBONATE FACE PER TENANT SPECIFICATIONS.
- ⑨ 1 1/2" RAISED REMOVABLE ALUMINUM TENANT PANEL, #1 MONTEX, PAINTED FLAT FINISH, DUNN-EDWARDS "TRAIL DUST" #DE6123. ROUTED WITH BACKED UP GRAPHICS PER TENANT SPECIFICATIONS.
- ⑩ 1 1/2" RAISED REMOVABLE ALUMINUM TENANT PANELS, #1 MONTEX, PAINTED FLAT FINISH, DUNN-EDWARDS "TRAIL DUST" #DE6123. ROUTED WITH BACKED UP

END VIEW

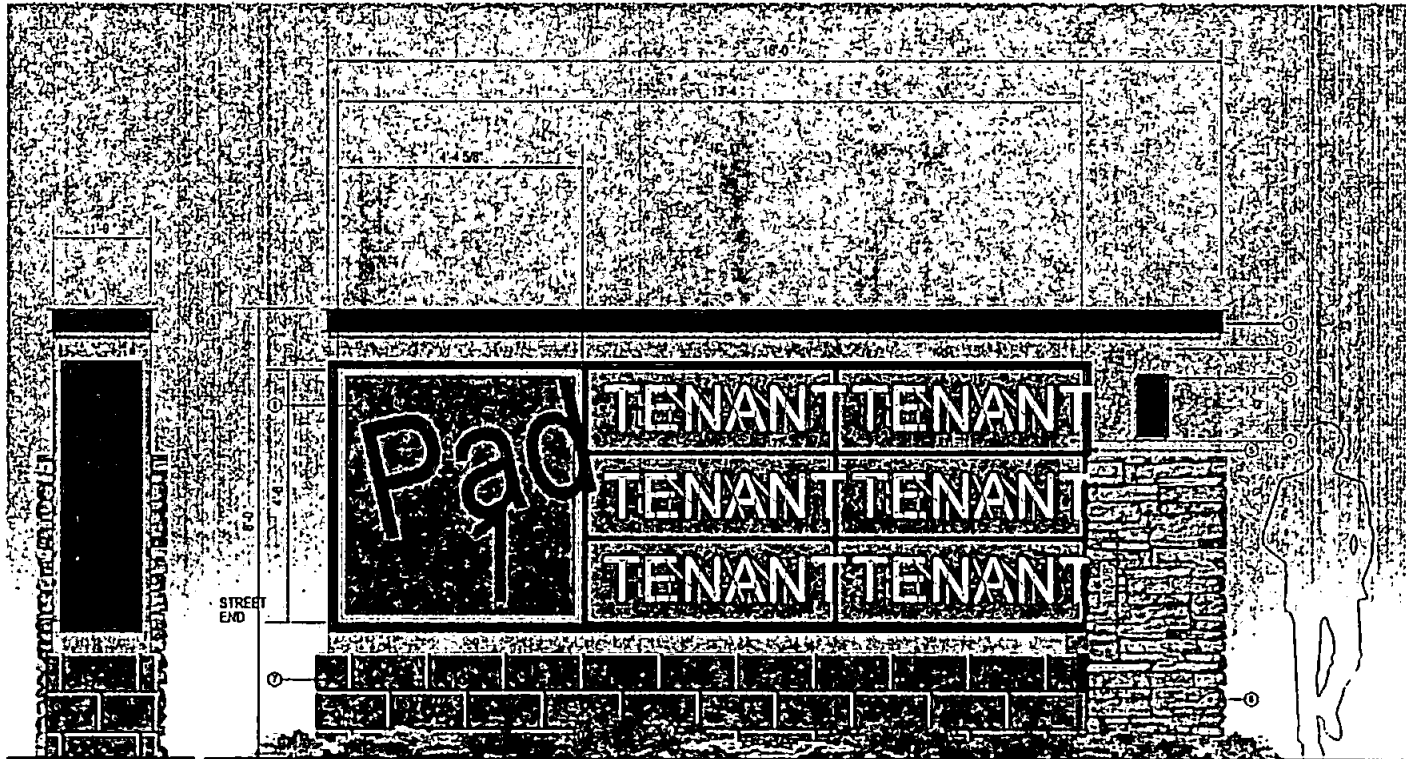
B INTERNALLY ILLUMINATED D/F MONUMENT SIGN

SCALE: 1/2" = 1'-0"

60.0 SQ. FT. TOTAL SIGN AREA

Spectrum Cer

16



- SPECIFICATION KEY**
- ① C CHANNEL ALUMINUM TOP (SIMILAR TO BUILDING TRELLIS) PAINTED SATIN FINISH DURR-EDWARDS 'LYNX' #DE6035.
 - ② FABRICATED ALUMINUM BACKGROUND AND STRUCTURE, #2 MONTEX, PAINTED FLAT FINISH, DURR-EDWARDS 'DESERT SUEDE' #DE6206.
 - ③ ALUMINUM PLATE (SIMILAR TO BUILDING TRELLIS) PAINTED SATIN FINISH DURR-EDWARDS 'LYNX' #DE6035.
 - ④ 1 1/4" RAISED REMOVABLE ALUMINUM TENANT PANEL, #1 MONTEX, PAINTED FLAT FINISH, DURR-EDWARDS 'TRAIL DUST' #DE6123. (FOR FUTURE ROUTED WITH BACKED UP GRAPHICS PER TENANT SPECIFICATIONS).
 - ⑤ PAINT DURR EDWARDS 'LYNX' #DE 6035 #1.
 - ⑥ MONTEX FINISH.
 - ⑦ DRY STACK LEDGE STONE TO MATCH THE ARCHITECTURE.
 - ⑧ "PLUM" SUPERLITE C.M.U.
 - ⑨ 1 1/2" RAISED ALUMINUM RETAINERS, #1 MONTEX PAINTED 'TRAIL DUST' #DE6123.

END VIEW

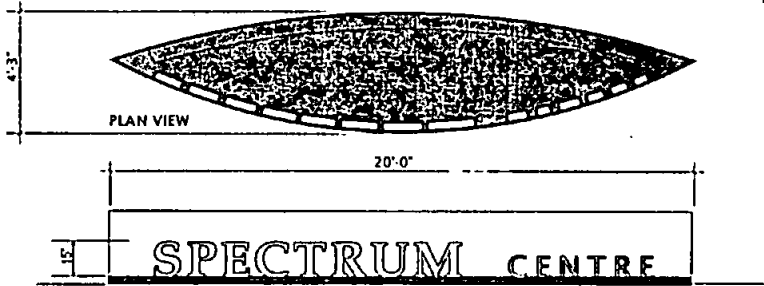
G INTERNALLY ILLUMINATED D/F MONUMENT SIGN
SCALE: 1/4" = 1' - 0"

60.0 SQ. FT. TOTAL SIGN AREA

Spectrum Cer

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EXHIBIT E



DETAILED SIGN ELEVATION

SCALE: 1/4" = 1'-0"

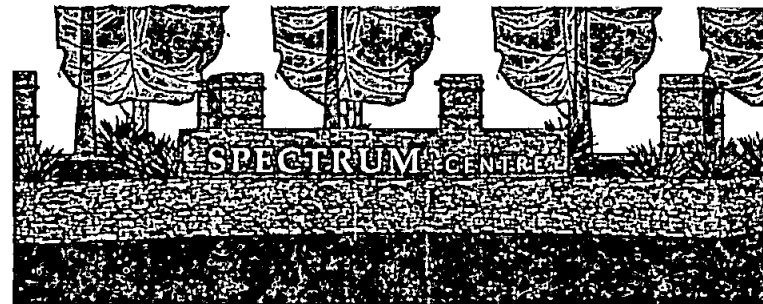
22.86 SQ. FT. TOTAL SIGN AREA

D GATEWAY MONUMENT

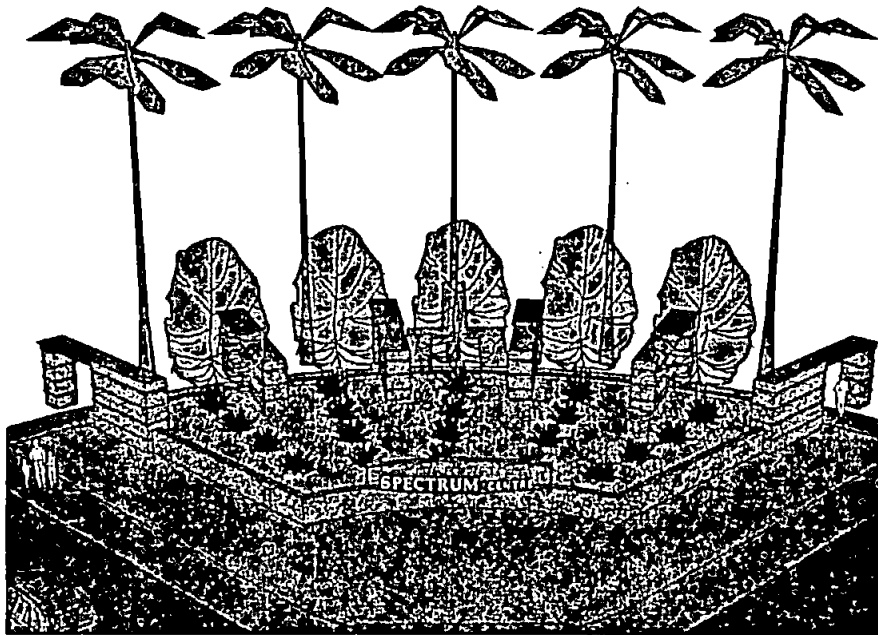
SIGN SHELF: 4" DEEP FABRICATED METAL SHELF, PAINTED COPPER METALLIC. SHELF CONCEALS UP LIGHTING. (TO WASH STONE WALL)

SIGN LETTERS: 3" DEEP FABRICATED METAL LETTERS WITH SOLID BACKS, PAINTED PEWTER METALLIC.

ILLUMINATION: LETTER FACES ILLUMINATED FROM LOW PROFILE GROUND SPOT LIGHTS.



DETAIL PERSPECTIVE:
 NOT TO SCALE



PERSPECTIVE: GATEWAY MONUMENT
 NOT TO SCALE

Spectrum Cen

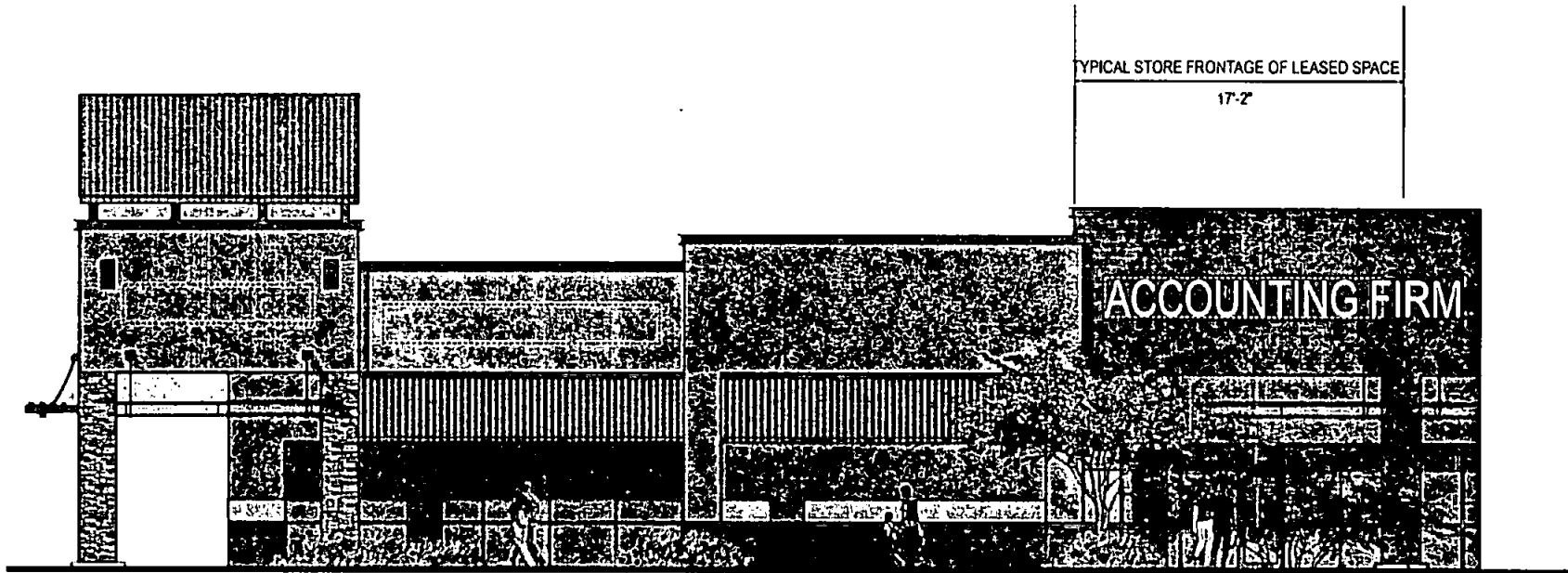
EXHIBIT C

TYPICAL
SIGN BAND
CALCULATION

TYPICAL FORMULA:

FRONTAGE: 17'-2" MULTIPLIED BY 1.5 = 25.75 allowable square footage

REDUCTION: MAXIMUM LENGTH OF SIGNAGE TO BE NO MORE THAN 80%
OF TOTAL FRONTAGE. I. E.: 80% OF 17'-2" IS: 13'-9"



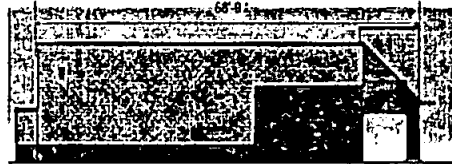
TYPICAL ELEVATION

SCALE: NTS

Spectrum Cer

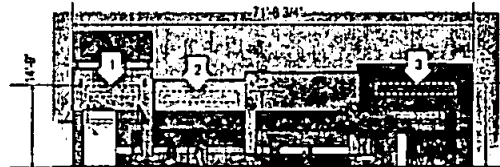
EXHIBIT G.1

SHOPS A
SIGN BAND
LOCATIONS



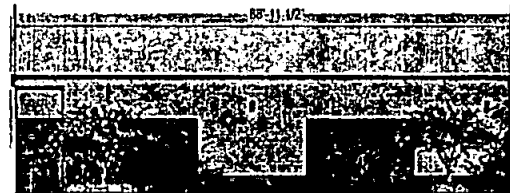
NORTH ELEVATION

SCALE 1"=20'-0"



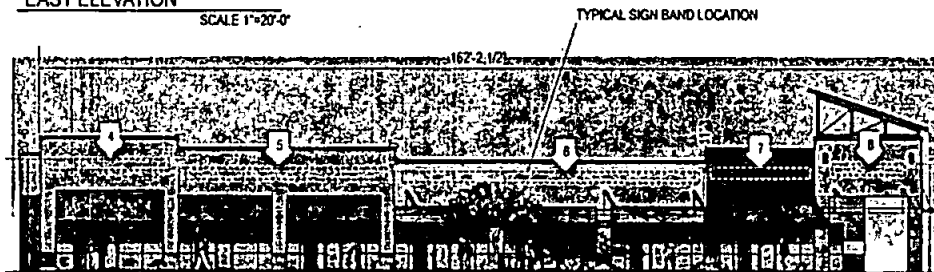
SOUTH ELEVATION

SCALE 1"=20'-0"



EAST ELEVATION

SCALE 1"=20'-0"



WEST ELEVATION

SCALE 1"=20'-0"

TYPICAL SIGN BAND LOCATION

NOTE...

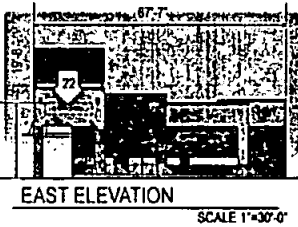
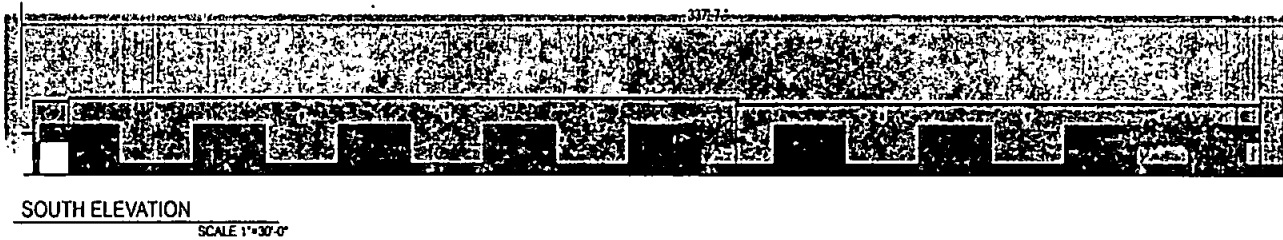
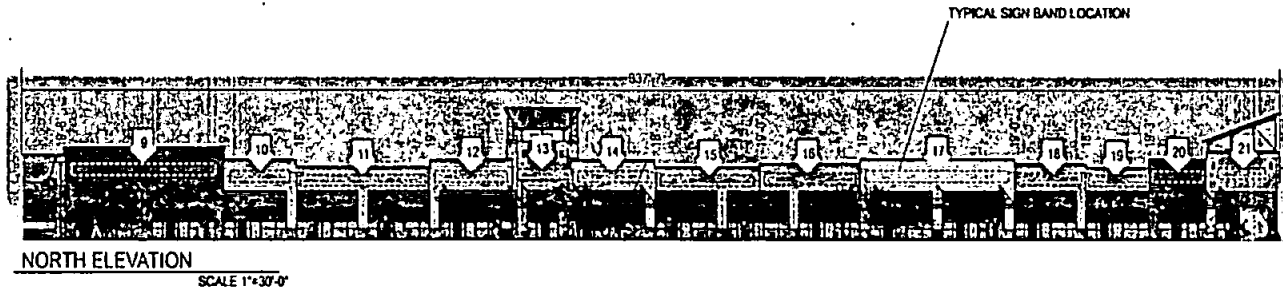
... ALL WALL SIGNS SHALL BE CENTERED HORIZONTALLY AND VERTICALLY WITHIN A DESIGNATED SIGN BAND. ALL WALL SIGN LENGTHS SHALL NOT EXCEED 80% OF THE SIGN BAND OR WALL SPACE.

... ALL TENANT'S SIGN SHALL NOT EXCEED 1.5 SQUARE FEET PER LINEAR FOOT OF LEASE FRONTAGE.

Spectrum Center

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EXHIBIT H
SHOPS B
SIGN BAND
LOCATIONS



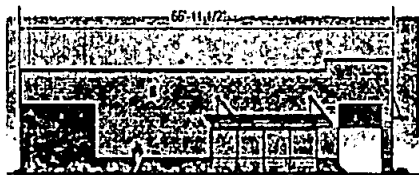
NOTE...

- * ALL WALL SIGNS SHALL BE CENTERED HORIZONTALLY AND VERTICALLY WITHIN A DESIGNATED SIGN BAND. ALL WALL SIGN LENGTHS SHALL NOT EXCEED 80% OF THE SIGN BAND OR WALL SPACE.
- * ALL TENANT'S SIGN SHALL NOT EXCEED 1.5 SQUARE FEET PER LINEAR FOOT OF LEASE FRONTAGE.

Spectrum Center

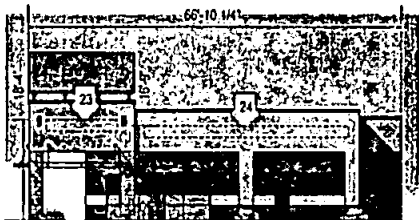
21

EXHIBIT I
SHOPS C
SIGN BAND
LOCATIONS



NORTH ELEVATION

SCALE 1"=20'-0"



SOUTH ELEVATION

SCALE 1"=20'-0"

NOTE...

* ... ALL WALL SIGNS SHALL BE CENTERED HORIZONTALLY AND VERTICALLY WITHIN A DESIGNATED SIGN BAND. ALL WALL SIGN LENGTHS SHALL NOT EXCEED 80% OF THE SIGN BAND OR WALL SPACE.

* ... ALL TENANT'S SIGN SHALL NOT EXCEED 1.5 SQUARE FEET PER LINEAR FOOT OF LEASE FRONTAGE.



EAST ELEVATION

SCALE 1"=20'-0"

TYPICAL SIGN BAND LOCATION



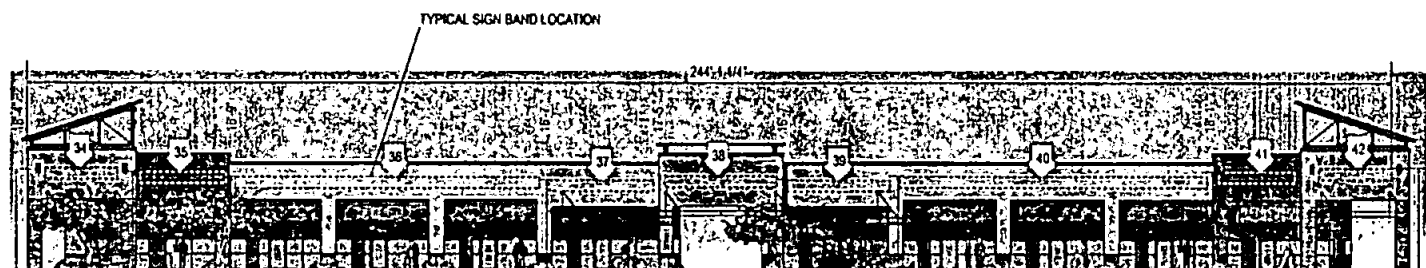
WEST ELEVATION

SCALE 1"=20'-0"

Spectrum Cer

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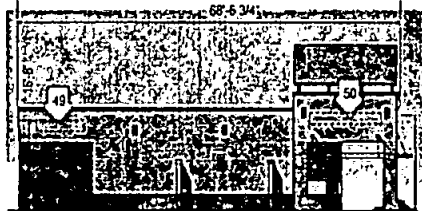
EXHIBIT J
PADS 4 & 5
SIGN BAND
LOCATIONS



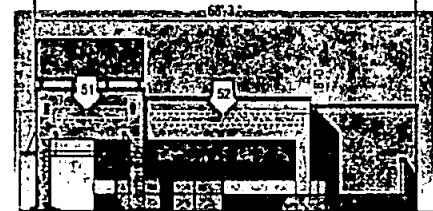
NORTH ELEVATION
SCALE 1"=20'-0"



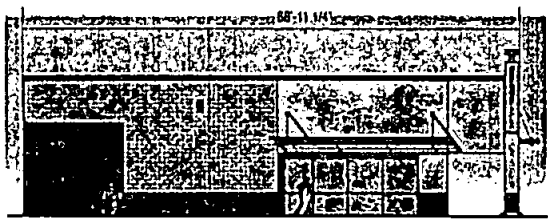
SOUTH ELEVATION
SCALE 1"=20'-0"



EAST ELEVATION
SCALE 1"=20'-0"



WEST ELEVATION
SCALE 1"=20'-0"



BREEZE-WAY PAD 4 EAST - PAD 5 WEST ELEVATION (SIMILAR)
SCALE 1"=20'-0"

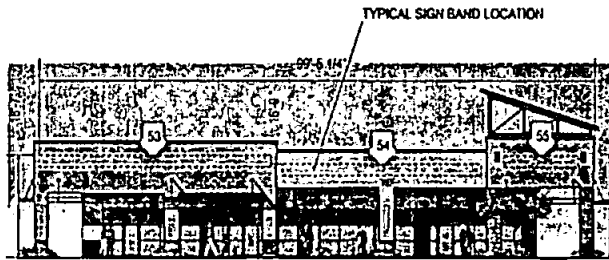
NOTE...

- *... ALL WALL SIGNS SHALL BE CENTERED HORIZONTALLY AND VERTICALLY WITHIN A DESIGNATED SIGN BAND. ALL WALL SIGN LENGTHS SHALL NOT EXCEED 80% OF THE SIGN BAND OR WALL SPACE.
- *... ALL TENANT'S SIGN SHALL NOT EXCEED 1.5 SQUARE FEET PER LINEAR FOOT OF LEASE FRONTAGE.

Spectrum Center

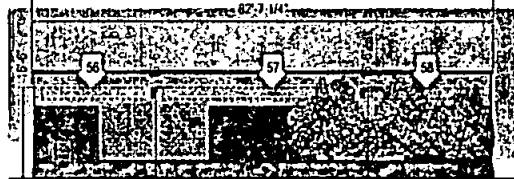
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EXHIBIT K
 PAD 6
 SIGN BAND
 LOCATIONS



NORTH ELEVATION

SCALE 1"=20'-0"



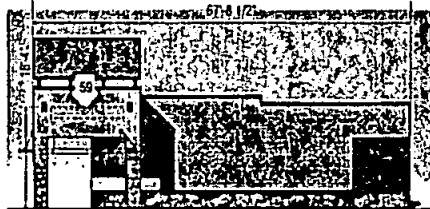
SOUTH ELEVATION

SCALE 1"=20'-0"



EAST ELEVATION

SCALE 1"=20'-0"



WEST ELEVATION

SCALE 1"=20'-0"

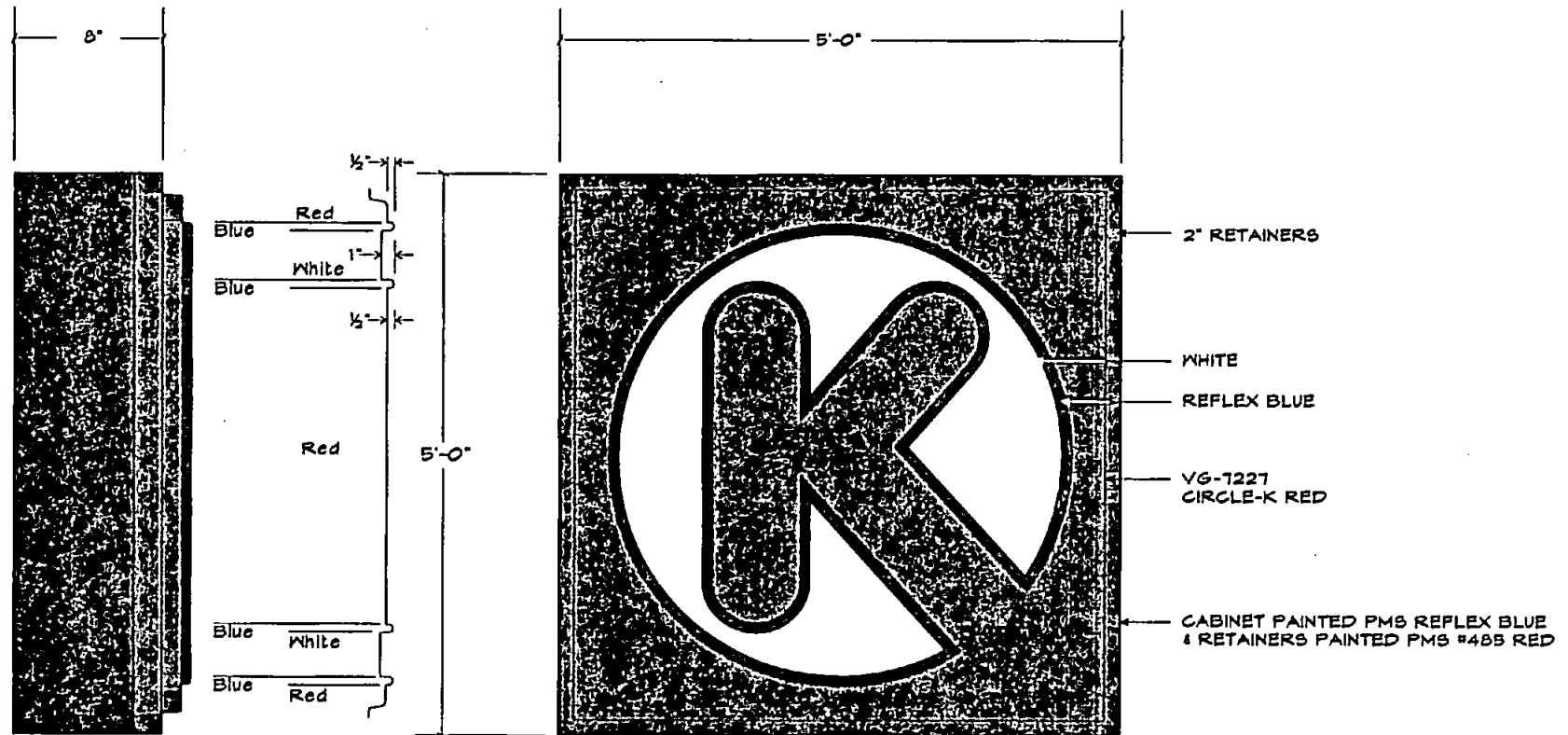
NOTE...

... ALL WALL SIGNS SHALL BE CENTERED HORIZONTALLY AND VERTICALLY WITHIN A DESIGNATED SIGN BAND. ALL WALL SIGN LENGTHS SHALL NOT EXCEED 80% OF THE SIGN BAND OR WALL SPACE.

... ALL TENANT'S SIGN SHALL NOT EXCEED 1.5 SQUARE FEET PER LINEAR FOOT OF LEASE FRONTAGE.

Spectrum Gen

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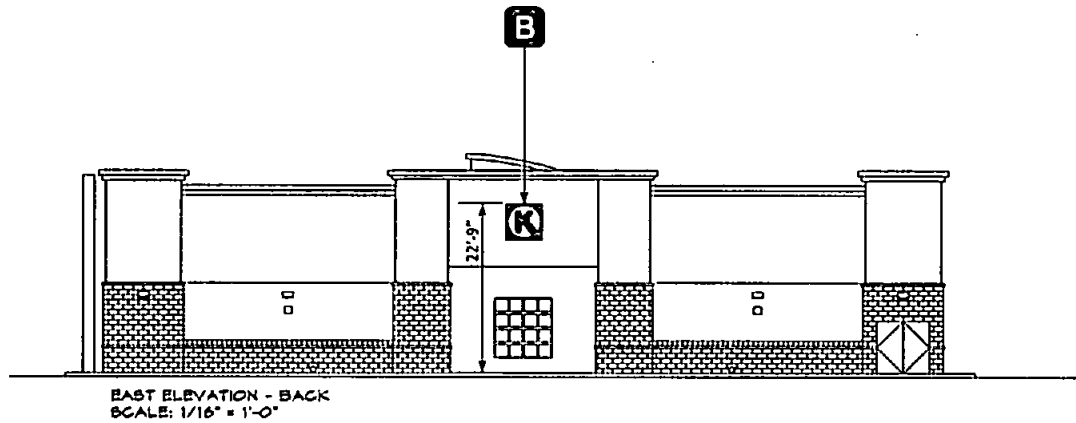
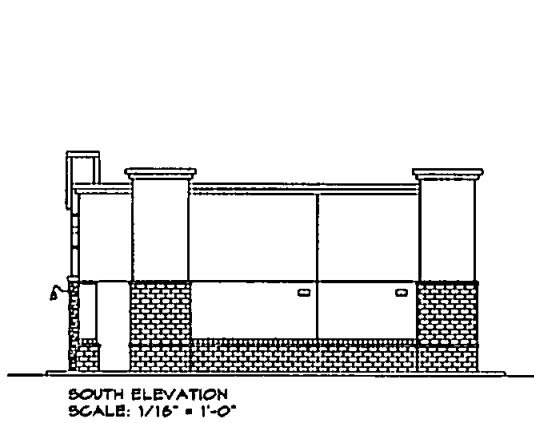
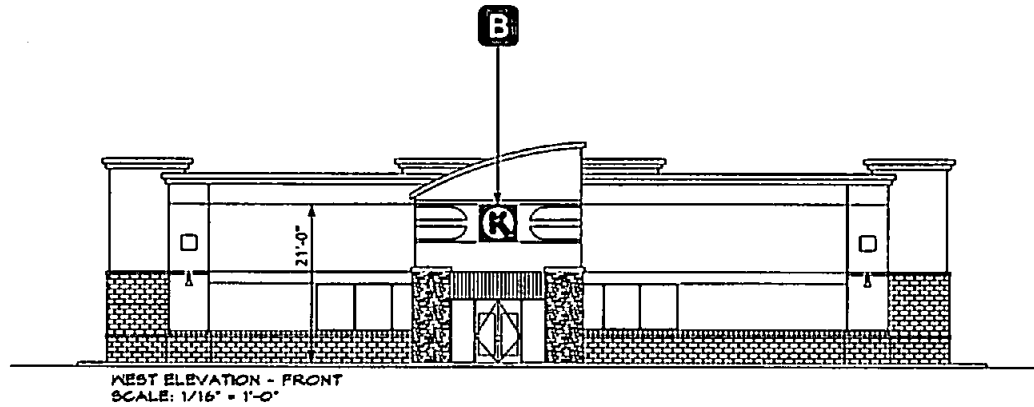
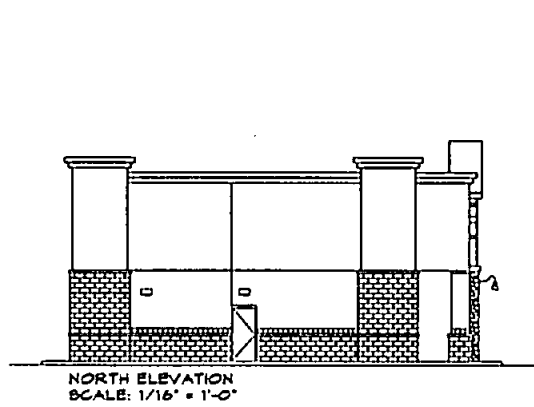
B S/F ILLUMINATED WALL CABINET QTY. 2 25.0 SQ. FT.
 SCALE: 1" = 1'-0"

MANUFACTURE & INSTALL (2) S/F ILLUMINATED WALL CABINETS.
 EXTRUDED ALUMINUM CABINET PAINTED PMS REFLEX BLUE & RETURNS PAINTED PMS #485 RED.
 FORMED FACES ARE SUPPLIED FOR INSTALLATION.
 ILLUMINATE WITH 15MM 6500 WHITE NEON.
 INSTALL FLUSH AS SHOWN.


ARIZONA CONTRACTOR LICENSE NO. #873332-607, ARCHITECT NO. #873332, ELECTRICAL NO. #873280

PHOENIX DIVISION 9725 W. CHICAGO BLVD., CHANDLER, AZ 85226-3338 (480) 449-3735 YASCO, YOUNG ELECTRIC SIGN COMPANY	* Illuminated displays will be wired for 120 volt power unless otherwise noted. * Cost for providing necessary electrical wiring to sign area is not included in sign proposal.	<table border="1"> <thead> <tr> <th>REV. #</th> <th>DATE</th> <th>BY</th> <th>REV. #</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>Δ</td> <td>02/12/07</td> <td>JLW</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Δ</td> <td>02/16/07</td> <td>JLW</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV. #	DATE	BY	REV. #	DATE	BY	Δ	02/12/07	JLW				Δ	02/16/07	JLW				FIRM NAME / PROJECT ADDRESS CIRCLE K VAL VISTA & PECOS GILBERT, ARIZONA	6070289-R2 <small>FILE UNDER 6070289-R2</small>
	REV. #	DATE	BY	REV. #	DATE	BY																
Δ	02/12/07	JLW																				
Δ	02/16/07	JLW																				
SALES APPROVAL: DATE:	ORIGINAL DATE: 02/27/07 ORIG. DESIGNER: J. WALLACE SCALE: AS NOTED	SALESPERSON: KELLY CHIPMAN	2 OF 5 <small>LARGE PRINTED</small>																			

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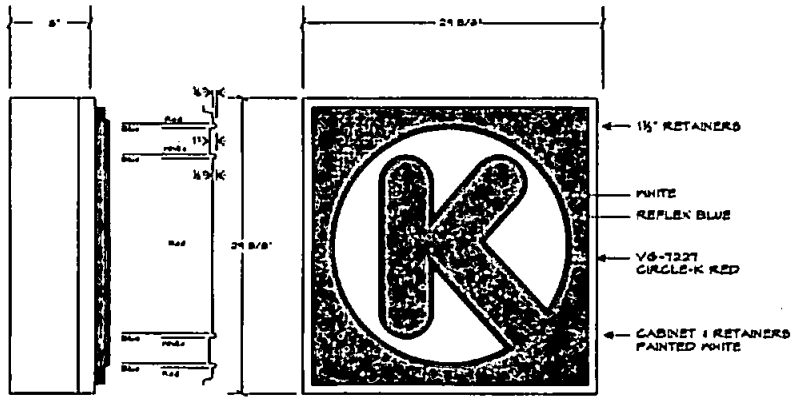


ARIZONA CONTRACTOR LICENSE NO. #873372-007, AAWARDS NO. #873323, ELECTRICAL NO. #082900

	* Dimmed displays will be wired for 120 volt power unless otherwise noted. * Cost for providing necessary electrical wiring to sign area is not included in sign proposal.		REV. # DATE BY	REV. # DATE BY	FIRM NAME / PROJECT ADDRESS CIRCLE K VAL VISTA & PECOS GILBERT, ARIZONA	6070289-R2 <small>PL 1 DESIGN HANDLE</small>
	SALES APPROVAL: DATE:	ORIGINAL DATE: 02/21/07 ORG. DESIGNER: J WALLACE SCALE: As Noted	SALESPERSON KELLY CHIPMAN	3 OF 5 <small>LINENUMBER</small>		

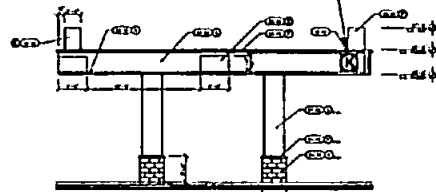
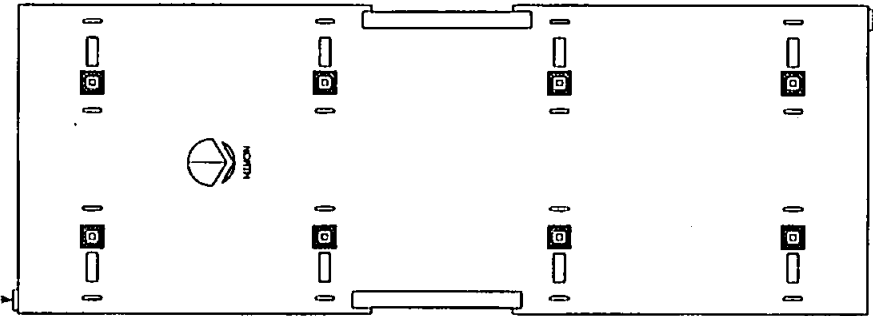
© This Drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of Young Electric Sign Company. Permission to copy or revise this drawing can only be obtained thru a written agreement with Yesco. See your Sales Representative or call the nearest office of Young Electric Sign Co.

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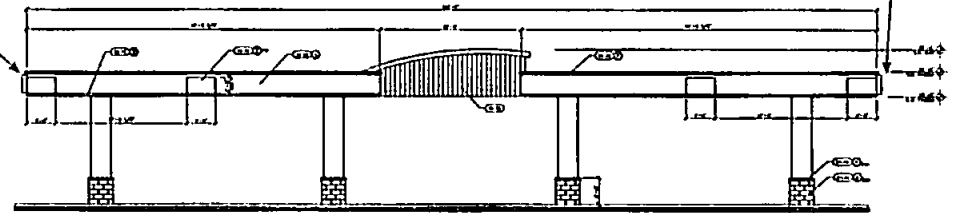


C S/F ILLUMINATED CANOPY CABINET QTY. 2 5.99 SQ.FT.
 SCALE: 1" = 1'-0"

MANUFACTURE & INSTALL (2) S/F ILLUMINATED CANOPY CABINETS.
 EXTRUDED ALUMINUM & RETURNS PAINTED WHITE.
 FORMED FACES ARE SUPPLIED FOR INSTALLATION.
 ILLUMINATE WITH 15MM 6500 WHITE NEON.
 INSTALL FLUSH AS SHOWN.



END ELEVATION



SIDE ELEVATION

ARIZONA CONTRACTOR LICENSE NO. #873377-807, AWWARDS NO. #873323, ELECTRICAL NO. #892808

PHOENIX DIVISION
 8725 W. Chicago Street, Chandler, AZ 85226-3331 (480) 449-3129
YESCO YOUNG ELECTRIC SIGN COMPANY

* Illuminated displays will be wired for 120 volt power unless otherwise noted.
 * Cost for providing necessary electrical wiring to sign area is not included in sign proposal.

SALES APPROVAL:
 DATE:

REV. #	DATE	BY	REV. #	DATE	BY
1	03/12/07	JLW			
2	03/16/07	JLW			

FIRM NAME / PROJECT ADDRESS	
CIRCLE K	
VAL VISTA & PEGAS	
GILBERT, ARIZONA	
ORIGINAL DATE: 02/21/07	
ORIG. DESIGNER: J. WALLACE	
SALES PERSON: KELLY CHIPMAN	

6070289-R2
 FILE DESIGN NUMBER
4 OF 5
 SHEET NUMBER
 SCALE: AS NOTED