



NOTICE OF DECISION

September 29, 2016

RE: DA16-52 (DR04-66S) Joe's Farm Grill, Coffee Shop and Barnone Comprehensive Sign Plan

Dear Applicant:

Staff has reviewed the revised drawings received for Administrative Design Review regarding the addition of Barnone to the Joe's Farm Grill and Coffee Shop Comprehensive Sign Plan. Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:


1. The amendment to the existing freestanding windmill sign type C2.
2. The addition of two new freestanding monument signs for Barnone, sign type H.
3. The addition of two internal directory signs for Barnone, sign types E1 and E2
4. The addition of walls/tenant signs for the Quonset Hut, sign types F, G and L
5. The addition of wall/tenant signs for the New Barn, sign type L
6. The addition of wall/tenant signs for the New Annex, sign type L

If you have any questions regarding the above, please contact me at (480) 503-6729.


Sincerely,

Amy Temes
Senior Planner

Attachments:
Joe's Farm Grill, The Coffee Shop and Barnone Comprehensive Sign Plan




The Coffee SHOP



BARNONE
A CRAFTSMAN COMMUNITY

COMPREHENSIVE
SIGN PLAN

3000 East Ray Road
Gilbert, Arizona

PREPARED BY

YESCO.

AMENDED BY
TRADEMARK

YOUNG ELECTRIC SIGN COMPANY
PHOENIX DIVISION
6725 WEST CHICAGO STREET, CHANDLER, ARIZONA, 85226-3335
(480) 449-7747
60118r4dr
4/11/06

TRADEMARK VISUAL, INC.
3732 E. UNIVERSITY DRIVE, PHOENIX, AZ 85034

DR04-66 (4/13/06) SIGN

APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/29/2016

REQUEST FOR APPROVAL OF SIGNAGE

Request

We request approval by the Town of Gilbert for five specific signs within the Agro-Commercial Phase I development of the Agritopia PAD. The signs are for two businesses, "Joe's Farm Grill" and "The Coffee Shop". The buildings that house these businesses are both being developed by the Landlord, which is Johnston Properties, LLC. The design drawings and site plan depicting the proposed locations are attached and were prepared by YES Design.

Background

Ordinance 1305 (9/19/00), which established the Agritopia PAD, included some very special signage for the commercial areas. The Development Plan, adopted as a part of the ordinance, delineated the special signage criteria:

"Agritopia shall be a Special District as allowed under Section 3.2 of the Development Code. **In addition to signs normally allowed under Article III, within the Agro-Commercial Area, Town Square, and Neighborhood Commercial Center the following signs are also allowed:**

- Marquis signs perpendicular to the face of a building. Such a sign may extend beyond the top of the building by up to 25% of the height of the building. The number of such signs shall be limited to one (1) in the Agro-Commercial Area, four (4) in the Town Square, and four (4) in the Neighborhood Commercial Center. The marquis must be in keeping with the theme of the business and may feature animated neon and exposed tube neon. The use of a marquis shall not reduce the square footage allowed for other signs under the Development Code.
- Signs mounted on the roof are allowed for restaurants on pads, but only in instance where it is in keeping with the theme of the restaurant.
- Decorative awnings may be used as signs.

- A-frame menu/product promo board signs are allowed for restaurants and retail shops, but not within the arterial right of ways. The sign is limited to naming the business, a slogan, and any product/pricing information.
- Signs may be painted on fences, buildings, or rocks.
- Signs hanging below awnings for pedestrian viewing shall be allowed.
- Signs may be painted on any renovated building within the Agro-Commercial area. The total sign coverage shall not exceed 25% of the total exterior wall area for a particular building. Signs may be painted on water tanks, under the same requirement.
- Entry signage for the project may include a tractor, trailer, windmill, or any other device commonly associated with agriculture that may be modified as a sign; rocks, fences or pylons may have a painted sign; sign made of layered materials, and signs that may be internally illuminated. Exposed neon is also allowed as a highlighting element.
- Signage may incorporate a water feature and/or plantings."

The Specific Signs

WALL SIGNS

Sign "A" shall be a secondary, irregular shape, single faced tenant wall sign reading "Joe's Farm Grill". The face, returns and back shall be fabricated aluminum with a painted finish and painted decoration. Exposed clear red and clear blue neon illumination. It shall be flush mounted to a C.M.U. wall. The sign is not visible from Ray Road due to mature trees. See Exhibit A.

Sign "B" shall be the primary, irregular shape, single faced suspended tenant sign reading "Joe's Farm Grill". The face, returns and back shall be fabricated aluminum with a painted finish and painted decoration. Exposed clear red and clear blue neon illumination. The sign is not visible from Ray Road due to mature trees. See Exhibit B and Exhibit C.

Sign "D" shall be a primary, single faced tenant wall sign reading "The Coffee Shop". The face, returns and back shall be fabricated aluminum with a painted finish and vinyl decoration. The face is illuminated with external light fixtures. It shall be flush mounted to a C.M.U. wall. The sign is not visible from Ray Road due to mature trees and other existing buildings. See Exhibit H.

APPROVED

Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/26/2016

shall be flush mounted to a C.M.U. wall. The sign is not visible from Ray Road due to mature trees and other existing buildings. See Exhibit H.

FREESTANDING SIGNS

Signs "C1" and "C2" shall be single faced, free standing signs reading "Joe's Farm Grill". The cabinet, retainers, and neon background are aluminum with vinyl decoration. The pictorial is first surface vinyl on white polycarbonate. The pictorial shall be internally illuminated with t-12 fluorescent fixtures. "Joe's" letters and the star are white vinyl on black painted background with single tube clear blue neon illumination. "Farm Grill" letters are white open channel with 3" returns and single tube clear red neon illumination.

The cabinet is supported by a single steel pipe. The aluminum windmill is a non-structural embellishment. See Exhibit D, Exhibit E, Exhibit F and Exhibit G.

Special Considerations

The freestanding signs are taller than is typically allowed within the Town of Gilbert. However, the fact that we have preserved virtually all of the mature landscaping in our former homestead area, means that the new buildings are largely invisible from the road. What is visible are many beautiful trees, some of which are in excess of 70 feet tall. For these businesses to succeed, prominent signage on Ray Road is a necessity, not just a desirable feature. These signs need to clear the height of the street trees, if they are to be clearly visible. This concern was addressed back in 2000 during the adoption of the PAD ordinance which established the Agridropia PAD, specifically (from the Development Plan):

- o Entry signage for the project may include a tractor, trailer, windmill, or any other device commonly associated with agriculture that may be modified as a sign; rocks, fences or pylons may have a painted sign; sign made of layered materials, and signs that may be internally illuminated. Exposed neon is also allowed as a highlighting element.

We believe that the proposed freestanding signage is entirely within both the spirit and letter of the ordinance, that it is tasteful, necessary for the businesses to thrive, and help reinforce the agricultural heritage of the area. Therefore, we request that the freestanding signs and the wall signs be approved.

APPROVED

Administrative Design Review

Case # DA16-52 (DR04-66S)

Date 9/29/2016

Barnone Data Table

Quonset Hut

Per DR15-38 the length of the building is 156

156' x 1 (the building is less than 75' from ROW) x 2 (Double Frontage) - 312 s.f.

building wall signage allowance

Sign Type F Quonset Hut Project ID South - 45.25 s.f.

Sign Type G Quonset Hut Project ID North - 28.26 s.f.

Total Quonset Hut Sign area = 73.51s.f.

Sign Type L Tenant Signs - 238.49 s.f. remaining for tenant signs per sign area shown

Sign Type E1 Directory = 88.67 s.f.

Sign Type E2 Directory = 88.67 s.f.

Note: Directional signs internal to the site and not visible from public

R.O.W. may exceed the height or area restrictions permitted

Sign Type H Driveway Entry Sign 19 s.f. x (2) = 38 s.f.

(6) Total monument signs allowed at a maximum of 60s.f. each.

Sign Type J Pylon Project ID Cabinet Sign - Amended Existing

(6) Total freestanding signs allowed

(4) Total freestanding signs approved

New Annex

Per DR15-38 the length of the building is 40'

40' x 1 (the building is less than 75' from ROW) x 2 (Double Frontage)

80 s.f. building wall signage allowance

New Barn

Per DR15-38 the length of the building is 80'

80' x 1 (the building is less than 75' from ROW) x 2 (Double Frontage)

160 s.f. building wall signage allowance

Sign Type Key

- A** S/F Internally Illuminated Display (Joe's Farm Grill)
- B** S/F Internally Illuminated Display (Joe's Farm Grill)
- C1** Freestanding Sign
- C2** Freestanding Sign
- D** S/F Externally Illuminated Display (The Coffe Shop)
- E** Directory Sign
- F** Quonset Hut Project ID - South
- G** Quonset Hut Project ID - North
- H** Driveway Entry Sign
- J** Pylon Project ID Cabinet Sign
- L** Tenant Signage

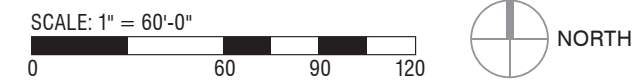
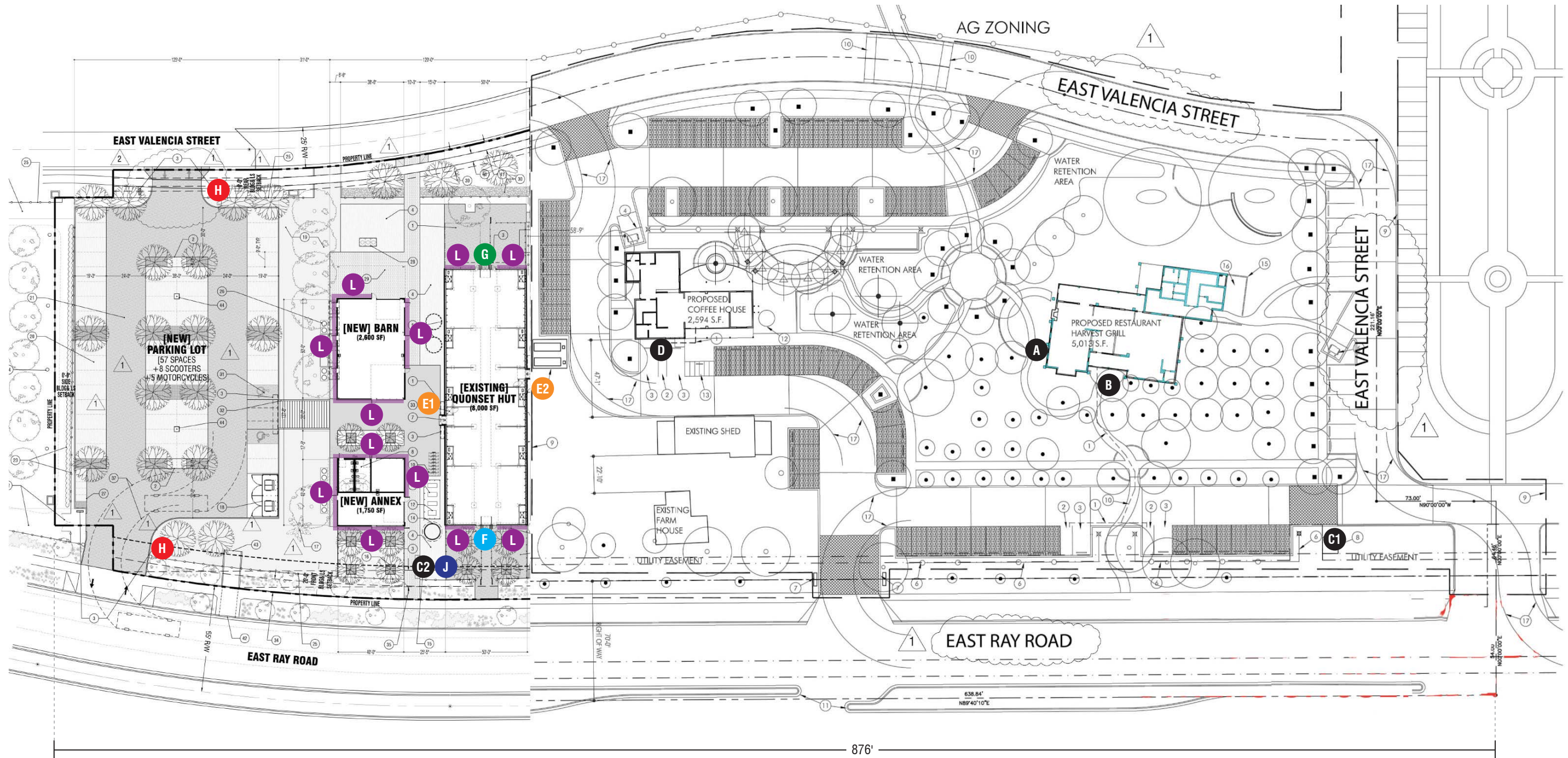
APPROVED

Administrative Design Review

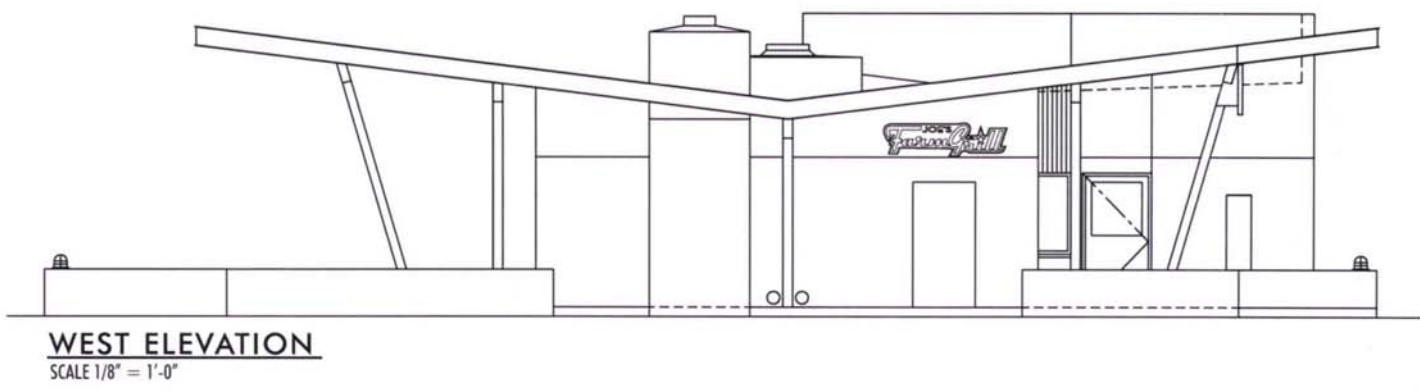
Case # DA16-52 (DR04-66S)

Date 9/29/2016

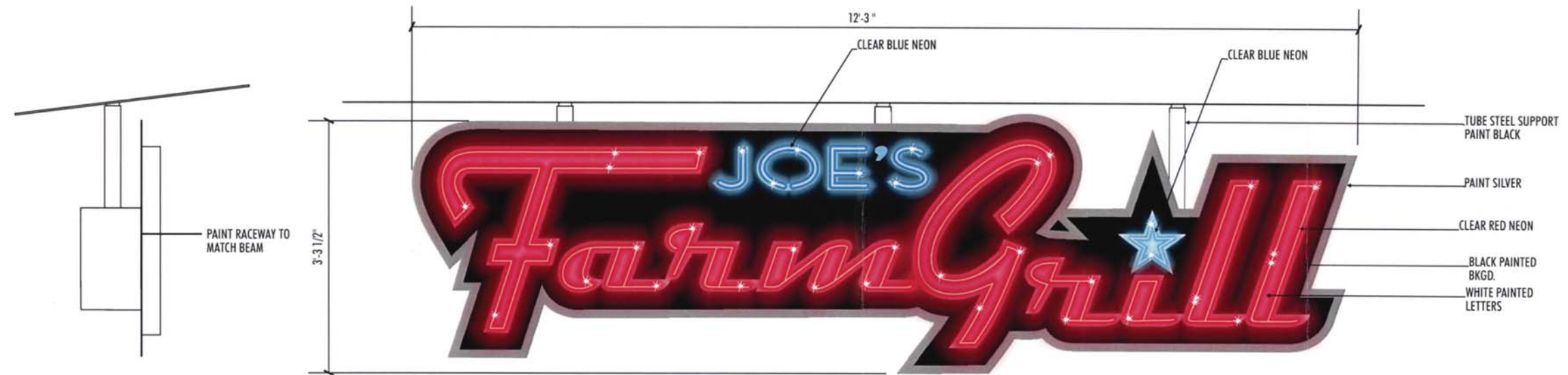
SITE PLAN



APPROVED
 Administrative Design Review
 Case # DA16-52 (DR04-66S)
 Date 9/29/2016



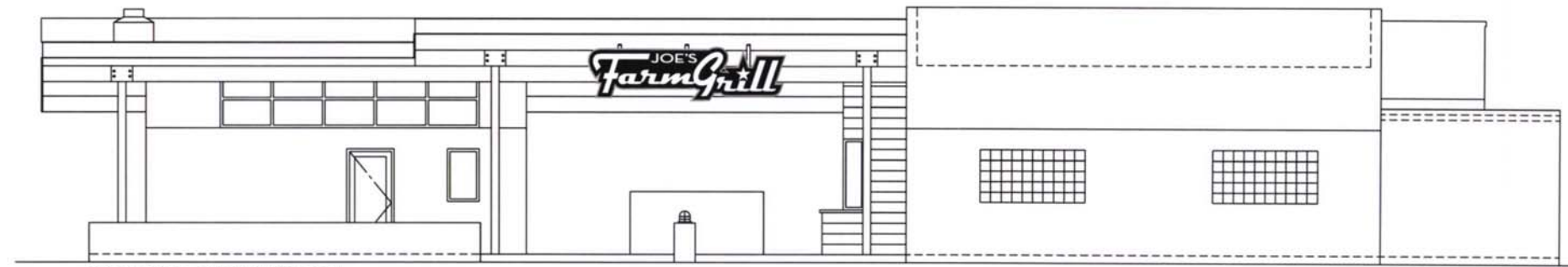
APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/29/2016



B S/F ILLUMINATED DISPLAY
SCALE: 3/4" = 1'-0" 40.33 SQUARE FEET

MANUFACTURE AND INSTALL (1) ONE S/F DISPLAY.

"JOE'S" LETTERS AND THE STAR ARE WHITE PAINT ON BLACK PAINTED BKGD. DOUBLE TUBE CLEAR BLUE NEON ILLUMINATION. "FARM GRILL" LETTERS ARE WHITE OPEN CHANNEL WITH 3" RETURNS, DOUBLE & SINGLE TUBE CLEAR RED NEON ILLUMINATION. PAINT THE BACKGROUND PANEL BLACK.

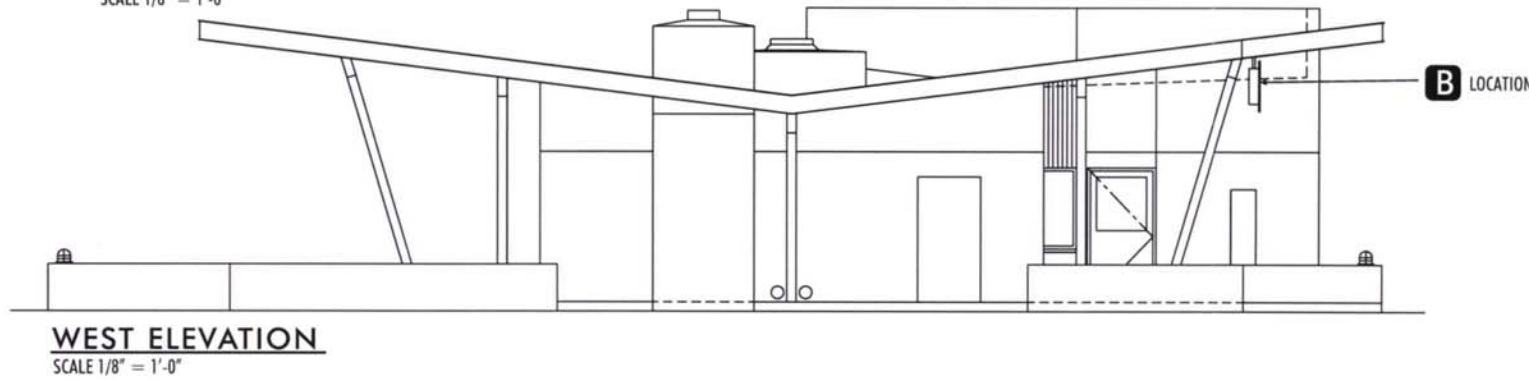
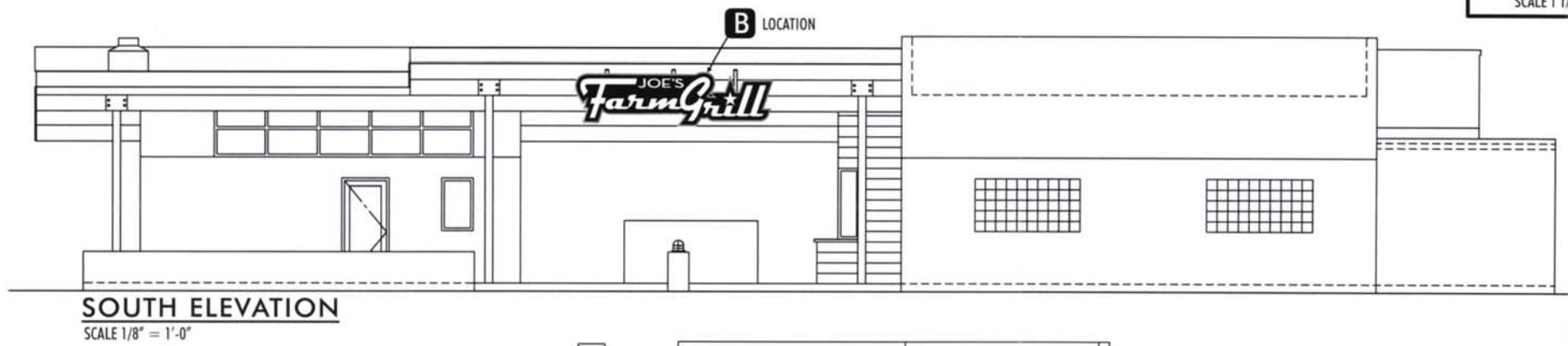
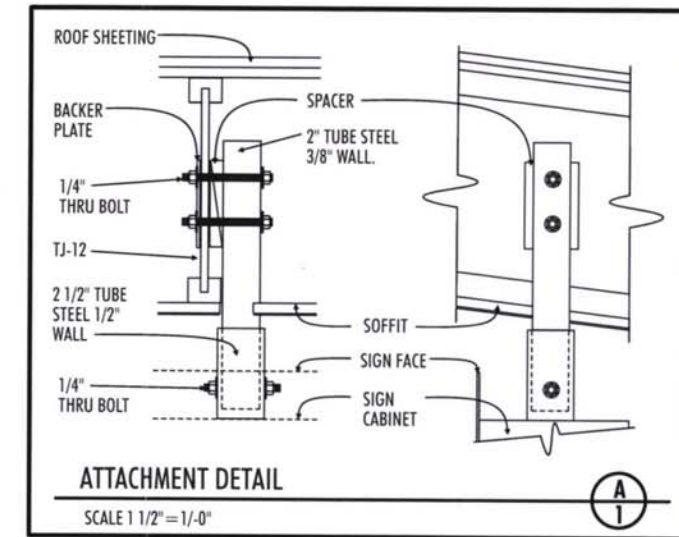
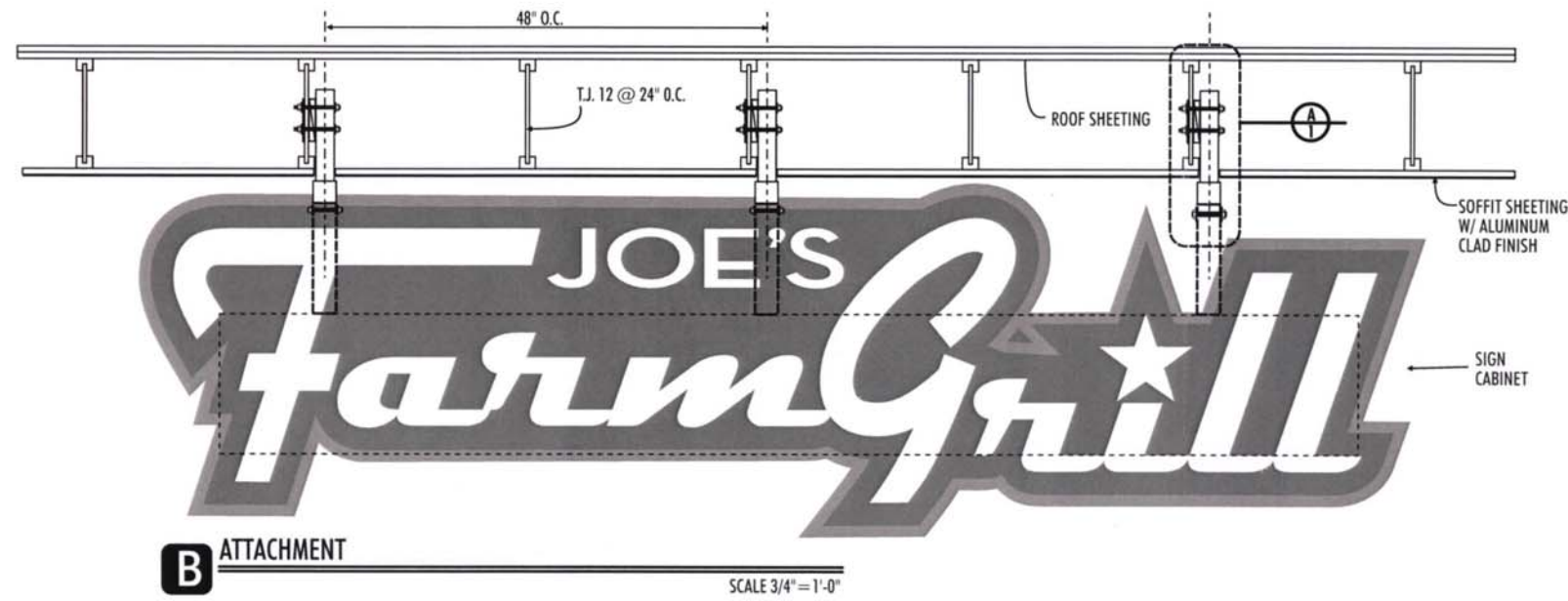


SOUTH ELEVATION
SCALE 1/8" = 1'-0"

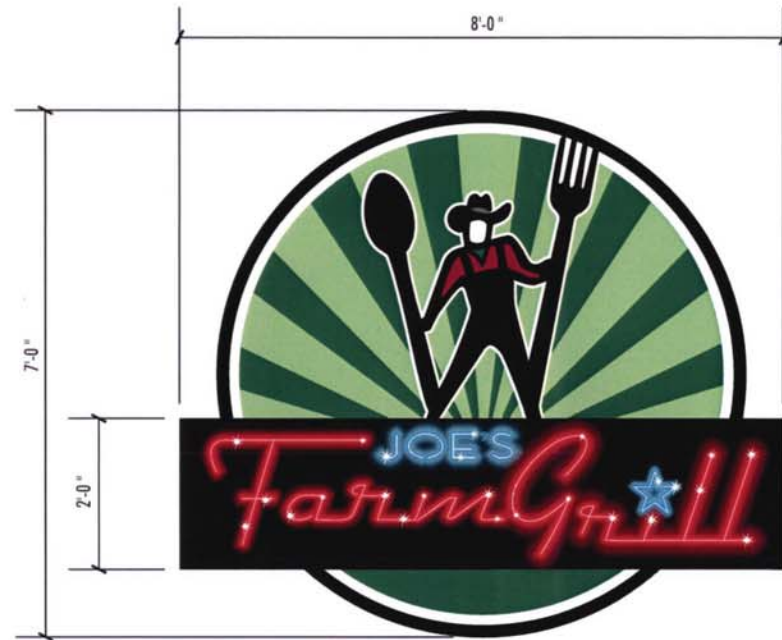


APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/29/2016

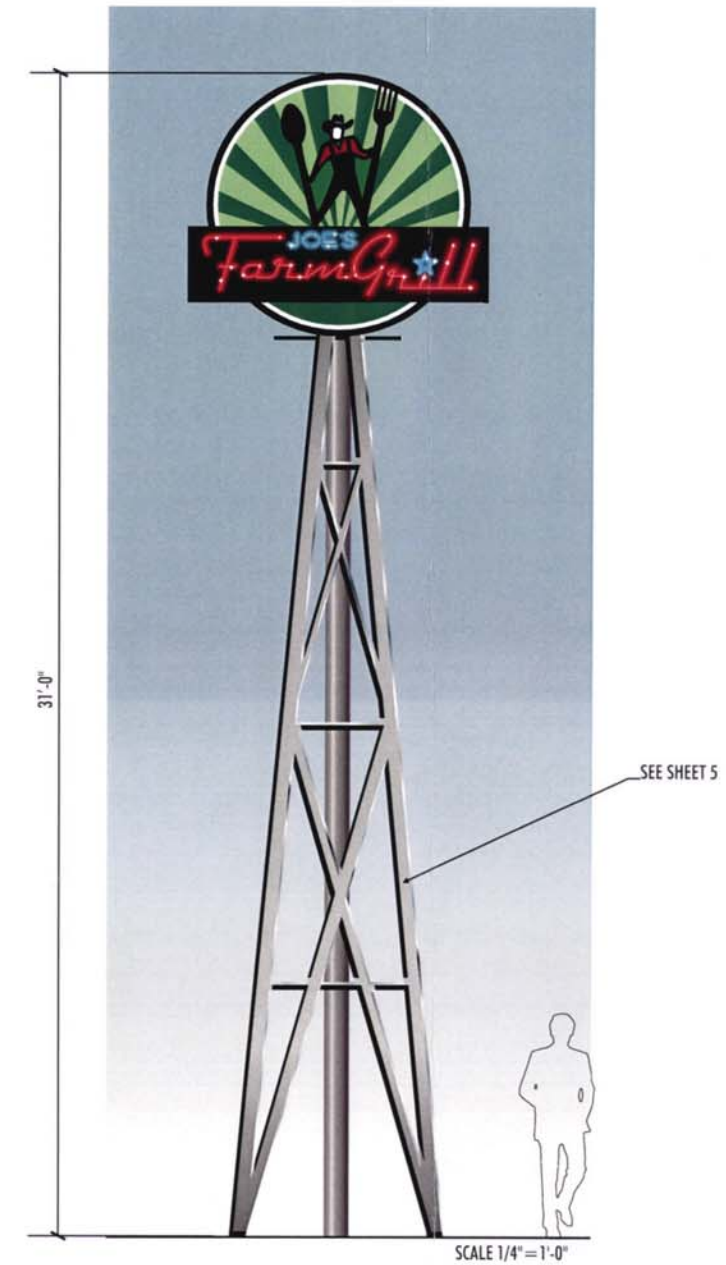
EXHIBIT C
SIGN B
INSTALLATION
DETAIL



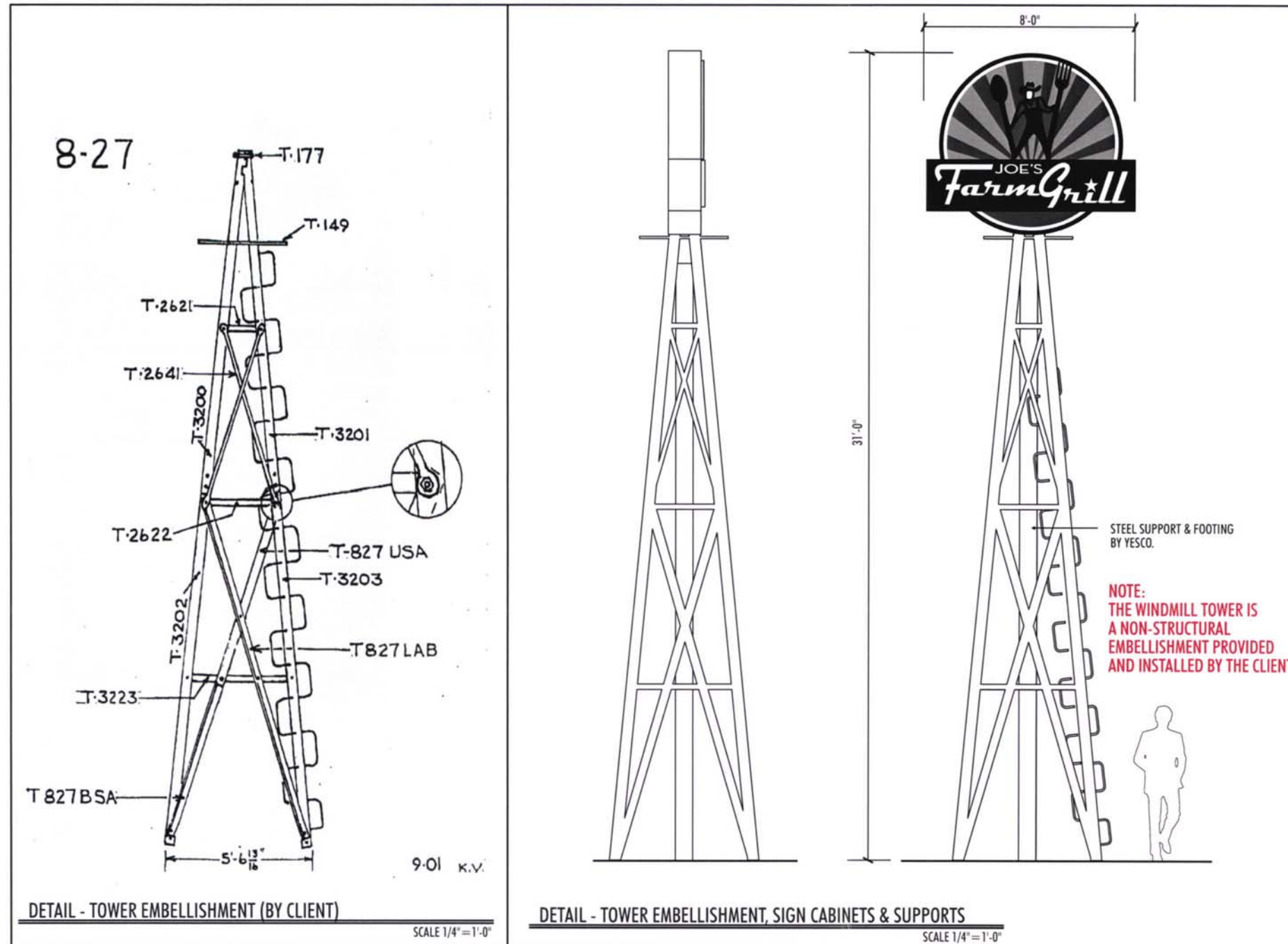
APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/29/2016



C1 C2 ILLUMINATED TOWER DISPLAY
 SCALE: 1/2" = 1' - 0"
 56 SQUARE FEET
 MANUFACTURE AND INSTALL (2) TWO S/F DISPLAYS.
 "JOE'S" SIGN...THE PICTORIAL IS FIRST SURFACE VINYL ON WHITE POLYCARBONATE. "JOE'S" LETTERS AND THE STAR ARE WHITE VINYL ON BLACK PAINTED BKGD. WITH SINGLE TUBE CLEAR BLUE NEON ILLUMINATION. "FARM GRILL" LETTERS ARE WHITE OPEN CHANNEL WITH 3" RETURNS AND SINGLE TUBE CLEAR RED NEON ILLUMINATION.
 YESCO TO PROVIDE STEEL PIPE SUPPORT (PTD. SILVER) & SIGN CONCRETE FOOTING. WINDMILL STRUCTURE TO BE PROVIDED BY CUSTOMER.



APPROVED
 Administrative Design Review
 Case # DA16-52 (DR04-66S)
 Date 9/26/2016



APPROVED
 Administrative Design Review
 Case # DA16-52 (DR04-66S)
 Date 9/29/2016

EXHIBIT F
SITE PHOTO
C1 LOCATION



APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/29/2016

EXHIBIT G
SITE PHOTO
C2 LOCATION



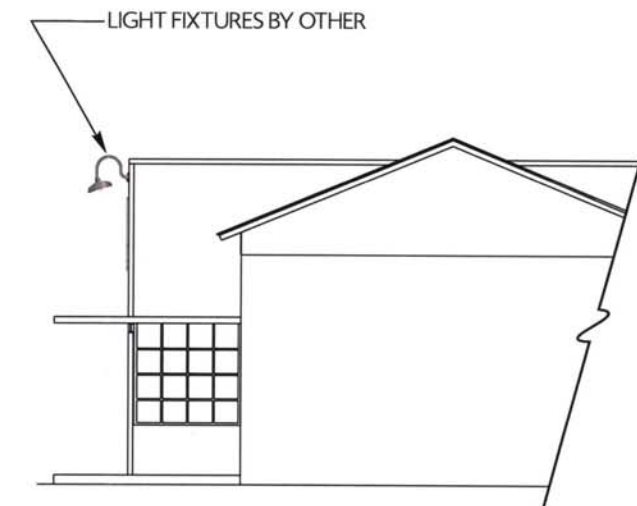
APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/29/2016



S/F EXTERNALLY ILLUMINATED DISPLAY
SCALE: 1/2" = 1'-0"
MANUFACTURE AND INSTALL (1) ONE DISPLAY.



BUILDING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

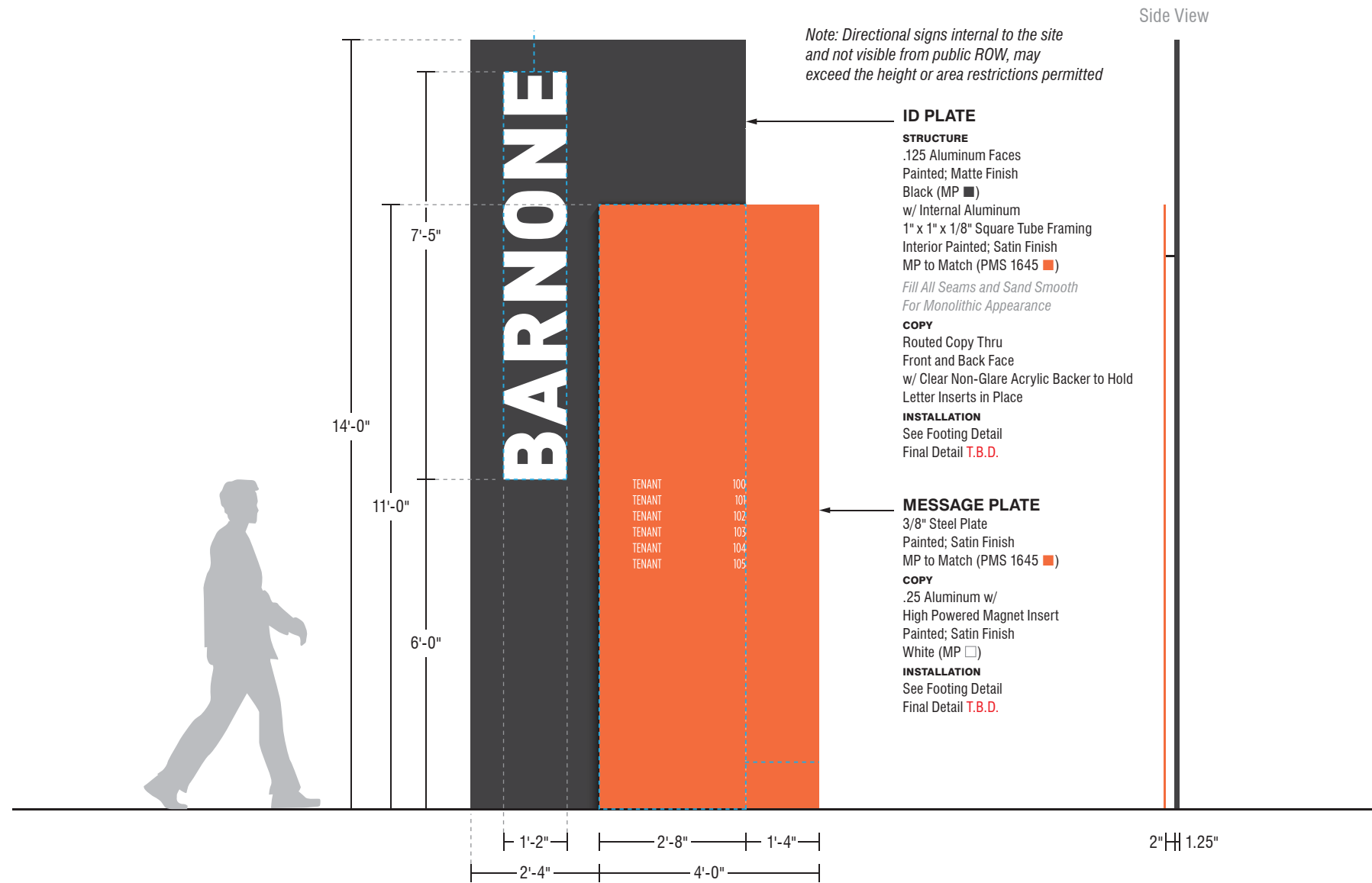


PARTIAL BUILDING END VIEW
SCALE: 1/8" = 1'-0"



6011BR4 dr 13

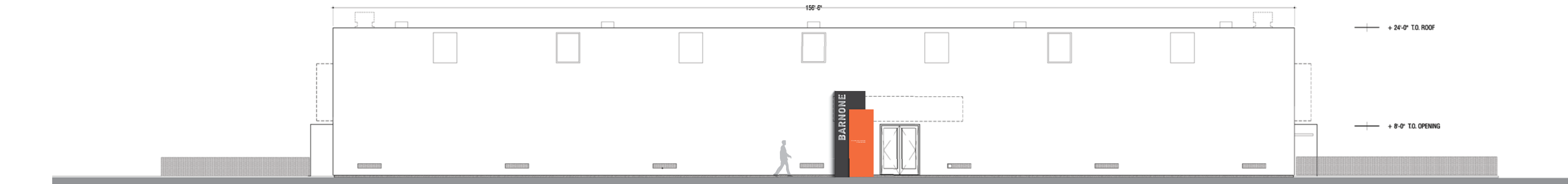
APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/29/2016



Conceptual Rendering

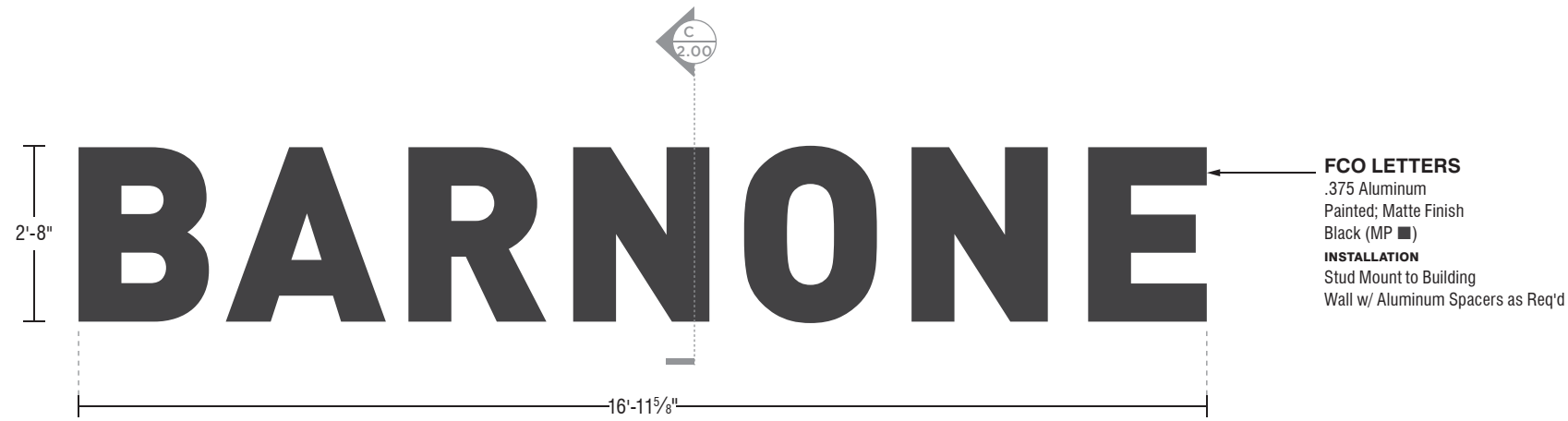
A Project Detail
 SCALE 3/8" = 1'0"

Qty: 2 / ● Install
 88.67 ☒



B West Elevation
 SCALE 1" = 16'-0"

APPROVED
 Administrative Design Review
 Case # DA16-52 (DR04-66S)
 Date 9/29/2016

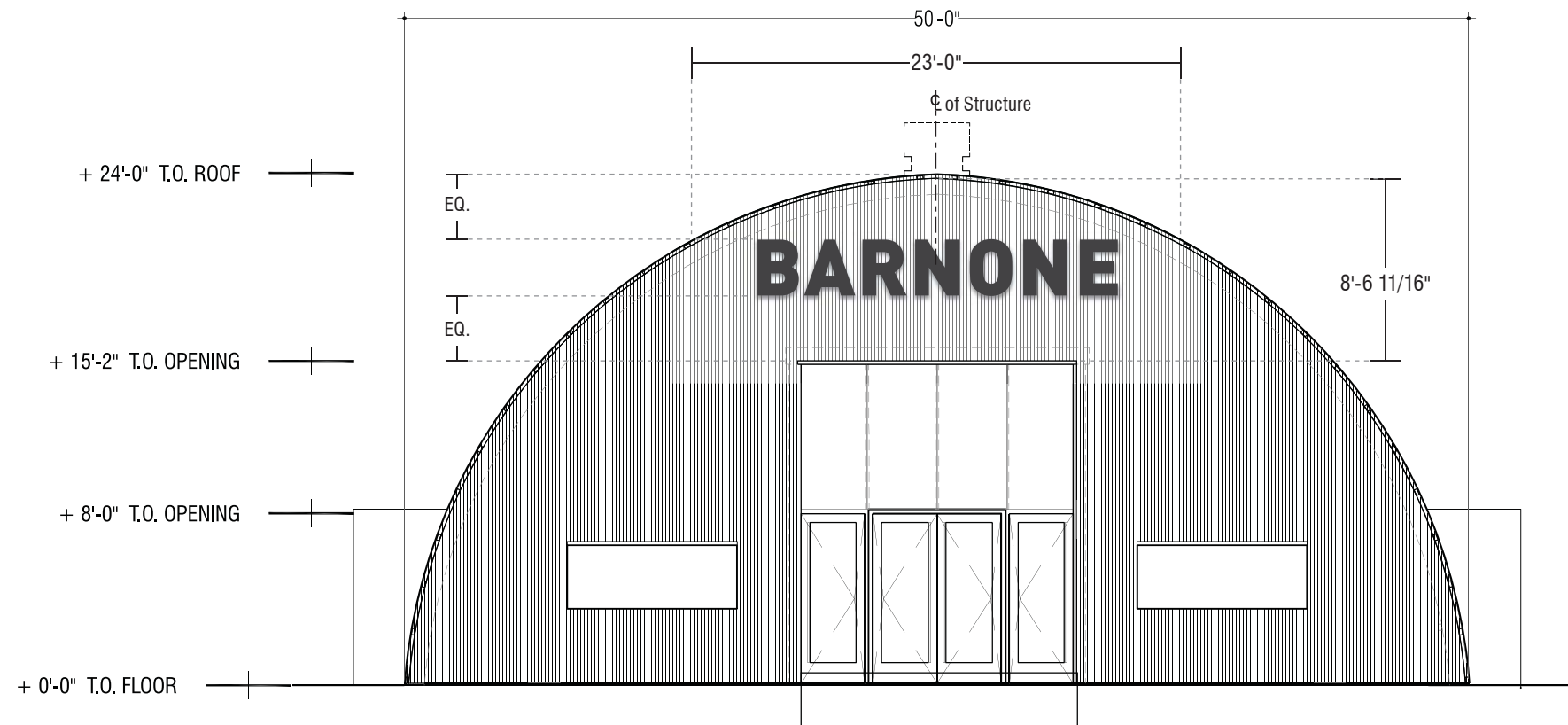


Conceptual Rendering

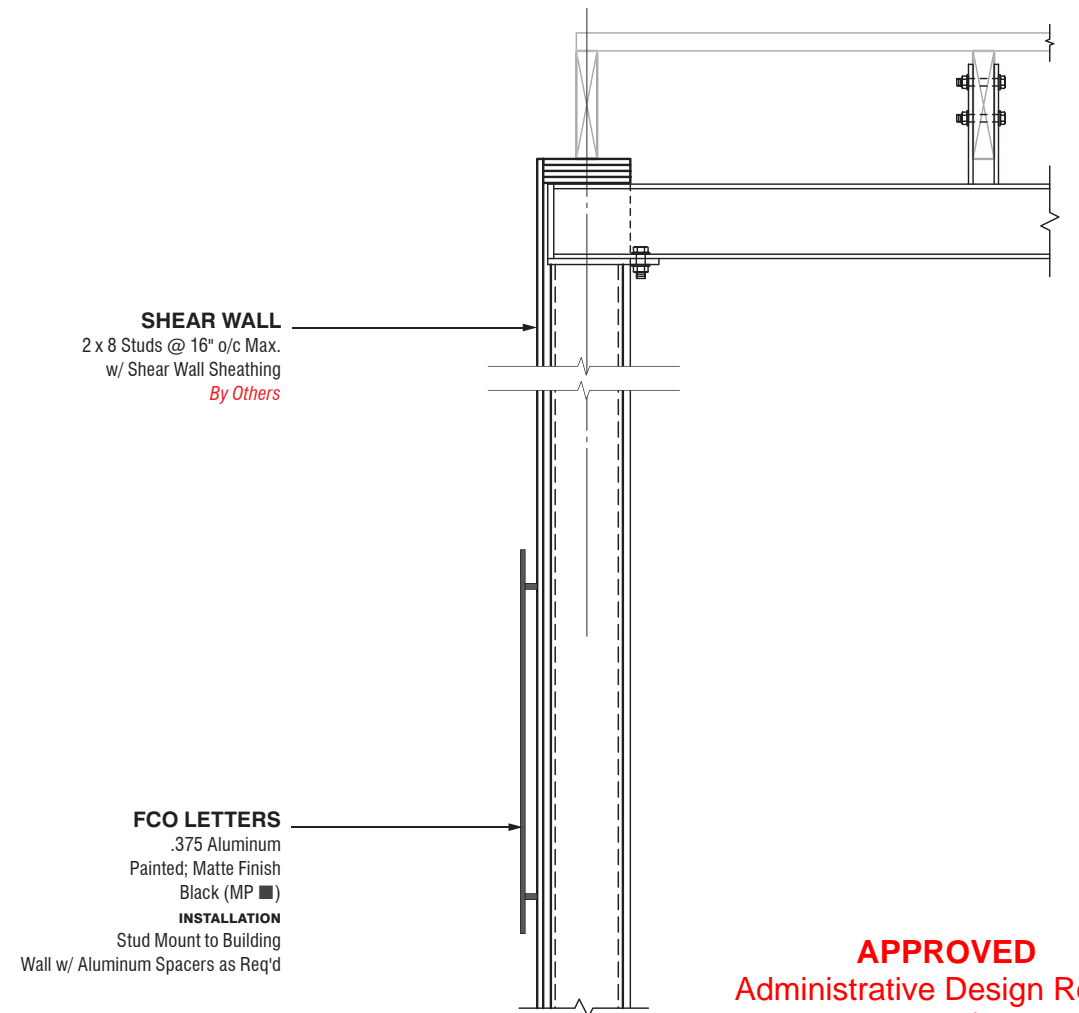
A Project Detail
SCALE 3/8" = 1'-0"

Qty: 1 / ☉ Install
45.25 ☒

Width: 23' x 80% = 18.4' max. allowed
Height: 8'-6 11/16" x 80% = 6.8' max. allowed

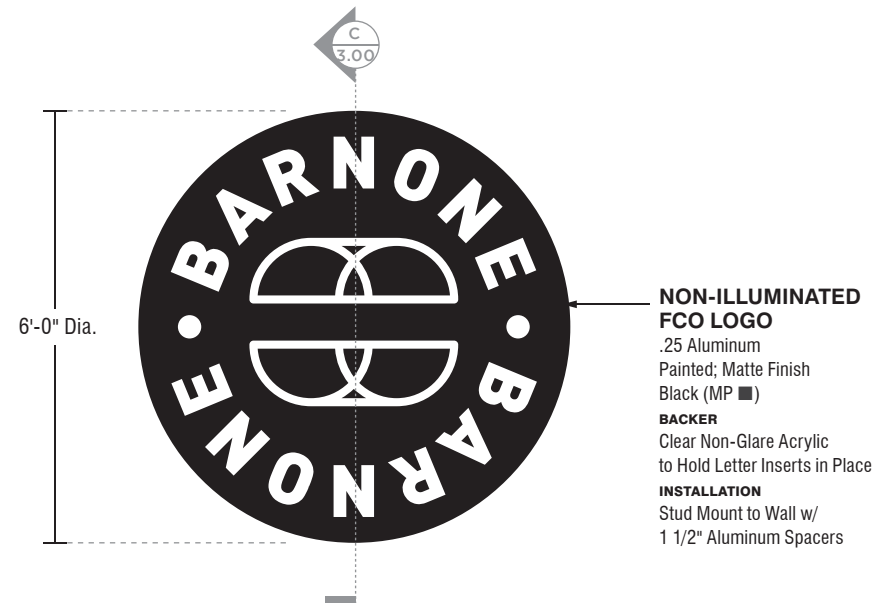


B South Elevation
SCALE 1/8" = 1'-0"



C Preliminary Section
SCALE 3/4" = 1'-0"

APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/29/2016

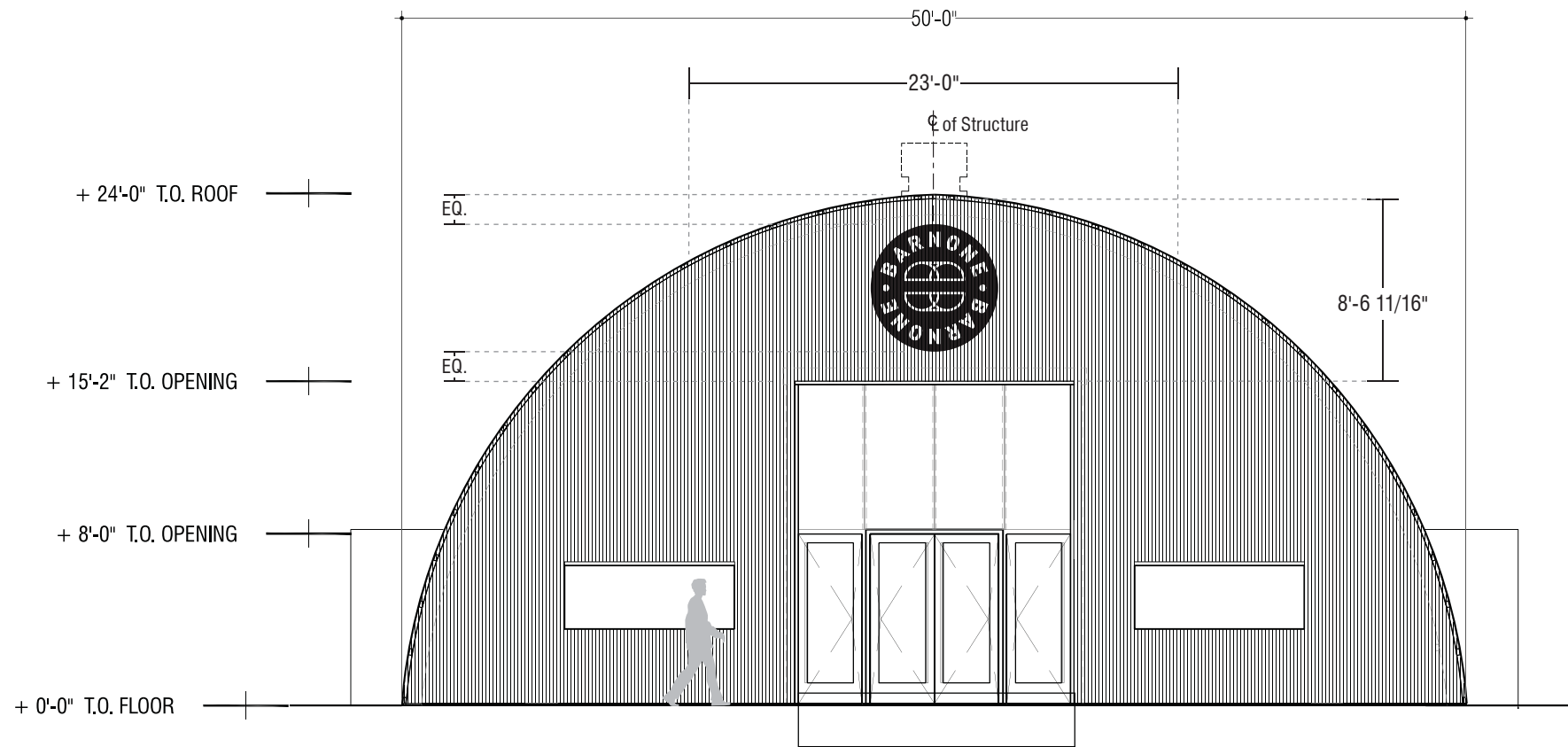


Conceptual Rendering

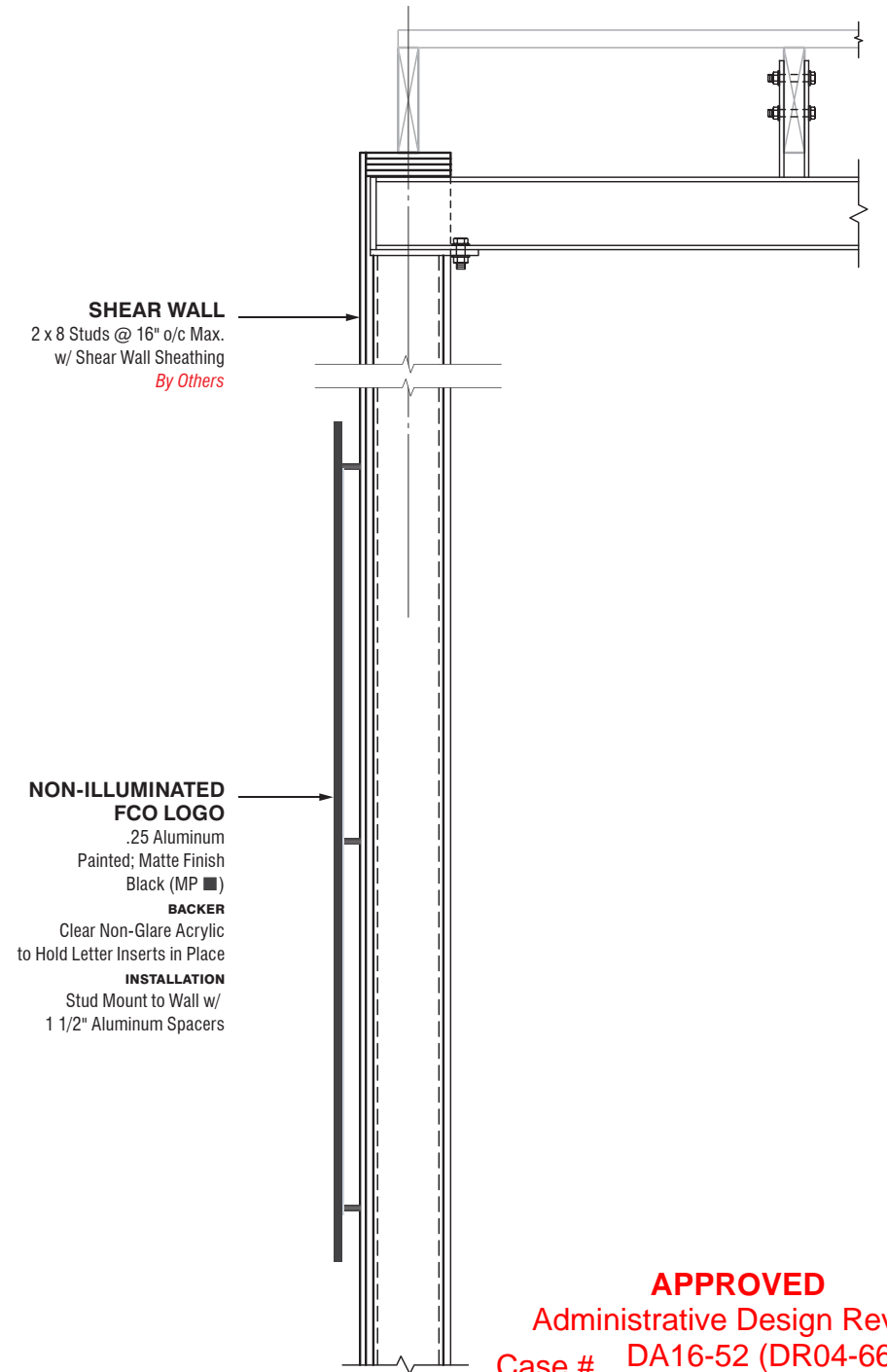
A Project Detail
SCALE 3/8" = 1'-0"

Qty: 1 / ☉ Install
28.26 ☒

Width: 23' x 80% = 18.4' max. allowed
Height: 8'-6 11/16" x 80% = 6.8' max. allowed



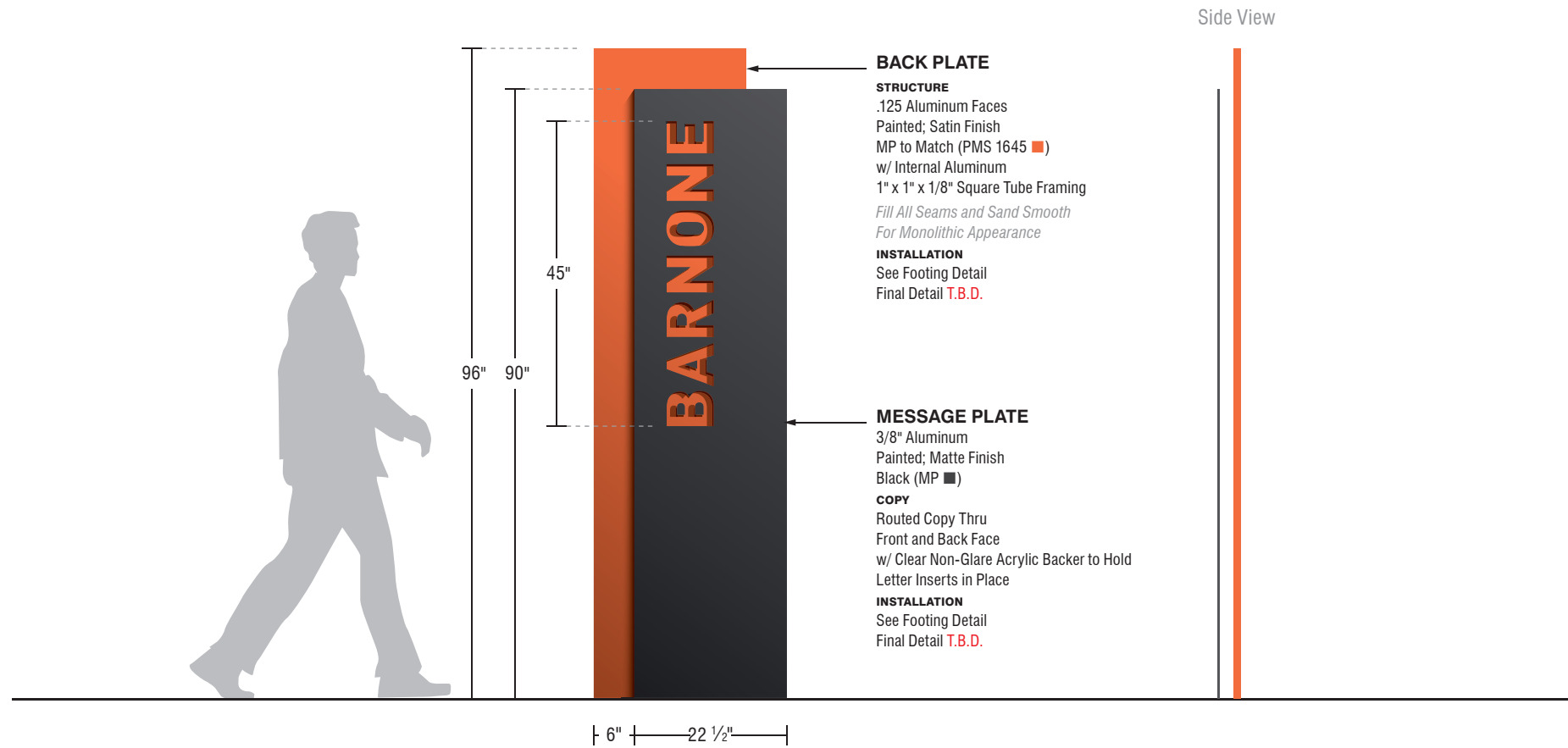
B North Elevation
SCALE 1/8" = 1'-0"



C Preliminary Section
SCALE 3/4" = 1'-0"

APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/29/2016

Note: (6) Total monument signs allowed at a maximum of 60s.f. each.



Conceptual Rendering

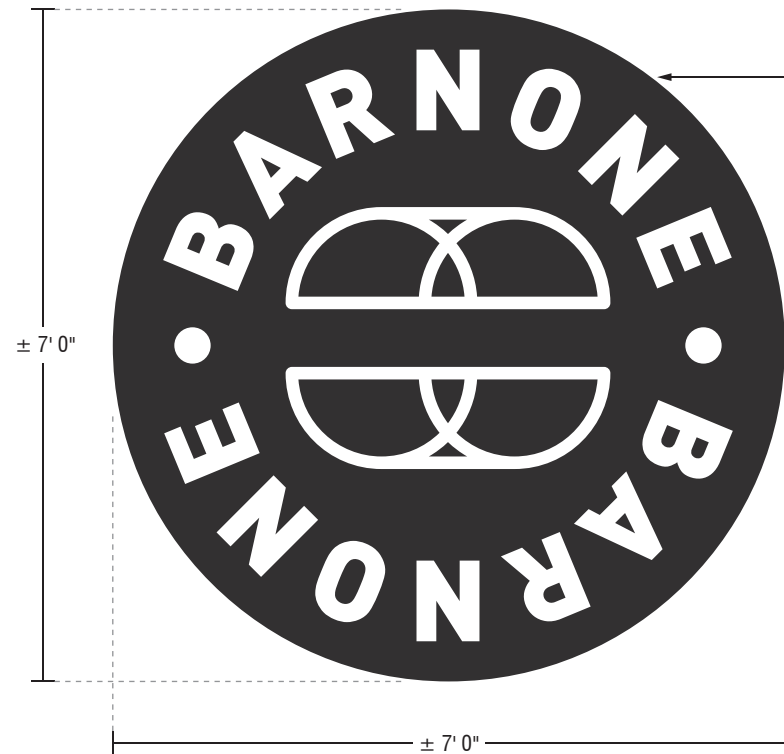


A Project Detail
 SCALE 1/2" = 10"

Qty: 2 / © Install
 19.00

APPROVED
 Administrative Design Review
 Case # DA16-52 (DR04-66S)
 Date 9/29/2016

SITE SURVEY REQUIRED
 MOCK-UP SHOWN UNTIL OFFICIAL
 DIMENSIONS CAN BE ACQUIRED.



ILLUMINATED CABINET

FACES
 .125 Aluminum
 Painted; Matte Finish
 Black (MP ■)

RETURNS
 .063 Aluminum, Depth **T.B.D.**
 Painted; Matte Finish
 Black (MP ■)

BACK
 .063 Aluminum
 Painted; Matte Finish
 Black (MP ■)

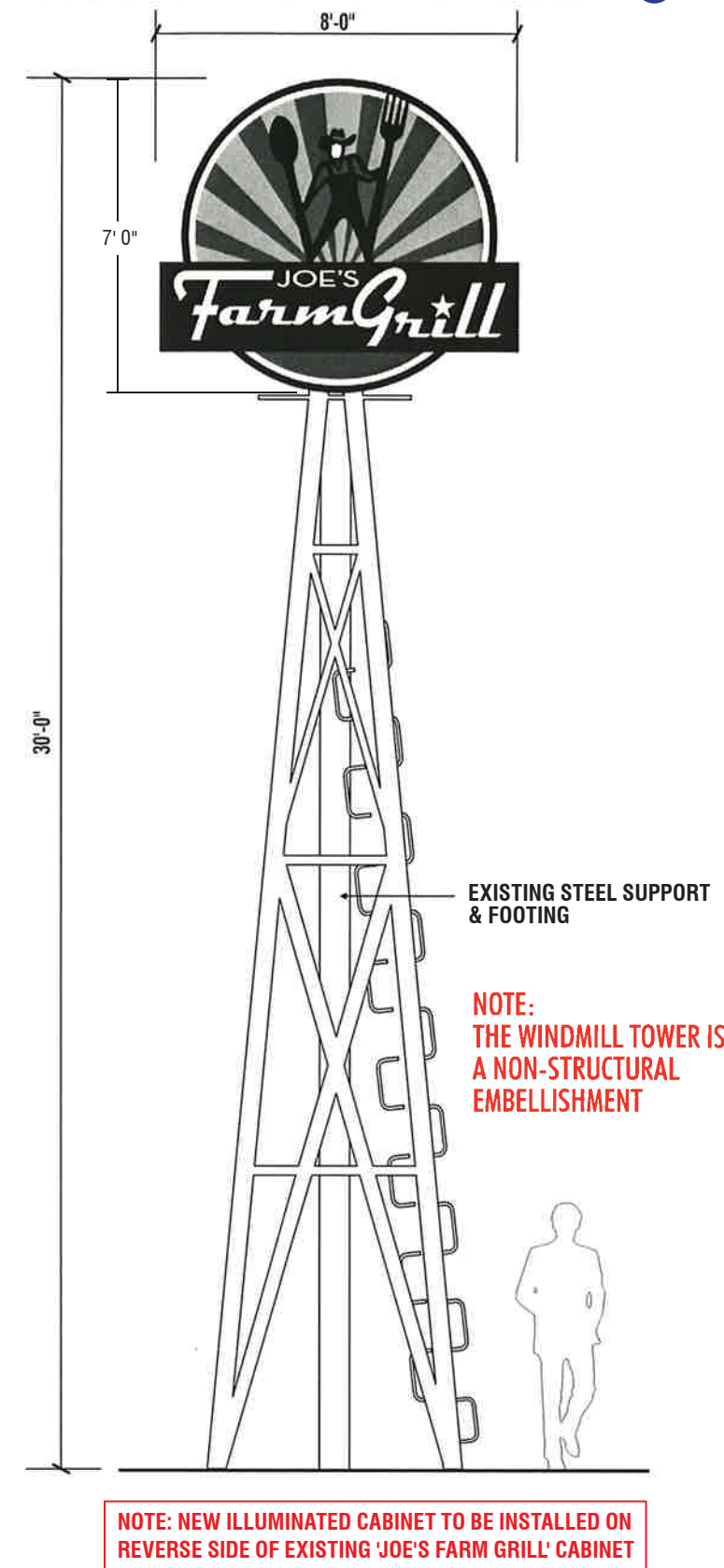
COPY
 3/4" Clear Acrylic Push Thru
 w/ 1st Surface White Trans Vinyl
 2nd Surface Applied 70 Diffuser

ILLUMINATION
 White LED
 GE Tetra MAX2 7100K

INSTALLATION
 Secure to Existing Pylon Pole
 as Required.
 Final Details **T.B.D.**

Note: (6) Total freestanding monument signs allowed
 (4) Total freestanding monument signs approved

Concept



A Project Detail
 SCALE 1/2" = 1'0"

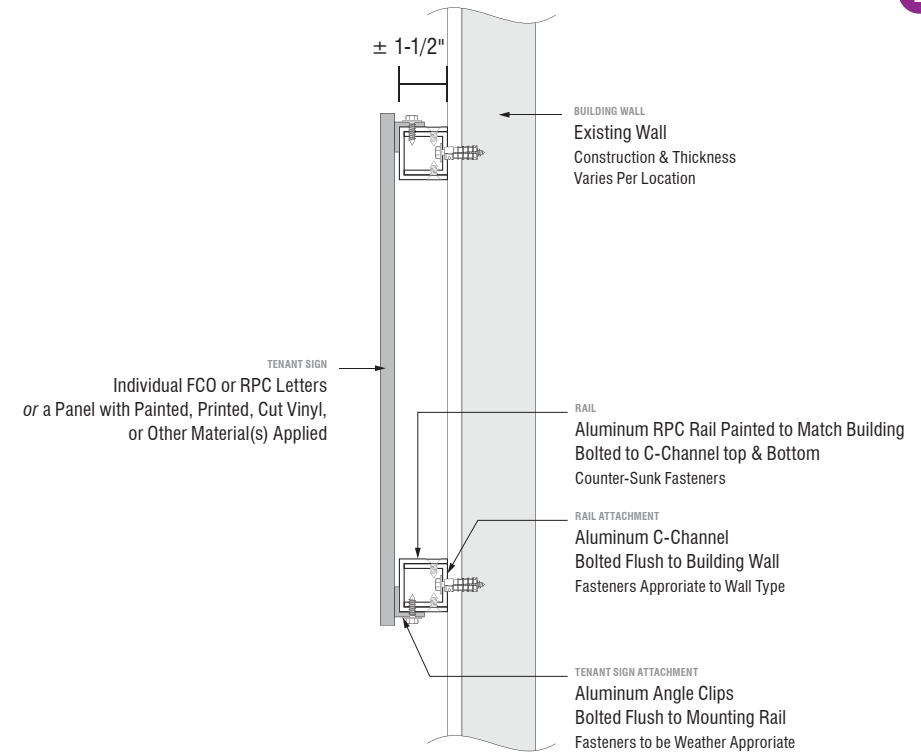
Qty: 1 / ● Install

B Project Detail - Existing S/S Pylon Sign
 SCALE 1/4" = 1'0"

APPROVED
 Administrative Design Review
 Case # DA16-52 (DR04-66S)
 Date 9/29/2016

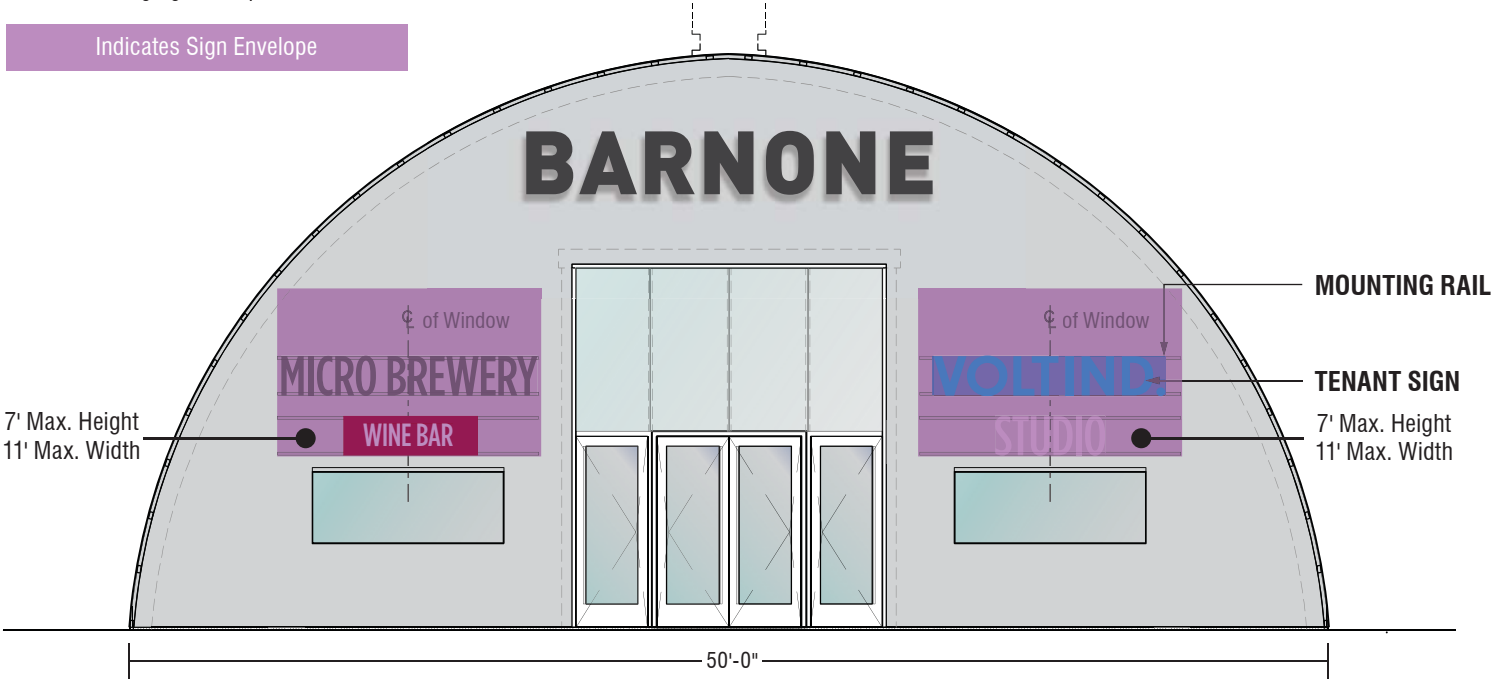
SIGN DESIGNATION	BUILDING MOUNTED TENANT SIGN
TYPE	Individual Letters with Optional Logo Applied to Panel
ILLUMINATION	External; Gooseneck Lamps or Other (Provided by Landlord)
MATERIAL	Includes, but is Not Limited to: Aluminum, Steel, Stainless Steel, Acrylic, Polycarbonate, Vinyl, Paint, as Well as Various Other Materials that Are Appropriate to Exterior Weather Conditions
CONSTRUCTION	Includes, but is not limited to: Painted Wall Graphics, Blade Signs, Flat Cut Out Aluminum, Reverse Pan Channel, Custom multi-layered signs, Routed Panels
LETTER STYLE	Corporate Letterstyles, Logotype and Logo Graphics may be used
LOGO	Logotype and Logo Graphics may be used
COLOR	Open to corporate colors or building colors. Subject to Landlord Approval
SIZE RESTRICTION	Not to exceed 80% of horizontal and vertical backgrounds. Subject to Landlord Approval
INSTALLATION	Mounted to Building Façade in Locations Designated on The Following Pages. All Signs to Affix to Rail System as Required NO TENTANT SIGN IS TO ATTACH DIRECTLY TO THE BUILDING FAÇADE

NOTE: ALL TENANT SIGN LAYOUTS/DESIGNS ARE TO BE APPROVED BY THE LANDLORD PRIOR TO BEING SENT TO THE CITY OF GILBERT FOR REVIEW AND APPROVAL



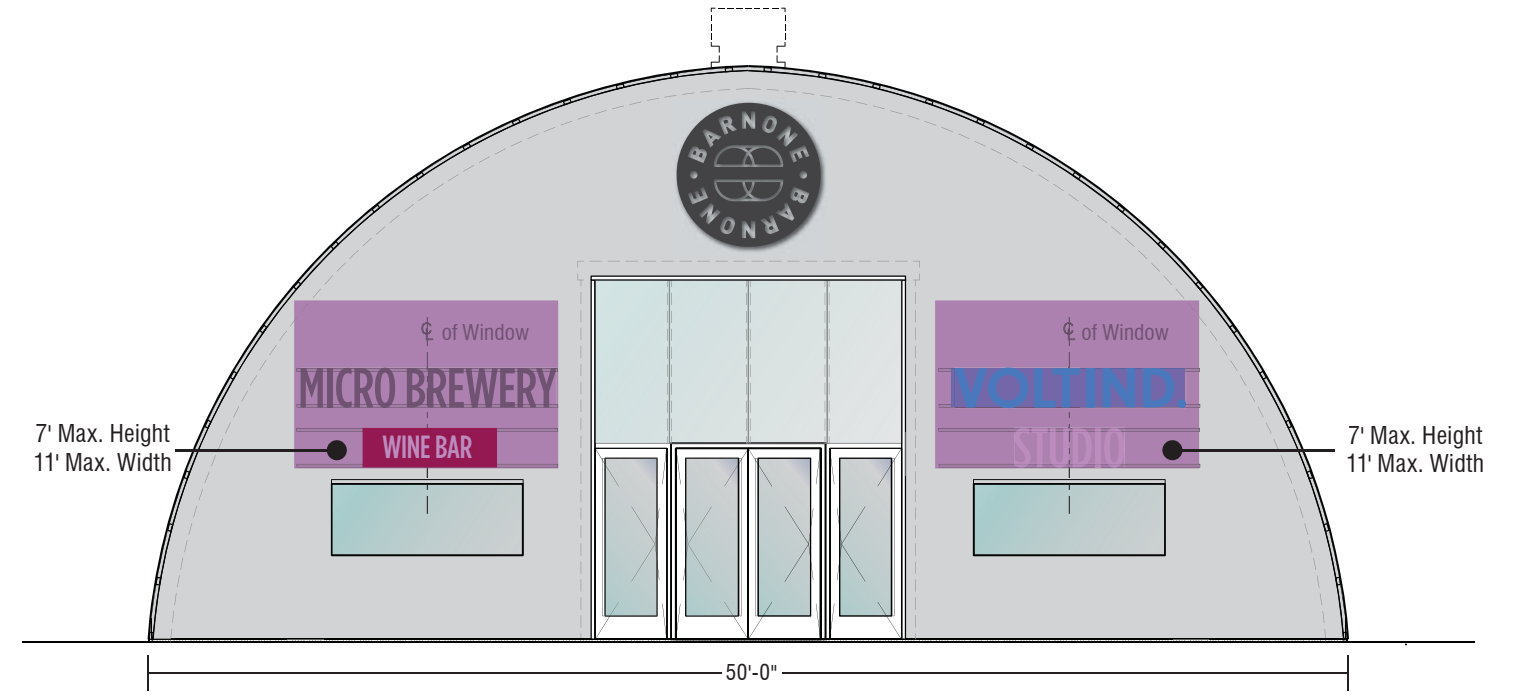
A Criteria

Quonset Hut: 238.49 s.f. Building Wall Signage Allowance
Once, the 238.49 s.f. is met, there is no more allowance even if there is remaining sign envelope.



C South Elevation View
SCALE 1/8" = 1'0"
0 2 4 8

B Example Section Detail w/ Mounting Rail (Landlord Provided)
NTS



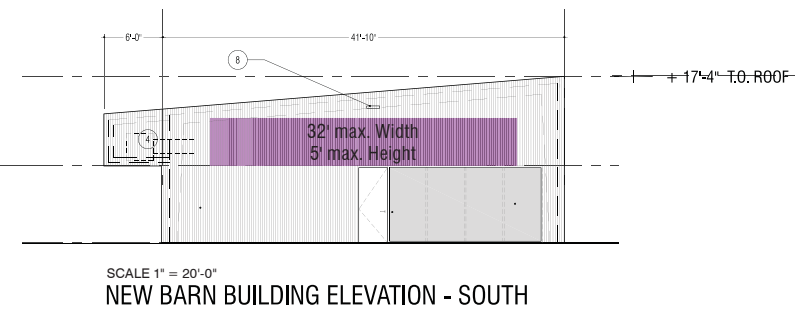
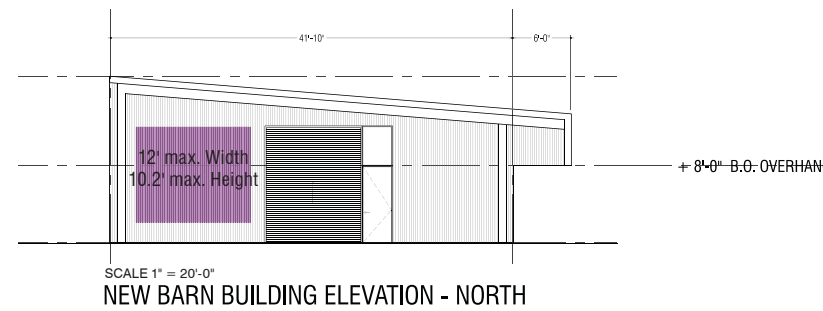
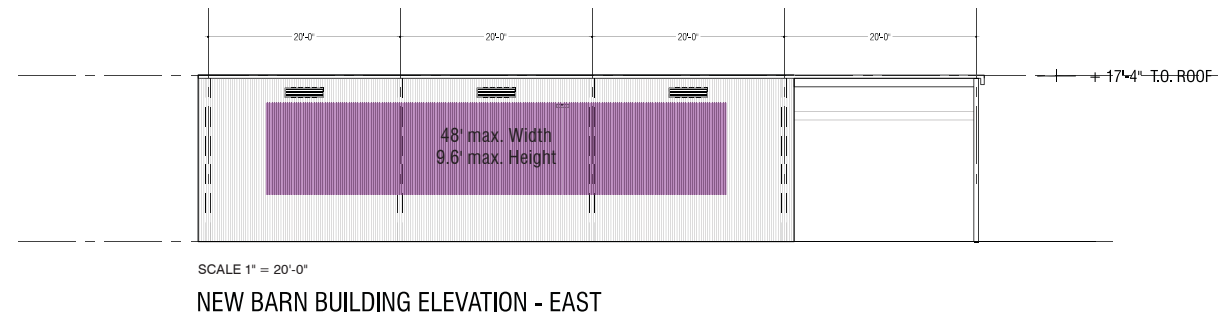
D North Elevation View
SCALE 1/8" = 1'0"
0 2 4 8

APPROVED
Administrative Design Review
Case # DA16-52 (DR04-66S)
Date 9/26/2016

New Barn Building: 160 s.f. Building Wall Signage Allowance

Once, the 160 s.f. is met, there is no more allowance even if there is remaining sign envelope.

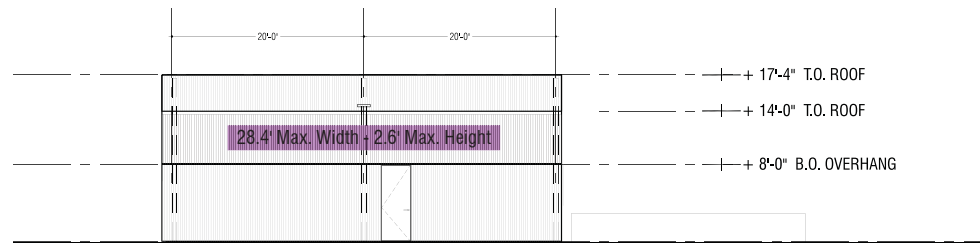
Indicates Sign Envelope



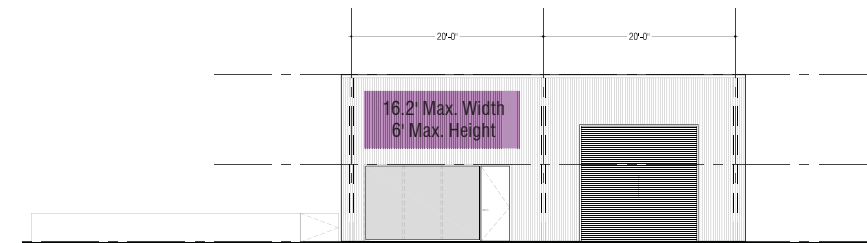
APPROVED
 Administrative Design Review
 Case # DA16-52 (DR04-66S)
 Date 9/29/2016

New Annex Building: 80 s.f. Building Wall Signage Allowance
 Once, the 80 s.f. is met, there is no more allowance even if there is remaining sign envelope.

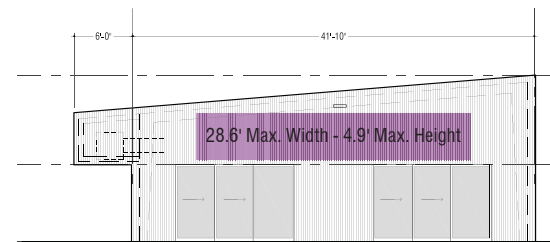
Indicates Sign Envelope



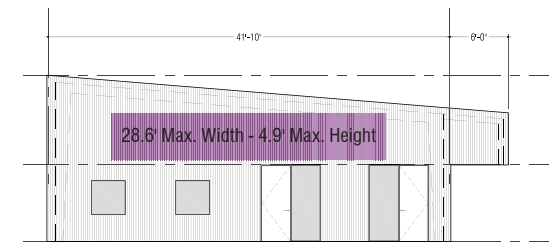
SCALE 1" = 20'-0"
 NEW ANNEX BUILDING ELEVATION - WEST



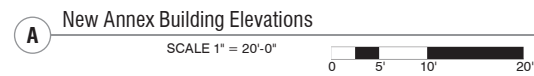
SCALE 1" = 20'-0"
 NEW ANNEX BUILDING ELEVATION - EAST



SCALE 1" = 20'-0"
 NEW ANNEX BUILDING ELEVATION - SOUTH



SCALE 1" = 20'-0"
 NEW ANNEX BUILDING ELEVATION - NORTH



APPROVED
 Administrative Design Review
 Case # DA16-52 (DR04-66S)
 Date 9/29/2016