



1825 S. BLACK CANYON HWY., PHOENIX, AZ 85009  
PHONE (602) 242-4488 FAX (602) 271-0433

## APPROVED PLANS

Design Review Board

CASE: DR06-53

DATE: 8/10/06

SUBJECT TO CONDITIONS OF APPROVAL

## NARRATIVE

### WILLIAMS FIELD & VAL VISTA SHOPPING CENTER

The Williams Field & Val Vista Shopping Center is a combination of four separate Pads consisting of a Fast Food Restaurant, Car Wash and two automotive related parcels. The focal point of the Center will be the Car Wash and the Fast Food Restaurant, as these are located along Val Vista Dr. The other two Pad Tenants are located behind the Car Wash and the Restaurant.

The freestanding signage for the Center has been created to compliment the architecture of the largest Tenant on the project, the Car Wash. There is one double-faced Multi Tenant Sign allowing for all four Pad Tenants to have signage located along Val Vista. The Car Wash, consisting of the most acreage will have a single-faced Single User Sign as well. This sign will be located at the corner of Val Vista Dr. and Toledo St. The Tenant copy for both freestanding signs will be translucent plexiglass with opaque backgrounds.

The sign packages for both the Car Wash and the Fast Food Restaurant are unique in nature. The signage for Classic Car Wash consists of Pan Channel, Reverse Pan Channel, Exposed Neon, Halo Illumination and Internal Illumination. The Car Wash is an upper end destination location for the residences and business' in the area. There has been no expense spared to create a welcome upscale feeling to all who visit this site. Both the interior and exterior are like no other Car Wash in Arizona, as is the signage.

The signage package for Wienerschnitzel and Taste Freeze is an unusual combination of Internally Illuminated Pan Channel Words and Pan Channel Logos with the Nationally recognized signage standards, graphics and colors.

The Signage Comprehensive has been designed to allow the individual Pad Tenants the flexibility of creating a unique signage program for their business that fits their particular needs. The Pad Tenants are encouraged to utilize a combination of sign types to establish an identity that is distinct yet cohesive.

**Williams Field Rd. & Val Vista Dr. Shopping Center**  
**2297 S. Val Vista Drive**  
**Comprehensive Sign Program**  
**Sign Specifications and Requirements**

The purpose of the owners and the management is to create a graphic environment that is individual and distinctive in identity for the merchant and also compatible with other signs within the Center. The total concept should give an impression of quality, professionalism and instill a good business image.

The following specifications are to be used for the design of your sign; however in all cases final written approval by LESSOR'S management is required prior to manufacturing and installation of all signs.

PROCEDURE: Sign drawing proposal will be submitted in three (3) copies to Rick Stertz c/o Classic Car Spa, 4425 N. 24<sup>th</sup> Street, Suite 200, Phoenix, AZ 85016, for written approval, prior to application for sign permit. One copy will be returned to the contracted Sign Company, and two copies shall be retained in the lease file.

**DETAIL DRAWING**

1. Three (3) copies of a complete and detailed drawing by Sign Company shall be submitted to Declarant for final review and approval.
2. Elevation of building fascia and sign shall be drawn using a minimum ¼" to 1" scale.
3. Drawing shall indicate the following specifications:
  - a. Type, thickness, and color of Plexiglas and or vinyl overlay.
  - b. Types of material used for backs, returns, and trim cap, including color.
  - c. Finish used on returns.
  - d. Type of illumination and mounting method.
4. Drawing must include fascia cross section showing electrical connections.

**NOTICE**

**WRITTEN APPROVAL AND CONFORMANCE WITH THIS SPECIFICATION DOES NOT IMPLY CONFORMANCE WITH THE LOCAL CITY AND OTHER APPLICABLE SIGN CODES. YOUR SIGN MUST BE PERMITTED AND MUST COMPLY WITH THE TOWN OF GILBERT SIGN CODES AND ELECTRICAL CODES AND A RECEIPT OF A SIGN PERMIT MUST BE RECEIVED PRIOR TO MANUFACTURING AND INSTALLATION OF ALL SIGNS.**

**A. GENERAL PROVISIONS**

1. All signs and signage programs must conform to the requirements of Town of Gilbert Zoning Ordinance, Sign Regulation, and the Freestanding Identification Sign Design Guidelines. Applications and submittals for signage permits shall be per Town of Gilbert.
2. Signs shall identify the person or company operating the use conducted on the site. No off premise advertising is permitted.
3. Signs shall be designed to reflect the character of the project they are identifying. Sign construction materials shall be consistent and compatible with the material used for the project.
4. Freestanding signs must be incorporated into the landscape, and utilize key architectural elements of the buildings.

## **B. GENERAL REQUIREMENTS**

1. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted or affixed in any manner to any part of the building exterior except as approved in writing by Declarant & the Town of Gilbert.
2. Tenant shall defend, indemnify and hold Declarant harmless from, for and against all claims, costs, attorney's fees, damages, expenses, liabilities and losses arising from the installation, maintenance and repair of Tenant's signs.
3. Each electrical sign and the installation thereof, shall comply with all local building and electrical codes. PK housings and or other U.L approved penetrations must be utilized for all electrical connections through the building structure.
4. Tenant shall obtain all necessary permits for signs and the construction and installation of signs.
5. No labels shall be placed on the exposed surfaces of signs except those required by local ordinances. Required labels shall be applied in inconspicuous locations.
6. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight manner.
7. Sign copy shall be limited to Tenant's proper firm name and may include the names of two products, or service lines. The use of a crest, shield, logo, or other established corporate insignia or modifier, which has been displayed, or associated with Tenant's firm name shall be permitted subject to Declarant approval.
8. Tenant shall be required to identify the Premises by an exterior sign complying with these criteria. Any sign that does not conform to the requirements of these criteria or was not approved by the Declarant shall be immediately removed or brought into conformance at the Tenant's expense.
9. If the Premises have a non-customer door(s) for receiving merchandise, Tenant may have marked thereon, in a location designated by Declarant, Tenant's name in four-inch high vinyl block letters.
10. The Tenant, at Tenant's expense shall maintain all signage. All outages must be repaired within (5) five days.

## **C. TYPE OF SIGN**

1. Individual, pan channel or reverse pan channel letters. Also allowed are pan channel, or reverse pan channel logos. Internally illuminated, face and/or halo lit

## **D. CONSTRUCTION OF LETTERS**

1. Pan channel letters will have 1/8" Plexiglas faces. Pan channel will have 3/16" Plexiglas faces. Reverse pan channel letters will have .080 aluminum faces.
2. Returns and backs-.063 minimum aluminum for pan channel letters and .063 aluminum returns for reverse pan channel letters.
3. No armorply or wood in the manufactured returns or backs may be used.

#### **E. PLACEMENT OF LETTERS**

1. Structural I-beams or glue-lams are not to be penetrated.
2. Letters are to be centered on fascia area of storefront left to right and centered vertically top to bottom, or as designated by Declarant.
3. No unusual letter spacing shall be used to stretch or extend copy area.
4. Non-corrosive mounting fasteners must be used.
5. If fascia is constructed of brick, NO HOLES SHALL BE DRILLED IN BRICK. All drill holes must be in mortar.

#### **F. LIGHTING**

1. All letters and or logos shall be illuminated with internal neon; single, double, or triple stroke as appropriate. No skeleton neon is allowed. Neon shall be 30ma clear red or 6500 white.
2. LED lighting is also an acceptable alternative to neon, red or white LEDs only.
3. All electrical will be U.L. or equivalent approved.
4. Electrical power shall be brought to required location at LESEE'S expense. Routing and location of required items shall not be visible on front of fascia.
5. Penetration of structure and graphics beams shall be kept to minimum and must have proper insulation for voltage cable.
6. Transformers shall be concealed behind fascia and mounted in metal boxes.
7. Even lighting is required for all signage. Tenant will be required to repair or replace any sign that does not meet this requirement.

#### **G. WINDOW SIGNAGE**

1. Window signage to follow code.
2. Window signs shall be crafted in a professional manner.

#### **H. TRAILER SIGNS OR TEMPORARY SIGNS WILL NOT BE PERMITTED**

#### **I. ADDRESS SIGNS**

1. Each store is required to display a street address and suite number above storefront door and service door of four inch white exterior vinyl. Address should be written as in Lease.

#### **J. FREESTANDING IDENTIFICATION SIGNS (MONUMENT SIGNS)**

See exhibits:

1. One sign per street front permitted or as code allows.
  - Signs will be designed to be in harmony with key architectural features of the center.
  - Maximum area-as City Code permits.
  - Sign may name up to (4) tenant names.
  - Address numbers shall be prominently displayed on monument sign.

#### **K. THE FOLLOWING ARE NOT PERMITTED**

1. Roof or box signs installed or placed along the perimeter of the shopping center.
2. Cloth signs or streamers hanging in front of business.
3. Iridescent painted signs, animated or moving components, intermittent or flashing signs.

## **PAD TENANTS**

### **PAN CHANNEL LETTERS AND/OR LOGOS**

#### **L. SIZE OF SIGN**

1. Depth –3"-5"
2. Length - The overall length of spread of letters shall not exceed 80% of leased front footage as specified by Lease. (Example: Maximum spread for a sign for a space 30 feet wide will be 24 feet) **IMPORTANT: Check City Code!**
3. Height –Open, Declarant approval required. Signage to look balanced on fascia.
4. Area- Total Business Sign Area. Each business shall be permitted a minimum Wall Sign area of 32 square feet. The maximum Wall Sign area permitted for a business shall be the greater of:
  - a. The sign area calculated pursuant to Section 4.406B.2c: Sign area Allowances per Building Elevation for the longest building elevation of the tenant/user suite facing the street; or
  - b. The sign area calculated pursuant to Section 4.406B.2c: Sign Area Allowances per Building Elevation for the length of the building elevation of the tenant/user suite in which the principal Entrance to the business is located.
5. Sign Area Allowances per Building Elevation. Wall Signs are permitted at a rate of 1 square foot of sign area for each 1 foot of the building elevation adjacent to the suite. For buildings set back more than 75 feet from the right-of-way, 1.5 square feet of sign area is permitted for each 1 foot of building elevation adjacent to the suite.

#### **M. STYLE OF SIGN**

1. Any style (Block or Script) may be used. Upper and lower case may also be used. Minimum stroke is 2- ½ inches.
2. Declarant must approve Logos, in addition to signage, and shall be proportionate to height of fascia and sign and also in line with basic color of signage.

#### **N. COLOR OF SIGN**

1. Face – Color open, with Declarant approval. No clear Plexiglas faces.
2. Returns –Open, with Declarant approval.
3. Trim Cap-Open, with Declarant approval.

## REVERSE PAN CHANNEL LETTERS AND/OR LOGOS

### O. SIZE OF SIGN

1. Depth – 1 ½"-3"
2. Length - The overall length of spread of letters shall not exceed 80% of leased front footage as specified by Lease.
3. Height –Open, Declarant approval required.
4. Area- Total Business Sign Area. Each business shall be permitted a minimum Wall Sign area of 32 square feet. The Maximum Wall Sign area permitted shall be the greater of:
  - a. The sign area calculated pursuant to Section 4.406B.2c: Sign Area Allowances per Building Elevation for the longest building elevation for the tenant/user suite facing the street; or
  - b. The sign are calculated pursuant to Section 4.406B.2c: Sign Area Allowances per Building Elevation for the length of the building elevation of the tenant/user suite in which the principal entrance to the Business is located.

Sign Area Allowances per Building Elevation. Wall Signs are permitted at a rate of 1 square foot of sign area for each foot of the building elevation adjacent to the suite. For buildings set back more than 75 feet from the right-of-way, 1.5 square feet of sign area is permitted for each 1 foot of building elevation adjacent to the suite.

### P. STYLE OF SIGN

1. Any style (Block or Script) may be used. Upper and lower case may also be used. Minimum stroke is 4 inches.
2. Declarant must approve Logos in addition to signage, and shall be proportionate to height of fascia and sign and also in line with basic color of signage.

### Q. COLOR OF SIGN

1. Face – Color open with Declarant approval.
2. Returns – Color open, with Declarant approval.

### SECONDARY WALL SIGNAGE (Modifiers)

1. Signage may be pan channel, reverse pan channel, flat cut out aluminum or a combination of these for a more creative look.
2. Size and color are open with Declarant approval.

**Note: All work is to be performed in a quality workmanship-like manner and shall be inspected upon Completion.**

**Declarant**  
c/o Classic Car Spa  
4425 N. 24<sup>th</sup> Street, Suite 200  
Phoenix, Arizona 85016  
Phone: (602) 648-2040  
Fax: (602) 230-9071  
Contact  
Rick Stertz

**SIGN CONSULTANT**  
Christy Signs  
1825 South Black Canyon  
Phoenix, Arizona 85009  
Phone: (602) 242-4488  
Fax: (602) 271-0433  
Contact  
Chumita Hurd

Williams Field Val Vista  
Shopping Center

**Classic Car Spa**

Building Signage

1.5 sf x194 ft= 291 sf

Sign Type	Sq Ft
Type B FCO Ltrs	8.96
Type D Menu Boards	172
Type E PC Ltrs/Rcwy	31
Type E-1 Clock	34.58
Type F PC Logo	44.42
Total Sq Ft:	290.96

Freestanding Signage

Sign Type	Sq Ft
Type A-1 Tenant ID Signage	17.81
Type C Directionals	6
Total Sq Ft	23.81

**Tastee Freez/Weinerschnitzel**

Building Signage

1.5 sf x71 ft= 106.5 sf

Sign Type	Sq Ft
Weinerschnitzel Letters 2 sets	54.4
Weinerschnitzel Logos 3 req'd	18
Tastee Freez	22.4
Total Sq Ft	94.8

Freestanding Signage

Sign Type	Sq Ft
Directionals 4 req'd	8
Menu Board (w/ hot dog man)	27.28
Pre-Sell Menu Board	11.39
Clearance Panel	1.5
Total Sq Ft	48.17

**Multi-Tenant ID Sign**

Freestanding Signage

Sign Type	Sq Ft
Type A Multi-Tenant Sign	60
Total Sq Ft	60



# DESIGN REVIEW BOARD STAFF REPORT

AGENDA #  
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**TO:** DESIGN REVIEW BOARD

**FROM:** JASON SANKS, CONTRACT PLANNER

**THROUGH:** LINDA M. EDWARDS, AICP, ACTING PLANNING AND DEVELOPMENT SERVICES MANAGER

**MEETING DATE:** AUGUST 10, 2006

**SUBJECT:** DR06-53, COMPREHENSIVE SIGN PACKAGE FOR GILBERT RANCH VILLAGE UNIT II (WIENERSCHNITZEL AND CLASSIC CAR SPA), LOCATED AT THE NORTHEAST CORNER OF VAL VISTA DRIVE AND WILLIAMS FIELD ROAD

## REQUEST

Approval of the findings and Comprehensive Sign Package for Gilbert Ranch Village Unit II, located at the northeast corner of Val Vista Drive and Williams Field Road.

## RECOMMENDED MOTION

Move to approve the findings and DR06-53, Comprehensive Sign Package for Gilbert Ranch Village Unit II (Weinerschnitzel and Classic Car Spa), located at the northeast corner of Val Vista Drive and Williams Field Road, subject to conditions.

## APPLICANT/OWNER

Christy Signs  
 Contact: Chumita Hurd  
 1825 N. Black Canyon Highway  
 Phoenix, AZ 85009  
 V: 602.242.4488  
 F: 602.271.0433  
 E: chumita@christysigns.com

Classic Car Spa  
 Contact: Rick Stertz  
 4425 N. 24<sup>th</sup> Street, Suite 200  
 Phoenix, AZ 85016  
 V: 602.648.2040  
 F: 602.230.9071  
 E: rstertz@cox.net

## HISTORY

- October 9, 1997* Town Council adopted Council Ordinance No. 999 (Z96-20), changing the zoning classification for approximately 210.10 acres from AG (Agriculture) to PAD (Planned Area Development) for commercial, and single-family residential development creating the Gilbert Ranch Village.
- May 4, 2005* Planning Commission approved UP05-4, the Use Permit to allow the drive-





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*May 4, 2005* Planning Commission approved UP05-4, the Use Permit to allow the drive-

through restaurant facility for Wienerschnitzel.

May 12, 2005

Design Review Board approved the site plan and architecture for DR05-20, the Wienerschnitzel / Tastee Freeze fast food restaurant.

August 11, 2005

Design Review Board approved the site plan and architecture for DR05-60, the Classic Car Spa.

**PROJECT FACTS**

**Surrounding Land Uses**

	Land Use Designation	Zoning Classification	Existing Use
<b>North</b>	General Commercial (GC)	GC PAD	Classic Car Spa under construction, then Toledo Street
<b>East</b>	General Commercial (GC)	GC PAD	Tunex, vacant parcel, then Mini-storage
<b>South</b>	General Commercial (GC)	GC PAD	Diamond Shamrock Convenience Store and fueling facility, then Williams Field Road
<b>West</b>	Shopping Center (SC)	SC PAD	Val Vista Drive, the undeveloped
<b>Onsite</b>	General Commercial (GC)	GC PAD	Weinerschnitzel restaurant almost completed

**Data**

Signage Details	Proposed	Sign Code Regulations - Commercial
Number of signs proposed	31 Total – includes wall, monument, directional, menu-board, and logo cabinet	Number of signs not regulated – size, area, location, architectural restrictions apply
Maximum wall sign area allowed	94.8 SF proposed for Wienerschnitzel 291 SF proposed for Classic Car Spa	106.5 SF allowed 291 SF allowed
Maximum number of monument signs	1 single tenant monument sign 1 multi-tenant monument sign	1 sign per 300’ street frontage, minimum spacing 100’ apart (2 allowed on Val Vista Drive)
Maximum monument sign area – per sign	18 SF single tenant (one side only) 60 SF multi-tenant (each side)	60 SF per sign allowed (each side)
Maximum sign length proposed	Varies, no crowding of architectural details	No crowding of architectural details allowed
Maximum letter height proposed	Varies, does not exceed 80% of sign band	80% maximum of sign band
Type of signs	Wall signs - Internally illuminated pan channel letters, one exposed raceway with ZA approval pending  2 logo cabinets - 35SF and 44 SF  Directional signs (3 SF max area and 3’ height) Menu Boards (27 SF max and 6’ height)	Illuminated and non-illuminated permitted, no exposed raceways allowed without ZA approval  6 SF allowed, greater area allowed per DRB approval 6 SF max area and height allowed  50 SF max and 7’ height allowed

## DISCUSSION AND ANALYSIS

### Background

The commercial subdivision known as Gilbert Ranch Village Unit II has developed incrementally over the last ten years. In that time, a mini-storage, Diamond Shamrock service station, Sonic fast food restaurant, and Tunex auto service facility have all developed in the absence of a Comprehensive Sign Package. All but Tunex (which has no arterial street frontage) have built their own monument sign along either Val Vista Drive or Williams Field Road. When the Weinerschnitzel Design Review for site plan and architecture was submitted in 2005, staff advised the applicant that a Comprehensive Sign Package for the commercial center (those parcels remaining) would be required. A provision for monument signage would be required for the Tunex parcel and the last remaining undeveloped parcel to its south. Staff also advised the applicant to blend the style of the new monument signs as best as possible with those already existing on the site. The applicant has complied with all staff requests.

### Signage

This application includes exhibits for a Weinerschnitzel / Tastee Freeze fast food restaurant and Classic Car Spa that are currently under construction. The "Sign Specifications and Requirements" applies to all parcels within the Gilbert Ranch Village Unit II development. The existing businesses received signage approval through their individual site plan applications and remain unchanged. Any new signage for these existing businesses will require conformance with (or an amendment to) this package. The new proposed signage meets code in terms of quality of materials, sign placement, and construction. Paint colors and materials for the monument signs are identical to those of the buildings. Both logo cabinet signs for the Classic Car Spa meet all design criteria per code requirements for their size over 6 SF.

### Monument and Directory Signs

There are two proposed monument signs with this application. One is located at an angle on the southeast corner of Toledo Street and Val Vista Drive. The other is located further south at the main entrance that separates the two facilities. Both locations are outside of the visibility triangle and will be placed a minimum of 3' outside of the right-of-way. The corner monument will display only Classic Car Spa signage and is 6' tall with 27 SF of sign area. The shared drive monument sign is 8' tall and 60 SF in area on each side. It will feature both signage for both facilities and offer tenant panels to the Tunex and vacant parcels. The existing monument signs for the mini-storage, Sonic, and Diamond Shamrock are displayed for reference only and will remain. Colors and materials of the sign match the proposed buildings and blend with the rest of the center.

Directional signage is provided for both facilities to ease customer movement through both the restaurant and car wash drive thrus. Each sign meets sign area restrictions in size and area.

### Wall Signs

#### *Weinerschnitzel / Tastee Freeze*

Staff finds that the proposed wall signage meets code requirements in terms of sign area, placement, and materials. The Weinerschnitzel "W" logo cabinets are 6 SF in size and permitted by the LDC. The Weinerschnitzel and Tastee Freeze word signs are individually illuminated pan channel letters mounted on a minimal aluminum back plate that is flush with the wall. This enables both corporate logos to be properly represented without requiring an undesirable word logo cabinet. A word logo cabinet occurs when all of the letters of the word are conjoined as one piece with a single large plexi face. The proposed individual pan channel letters convey the higher quality signage as found on most other businesses within the Town. All signs combined are within area requirements for the facility.

The proposed menuboards feature finished bases and sign area within code allowances. The larger menu board includes a hotdog mascot that projects over the rest of the sign area. It has been included in the allowable sign area and maximum height. Directional signage is provided at the entrance and exit of the drive-thru.

### ***Classic Car Spa***

Staff finds the wall signs for the Classic Car Spa meet all code requirements and provide interest to project. Two logo cabinet signs are proposed for the project in excess of 6 SF(34 SF and 44 SF). Staff studied each of these for conformance with LDC guidelines. Here are the design criteria as described in LDC Section 4.402.R.12:

- a) Sign is approved by the Design Review Board as part of a Comprehensive Sign Program; and
- b) Such sign does not exceed the permitted Wall Sign area; and
- c) Such sign has a:
  - 1) Cabinet that is stylized in shape, rather than rectangular, to reflect the shape of the image printed on the sign face

The water drop, clock, and addition of pan channel letters offer a very unique style to each of the logo cabinet signs. This fulfills the design requirements.

The order boards that are mounted above the car entry canopy have been included in the total wall sign area allowance for the facility. Staff finds their blue aluminum backgrounds tie into the overall theme of the facility.

The Classic Car Spa sign that is mounted over the main entrance of the facility is mounted on top of a raceway (see attachment #4 for photo of non-Gilbert location). This is prohibited without Zoning Administrator approval. Per the LDC, the Zoning Administrator may determine that it is not “structurally feasible to install a sign in an otherwise permitted location without using an exposed raceway.” The awning was originally designed for the purpose of providing the sign platform while providing shade at the facility entrance. Therefore, staff requests that the sign be permitted as shown due to its interest and unique position atop the awning, pending a Zoning Administrator approval of the exposed raceway. Should the request be denied by the Zoning Administrator, the sign shall be mounted to the wall behind the current proposed location to fulfill code requirements for wall sign placement.

Staff finds that the signage for the Classic Car Spa facility is unique in that it incorporates a variety of high quality materials that come together to create a lively experience for the customer while meeting the aesthetic standards of the Town. Cumulative sign area meets code requirements for all signage types.

## **FINDINGS**

Staff provides the following findings of fact, subject to the conditions of approval provided below, to substantiate approval of the project:

1. The project is consistent with applicable design guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and the Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provision of public services.

## STAFF RECOMMENDATION

Make the findings and approve DR06-53, a Comprehensive Sign Package for Gilbert Ranch Village Unit II (Weinerschnitzel and Classic Car Spa), located at the northeast corner of Val Vista Drive and Williams Field Road, subject to the following conditions:

1. The sign package shall conform with exhibits approved by the Design Review Board at the August 10, 2006 public hearing.
2. The sign package shall apply to all parcels within the Gilbert Ranch Village Unit II development. Any redevelopment of existing facilities and subsequent new signage shall conform with the "Sign Specifications and Requirements" included with this application for approval. New monument signs shall match those submitted with this request.
3. The exposed raceway as shown on the Classic Car Spa facility awning is approved by the Design Review Board, subject to approval by the Zoning Administrator (ZA). No sign permit shall be issued for this sign until ZA approval has occurred.

### Attachments

1. Vicinity Map
2. Narrative and Sign Specifications and Requirements
3. Sign Exhibits
4. Exposed Raceway photo
5. Findings of Fact



**APPROVED PLANS**  
 Design Review Board  
 CASE: DR06-53  
 DATE: 8/10/06  
 SUBJECT TO CONDITIONS OF APPROVAL

# Wienerschnitzel

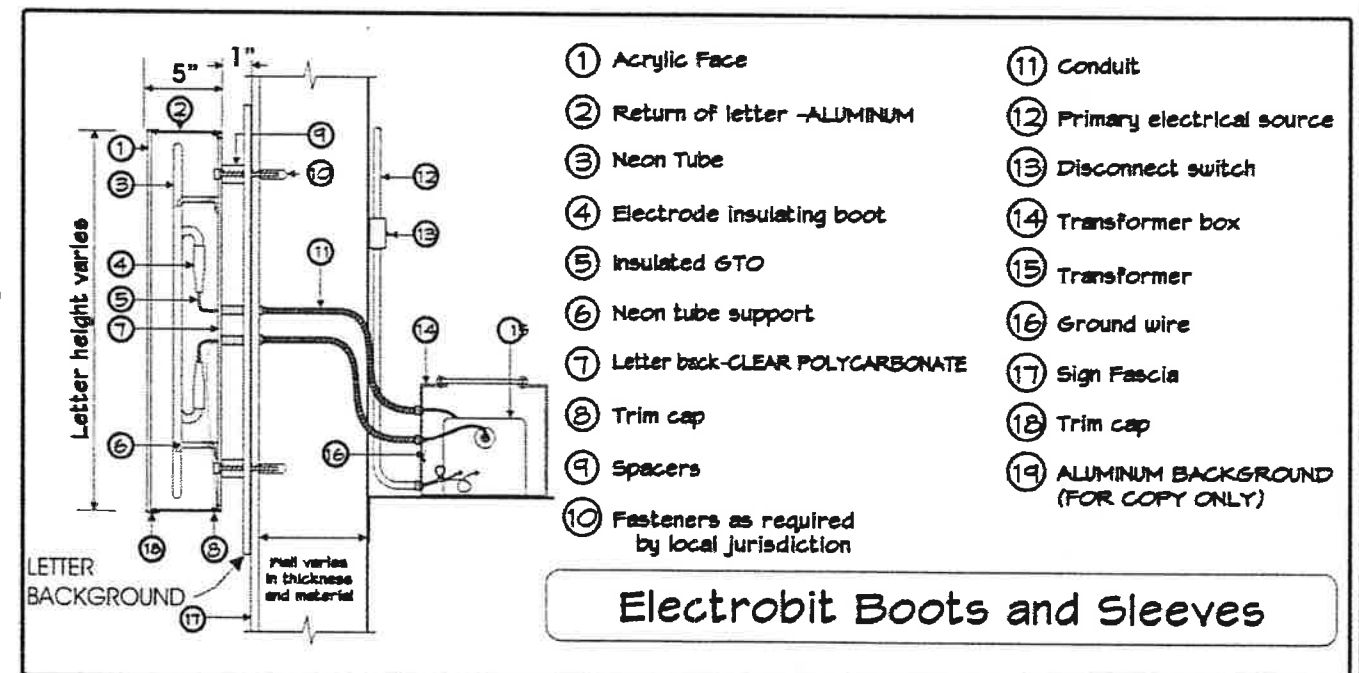
SIGN AREA: 15 SQ.FT.

**TOTAL SIGN AREA: 21.0 SQ.FT.**

**MANUFACTURE AND INSTALL TWO (2) SETS 5" DEEP CHANNEL LETTERS & LOGO FRONT AND HALO ILLUMINATION**

**BACKS:** .118 CLEAR POLYCARBONATE FOR HALO ILLUMINATION.  
**RETURNS:** 5" DEEP, .040 PRE-COAT RED ALUMINUM.  
**FACES:** LOGO - 3/16" #T328 FLAT WHITE WITH FIRST SURFACE VINYL GRAPHICS RED 3230-33.  
 COPY AND BORDERS: CUT OUT FILM TO SHOW THRU WHITE.  
 TRIMCAP: 3/4" RED.  
 LETTERS - 3/16" #2793 FLAT RED ACRYLIC WITH 3/4" RED TRIM CAP.

**LETTER BACKGROUND:** .063 ALUMINUM PAINTED WHITE.  
**ILLUMINATION:** INTERNALLY ILLUMINATED WITH 13MM 6500 WHITE NEON.  
**INSTALLATION:** PEGGED 1" OFF BUILDING FASCIA FOR HALO EFFECT.



**THE CUSTOMER'S GENERAL CONTRACTOR TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALLATION, FINAL INSPECTION AND SERVICE.**

**ALL ELECTRICAL SIGNS SHALL COMPLY WITH NATIONAL ELECTRICAL CODE ARTICLE 600 AND TO BE MANUFACTURED ACCORDING TO UNDERWRITERS LABORATORIES U.L. 48 STANDARD AND APPROPRIATELY LABELED.**

**THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY ONTARIO NEON CO. INC., AND MAY NOT BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT WRITTEN CONSENT BY AN ONTARIO NEON CO. INC. OFFICER. © 2003**

WORK ORDER or BID NUMBER	<b>42715</b>
SALES:	COREY NORTHCOTT
DRAWN BY:	EDDIE
DATE:	OCTOBER 4, 2005
SCALE:	1/2" = 1'-0"
FILE:	WIENERSCHNITZEL
FOLDER:	GILBERT
DESIGN #:	004

REVISIONS		
DATE	BY	
MAR. 29, 2006	EDDIE	
JUNE 30, 2006	EDDIE	
JULY 6, 2006	EDDIE	
JULY 18, 2006	EDDIE	
JULY 20, 2006	EDDIE	
JULY 25, 2006	EDDIE	
JULY 26, 2006	EDDIE	

**Wienerschnitzel**  
**#765**  
 2333 S.VAL VISTA • GILBERT, AZ

**CUSTOMER APPROVAL**

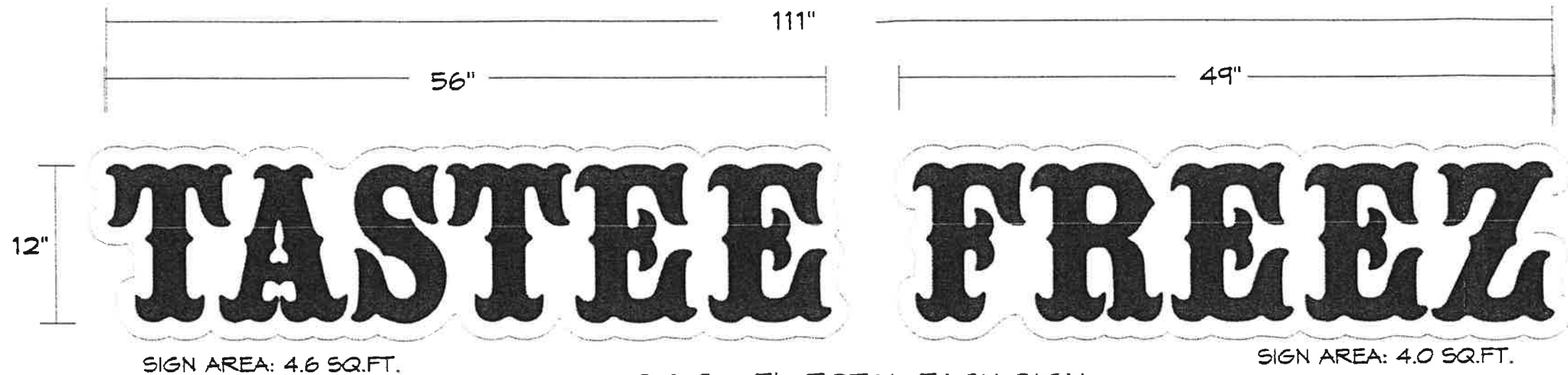
SIGN	DATE
PRINT	TITLE

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\*\*SKETCH MAY VARY FROM SPECIFIED COLORS.  
 \*\*DEDICATED 120 VOLT SIGN CIRCUITRY WITH A GROUND WIRE TO BE PROVIDED WITHIN 6' OF THE DISPLAY(S) BY THE CUSTOMER.

**ONTARIO NEON CO.**  
 SINCE 1948  
 303 WEST MAIN STREET • ONTARIO, CA 91762  
 TEL: 909-986-4632 • FAX: 909-988-6376  
 STATE LICENSE #622888

CSA  
 WSA



SIGN AREA: 4.6 SQ.FT.

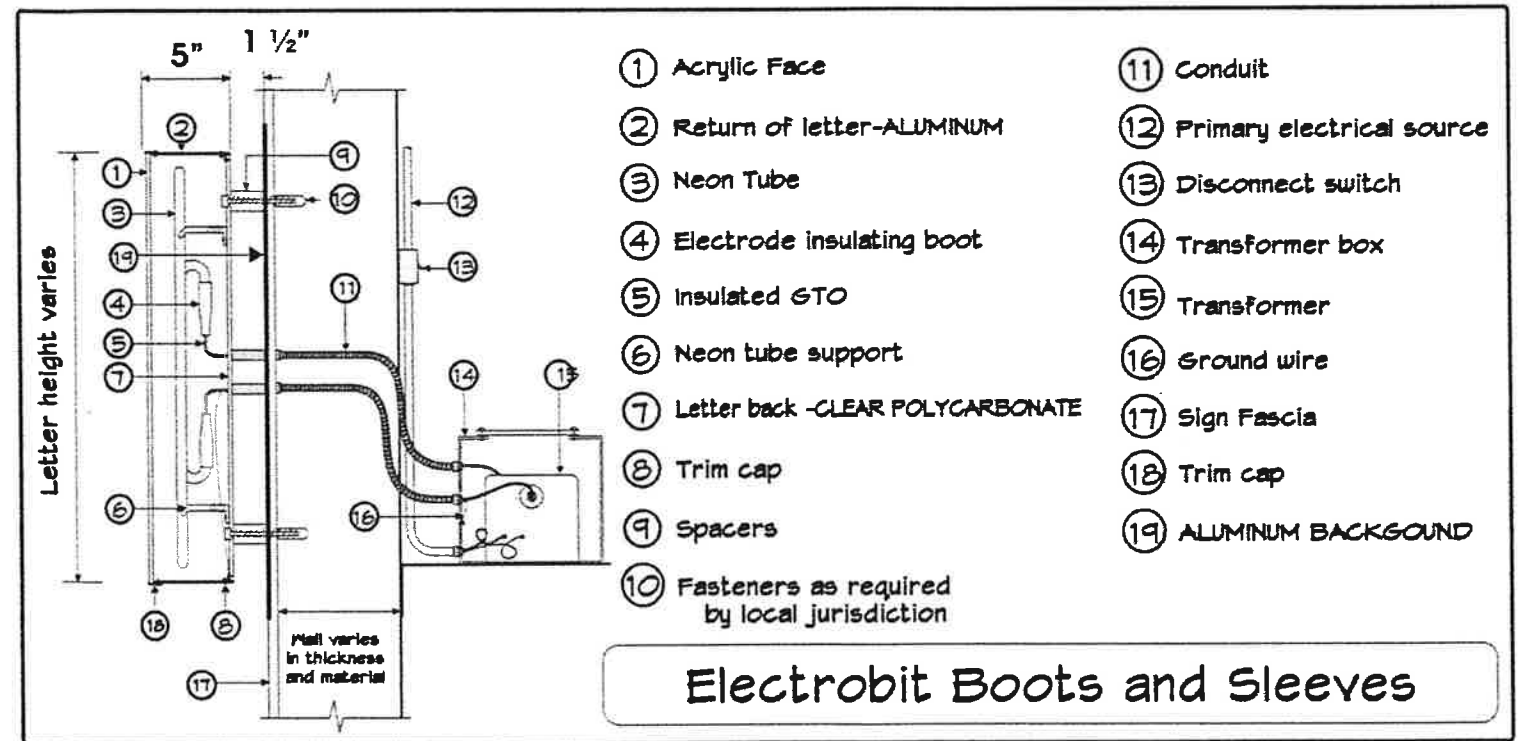
SIGN AREA: 4.0 SQ.FT.

8.6 Sq. Ft. TOTAL EACH SIGN  
 TOTAL SIGN AREA FOR TWO (2) SETS= 17.34 SQ.FT.

**APPROVED PLANS**  
 Design Review Board  
 CASE: DR06-53  
 DATE: 8/10/06  
 SUBJECT TO CONDITIONS OF APPROVAL

**MANUFACTURE AND INSTALL TWO (2) SETS FRONT/HALO CHANNEL LETTERS.**

- BACKS: .063 PRE-COAT WHITE ALUMINUM.
- RETURNS: 5" DEEP, .040 PRE-COAT WHITE ALUMINUM.
- FACES: 3/16" #T328 FLAT WHITE ACRYLIC WITH FIRST SURFACE #230-36 BLUE FILM COPY, FACES TO HAVE 3/8" RED TRIM CAP.
- ILLUMINATION: FRONT AND HALO ILLUMINATION WITH 6500 WHITE NEON.
- INSTALLATION: PEGGED LETTERS 1 1/2" OFF BACKGROUND.
- BACKGROUND: ALUMINUM BACKGROUND PAINTED WHITE.
- INSTALLATION: FLUSH MOUNT BACKGROUND TO WALL.



**Electrobit Boots and Sleeves**

THE CUSTOMER'S GENERAL CONTRACTOR TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALLATION, FINAL INSPECTION AND SERVICE.

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WORK ORDER or BID NUMBER	<b>42715</b>
SALES:	COREY NORTHCOTT
DRAWN BY:	EDDIE
DATE:	OCTOBER 4, 2005
SCALE:	1" = 1'-0"
FILE:	WIENERSCHNITZEL
FOLDER:	GILBERT
DESIGN #:	005

REVISIONS		
DATE	BY	
JUNE 30, 2005	EDDIE	
JULY 7, 2005		
JULY 27, 2005	EDDIE	

**Wienerschnitzel**  
**#765**  
 2333 S. VAL VISTA • GILBERT, AZ

**CUSTOMER APPROVAL**

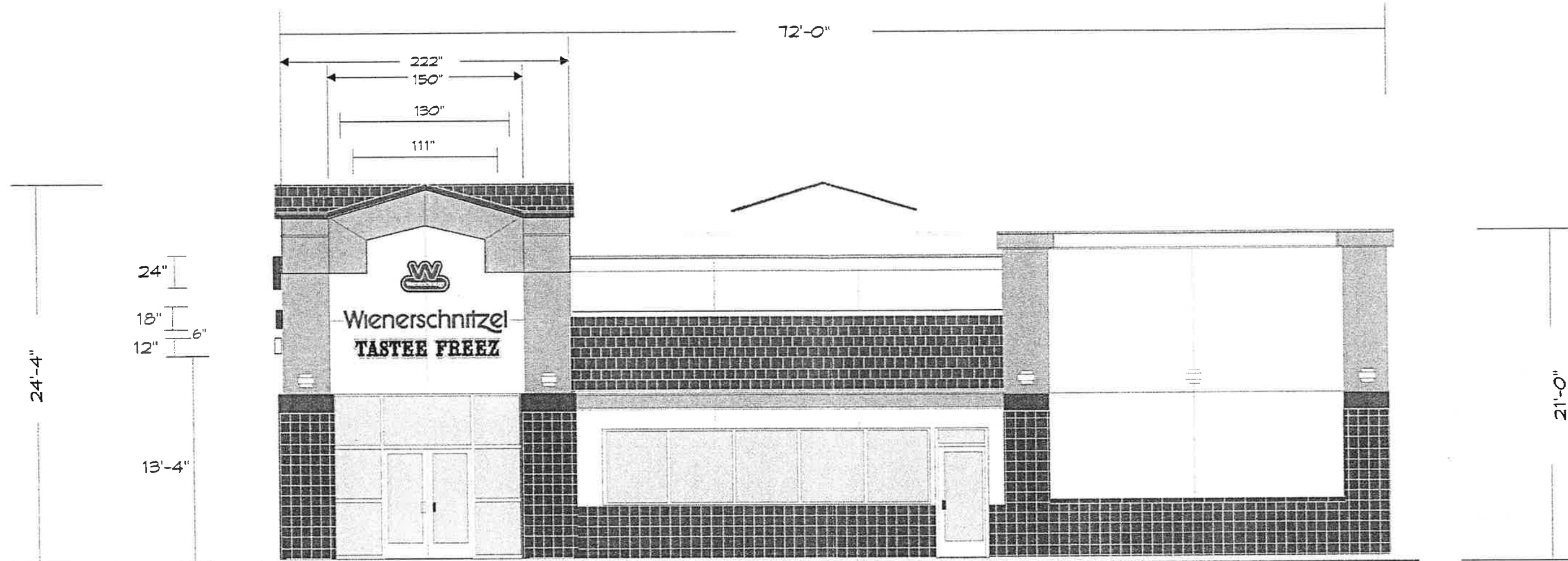
SIGN	DATE
PRINT	TITLE

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\*\*SKETCH MAY VARY FROM SPECIFIED COLORS,  
 \*\*DEDICATED 120 VOLT SIGN CIRCUIT(S) WITH A GROUND WIRE TO BE PROVIDED WITHIN 6' OF THE DISPLAY(S) BY THE CUSTOMER

**ONTARIO NEON CO.**  
 SINCE 1948  
 303 WEST MAIN STREET • ONTARIO, CA 91762  
 TEL: 909-986-4632 • FAX: 909-988-6376  
 STATE LICENSE #622888

**APPROVED PLANS**  
 Design Review Board  
 CASE: DR06-53  
 DATE: 8/10/06  
 SUBJECT TO CONDITIONS OF APPROVAL



**SOUTH ELEVATION**

THE CUSTOMER'S GENERAL CONTRACTOR TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALLATION, FINAL INSPECTION AND SERVICE.

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WORK ORDER or BID NUMBER	<b>42715</b>
SALES:	COREY NORTHCOTT
DRAWN BY:	EDDIE
DATE:	OCTOBER 4, 2005
SCALE:	1/8" = 1'-0"
FILE:	WIENERSCHNITZEL
FOLDER:	GILBERT
DESIGN #:	001

REVISIONS		
DATE	BY	
MAR. 31, 2006	EDDIE	
JUNE 30, 2006	EDDIE	
JULY 7, 2006	EDDIE	
JULY 18, 2006	EDDIE	
JULY 25, 2006	EDDIE	
JULY 26, 2006	EDDIE	
JULY 27, 2006	EDDIE	

**Wienerschnitzel**  
**#765**  
 2333 S. VAL VISTA • GILBERT, AZ

**CUSTOMER APPROVAL**

SIGN	DATE
PRINT	TITLE

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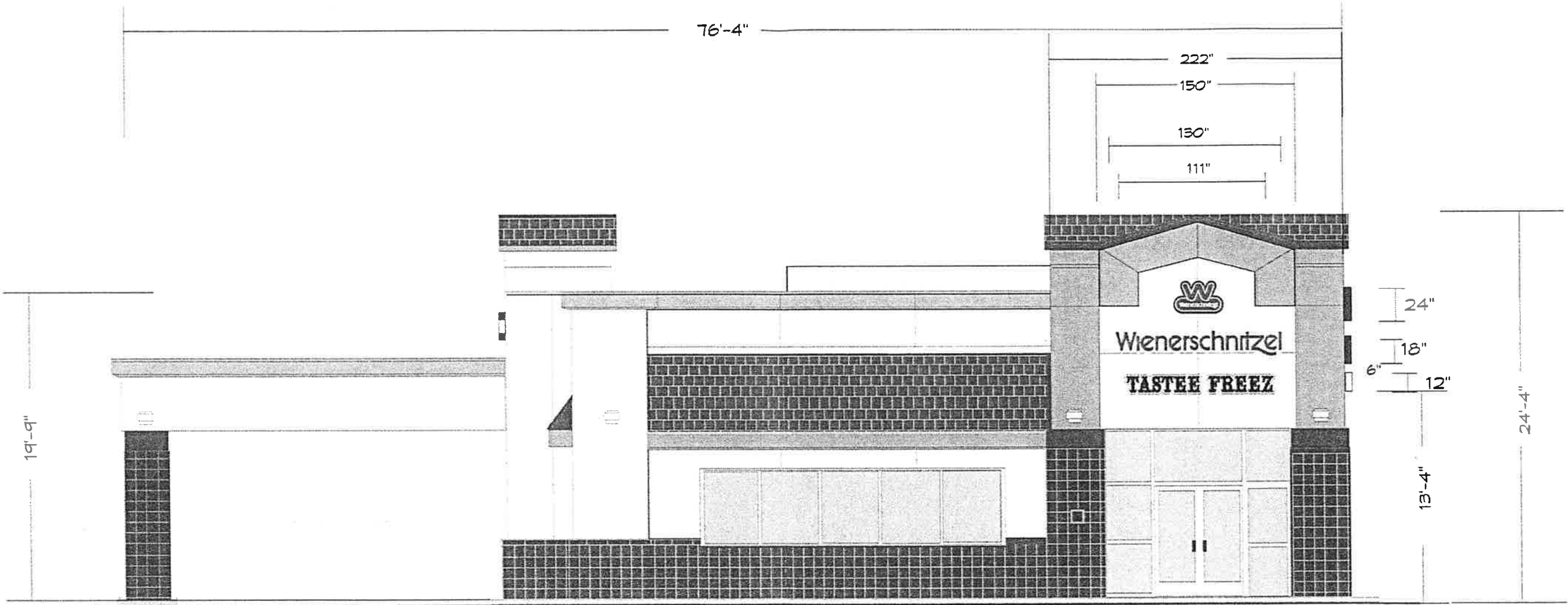
\*\*\*SKETCH MAY VARY FROM SPECIFIED COLORS.  
 \*\*DEDICATED 120-VOLT SIGN CIRCUITS\*\* WITH A GROUND WIPE TO BE PROVIDED WITHIN 6" OF THE DISPLAYS BY THE CUSTOMER.

**ONTARIO NEON CO.**  
 SINCE 1948  
 303 WEST MAIN STREET • ONTARIO, CA 91762  
 TEL: 909-986-4632 • FAX: 909-988-6376  
 STATE LICENSE #622888

**CSA**  
**WSA**



**APPROVED PLANS**  
 Design Review Board  
 CASE: D206-53  
 DATE: 8/10/06  
 SUBJECT TO CONDITIONS OF APPROVAL



**WEST ELEVATION**

THE CUSTOMER'S GENERAL CONTRACTOR TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALLATION, FINAL INSPECTION AND SERVICE.

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WORK ORDER or BID NUMBER	<b>42715</b>
SALES:	COREY NORTHCOTT
DRAWN BY:	EDDIE
DATE:	OCTOBER 4, 2005
SCALE:	1/8" = 1'-0"
FILE:	WIENERSCHNITZEL
FOLDER:	GILBERT
DESIGN #:	<b>002</b>

REVISIONS	
DATE	BY
JUNE 30, 2006	EDDIE
JULY 7, 2006	EDDIE
JULY 18, 2006	EDDIE
JULY 20, 2006	EDDIE
JULY 25, 2006	EDDIE
JULY 26, 2006	EDDIE
JULY 27, 2006	EDDIE

**Wienerschnitzel**  
**#765**  
 2333 S.VAL VISTA • GILBERT, AZ

**CUSTOMER APPROVAL**

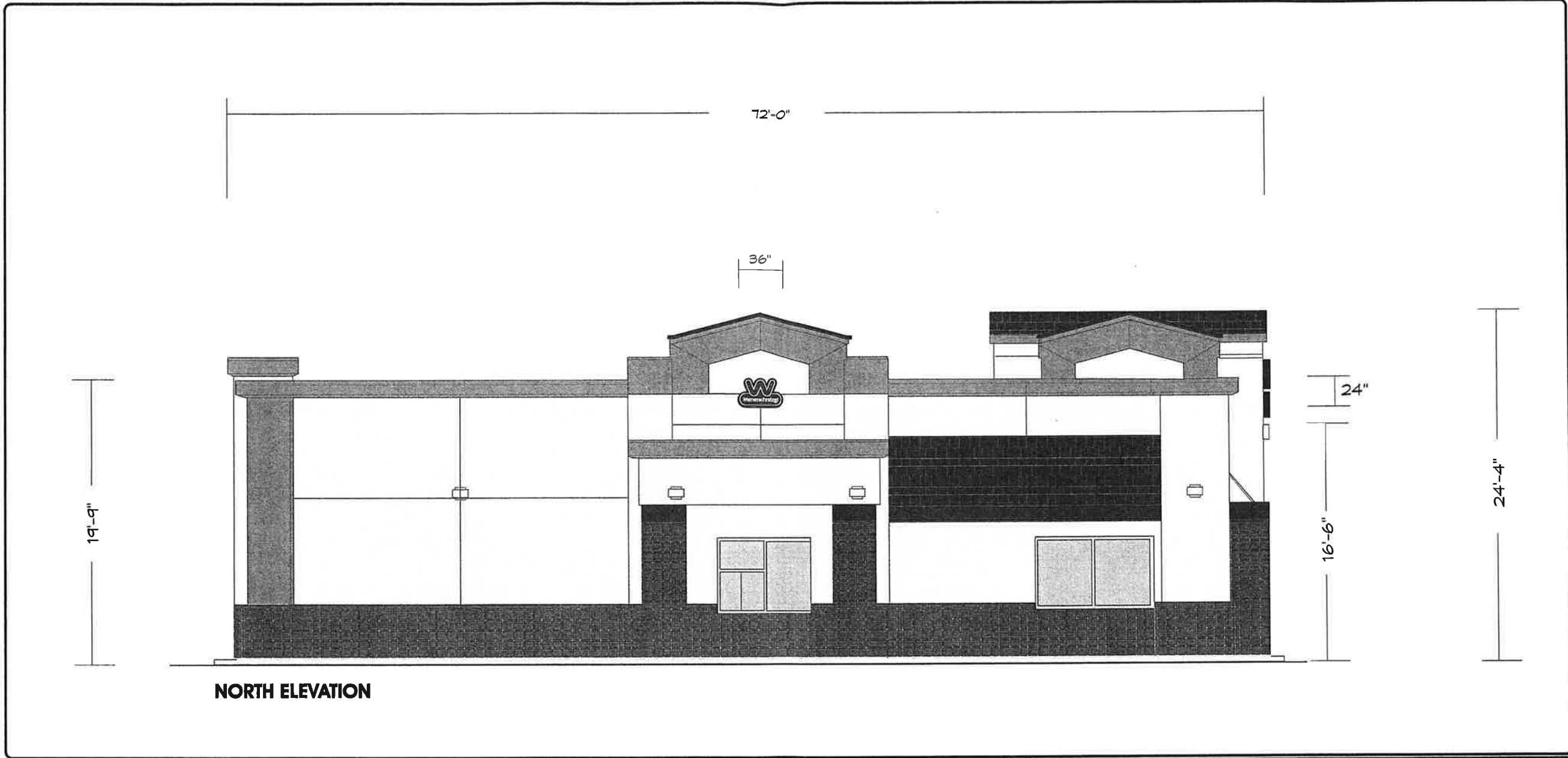
_____	_____
SIGN	DATE
_____	_____
PRINT	TITLE

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\*\*SKETCH MAY VARY FROM SPECIFIED COLORS  
 \*\*DEDICATED 120 VOLT SIGN CIRCUITS\*\* WITH A GROUND WIRE TO BE PROVIDED WITHIN 8' OF THE DISPLAY SIGN BY THE CUSTOMER

**ONTARIO NEON CO.**  
 SINCE 1948  
 303 WEST MAIN STREET • ONTARIO, CA 91762  
 TEL: 909-986-4632 • FAX: 909-988-6376  
 STATE LICENSE #622888

**CSA**  
 WSA



**NORTH ELEVATION**

THE CUSTOMER'S GENERAL CONTRACTOR TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALLATION, FINAL INSPECTION AND SERVICE.

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WORK ORDER or BID NUMBER	<b>42715</b>
SALES:	COREY NORTHCOTT
DRAWN BY:	EDDIE
DATE:	OCTOBER 4, 2005
SCALE:	1/8" = 1'-0"
FILE:	WIENERSCHNITZEL
FOLDER:	GILBERT
DESIGN #:	<b>003</b>

REVISIONS		
DATE	BY	
OCTOBER 10, 2005	EDDIE	
MAR. 29, 2006	EDDIE	
MAR. 31, 2006	EDDIE	
JUNE 30, 2006	EDDIE	
JULY 7, 2006	EDDIE	
JULY 18, 2006	EDDIE	
JULY 20, 2006	EDDIE	

**Wienerschnitzel**  
**#765**  
 2333 S.VAL VISTA • GILBERT, AZ

**CUSTOMER APPROVAL**

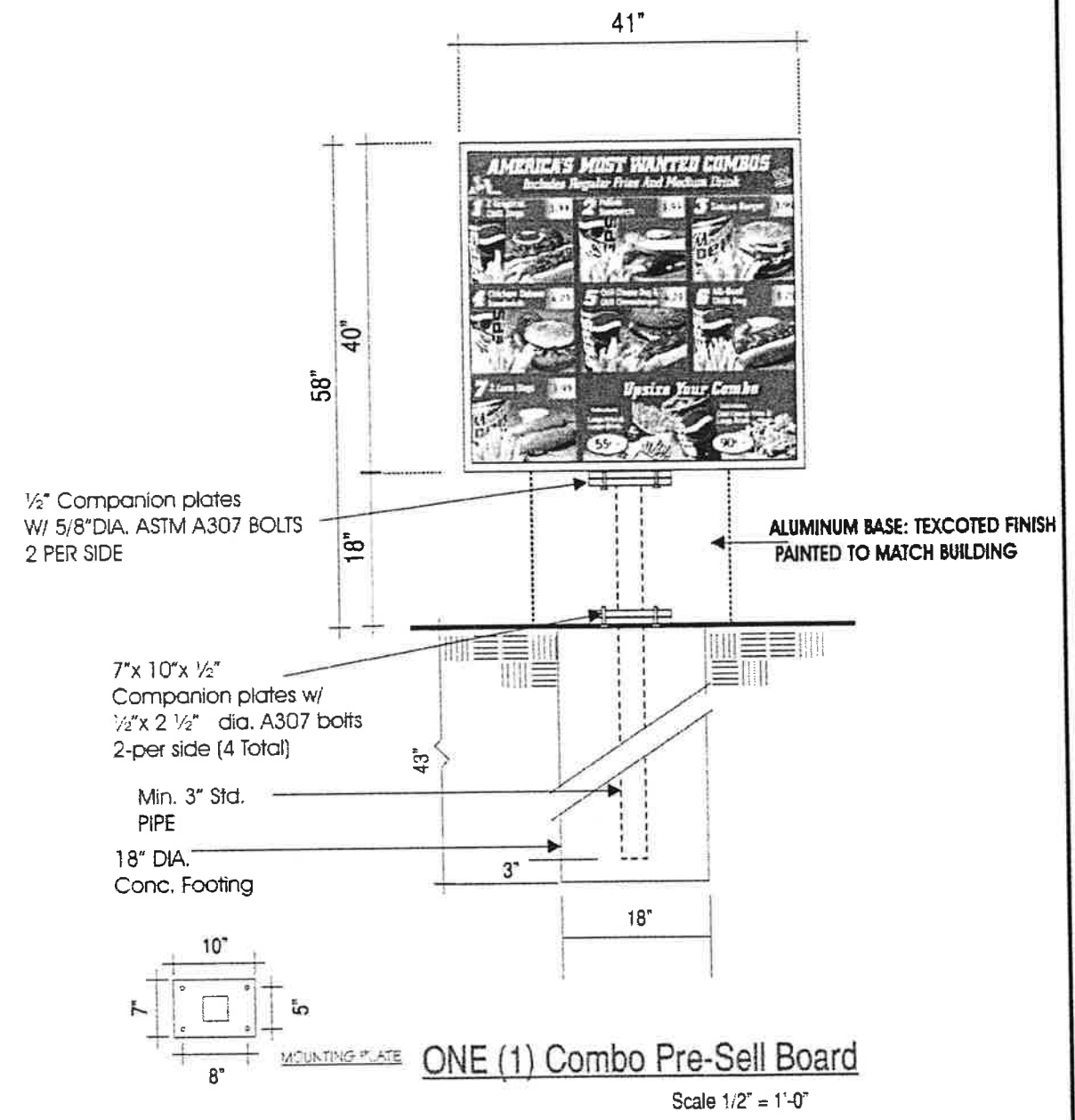
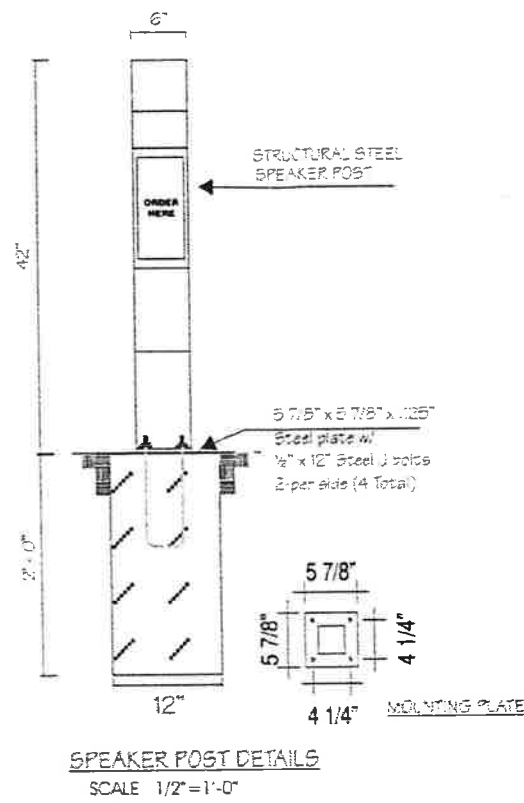
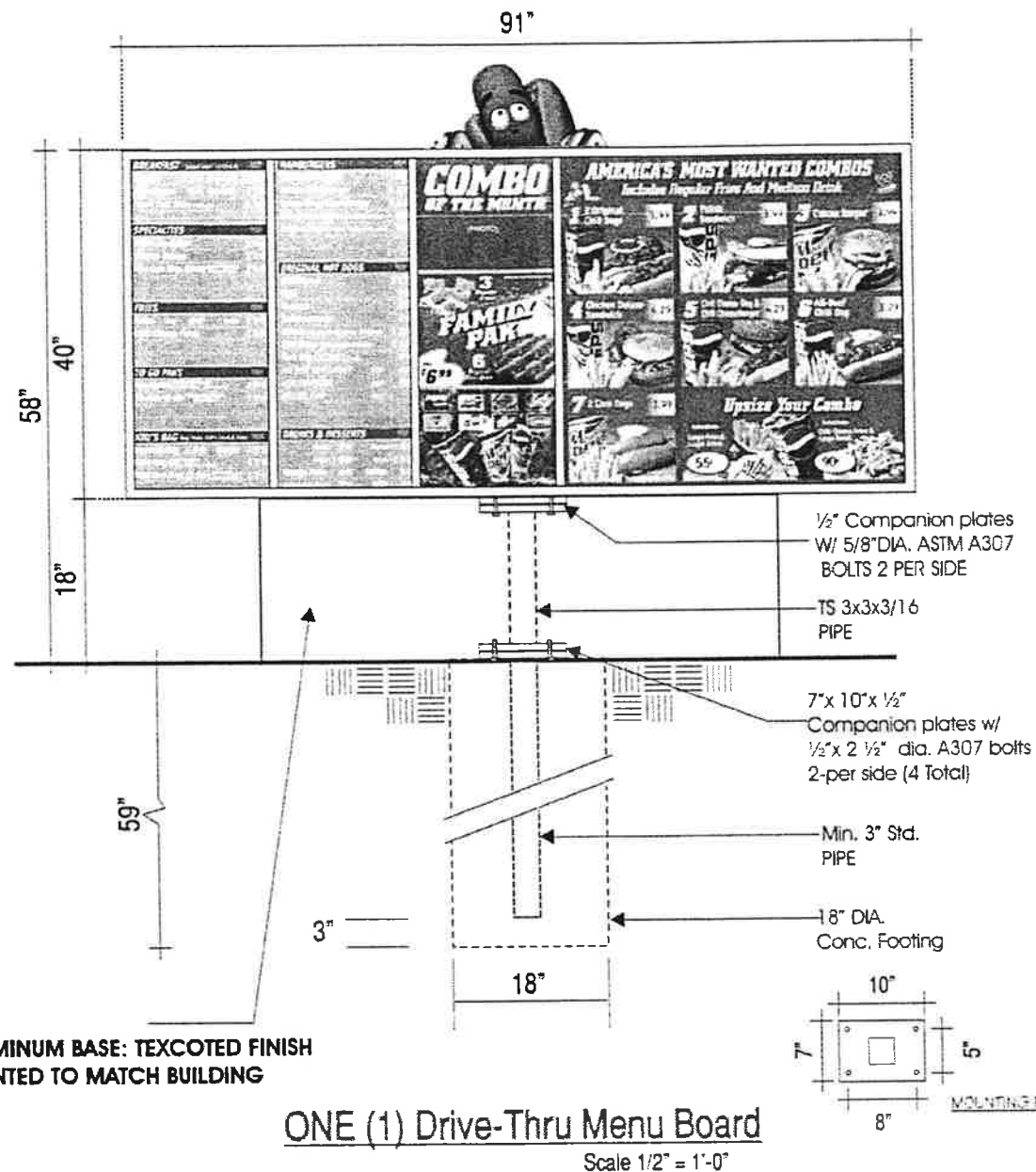
_____	_____
SIGN	DATE
_____	_____
PRINT	TITLE

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 \*\*DEDICATED 120 VOLT SIGN CIRCUIT(S) WITH A GROUND WIRE TO BE PROVIDED WITHIN 6' OF THE DISPLAY(S) BY THE CUSTOMER.

**ONTARIO NEON CO.**  
 SINCE 1945  
 303 WEST MAIN STREET • ONTARIO, CA 91762  
 TEL: 909-986-4632 • FAX: 909-988-6376  
 STATE LICENSE #622888

CSA  
 Cultural Sign Association  
 WSA



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WORK ORDER or BID NUMBER	<b>42715</b>
SALES:	COREY NORTHCOTT
DRAWN BY:	EDDIE
DATE:	OCTOBER 4, 2005
SCALE:	AS NOTED
FILE:	WIENERSCHNITZEL
FOLDER:	GILBERT
DESIGN #:	007

REVISIONS		
DATE	BY	
OCT. 11, 2005	EDDIE	
MAR. 29, 2006	EDDIE	
MAR. 31, 2006	EDDIE	
JULY 7, 2006	EDDIE	

**Wienerschnitzel**

**#765**

2333 S. VAL VISTA • GILBERT, AZ

CUSTOMER APPROVAL

\_\_\_\_\_  
SIGN

\_\_\_\_\_  
DATE

\_\_\_\_\_  
PRINT

\_\_\_\_\_  
TITLE

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**ONTARIO NEON CO.**

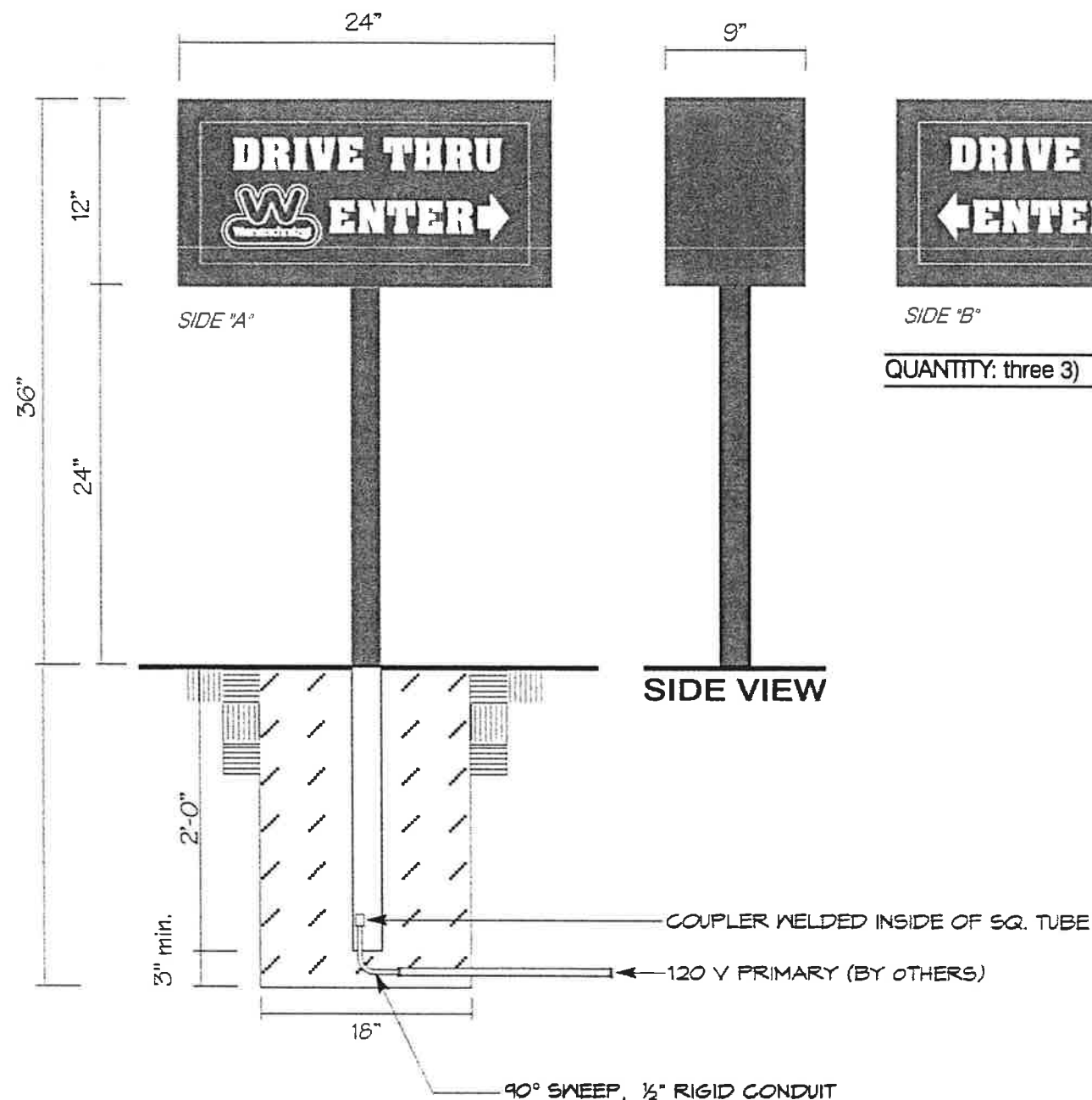
SINCE 1948

303 WEST MAIN STREET • ONTARIO, CA 91762

TEL: 909-986-4632 • FAX: 909-988-6376

STATE LICENSE #622888

CSA  
WISA



SIDE "B"

QUANTITY: three (3) DOUBLE FACED SIGN



SIDE "A"



SIDE "B"

QUANTITY: ONE (1) DOUBLE FACED SIGN

**FOUR (4) DOUBLE FACED INTERNALLY ILLUMINATED FREE STANDING DIRECTIONAL SIGNS:**

**CABINETS:** EXTRUDED ALUMINUM CABINET PAINTED TO MATCH #230-33 RED, SUEDE FINISH. (SIGN COMP. EXTRUSION PARTS #1944, 1923, 1928 AND 1 5/8" RETAINERS.)

**FACES:** .118 FLAT CLEAR POLYCARBONATE WITH SECOND SURFACE DECORATED COLORS AND GRAPHICS:

LOGO: "W" WHITE OUTLINE, COPY: WHITE, OUTLINE AROUND LOGO: WHITE COPY AND ARROW TO BE WHITE. BACKGROUND TO BE PAINTED TO MATCH RED #230-33.

**ILLUMINATION:** INTERNALLY ILLUMINATED WITH 800MA HIGH OUTPUT FLUORESCENT LAMPS.

**POST:** 2 1/2" SQUARE TUBE PAINTED TO MATCH #230-33 RED, SUEDE FINISH.

**NOTE:** INSTALLER TO TRENCH 10" BEYOND FOOTING X 24" DEEP AND ATTACH 90° SWEEP (1/2" RIGID CONDUIT) TO COUPLER WELDED INSIDE OF SQUARE TUBE. 120 V PRIMARY AND CONNECTION TO SIGN BY OTHERS. U.L. LISTED DISCONNECT SWITCH INSIDE CABINET.

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WORK ORDER or BID NUMBER	<b>42715</b>
SALES:	COREY NORTHCOTT
DRAWN BY:	EDDIE
DATE:	OCTOBER 4, 2005
SCALE:	1" = 1'-0"
FILE:	WIENERSCHNITZEL
FOLDER:	GILBERT
DESIGN #:	006

REVISIONS		
DATE	BY	
OCT. 11, 2005	EDDIE	
MAR. 29, 2006	EDDIE	
MAR. 31, 2006	EDDIE	

**Wienerschnitzel**  
**#765**  
2333 S. VAL VISTA • GILBERT, AZ

CUSTOMER APPROVAL

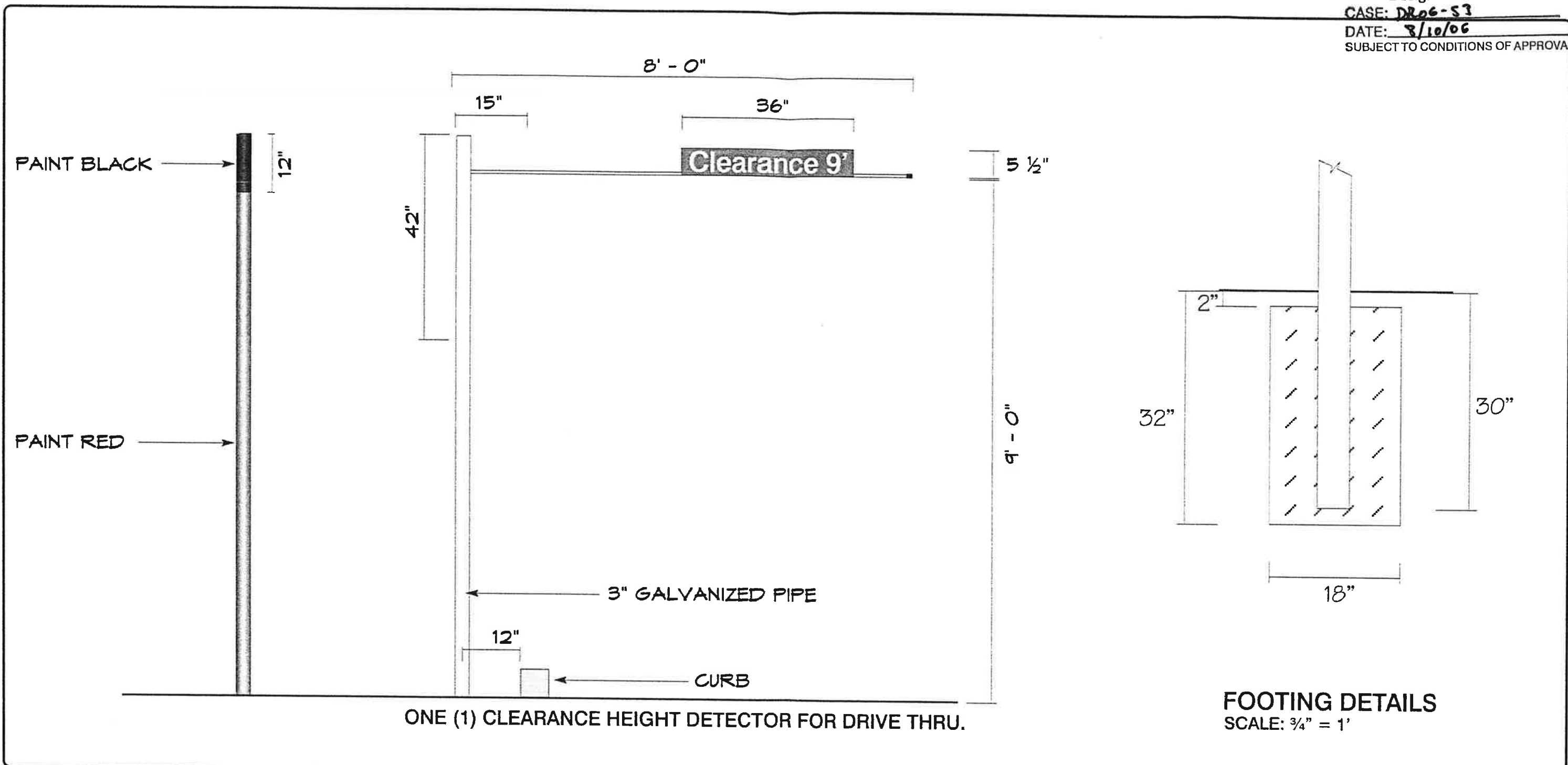
SIGN	DATE
PRINT	TITLE

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\*\*DEDICATED 120 VOLT SIGN CIRCUIT(S) WITH A GROUND WIRE TO BE PROVIDED WITHIN 8' OF THE DISPLAY(S) BY THE CUSTOMER.

**ONTARIO NEON CO.**  
SINCE 1948

303 WEST MAIN STREET • ONTARIO, CA 91762  
TEL: 909-986-4632 • FAX: 909-988-6376  
STATE LICENSE #622888



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WORK ORDER or BID NUMBER	42715
SALES:	COREY NORTHCOTT
DRAWN BY:	EDDIE
DATE:	OCTOBER 4, 2005
SCALE:	AS NOTED
FILE:	WIENERSCHNITZEL
FOLDER:	GILBERT
DESIGN #:	009

REVISIONS		
DATE	BY	
JULY 20, 2006	EDDIE	

**Wienerschnitzel**  
**#765**  
 2333 S. VAL VISTA • GILBERT, AZ

**CUSTOMER APPROVAL**

_____ SIGN	_____ DATE
_____ PRINT	_____ TITLE

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 \*\*DEDICATED 120 VOLT SIGN CIRCUITS, WITH A GROUND WIRE TO BE PROVIDED WITHIN 3' OF THE DISPLAYS, BY THE CUSTOMER

**ONTARIO NEON CO.**  
 SINCE 1945

303 WEST MAIN STREET • ONTARIO, CA 91762  
 TEL: 909-986-4632 • FAX: 909-988-6376  
 STATE LICENSE #622888

CSA  
 WSA

*PROPOSED*  
D/F DIRECTIONAL  
"DO NOT ENTER/ THANKS  
PLEASE COME AGAIN"  
(1.35 amp.)

*PROPOSED*  
"WIENERSCHNITZEL" INDIVIDUAL  
CHANNEL LETTERS AND LOGO  
(5 amp.)

*PROPOSED*  
TASTE FREEZ  
INDIVIDUAL LETTERS  
(3) AMPS

*PROPOSED*  
"WIENERSCHNITZEL" INDIVIDUAL  
CHANNEL LETTERS AND LOGO  
(5 amp.)

*PROPOSED*  
TASTE FREEZ  
INDIVIDUAL LETTERS  
(3) AMPS

*PROPOSED*  
D/F DIRECTIONAL  
"DRIVE THRU"  
(1.35 amp.)

*PROPOSED*  
FRONT/HALO LIT LOGO  
(5 amp.)

*PROPOSED*  
COMBO MENU BOARD (PROVIDED BY  
OTHERS)  
(3 amp.) INSTALL AT 35 DEGREES  
TO CURB

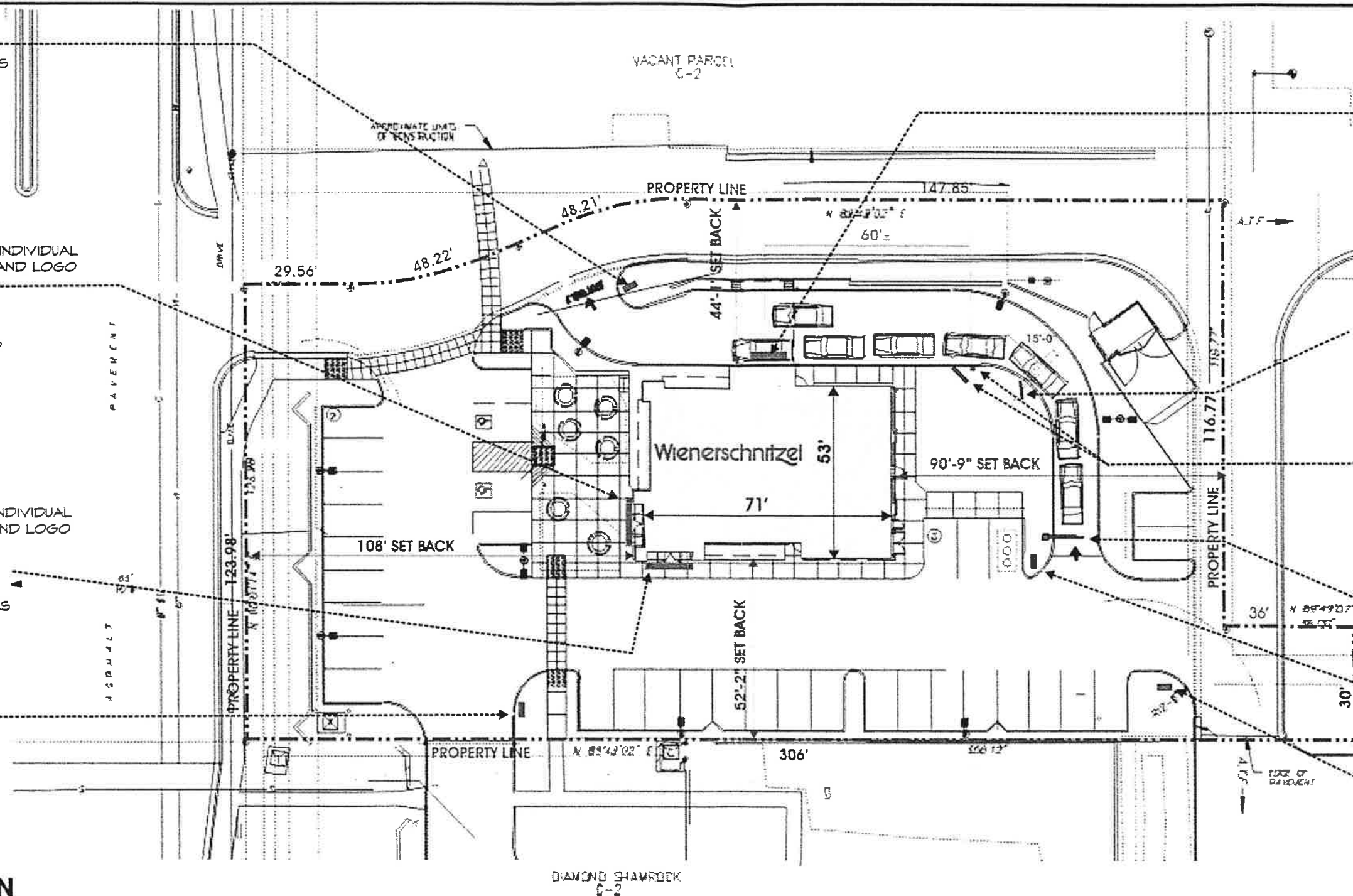
*PROPOSED*  
ORDER MENU BOARD  
W/ SPEAKER (PROVIDED BY OTHERS)  
(8 amp.) INSTALL AT 35 DEGREES  
TO CURB

*PROPOSED*  
HEIGHT DETECTOR

*PROPOSED*  
D/F DIRECTIONAL  
"DRIVE THRU"  
(1.35 amp.)

*PROPOSED*  
D/F DIRECTIONAL  
"DRIVE THRU"  
(1.35 amp.)

NORTH  
↑  
**SITE PLAN**



THE CUSTOMER'S GENERAL CONTRACTOR TO PROVIDE ACCESSIBILITY TO REMOTE TRANSFORMERS AND OR BALLASTS FOR INSTALLATION, FINAL INSPECTION AND SERVICE.

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WORK ORDER or BID NUMBER	<b>42715</b>
SALES:	COREY NORTHCOTT
DRAWN BY:	EDDIE
DATE:	OCTOBER 4, 2005
SCALE:	1" = 40'
FILE:	WIENERSCHNITZEL
FOLDER:	GILBERT
DESIGN #	<b>011</b>

REVISIONS	
DATE	BY
MAR. 29.2006	EDDIE
MAR. 31.2006	EDDIE
APR. 21.2006	EDDIE
APR. 24.2006	EDDIE
JUNE 30.2006	EDDIE
JULY 6.2006	EDDIE
JULY 12.2006	EDDIE

**Wienerschnitzel**  
**#765**  
2333 S. VAL VISTA • GILBERT, AZ

CUSTOMER APPROVAL

SIGN	DATE
PRINT	TITLE

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\*\*SKETCH MAY VARY FROM SPECIFIED COLORS.  
\*\*DEDICATED 100 VOLT SIGN CIRCUITS WITH A GROUND WIRE TO BE PROVIDED WITHIN 6' OF THE DISPLAY S. BY THE CUSTOMER.

**ONTARIO NEON CO.**  
SINCE 1945  
303 WEST MAIN STREET • ONTARIO, CA 91762  
TEL: 909-986-4632 • FAX: 909-988-6376  
STATE LICENSE #622888

**APPROVED PLANS**

Design Review Board

CASE: D206-S3

DATE: 8/10/06

SUBJECT TO CONDITIONS OF APPROVAL



1825 S. Black Canyon Highway  
Phoenix, Arizona 85009  
602-242-4488  
602-271-0433 fax

**PROJECT**  
**CLASSIC CAR SPA**  
NEC VAL VISTA & WILLIAMS RD  
GILBERT, ARIZONA  
**PREPARED FOR**  
**RICK STERTZ**

**SALES ASSOCIATE**  
**CHUMITA**

**Tenant Monument Sign**

**Elevations & Plan View**

Project:	Wienersnitzel012406
Date:	01-24-06
Scale:	Noted
Drawn By:	J.L.W.
Approved By:	Chumita

**Revisions**

No.	Description	Date
01	Panel Size	02-15-06
02	Layout/ Specs	03-13-06
03	Qty.	05-09-06
04	Details	07-19-06

**Approvals**

**Landlord Signature**  
**Client Signature**  
**Sales Signature**

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**QTY. 1**

**(A) ILLUMINATED D/F MONUMENT SIGN WITH TENANT PANELS**

**60.0 SF**

SCALE: 1/2" = 1'-0"

FABRICATE & INSTALL (1) ILLUMINATED D/F MONUMENT SIGNS.  
STANDARD ALUMINUM CONSTRUCTION PAINTED TO MATCH BUILDING.  
HO FLOURESCENT LAMPS FOR ILLUMINATION.  
1" DEEP ALUMINUM PANEL "CLASSIC CAR... IS ROUTED OUT WITH 1/2" PUSH THRU PLEX WITH OPAQUE ALUMINUM BACKGROUND.  
1" DEEP ALUMINUM TENANT PANELS ARE ROUTED OUT WITH BACK-UP PLEX.  
8" CENTER SCORED SPLIT FACED CMU WAINSCOT

-  ICI 307 "BUNGALOW"
-  ICI 328 "SEDGEWICK ROSE" (MONTEXED)
-  ICI 341 "SHELL STONE" (MONTEXED)
-  ICI 307 "BUNGALOW" (SCORED SPLIT FACE CMU BLOCK)

**APPROVED PLANS**  
 Design Review Board  
 CASE: DR06-53  
 DATE: 8/10/06  
 SUBJECT TO CONDITIONS OF APPROVAL



1825 S. Black Canyon Highway  
 Phoenix, Arizona 85009  
 602-242-4488  
 602-271-0433 fax

PROJECT  
**CLASSIC CAR SPA**  
 2297 S. VAL VISTA DR.  
 GILBERT, ARIZONA  
 PREPARED FOR  
 RICK STERTZ

SALES ASSOCIATE  
 CHUMITA

S/F Corner  
 Monument Sign

Elevations  
 & Plan View

Project: Classic Car Spa Gilbert120105  
 Date: 12-01-05  
 Scale: Noted  
 Drawn By: J.L.W.  
 Approved By: Chumita

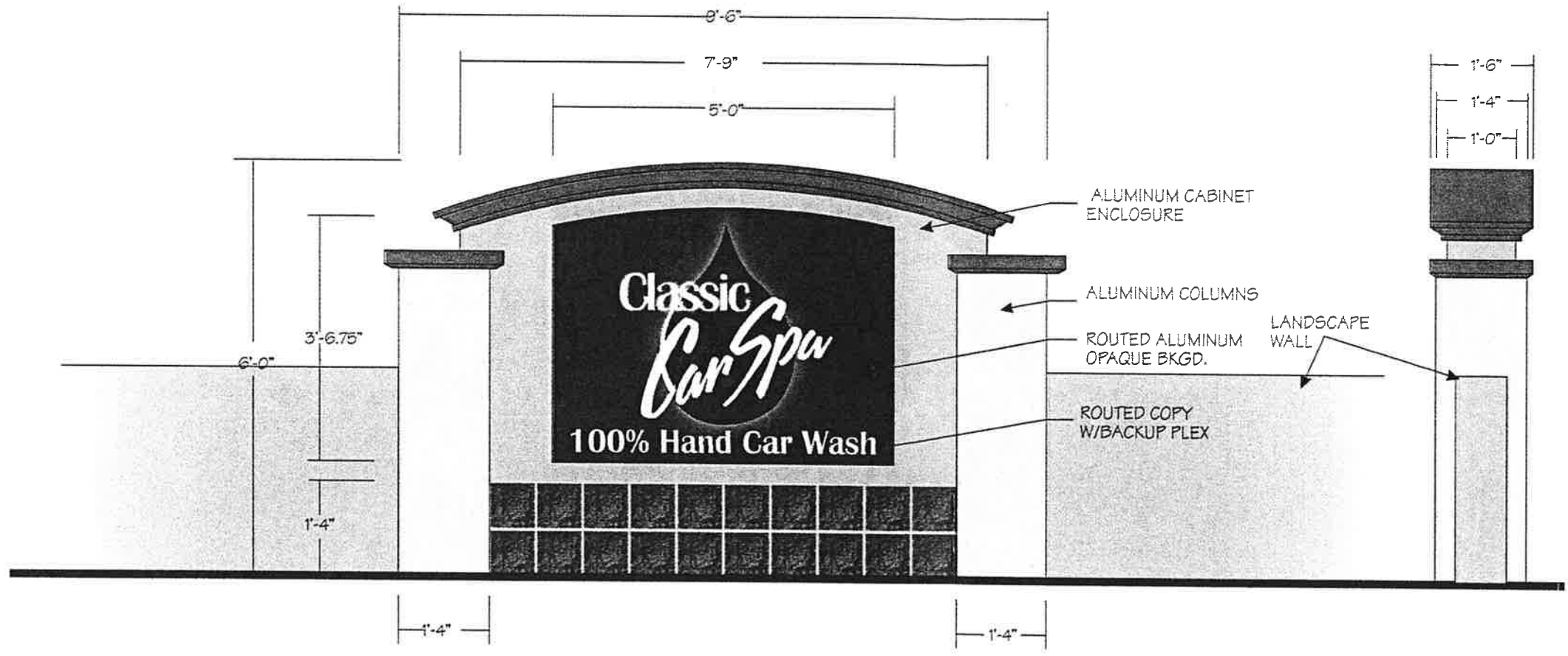
**Revisions**

No.	Description	Date
01	Details	07-19-06

**Approvals**





Landlord Signature \_\_\_\_\_  
 Client Signature \_\_\_\_\_  
 Sales Signature \_\_\_\_\_

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**(A-1) S/F ILLUMINATED CORNER MONUMENT SIGN - 17.81 SF**  
 SCALE: 1/2" = 1'-0"

FABRICATE & INSTALL (1) MONUMENT SIGN.  
 STANDARD ALUMINUM CONSTRUCTION  
 ROUTED ALUMINUM FACE WITH 1/2" PUSH THRU & BACK-UP PLEX,  
 1ST SURFACE VINYL.  
 HO FLOURESCENT LAMPS FOR ILLUMINATION.  
 8" CENTER SCORED SPLIT FACED CMU WAINSCOT.  
 SIGN TO BE INTEGRATED INTO LANDSCAPE WALL.

-  ICI 307 "BUNGALOW"
-  ICI 328 "SEDEGWICK ROSE" (MONTEXED)
-  ICI 341 "SHELL STONE" (MONTEXED)
-  ICI 307 "BUNGALOW" (SCORED SPLIT FACE CMU BLOCK)

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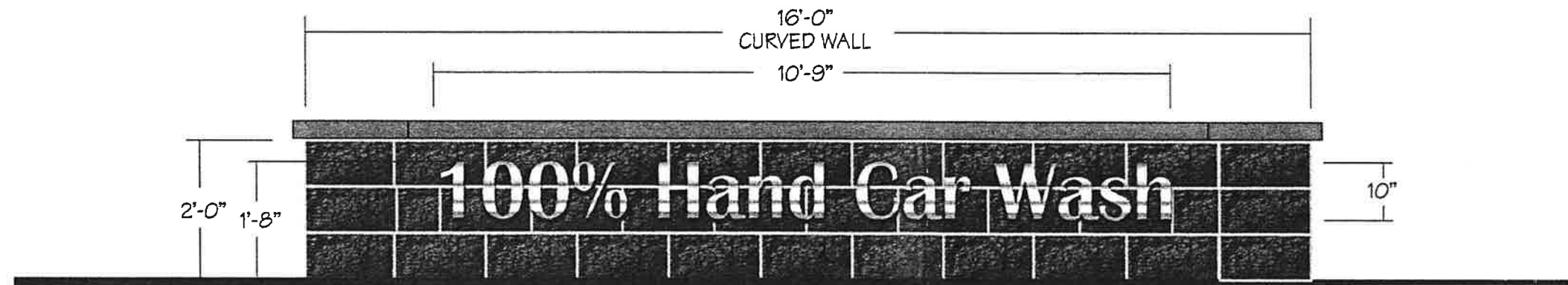
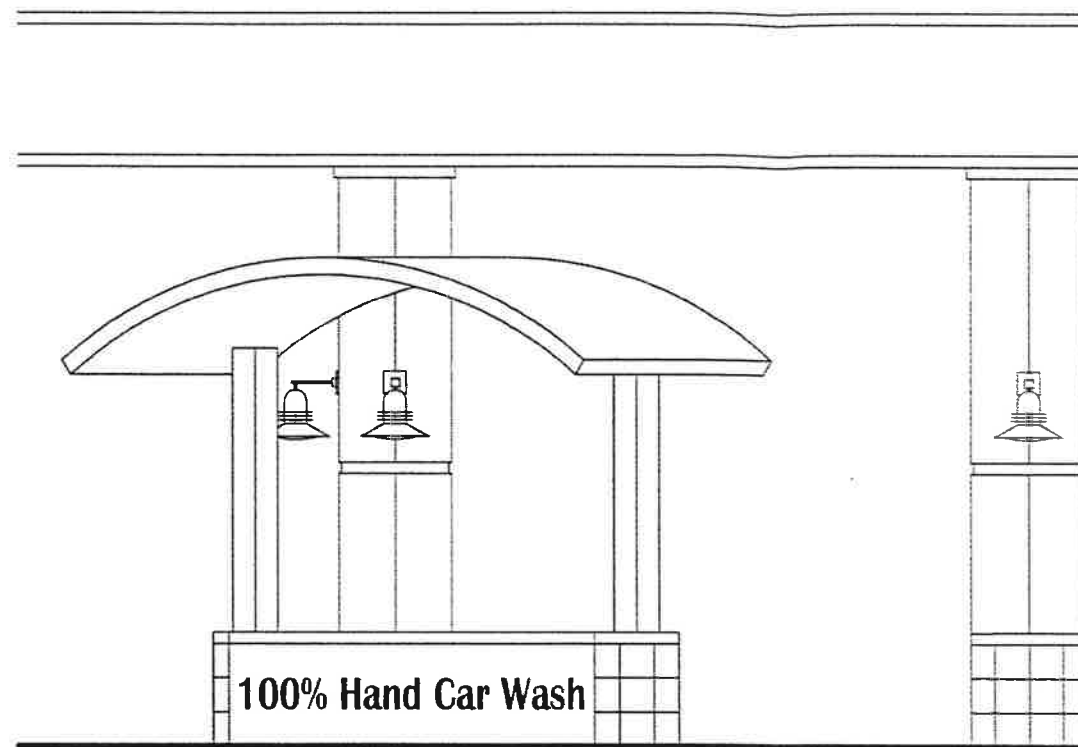
**APPROVED PLANS**

Design Review Board

CASE: DR06-53

DATE: 8/10/06

SUBJECT TO CONDITIONS OF APPROVAL



**(B) FLAT CUT OUT WALL TREATMENT 8.96 SF**

SCALE: 1/2" = 1'-0"

FABRICATE & INSTALL (1) SET OF FLAT CUT OUT ALUMINUM LETTERS.  
1/4" BRUSHED ALUMINUM LETTERS MOUNTED FLUSH TO WALL



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**CLASSIC CAR SPA**  
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GILBERT, ARIZONA  
PREPARED FOR  
**RICK STERTZ**

SALES ASSOCIATE  
**CHUMITA**

Wall  
Treatment

Elevations  
& Plan View

Project: Classic Car Spa Gilbert 120105  
Date: 12-01-05  
Scale: Noted  
Drawn By: J.L.W.  
Approved By: Chumita

**Revisions**

No.	Description	Date
01	Dimension	04-24-06
02	SqFt	07-19-06

**Approvals**

Landlord Signature \_\_\_\_\_  
Client Signature \_\_\_\_\_  
Sales Signature \_\_\_\_\_

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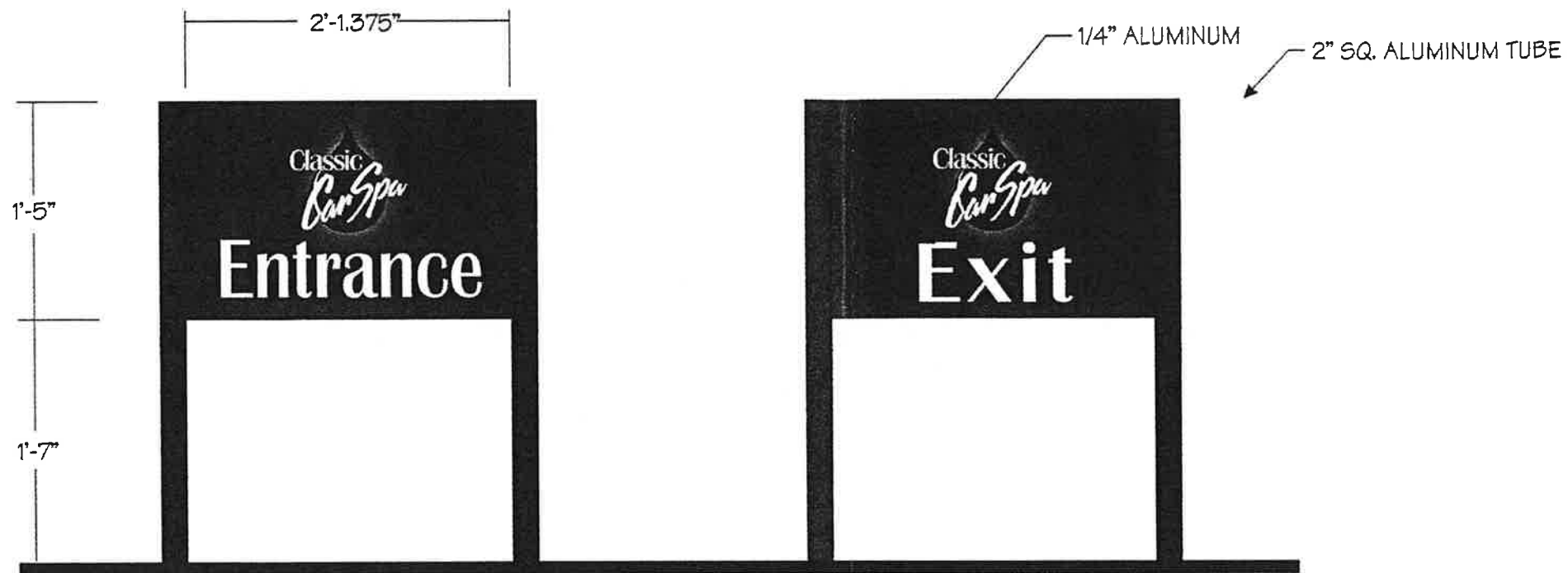
**APPROVED PLANS**

Design Review Board

CASE: DR06-53

DATE: 8/10/06

SUBJECT TO CONDITIONS OF APPROVAL



**(C) DOUBLE FACE POST & PANEL DIRECTIONAL SIGNS 3.0 SF EA.**

SCALE: 1" = 1'-0"

FABRICATE & INSTALL (1) EACH 2" DEEP POST & PANEL SIGNS  
 .090 ALUMINUM PANEL PAINTED REFLEX BLUE WITH PRINTED VINYL GRAPHICS  
 2" SQ. TUBES PAINTED REFLEX BLUE.



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PROJECT  
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 GILBERT, ARIZONA  
 PREPARED FOR  
 RICK STERTZ

SALES ASSOCIATE  
 CHUMITA

Directionals

Elevations  
 & Plan View

Project:	Classic Car Spa Gilbert120105
Date:	12-01-05
Scale:	Noted
Drawn By:	J.L.W.
Approved By:	Chumita

**Revisions**

No.	Description	Date
01	Details	04-14-06
02	SqFt	07-19-06

**Approvals**

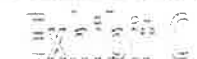
Landlord Signature \_\_\_\_\_

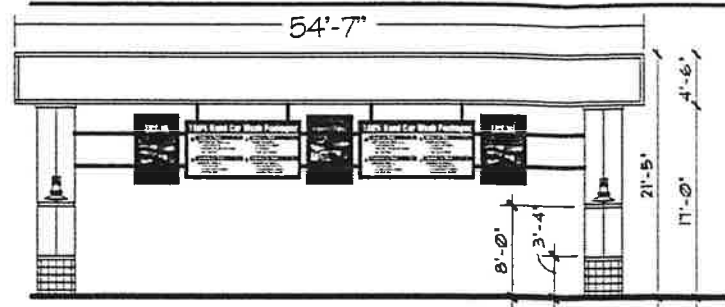
Client Signature \_\_\_\_\_

Sales Signature \_\_\_\_\_

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**(D) CANOPY ELEVATION**  
SCALE: 1/16" = 1'-0" 34'-0"

**APPROVED PLANS**  
Design Review Board  
CASE: DR06-53  
DATE: 8/10/06  
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PROJECT  
**CLASSIC CAR SPA**  
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GILBERT, ARIZONA  
PREPARED FOR  
RICK STERTZ

SALES ASSOCIATE  
CHUMITA

Menu Boards

Elevations & Plan View

Project:	Classic Car Spa Gilbert120105
Date:	12-01-05
Scale:	Noted
Drawn By:	J.L.W.
Approved By:	Chumita

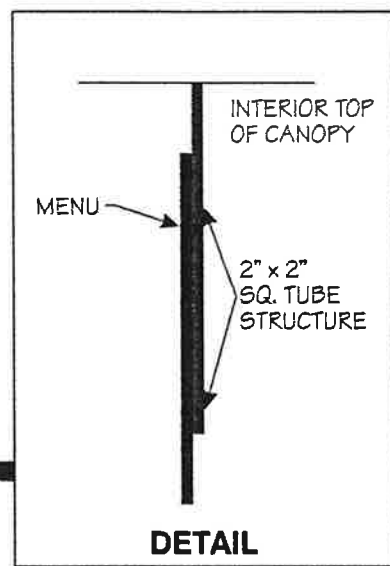
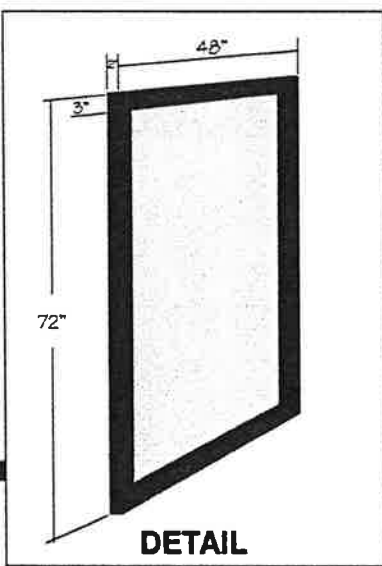
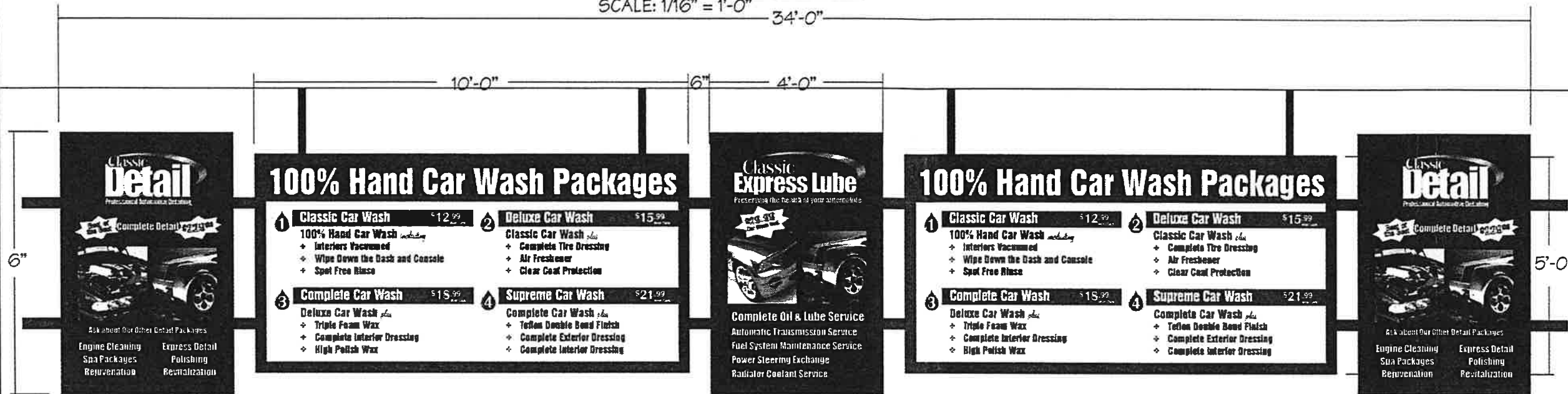
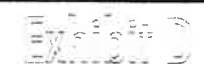
**Revisions**

No.	Description	Date
01	Layout	03-17-06
02	Elevation	04-24-06
03	SqFt	07-19-06

**Approvals**

\_\_\_\_\_  
Landlord Signature  
\_\_\_\_\_  
Client Signature  
\_\_\_\_\_  
Sales Signature

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**(D) MENU BOARD (1) EACH 172 SF**  
SCALE: 3/8" = 1'-0"

FABRICATE & INSTALL (1) EACH OF MENU BOARDS.  
3" DEEP S/F ALUMINUM MENU PANELS PAINTED REFLEX BLUE.  
WITH VINYL GRAPHICS.  
(3) PHOTO PANELS ARE DIGITALLY PRINTED.  
INSTALL UNDER CANOPY "A".

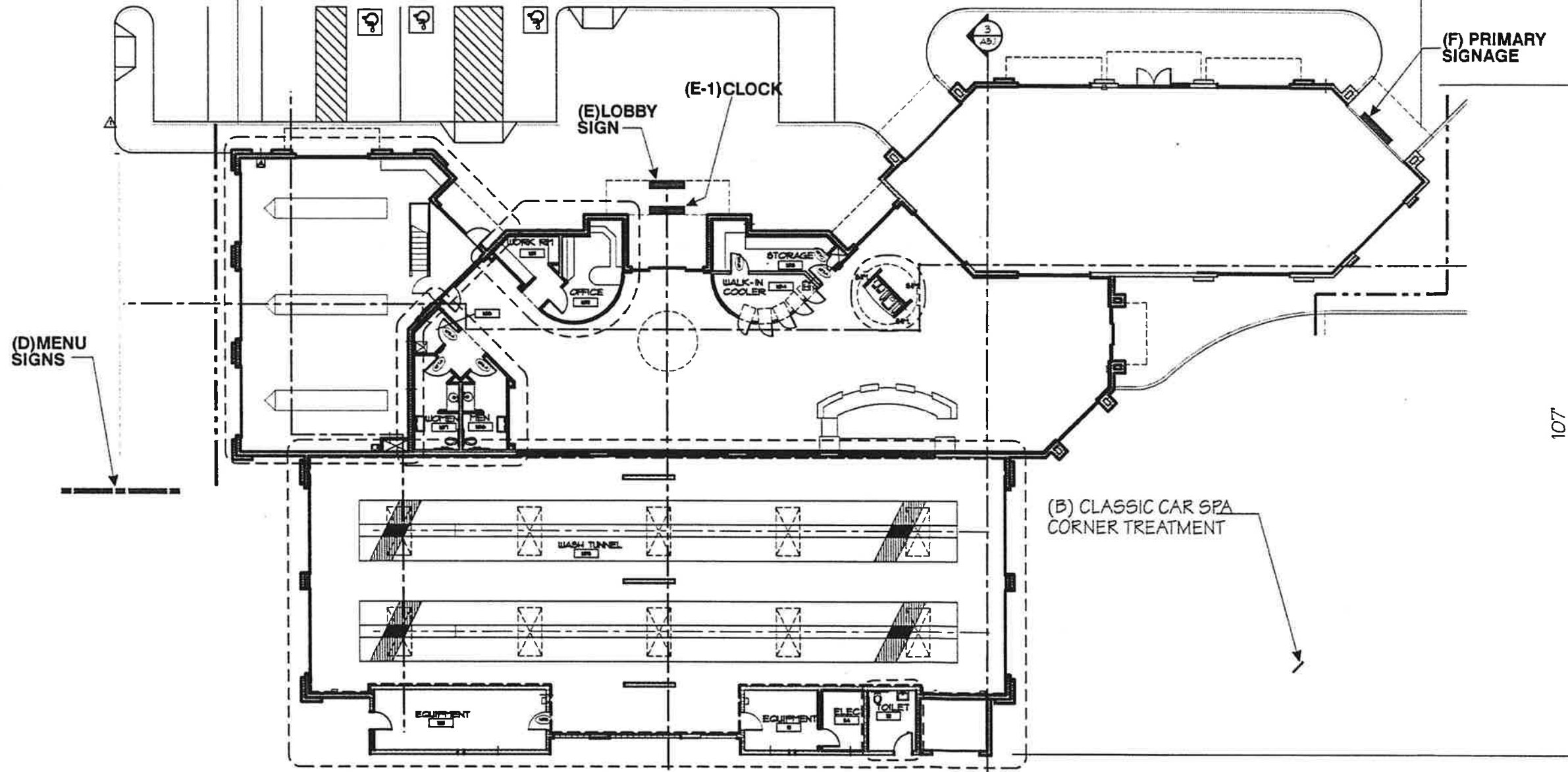


10'-0" CLEARANCE

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194'

107'



**APPROVED PLANS**  
 Design Review Board  
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 DATE: 8/10/06  
 SUBJECT TO CONDITIONS OF APPROVAL



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 602-271-0433 fax

PROJECT  
**CLASSIC CAR SPA**  
 2297 S. VAL VISTA DR.  
 GILBERT, ARIZONA  
 PREPARED FOR  
 RICK STERTZ

SALES ASSOCIATE  
 CHUMITA

Site  
 Plan

Elevations  
 & Plan View

Project: Classic Car Spa Gilbert120105  
 Date: 12-01-05  
 Scale: Noted  
 Drawn By: J.L.W.  
 Approved By: Chumita

**Revisions**

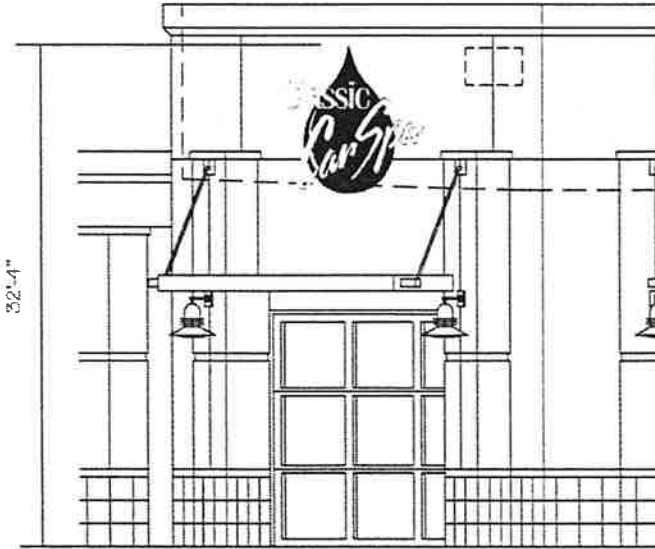
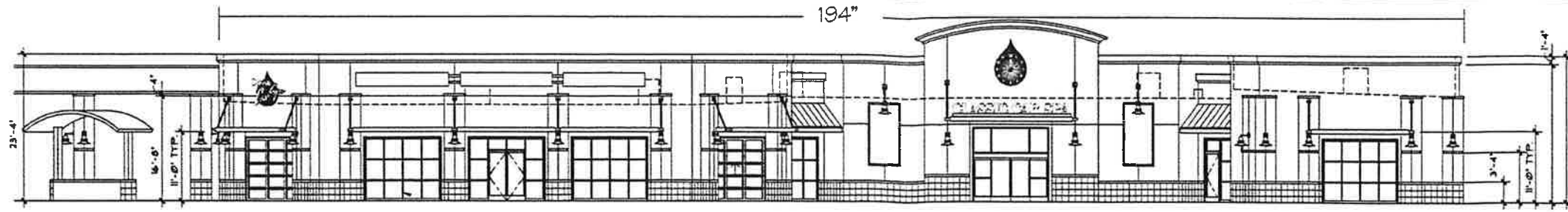
No.	Description	Date
01	Dimensions	04-14-06

**Approvals**

Landlord Signature \_\_\_\_\_  
 Client Signature \_\_\_\_\_  
 Sales Signature \_\_\_\_\_

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**ELEVATION DETAIL**  
SCALE: 1/8" = 1'-0"



**(F) LOGO SIGN 44.42 SF**  
SCALE: 1/2" = 1'-0"



**PAN CHANNEL LETTER**  
5" YELLOW RETURNS, 3/4" REFLEX BLUE TRIM CAP  
1/8" WHITE ACRYLIC FACES, REFLEX BLUE TRIM.  
15MM 6500 WHITE NEON.

**PAN CHANNEL LETTER**  
5" REFLEX BLUE RETURNS, 3/4" BLUE TRIM CAP  
1/8" YELLOW ACRYLIC FACES.  
15MM 6500 WHITE NEON.



**HALO LIT REVERSE PAN CHANNEL LOGO**  
2" REFLEX BLUE RETURNS & FACE.  
15MM BLUE NEON, MOUNT 1.5" OFF FASCIA.  
WHITE HP VINYL HIGH LITE.

**APPROVED PLANS**

Design Review Board  
CASE: DR06-53  
DATE: 8/10/06  
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602-242-4488  
602-271-0433 fax

**PROJECT**  
**CLASSIC CAR SPA**  
2297 S. VAL VISTA DR.  
GILBERT, ARIZONA  
**PREPARED FOR**  
**RICK STERTZ**

**SALES ASSOCIATE**  
**CHUMITA**

**Primary Building Identification**

**Elevations & Plan View**

Project:	Classic Car Spa Gilbert 120105	
Date:	12-01-05	
Scale:	Noted	
Drawn By:	J.L.W.	
Approved By:	Chumita	

**Revisions**

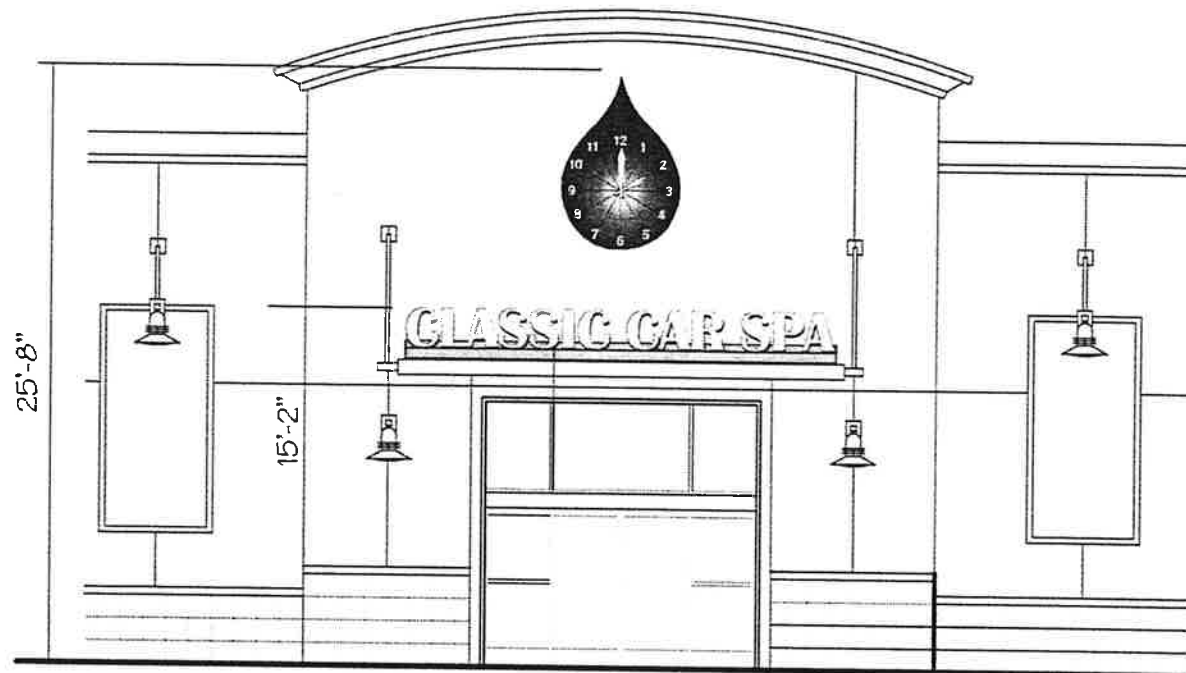
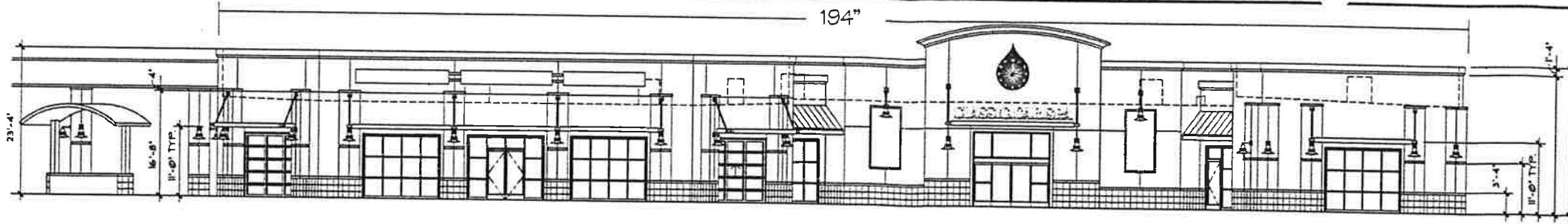
No.	Description	Date
01	Development	04-11-06
02	Details	04-14-06
03	Details	04-24-06
04	Colors	07-19-06

**Approvals**

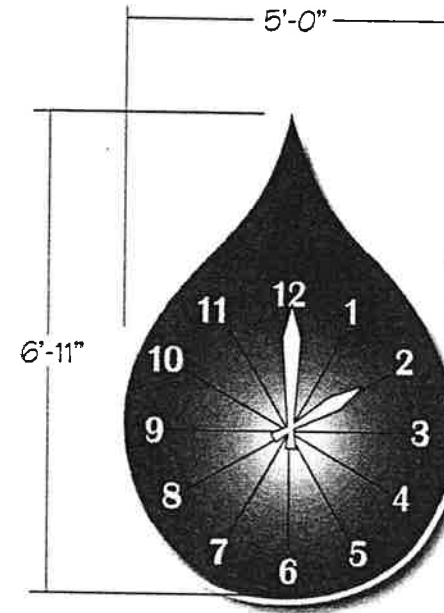
Landlord Signature \_\_\_\_\_  
Client Signature \_\_\_\_\_  
Sales Signature \_\_\_\_\_

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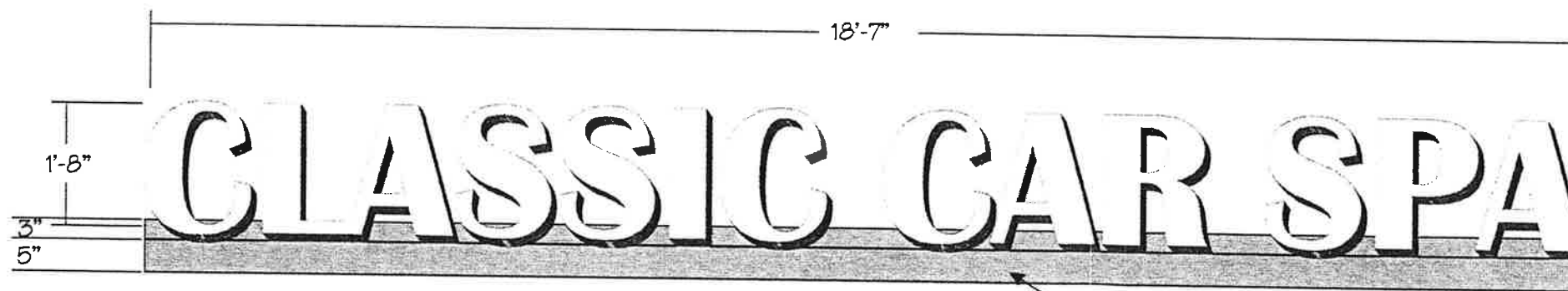


**ELEVATION DETAIL**  
SCALE: 1/8" = 1'-0"



**(E1) ILLUMINATED PAN CHANNEL CLOCK** 34.58 SF  
SCALE: 3/8" = 1'-0"

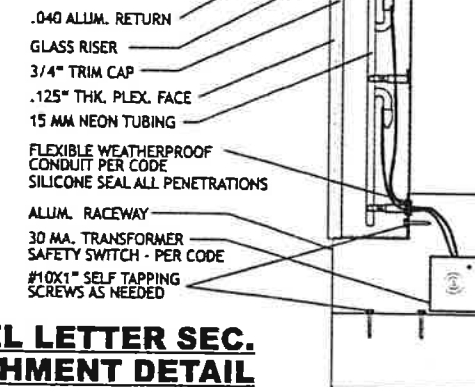
ALUMINUM CONSTRUCTION  
DIGITALLY PRINTED FACE.  
INTERNAL NEON FOR ILLUMINATION.  
YELLOW BORDER NEON.  
REFLEX BLUE RETURNS & TRIM CAP  
FLUSH MOUNT TO FASCIA.



**(E) PAN CHANNEL LETTERS** 31.0 SF  
SCALE: 1/2" = 1'-0"

FABRICATE & INSTALL (1) SET OF PAN CHANNEL LETTERS.  
5" RETURNS PAINTED REFLEX BLUE.  
15MM YELLOW EXPOSED NEON FOR ILLUMINATION, REMOTE TRANSFORMERS.  
1/8" YELLOW ACRYLIC FACES & 3/4" BLUE TRIM CAP.  
FLUSH MOUNT TO TOP OF RACEWAY AS SHOWN.

ICI 1083 "SPRUCE PINE"



**RACEWAY/PAN CHANNEL LETTER SEC. ATTACHMENT DETAIL**  
N.T.S.

**APPROVED PLANS**  
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PROJECT  
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GILBERT, ARIZONA  
PREPARED FOR  
RICK STERTZ

SALES ASSOCIATE  
CHUMITA

Lobby Entry  
Sign

Elevations  
& Plan View

Project:	Classic Car Spa Gilbert120105
Date:	12-01-05
Scale:	Noted
Drawn By:	J.L.W.
Approved By:	Chumita

**Revisions**

No.	Description	Date
01	Details	04-14-06
02	Details	07-19-06

**Approvals**

Landlord Signature \_\_\_\_\_  
Client Signature \_\_\_\_\_  
Sales Signature \_\_\_\_\_

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