

Comprehensive Sign Program

Peak Commercial Property Services

1811 S. Alma School Rd. Suite 240
Mesa, AZ 85210

Vista Del Oro

Queen Creek and Val Vista - Gilbert, AZ

COMPREHENSIVE
SIGN
PROGRAM

Prepared by:



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APPROVED
Administrative Design Review
Case Planner Initials: ADJ
Case # PAL 12-59
Date: 11/21/12

D205.136.A. 1st
(PAL 12.59)

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**Vista Del Oro
COMPREHENSIVE SIGN PROGRAM
Sign specifications and Requirements**

The purpose of this Comprehensive Sign Program is to create a graphic environment that is individual and distinctive in identity for the merchant and also compatible with other signs within the Property. The total concept should give an impression of quality and professionalism, as well as, instill a good business image.

The following specifications shall be used for the design of all signage within the Property; however, in all cases, final written approval by Vista Del Oro is required prior to manufacturing and installation of all signs.

For purposes of this Comprehensive Sign Program, any reference herein to "Owner" shall also include all tenants, subtenants, licensees and other occupants of Owner's Parcel.

PROCEDURE: All signage drawing proposals will be submitted in three (3) copies to Vista Del Oro for written approval, prior to application for sign permit from the Town of Gilbert.

NOTICE:

WRITTEN APPROVAL AND CONFORMANCE WITH THE REQUIREMENTS SET FORTH HEREIN DOES NOT IMPLY CONFORMANCE WITH APPLICABLE LAWS, CODES, RULES, AND REGULATIONS PROMULGATED BY THE TOWN OF GILBERT OR ANY OTHER APPLICABLE GOVERNMENTAL AGENCY OR BODY (COLLECTIVELY, THE "LAWS"). ALL SIGNAGE LOCATED WITHIN THE PROPERTY SHALL BE APPROVED IN WRITING BY DECLARANT AND SHALL COMPLY WITH THE APPLICABLE LAWS, RECEIPT BY OWNER OF A SIGN PERMIT AND NOTIFICATION BY OWNER TO VISTA DEL ORO MUST BE RECEIVED PRIOR TO MANUFACTURING AND INSTALLATION OF ANY SIGNAGE.

A. GENERAL PROVISIONS

1. All signs and signage programs must conform to the requirements of this Master Signage plan, the Town of Gilbert, and all applicable Laws. Applications and submittals for signage permits shall be per the Town of Gilbert's procedure and requirements.
2. Signs shall identify the person or company operating the use conducted on the Parcel or Suite. No off-premises advertising is permitted.

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B. GENERAL REQUIREMENTS

1. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, painted or affixed in any manner to any part of the building exterior except as approved in writing by Vista Del Oro and the Town of Gilbert.
2. Each Owner shall defend, indemnify and hold Vista Del Oro harmless for, from, and against all claims, costs (including attorneys' fees, expert witness fees and other litigation related costs), damages, expenses, liabilities and losses arising from the installation, maintenance and repair of Owner's signs.
3. Each electrical sign, and the installation thereof, shall comply with all applicable Laws.
4. Owner shall obtain all necessary permits for signs and the construction and installation of signs.
5. No labels shall be placed on the exposed surfaces of signs except those required by applicable Laws. Required labels shall be applied in inconspicuous locations.
6. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight manner.
7. Sign copy shall be limited to Owner's proper firm name and shall not include the names of items, goods, products, or service lines. The use of a crest, shield, logo, or other established corporate insignia or modifier which has been displayed or associated with Owner's firm name shall be permitted subject to Vista Del Oro written approval.
8. Any sign that does not conform with the requirements of this Comprehensive Sign Program or was not approved by Vista Del Oro as required hereby shall be immediately removed or brought into conformance at the Owner's expense.
 - a. Signs with penetrations falling above roof line must seal wiring using a raceway rear.
 - b. Landlord reserves the right to modify this criteria at any time.

C. TYPE OF SIGN

1. All signs shall contain individual, pan channel, internally illuminated, wall mounted letters. Letters are not to be on a background and shall not be mounted on an exposed raceway.

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D. SPECIFIC REQUIREMENTS FOR MAJOR ANCHOR BUILDINGS SIGNAGE

1. Type of Sign

- a. Signs may contain individual, pan or reverse pan channel, internally illuminated, wall mounted variable depth letters. Letters may be face or halo lit. Signs may contain the use of a crest, shield, logo or other established corporate insignia or modifier. The crest, shield or logo may be constructed in the same manner as the individual letters. Any sign type may be mounted on a background. No exposed raceways shall be permitted.

Placement

- a. Tenant shall be permitted to install attached wall signs on any exterior building surface that is conjoined to the tenant's leased space and that has a specified sign band. Attached wall signs must be designed for placement that is complementary to, and not in conflict with the architectural elements of the building. Attached wall signs may not extend above building surface or parapet wall at the sign location.

Sign Envelope

- a. The sign envelope is defined as an area not to exceed 80% of the vertical and horizontal background of the sign band upon which the sign is to be installed. Sign envelope does not define the total allowable sign area. It defines the outermost reaches that a sign can occupy. Sign area calculations based on lineal feet of leased space still apply.

Sign Area Calculation

- a. Allowable signs area for attached wall signs is calculated as 1.5 square feet for each lineal foot of leased frontage per building elevation unless otherwise noted.

Window Signage

- a. Window signs may cover up to 25% of the window pane – defined from mullion to mullion.

Temporary Signs

- a. Banner, A-Frames, and temporary signage is allowed per Gilbert Ordinance.

2. LIGHTING

- a. Anchor will be illuminated as a self-contained letter (see side detail)
- b. Secondary Anchor copy can be illuminated with standard UL Approved neon methods or standard UL LED lighting methods .

E. SPECIFIC REQUIREMENTS FOR IN-LINE TENANTS/SUITES

1. SIZE OF SIGN

- a. Depth 5"
- b. VerticalLength: The overall length of spread of letters shall not exceed 80% of sign band or wall space on which sign is placed. (Example: Maximum spread for a sign with a space thirty (30) feet wide will be twenty-four (24) feet.
- c. Horizontal Height: Sign may not exceed 80% of SIGN BAND height
- d. Overall size of each sign allowed may be 1.5 square feet in size per foot of frontage on the same elevation as per 4.407C.I.B. (1+2). A minimum of 32 square feet will be allotted

2. LIGHTING

- a. All lighting shall be illuminated with Internal LED's or Neon
- b. All electrical will be U.L. or equivalent approved.
- c. Electrical power shall be provided by Vista Del Oro, all signs will be on master photo cell.
- d. Penetration of structure and graphics beams shall be kept to a minimum and must have proper insulation for voltage cable and must be approved in writing by Vista Del Oro.
- e. Power supplies shall be concealed behind fascia and mounted in metal boxes.

F. FREE-STANDING PAD BUILDINGS

- 1. Pad tenants are defined as those entities occupying a single free-standing Building on its own pad or parcel, located with in the perimeter of Vista Del Oro
- 2. Monument signs for free-standing pads are permitted per attached drawings
- 3. Permanent Sign Area:
- 4. Wall Signs: 1 square feet of sign for each foot building frontage. For buildings whose minimum setback is more than seventy-five (75) feet from the right-of-way line, 1.5 square feet of sign area for each front foot of building from which it draws its allowed square footage. Each tenant for use is permitted a minimum of 32 square feet of sign area

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CRITERIA

5. Tenant shall be permitted to install signs designed and located solely for the Purpose of relieving traffic congestion and promoting the safe flow of traffic. Three (3) square feet per directional and no higher than 3'-0". Locations must Be clearly marked for submittals and approved at the time of design review.
6. All menu boards shall be internally illuminated and will be in keeping with the buildings color and materials, matching those of the free-standing directional. All menu boards shall be approved by the design review board at the time of design review approval.
7. Wall signs shall use integral color 3/16" plexiglas inserts with 3/4" trim cap. Trimcap and returns to be five (5) inches deep and shall be painted to match trimcap.
8. Letter style and color shall be subject to approval by the Developer/Landlord.
9. Each pad sign package shall be subject to review and approval by the Developer/ Landlord and the Town of Gilbert
10. **Should you have any questions or require the services of a sign company, Contact *Charlie Gibson*, BOOTZ & DUKE SIGN CO., PHOENIX, AZ (602) 272-9356**

G. DETAIL DRAWING

1. Three copies of a complete and detailed drawing by Owner's sign company shall be submitted to Vista Del Oro for final review and written approval.
2. Elevation of building fascia and sign shall be drawn using a minimum 1/4" to 1" scale.
3. Drawing shall indicate the following specifications:
 - a. Type, thickness, and color of plexiglass type of material used for backs, returns, and trim caps, including color
 - b. Finish used on returns
 - c. Type of illumination and mounting method
4. Drawing must include fascia cross section showing electrical connections.

H. WINDOW SIGNAGE

CRITERIA

1. Window signs shall not exceed two (2) square feet and shall be limited to store name, hours of operation, and phone numbers. Any other variations must be approved by Vista Del Oro and shall comply with the Town of Gilbert in writing.

2. Window signs to be crafted in a professional manner.

I. BANNERS, OR TEMPORARY SIGNS WILL NOT BE PERMITTED WITHOUT APPROVAL BY Vista Del Oro and shall comply with the Town of Gilbert code.

J. ADDRESS SIGNS

1. Each store is required to display a street address and suite number above the storefront door and service door constructed of four (4) inch white exterior vinyl.

K. THE FOLLOWING ARE NOT PERMITTED

1. Roof signs.
2. Cloth signs or streamers hanging in front of business without landlord approval.
3. Exposed seam tubing.
4. Animated or moving components.
5. Intermittent or flashing illumination.
6. Iridescent painted signs.
7. Letter mounted or painted-on illuminated panels.
8. Signs or letters painted directly on any surface.
9. Signs will not be permitted to be installed or placed along perimeter of Property.
10. A-Frames and/or Sandwiah Boards

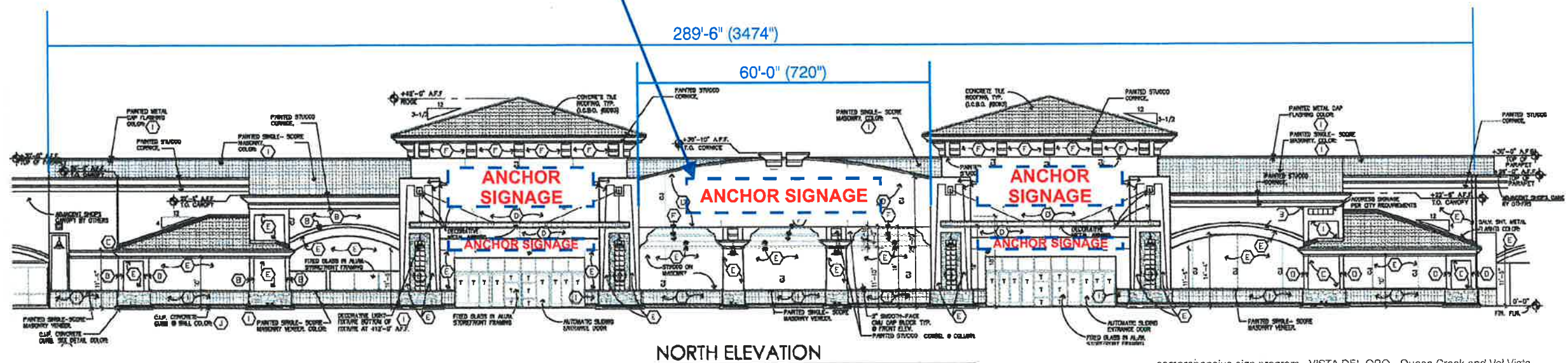
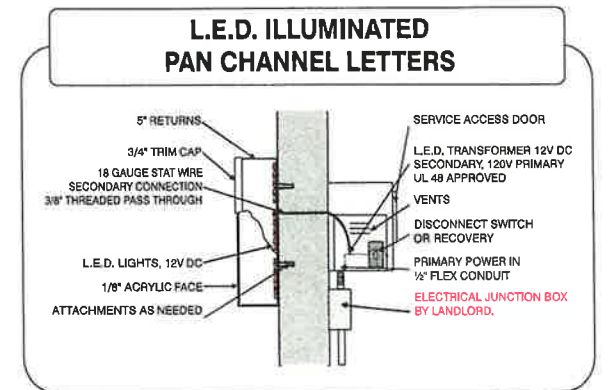
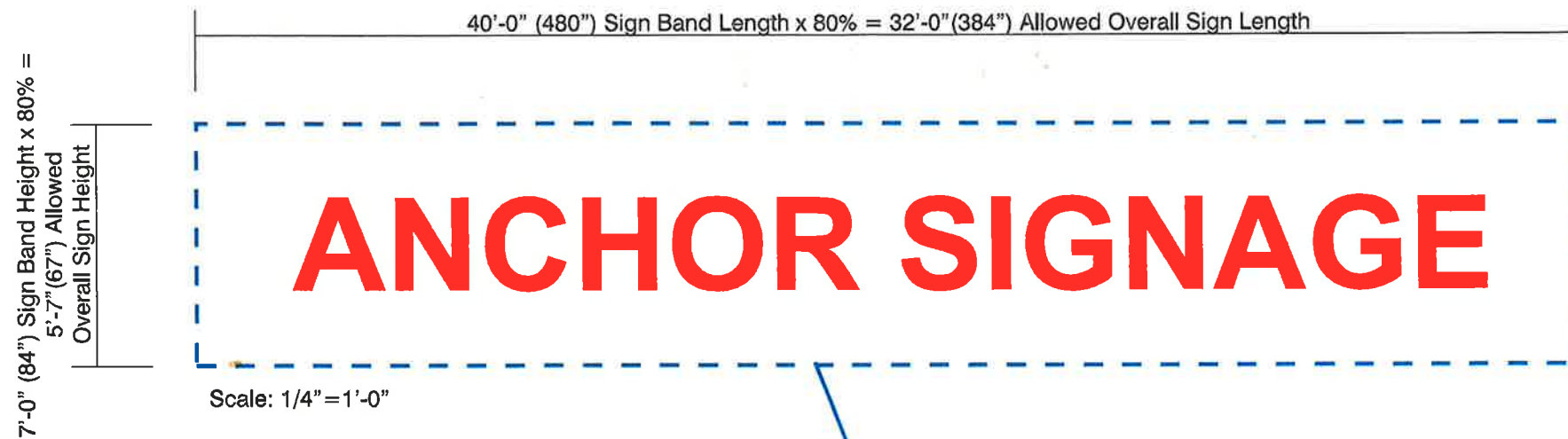
L. AUTHORIZED SIGN VENDORS

Vista Del Oro has authorized the following sign companies to do work at Vista Del Oro. Only these sign vendors are authorized to do any work at the site. Vista Del Oro may replace or modify this list of vendors without notice at anytime at its option.

Bootz and Duke Signs
Royal Signs
Guerrero-Lindsay Sign Co.

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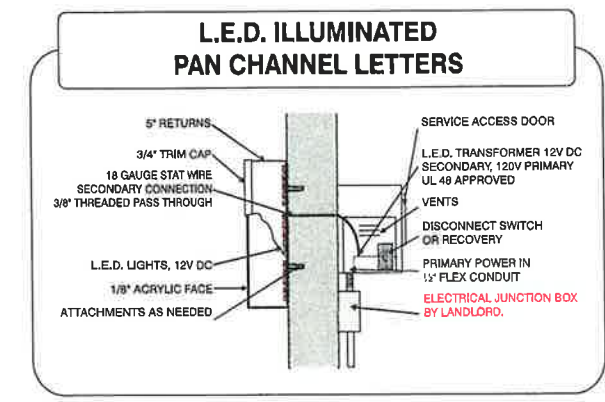
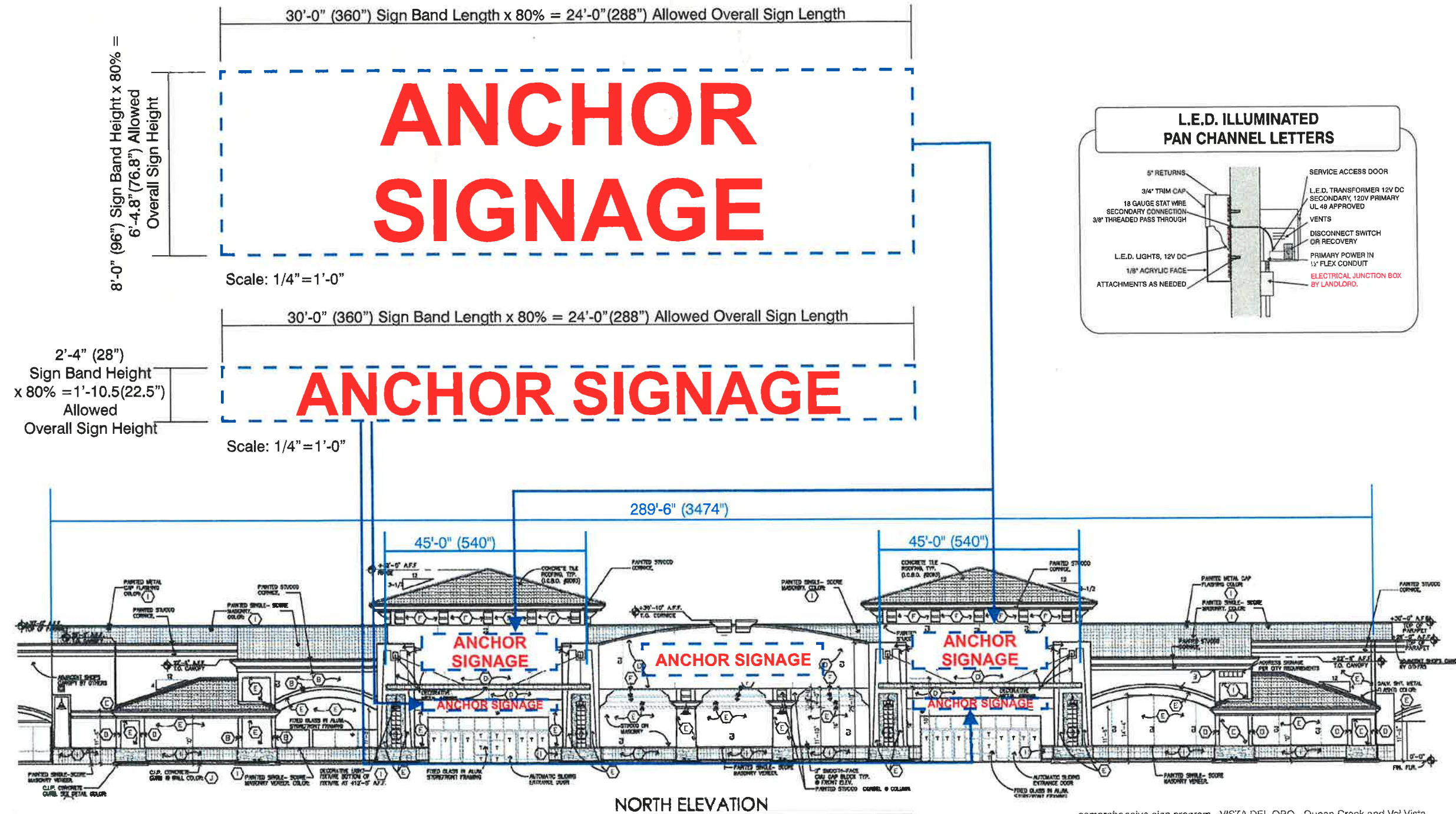
MAXIMUM ANCHOR TENANT ALLOWED SQAURE FOOTAGE
344.68



comprehensive sign program - VISTA DEL ORO - Queen Creek and Val Vista

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 (Revised)

MAXIMUM ANCHOR TENANT ALLOWED SQAURE FOOTAGE
344.68

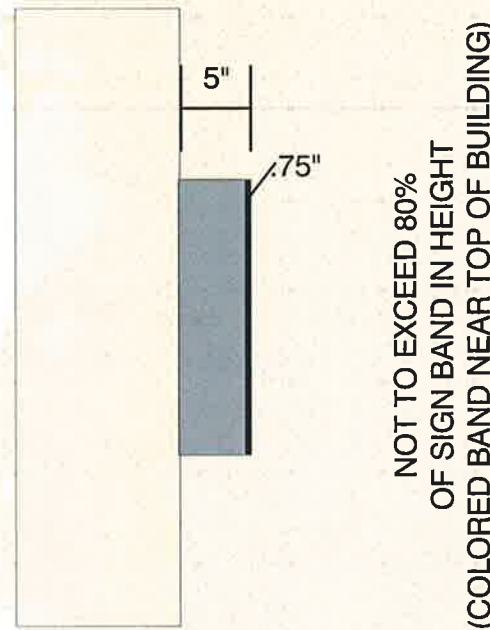


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IN LINE SUITES

NOT TO EXCEED 80%
OF SIGN BAND



TENANT

TYPICAL SET OF PAN CHANNEL LETTERS.

CONSTRUCTION

.063" ALUMINUM CONSTRUCTION.
5" DEEP RETURNS, .040" CLC, COLOR AS PER TENANT.
3/4" TRIM CAP, COLOR AS PER TENANT.

MOUNTING

MOUNT FLUSH TO WALL.

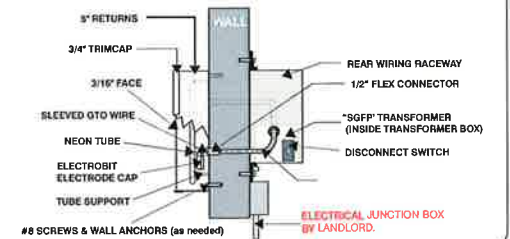
FACE

3/16" SG ACRYLIC, COLOR AS PER TENANT.

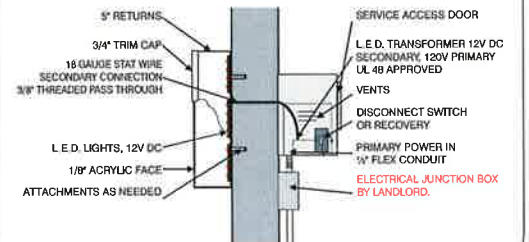
ILLUMINATION

PERMLITE OR GEL-COR L.E.D.'S, SINGLE OR DOUBLE STROKE.
1 STROKE PER 4"
WITH REMOTE TRANSFORMER(S) OR
SINGLE OR DOUBLE STROKE NEON TUBING (1 STROKE PER 4")
WITH ELECTRO-BIT BOOTS AS CONNECTORS AND
REMOTE TRANSFORMER(S) AS NEEDED.

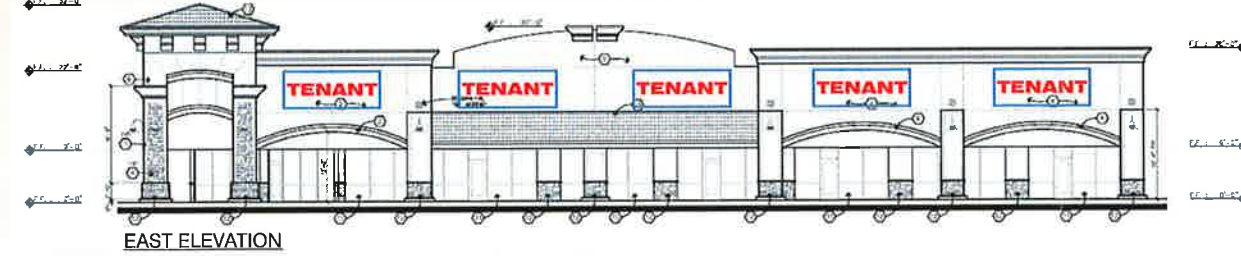
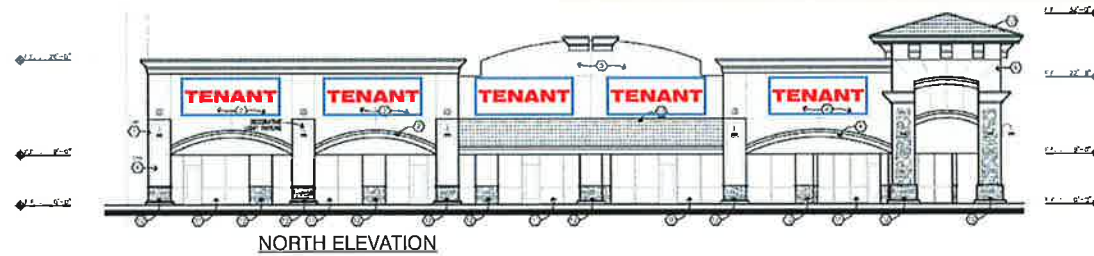
NEON ILLUMINATED PAN CHANNEL LETTERS



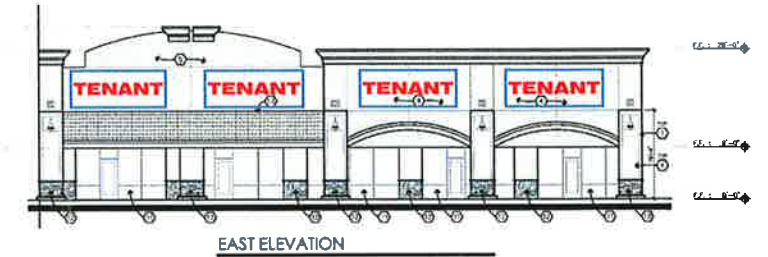
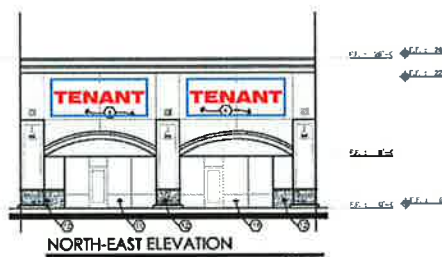
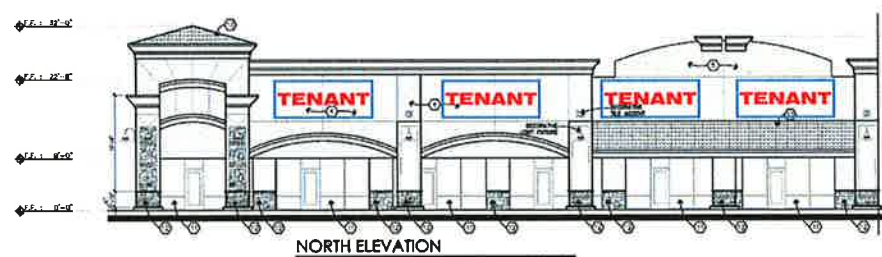
L.E.D. ILLUMINATED PAN CHANNEL LETTERS



SHOPS "A"



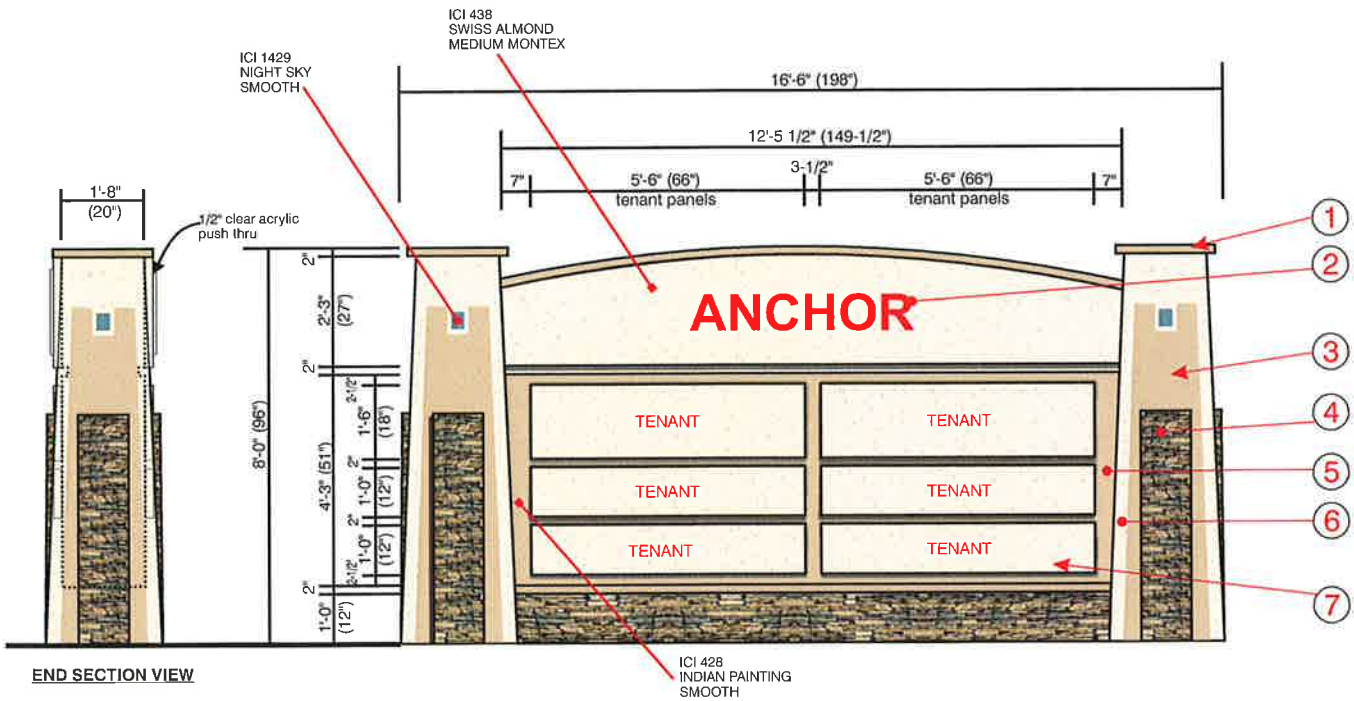
SHOPS "B"



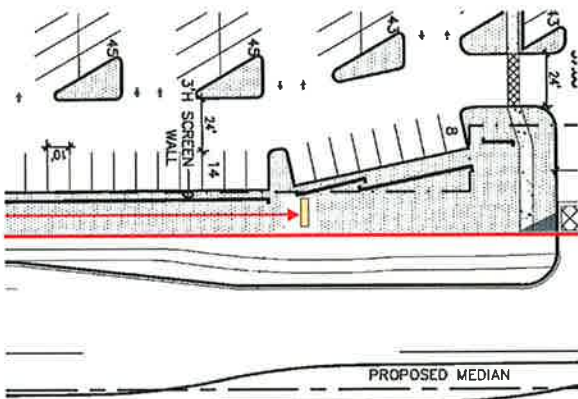
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MAIN IDENTIFICATION MONUMENT SIGN WITH TENANT COPY

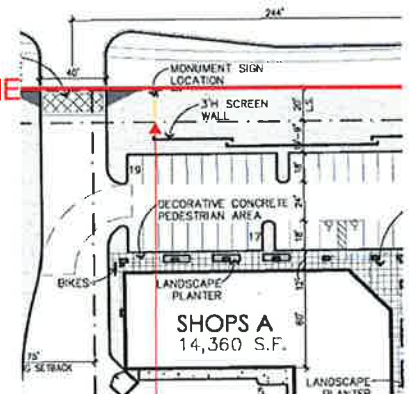


- ① ALUMINUM CONSTRUCTION WITH INTERNAL ALUMINUM FRAMING
- ② 1/2" ACRYLIC PUCH THRU WITH RED VINYL OVER LAY
- ③ .25" FLAT ALUMINUM ROUT OUT FLUSH MOUNTED TO SURFACE WITH A SATIN FINISH.
- ④ "CLONESTONE" TO MATCH STONE ON BUILDING
- ⑤ ALUMINUM CONSTRUCTION WITH INTERNAL ALUMINUM FRAMING WITH A SATIN FINISH
- ⑥ STUCCO FINISH ON COLUMN AS WELL AS TENANT PANELS, AND MONUMENT HEADER.
- ⑦ .125" ALUMINUM TENANT PANELS WITH 1/8" RED PLEX BACKING, TO BE INTERNALLY ILLUMINATED.



R.O.W. LINE

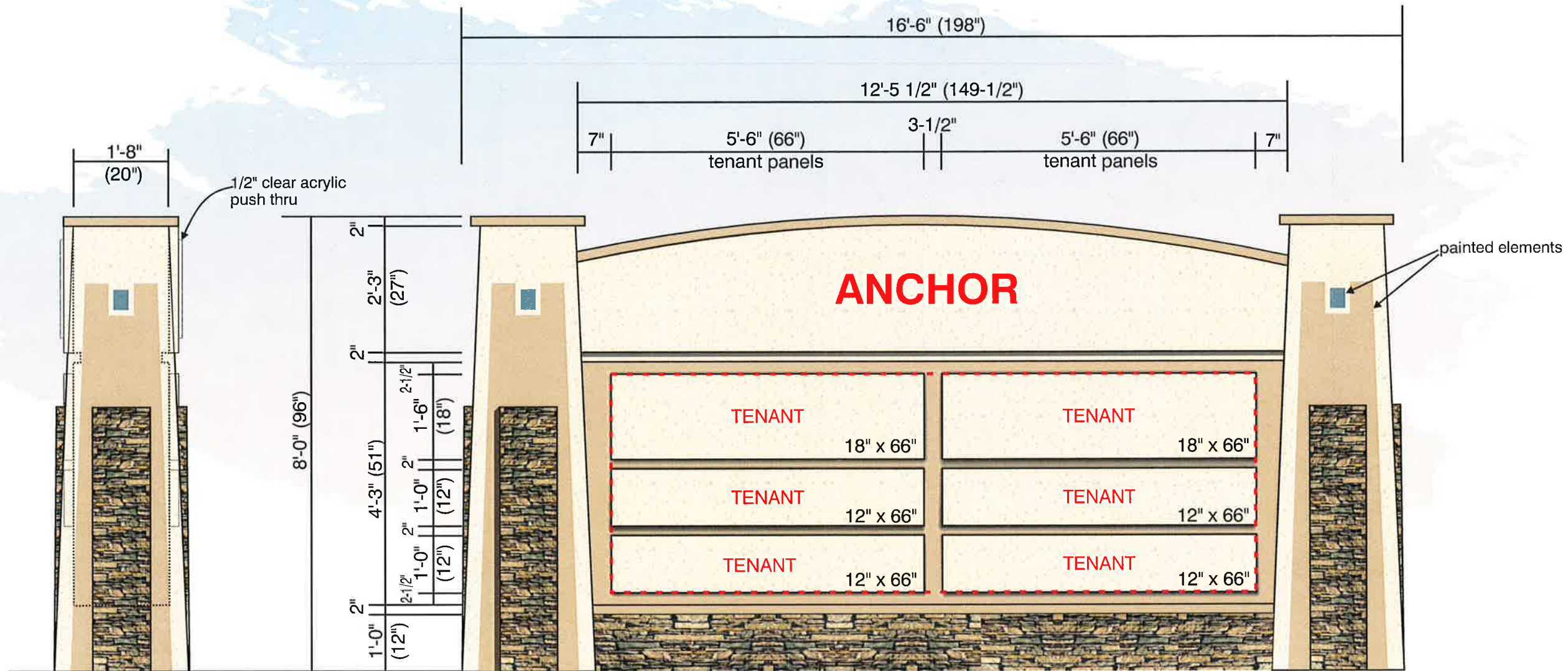
R.O.W. LINE



A MAIN SHOPPING CENTER IDENTIFICATION MONUMENT SIGN

COMPREHENSIVE SIGN PROGRAM - VISTA DEL ORO - Queen Creek and Val Vista

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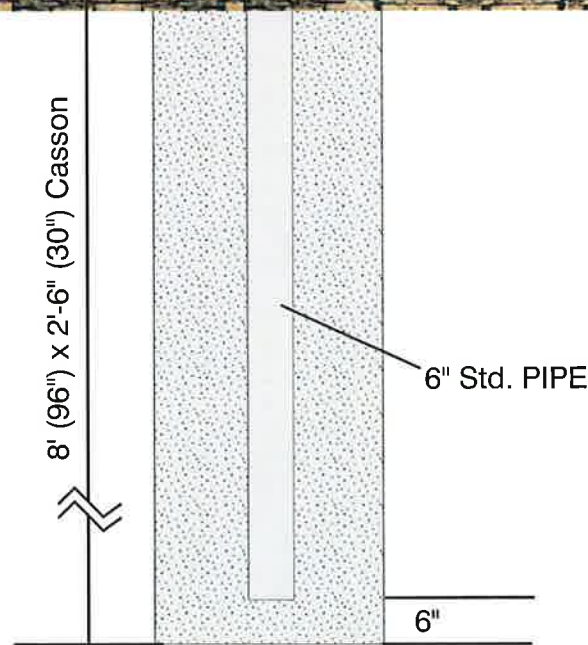


END SECTION VIEW

$46'' \times 136'' / 144 = 43.4$

NOTE: ALL COLORS / TEXTURES AND STONE TO MATCH BUILDING

- MEDIUM MONTEX FINISH - ICI 438 "SWISS ALMOND"
- FINE MONTEX FINISH - ICI 428 "INDIAN PAINTING"
- SMOOTH FINISH - ICI 1429 "NIGHT SKY"
- STONE: CHARDONNAY SOUTHERN LIMESTONE (BY OTHERS)



(2) TWO DOUBLE FACE ILLUMINATED MAIN TENANT DISPLAY

scale: 1/2" = 1'-0"

"ANCHOR" PANEL

.125 ALUMINUM ROUTE OUT
COPY & PUSH THRU 1/2" CLEAR ACRYLIC
APPLY FIRST SURFACE 3M HP TRANS VINYL

ILLUMINATE W/ F-T-12 CW HO LAMPS 800MA

.125 and .090 Aluminum Construction with internal Aluminum angle framing as needed for proper support

***See Charlie on how to build stone inlets or review columns.**

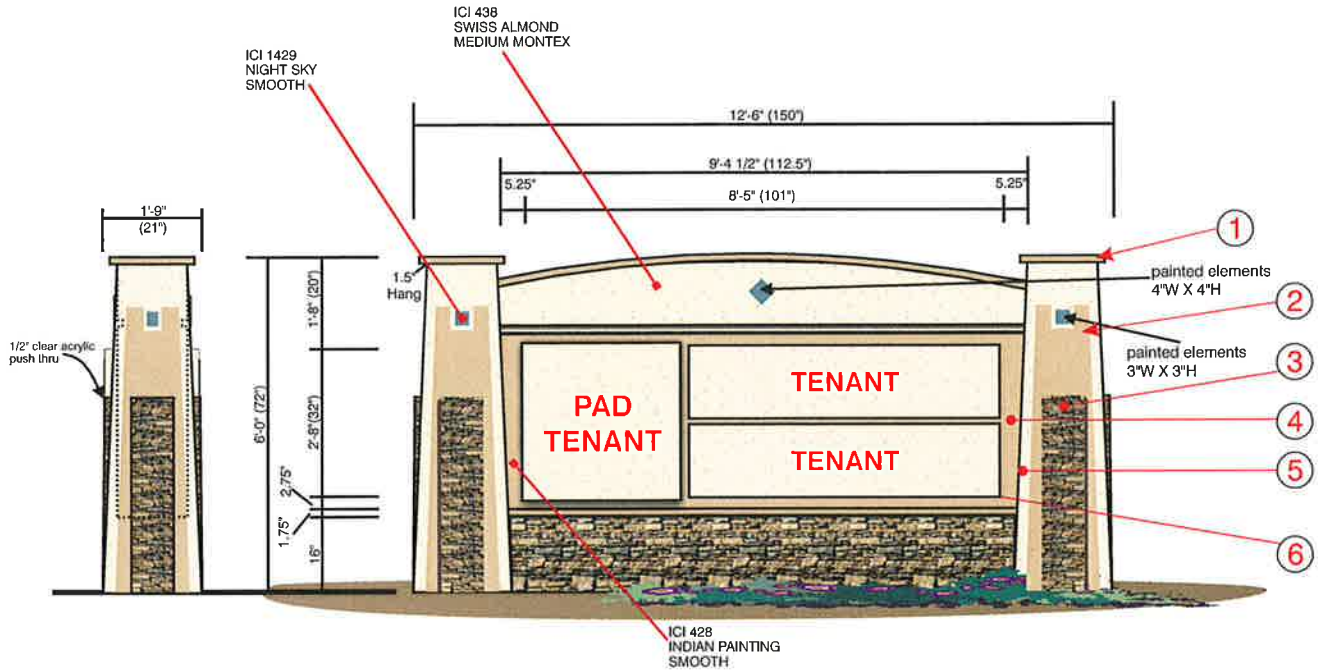
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ADDRESS: 4028 W. WHITTON PKY, AZ, 85019
 PHONE: (602) 272-9356
 FAX: (602) 272-4608
 E-MAIL: www.bootzandduke.com

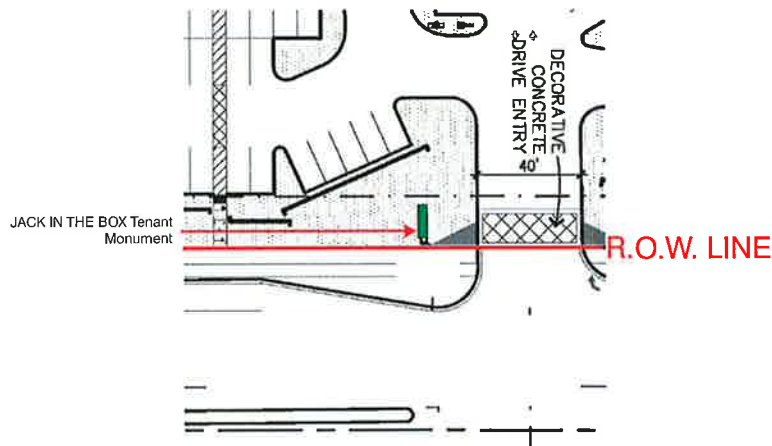
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CLIENT: VISTA DEL ORO (Basha's) CENTER	ADDRESS: SWC Queen Creek & Val Vista Gilbert, AZ	SALESMAN: Charlie Gibson	DESIGNER: AVMorales II
DATE: 10-12-2005	SCALE: AS NOTED	PAGE: _____	

MAIN IDENTIFICATION MONUMENT SIGN WITH TENANT COPY



- ① ALUMINUM CONSTRUCTION WITH INTERNAL ALUMINUM FRAMING
- ② .25" FLAT ALUMINUM ROUT OUT FLUSH MOUNTED TO SURFACE WITH A SATIN FINISH.
- ③ "CLONESTONE" TO MATCH STONE ON BUILDING
- ④ ALUMINUM CONSTRUCTION WITH INTERNAL ALUMINUM FRAMING WITH A SATIN FINISH
- ⑤ STUCCO FINISH ON COLUMN AS WELL AS TENANT PANELS, AND MONUMENT HEADER.
- ⑥ .125" ALUMINUM TENANT PANELS WITH 1/8" RED PLEX BACKING, TO BE INTERNALLY ILLUMINATED.



Ⓢ PAD B / BANK TENANT SUB-MAJOR MONUMENTS

COMPREHENSIVE SIGN PROGRAM - VISTA DEL ORO - Queen Creek and Val Vista

APPROVED

Administrative Design Review

Case Planner Initials: *aw*

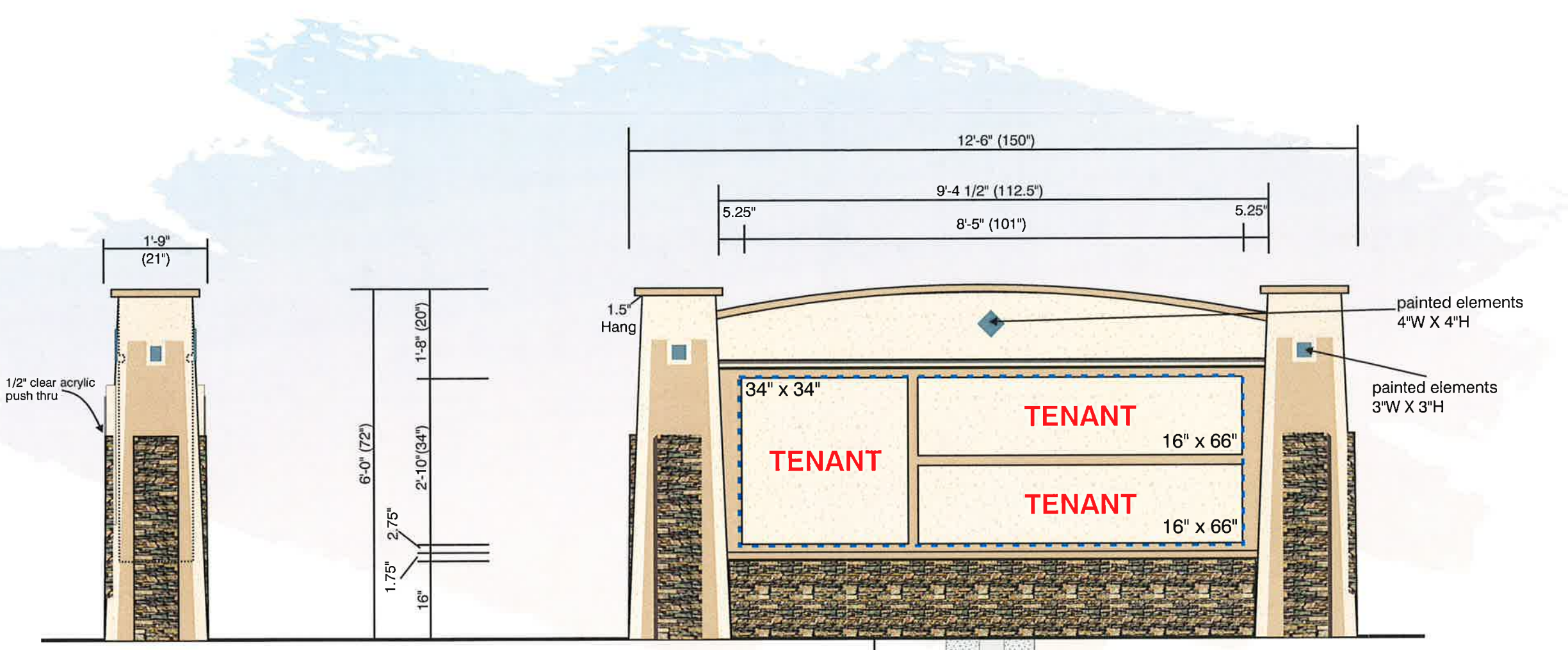
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ADDRESS: 4028 W. WHITTON PKY, AZ. 85019
 PHONE: (602)-272-9356
 FAX: (602)-272-4608
 E-MAIL: www.bootzandduke.com

CLIENT: VISTA DEL ORO (Basha's) CENTER
 ADDRESS: SWC Queen Creek & Val Vista Gilbert, AZ
 SALESMAN: Charlie Gibson
 DESIGNER: VMorales II DESIGN #: CSP
 DATE: 10-12-2005 SCALE: AS NOTED PAGE:





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END SECTION VIEW

NOTE: ALL COLORS / TEXTURES AND STONE TO MATCH BUILDING

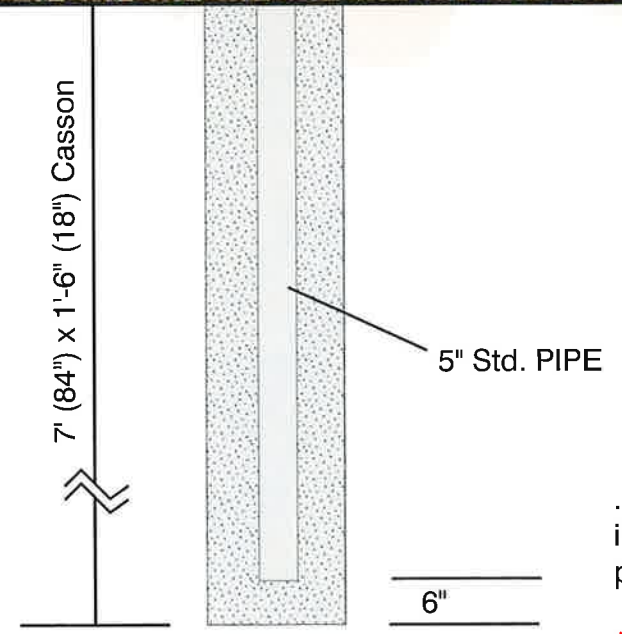
$34" \times 102" / 144 = 24$
24 total sq ft

-  MEDIUM MONTEX FINISH - ICI 438 "SWISS ALMOND"
-  FINE MONTEX FINISH - ICI 428 "INDIAN PAINTING"
-  SMOOTH FINISH - ICI 1429 "NIGHT SKY"
-  STONE: CHARDONNAY SOUTHERN LIMESTONE (BY OTHERS)

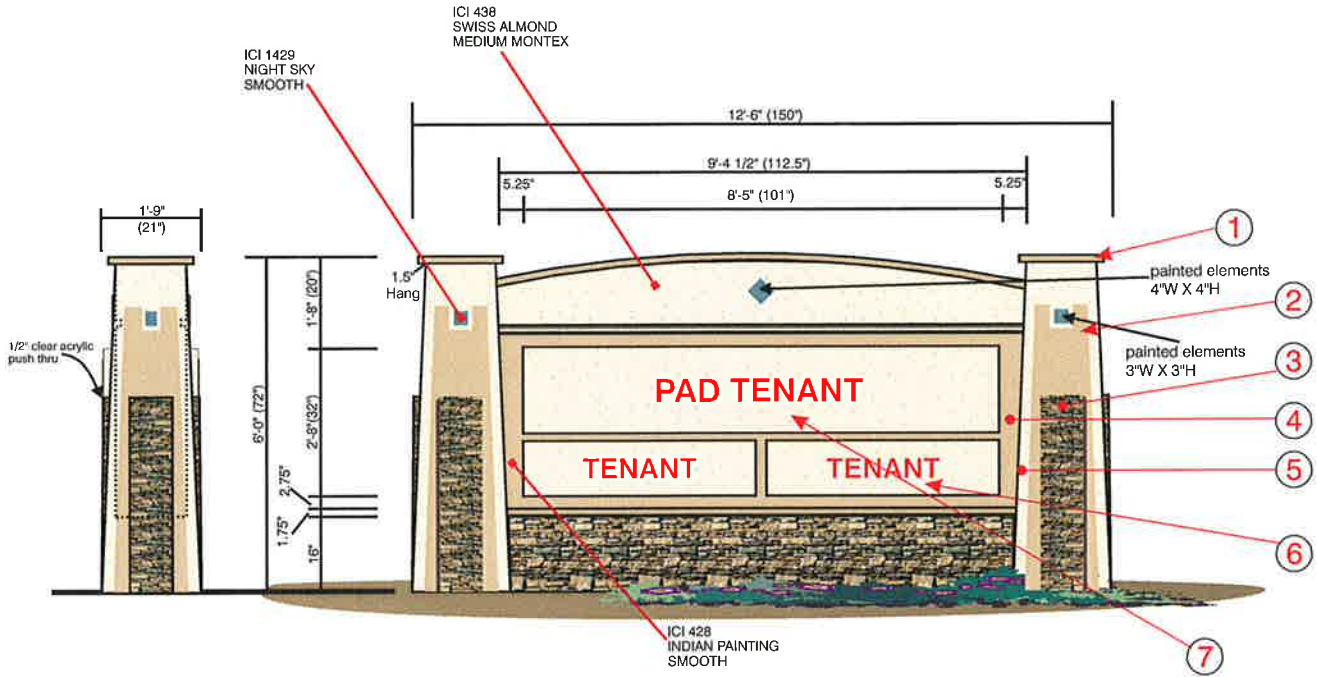
(1) ONE DOUBLE FACE ILLUMINATED SUB-MAIN TENANT DISPLAY
 scale: 1/2"=1'-0"

TENANT PANEL
 .125 ALUMINUM ROUTE OUT
 ILLUMINATE W/ F-T-12 CW HO LAMPS 800MA
 .125 and .090 Aluminum Construction with internal Aluminum angle framing as needed for proper support

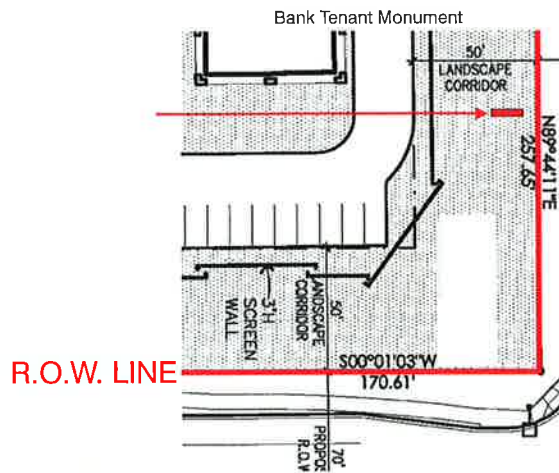
*See Charlie on how to build stone insets on columns.



MAIN IDENTIFICATION MONUMENT SIGN WITH TENANT COPY



- ① ALUMINUM CONSTRUCTION WITH INTERNAL ALUMINUM FRAMING
- ② .25" FLAT ALUMINUM ROUT OUT FLUSH MOUNTED TO SURFACE WITH A SATIN FINISH.
- ③ "CLONESTONE" TO MATCH STONE ON BUILDING
- ④ ALUMINUM CONSTRUCTION WITH INTERNAL ALUMINUM FRAMING WITH A SATIN FINISH
- ⑤ STUCCO FINISH ON COLUMN AS WELL AS TENANT PANELS, AND MONUMENT HEADER.
- ⑥ .125" ALUMINUM TENANT PANELS WITH 1/8" RED PLEX BACKING, TO BE INTERNALLY ILLUMINATED.
- ⑦ .125" ALUMINUM BANK TENANT PANEL WITH 1/8" BLUE PLEX BACKING, TO BE INTERNALLY ILLUMINATED

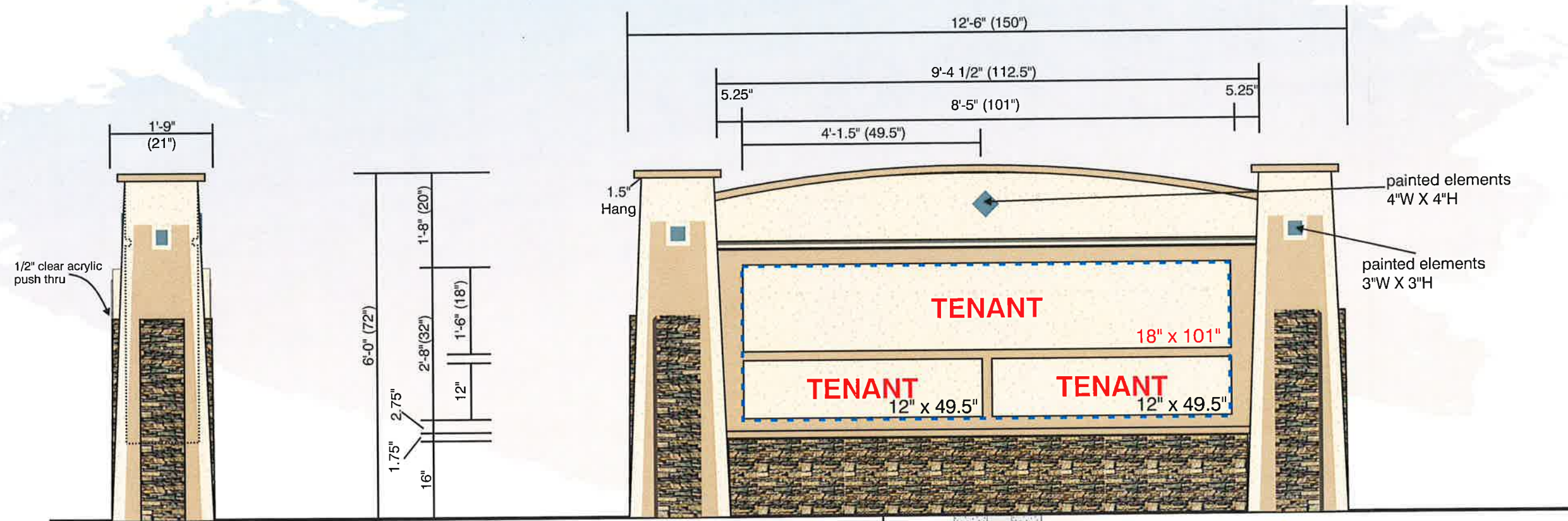


B PAD B / BANK TENANT SUB-MAJOR MONUMENTS

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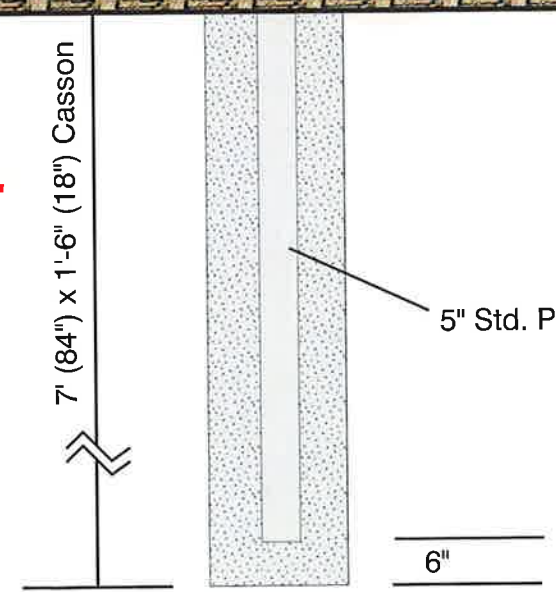


END SECTION VIEW

NOTE: ALL COLORS / TEXTURES AND STONE TO MATCH BUILDING

$32'' \times 102'' / 144 = 22.6$
22.6 total sq ft

-  MEDIUM MONTEX FINISH - ICI 438 "SWISS ALMOND"
-  FINE MONTEX FINISH - ICI 428 "INDIAN PAINTING"
-  SMOOTH FINISH - ICI 1429 "NIGHT SKY"
-  STONE: CHARDONNAY SOUTHERN LIMESTONE (BY OTHERS)



(1) ONE DOUBLE FACE ILLUMINATED SUB-MAIN TENANT DISPLAY
 scale: 1/2" = 1'-0"

5" Std. PIPE **TENANT PANEL**
 .125 ALUMINUM ROUTE OUT

ILLUMINATE W/ F-T-12 CW HO LAMPS 800MA
 .125 and .090 Aluminum Construction with internal Aluminum angle framing as needed for proper support

*See Charlie on how to build stone insets on columns.
 Administrative Design Review
 Case Planner Initials: CW
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 Date: 11/2/12







ADDRESS: 4028 W. WHITTON PKY, AZ. 85019
 PHONE: (602)-272-9356
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 E-MAIL: www.bootzandduke.com

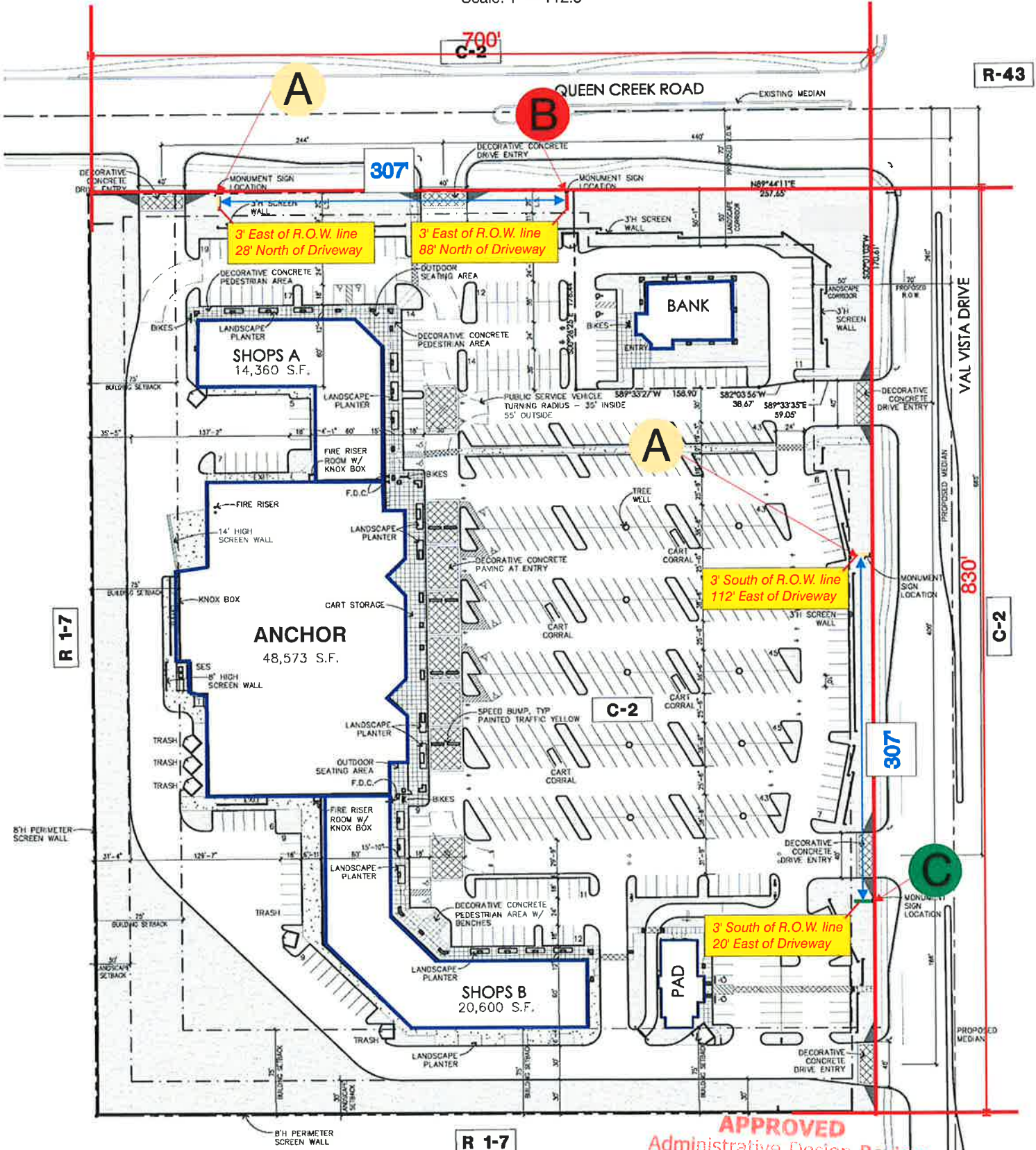
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CLIENT: VISTA DEL ORO (Basha's) CENTER	DESIGNER: AVMorales II	DESIGN # : CSP	SCALE: AS NOTED	PAGE:
ADDRESS: SWC Queen Creek & Val Vista Gilbert, AZ	SALESMAN: Charlie Gibson	DATE: 10-12-2005		

VISTA DEL ORO

SIGN LOCATIONS

Scale: 1" = 112.5'



3' East of R.O.W. line
28' North of Driveway

3' East of R.O.W. line
88' North of Driveway

3' South of R.O.W. line
112' East of Driveway

3' South of R.O.W. line
20' East of Driveway

APPROVED
Administrative Design Review
Case Planner Initials: *CLM*
Case #: *PAZ12-57*
Date: *11/21/17*