



# Val Vista Centre

## MASTER SIGN PROGRAM

7.42

APPROVED PLANS  
Design Review Board  
CASE: DR01-08  
DATE: 3/15/01  
SUBJECT TO CONDITIONS OF APPROVAL

2-COPIES

by

Young Electric Sign Company  
Phoenix Division  
(602) 275-5791



DR01-8



## CENTER CRITERIA

### Introduction:

The intent of the Sign Criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing signage environment at Val Vista Centre.

Performance of the Sign Criteria shall be rigorously enforced and any nonconforming signs shall be removed by the tenant or tenants sign contractor at their expense, upon demand of the Center Manager.

Exceptions to these standards shall be reviewed by the Center Manager. However, based upon past field experience, deviations will generally result in serious inequities between tenants. Accordingly, the Center Manager will retain full rights of approval of any sign used in Val Vista Center.

### General Owner/Tenant Requirements:

1. Each tenant shall submit to the Center Manager for written approval, five (5) copies of the detailed shop drawings of this proposed sign, (one in full color) indicating conformance with the Sign Criteria herein outlined, sent to: **Val Vista Centre**  
**c/o Roth Development Corporation**  
**10000 North 31st. Avenue, Suite D401**  
**Phoenix, Arizona 85051**
2. The tenant shall submit a sign drawing approved by the Center Manager to the appropriate City authority for approval prior to the start of any sign construction or fabrication.
3. The tenant shall be the owner of record for all signs, shall pay for all signs their installation (including final connection, transformers and all other labor and materials) and maintenance.
4. The tenant shall obtain all necessary permits.
5. The tenant shall be responsible for fulfillment of all requirements of this sign criteria.
6. The Owner shall provide primary electrical service terminations at the center of the allowed signage area.
7. The location of all signs shall be per the sign criteria exhibits.
8. One "sign space" shall be allowed for each tenant (except as otherwise approved in writing). The tenant shall verify the sign location with the Center Manager prior to fabrication.
9. All tenants are required to have both a sign band and an under canopy sign.  
(see Exhibits 1, 2 & 6)
10. Address numerals shall be applied to each store by tenant's sign company during the regular course of construction.  
(see Exhibit 7)
11. Special signs which vary from the Sign Criteria must first be approved by the Center Manager and respective city authorities.
12. No sign shall be constructed until approved building permits from local City Planning, Building and Safety Departments.





## CENTER CRITERIA

### **Major Tenant Signage (over 15,000 sq. ft.):**

Maximum sign area shall not exceed 1.5 square feet per linear foot of business frontage per building tenant, with no individual sign exceeding 225 square feet in area per building tenant. Total allowable signage area may be allocated between the primary and secondary signs. Signs shall be:

Acrylic faced pan channel letters with internal neon illumination.

The character "A" represents letters, logos and numerals as primary identification features of the sign. The maximum height of individual letters for primary wall signs is 5 feet and the maximum for the secondary signs is 2 feet.

(see Exhibits 1 & 2)

### **Major Tenant Signage (from 1,800 sq. ft. to 15,000 sq. ft.):**

Criteria the same as Sign Type A with the following exceptions:

Maximum individual sign shall not exceed 100 square feet

Maximum height of individual letters for primary signs is 30".

Acrylic faced pan channel letters with internal neon illumination.

### **Major Tenant Signage (up to 1,800 sq. ft.):**

Maximum sign area shall not exceed 1.5 square feet per linear foot of business frontage per building tenant, The length of any tenant sign shall not exceed 80% of the tenants store front width.

Acrylic faced pan channel letters with internal neon illumination.

Letter height maximum is 24".

A "letter" as used above includes logos and numerals as primary identification features of the sign.

The building sign area may be divided between more than one side of the building. Signs shall be mounted on the wall or fascia.



## CENTER CRITERIA

### **Freestanding Center-Tenant Signage:**

Monument sign consist of 6 to 8 illuminated tenant panels (3 for each side). This display would provide a minimum area for "The Center" identification.

Maximum sign area shall not exceed 80 square feet each. Square footage is determined by boxing in the tenant panels at the outside edge's of the retainers as well as boxing in the overall length & width of Val Vista Center identification layout. The sum of the two products equal the square footage. Maximum height from finish grade on Val Vista Road exposure is 8'-0" and on Elliot exposure is 8'-0".

The sign base and embellishments shall complement the center architecture.  
(see Exhibit 3)

### **Freestanding Tenant Signage:**

Monument sign consist of two Lexan tenant panels per face. This display would provide no identification for "Val Vista Centre".

Maximum sign area shall not exceed 80 square feet. Square footage is determined by boxing in the tenant panels at the outside edges of the retainers. Maximum height from finish grade on Val Vista exposure is 8'-0" and on Elliot exposure is 8'-0".

The sign base and embellishments shall compliment the architecture.  
(see Exhibit 4)

### **Freestanding Primary Anchor Signage:**

Monument sign consists of one Lexan panel dedicated to the Primary Anchor and one Lexan panel for a secondary tenant per face. This display would provide no identification for "Val Vista Centre".

Maximum sign area shall not exceed 80 square feet. Square footage is determined by boxing in the tenant panels at the outside edges of the retainers. Maximum height from finish grade on Val Vista exposure is 8'-0" and on Elliot exposure is 8'-0".

The sign base and embellishments shall compliment the architecture.  
(see Exhibit 5)





## CENTER CRITERIA

### Miscellaneous Signage:

#### Marquee Signs:

Marquee signs and/or panels with movable letters or messages are not permitted.

#### Directional Signs:

Signs necessary for on-premise vehicle control and the performance of business transactions from a vehicle shall be allowed subject to the following conditions:

- 1) Maximum area of 6 square feet.
- 2) Maximum height of 3 feet.
- 3) No business identification permitted.
- 4) Signs shall be permanently affixed to the ground or building.

#### Future Tenant Signs:

Signs listing the name of a future tenant shall be allowed until the occupancy of the tenant. Future Tenant Signs shall not exceed eight (8) feet in height and a total area of 40 square feet per sign face.

#### Sales or Lease Signs:

Temporary signs advertising the sale, lease or hire of the site will be allowed. One freestanding sign per 400 feet of street frontage is permitted. These signs shall not exceed eight (8) feet in height and a total area of 32 square feet per sign face.

#### Construction Signs:

A sign denoting the developer, architect, engineers, contractors and other related subjects will be allowed at the commencement of construction. The signs shall be removed within 30 days after building occupancy. One sign for each separate construction project shall be allowed. Each sign shall not exceed 8 feet in height and a total of 40 square feet per sign face. These signs shall be removed upon the completion of the projects construction.





## CENTER CRITERIA

### General Sign Standards:

1. All signs and their installation must comply with local building and electrical codes.
2. A Tenant may identify service door for delivery and emergency purposes only. Signs shall identify suite number only and located in the center of the door, five feet from finished floor (to the top of the letters).
3. No animated, flashing, audible or roof mounted signs shall be permitted.
4. No exposed ballasts, crossovers, conduit, connectors, transformers, etc., shall be permitted. P.K. housings are required for all wall mounted neon.
5. Signs will be restricted to advertising only the person, firm, company or corporation operating the use conducted on the site, or the products sold herein.
6. When signs are placed in building and landscape setback areas, they shall be positioned a minimum of five feet from the right-of-way to maintain safe sight distance at entrance to the public right-of-way or be outside of established visibility triangles (which ever takes precedence).
7. Sign text may be placed on more than one row, subject to space availability, required approvals, and provided the maximum allowable area guidelines are not exceeded.
8. Retail tenants shall be allowed to place a sign in the upper window panel adjacent to the entrance door, not more than 144 square inches. Decal stick-on lettering or graphics indicating hours of business, telephone numbers for emergency contact, approved credit business, approved credit cards, etc. shall be permitted.
9. Signs installed without written approval of the Center Manager will be subject to removal at tenant's expense. Damage will be assessed to cover costs of repair to signband as a result of an unauthorized installation.
10. Tenant and/or the sign contractor shall repair any damage caused during the installation of signage.
11. No labels shall be permitted on the exposed surfaces of signs, except those required by local ordinance. Those required must be installed in an inconspicuous location.

*Continued*





## CENTER CRITERIA

### General Sign Standards:

13. No window signs are permitted without the expressed permission of the Center Manager.
14. No portable signs are to be placed on the site.
15. Neon strips/stripes will not be allowed without the expressed permission of the Center Manager
16. The signage consultant of choice for the Val Vista Centre is:

*Jeff Cooper*  
*Young Electric Sign Company*  
*201 South, 26th. Street,*  
*Phoenix, Arizona 85034*  
*(602) 275-5791*





## FACIA LETTERS

### EXHIBIT 1

# CHANNEL LETTER

#### LETTER SIDES & BACKS...

ALUMINUM, .063 BACKS, .050 SIDES.

#### NEON...

RED ACRYLIC FACE ONLY: CLEAR RED NEON, 15 MM. 30 MA.

ALL OTHER ACRYLIC FACE COLORS: 6500 WHITE NEON, 15 MM., 30 MA.

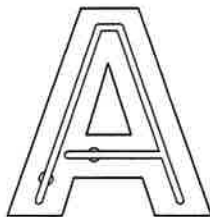
#### FINISH NOTES...

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. TOP COAT WITH AN ACRYLIC ENAMEL PAINT (DUPONT CENTARI OR EQ.).

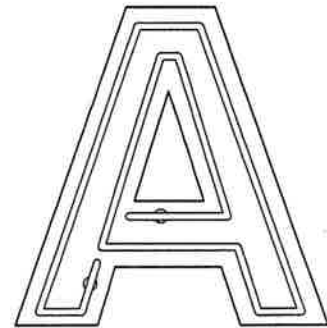
#### ELECTRICAL NOTES...

ALL METAL PARTS ARE TO BE GROUNDED. ALL TRANSFORMERS TO BE GFI PROTECTED. TRANSFORMERS TO BE MOUNTED ON PANS. 15,000 VOLT GTO WIRE TO BE USED ON ALL SECONDARY WIRING. TRANSFORMER LEADS TO BE AS SHORT AS POSSIBLE. MINIMUM 2" CLEARANCE FROM HIGH VOLTAGE TERMINALS TO GROUNDED METAL. DISCONNECT SWITCH TO BE PROVIDED FOR ALL SIGNS. ALL SIGNS TO BE CHECKED WITH GROUNDED TEST CORD PRIOR TO LEAVING FACILITY.

U.L. NOTES (IN ADDITION TO THE ABOVE): FUSES & SWITCHES TO BE IN INDIVIDUAL COMPARTMENTS. ELECTRODES TO BE CONTAINED IN APPROVED HOUSINGS.



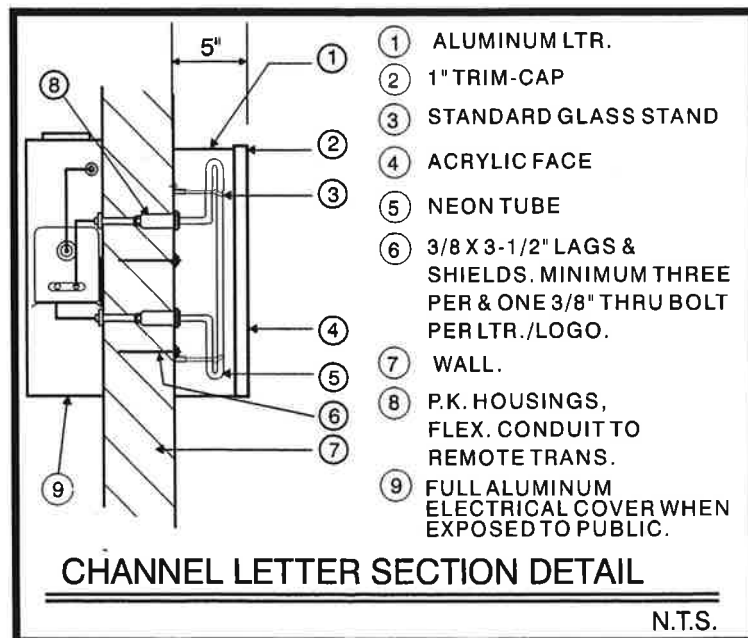
TYPICAL SINGLE TUBE NEON



TYPICAL DOUBLE TUBE NEON

#### SUGGESTED NEON SPACING...

UP TO 6" STROKE: 1 TUBE      4" TO 10" STROKE: 2 TUBES  
8" TO 15" STROKE: 3 TUBES      12" TO 24" STROKE: 4 TUBES







## FACIA LETTERS

### EXHIBIT 2

# CHANNEL LETTER, SELF CONTAINED

#### LETTER SIDES & BACKS...

ALUMINUM, .063 BACKS, .050 SIDES.

#### NEON...

RED ACRYLIC FACE ONLY: CLEAR RED NEON, 15 MM. 30 MA.

ALL OTHER ACRYLIC FACE COLORS: 6500 WHITE NEON, 15 MM., 30 MA.

#### FINISH NOTES...

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. TOP COAT WITH AN ACRYLIC ENAMEL PAINT (DUPONT CENTARI OR EQ.).

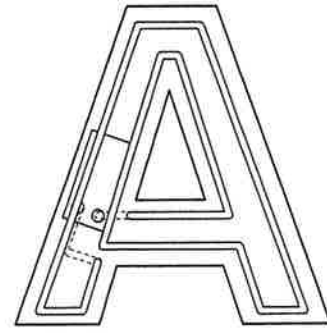
#### ELECTRICAL NOTES...

ALL METAL PARTS ARE TO BE GROUNDED. ALL TRANSFORMERS TO BE GFI PROTECTED. TRANSFORMERS TO BE MOUNTED ON PANS. TRANSFORMER LEADS TO BE AS SHORT AS POSSIBLE. MINIMUM 2" CLEARANCE FROM HIGH VOLTAGE TERMINALS TO GROUNDED METAL. DISCONNECT SWITCH TO BE PROVIDED FOR ALL SIGNS. ALL SIGNS TO BE CHECKED WITH GROUNDED TEST CORD PRIOR TO LEAVING FACILITY.

U.L. NOTES (IN ADDITION TO THE ABOVE): FUSES & SWITCHES TO BE IN INDIVIDUAL COMPARTMENTS. ELECTRODES TO BE CONTAINED IN APPROVED HOUSINGS.



TYPICAL SINGLE TUBE NEON



TYPICAL DOUBLE TUBE NEON

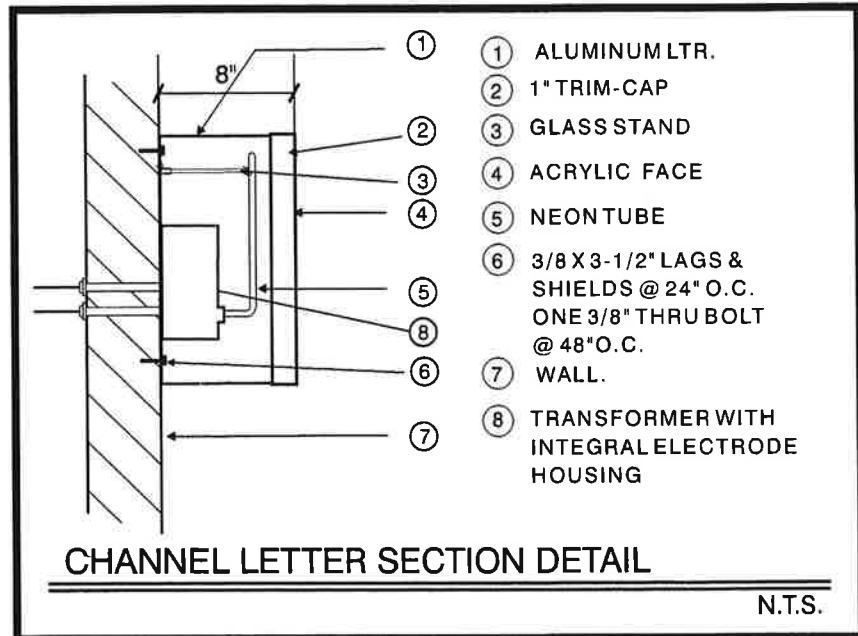
#### SUGGESTED NEON SPACING...

UP TO 6" STROKE: 1 TUBE

4" TO 10" STROKE: 2 TUBES

8" TO 15" STROKE: 3 TUBES

12" TO 24" STROKE: 4 TUBES





**PRIMARY  
CENTER  
IDENTIFICATION  
MONUMENT  
SIGN**

**EXHIBIT 3**

**DOUBLE FACED  
INTERNALLY ILLUMINATED DISPLAY**

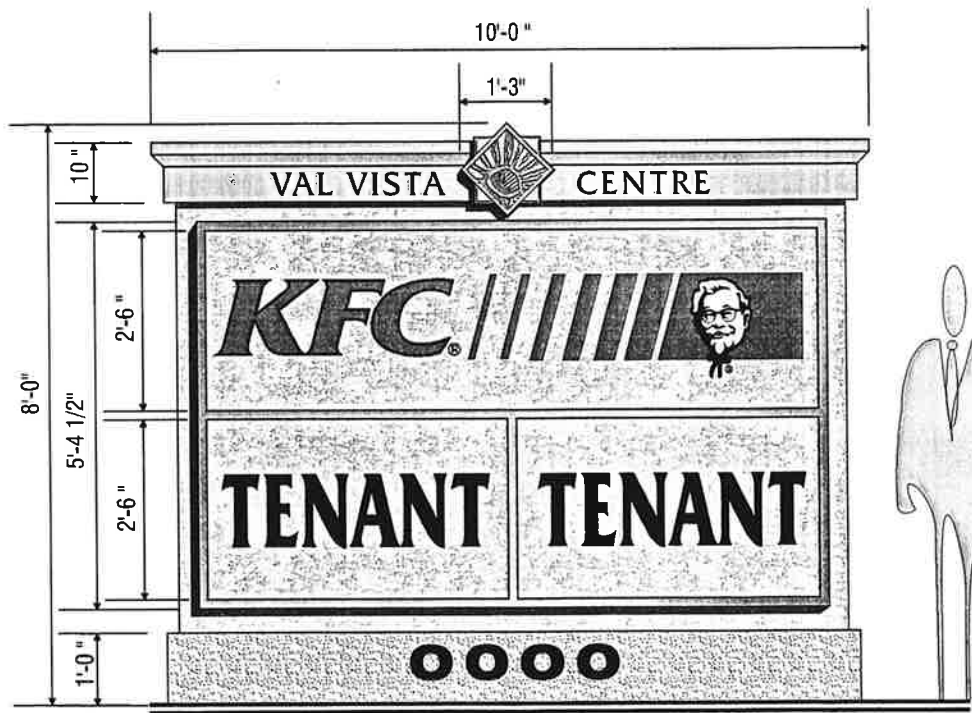
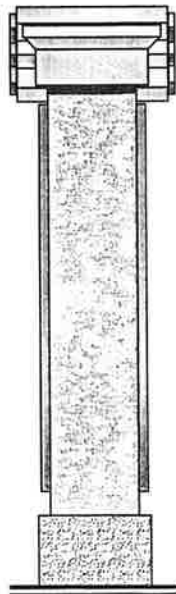
**CABINET, RETAINERS & BASE:**  
.080 ALUMINUM.

**ILLUMINATION:**  
CABINET & ROUTED LETTERS: T12 FLUORESCENTS  
LOGO: WHITE NEON COVE LIGHT AT PERIMETER.

**FINISH NOTES...**  
ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE CORNUS IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE TENANT PANEL RETAINERS ARE PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE BASE IS "PUBLIC HOUSE" #1447 (ICI) MATTE SAND FINISH WITH FLAT BLACK ADDRESS NUMERALS.

THE LOGO SURFACE IS PAINTED "CRANAPPLE" SATIN FINISH: THE RAISED FACE IS PAINTED "SAND PINK" SATIN FINISH AND THE RETURNS ARE PAINTED "PEACH BISQUE" MATTE FINISH.

**FACES:**  
LEXAN WITH FIRST SURFACE VINYL DECORATION WITH "SAND PINK" TEXCOAT BACKGROUND. " VAL VISTA CENTRE "LETTERS ARE ROUTED ALUMINUM FACE WITH DAY-NIGHT BLACK ACRYLIC BACKUP.





**PRIMARY  
CENTER  
IDENTIFICATION  
MONUMENT  
SIGN**

**EXHIBIT 3**

(CONTINUED)

**DOUBLE FACED  
INTERNALLY ILLUMINATED DISPLAY**

**CABINET, RETAINERS & BASE:**  
.080 ALUMINUM.

**ILLUMINATION:**  
CABINET & ROUTED LETTERS: T12 FLUORESCENTS  
LOGO: WHITE NEON COVE LIGHT AT PERIMETER.

**FINISH NOTES...**

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE CORNUS IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE TENANT PANEL RETAINERS ARE PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE BASE IS "PUBLIC HOUSE" #1447 (ICI) MATTE SAND FINISH WITH FLAT BLACK ADDRESS NUMERALS.

THE LOGO SURFACE IS PAINTED "CRANAPPLE" SATIN FINISH: THE RAISED FACE IS PAINTED "SAND PINK" SATIN FINISH AND THE RETURNS ARE PAINTED "PEACH BISQUE" MATTE FINISH.

**FACES:**

LEXAN WITH FIRST SURFACE VINYL DECORATION WITH "SAND PINK" TEXCOAT BACKGROUND. " VAL VISTA CENTRE "LETTERS ARE ROUTED ALUMINUM FACE WITH DAY-NIGHT BLACK ACRYLIC BACKUP.

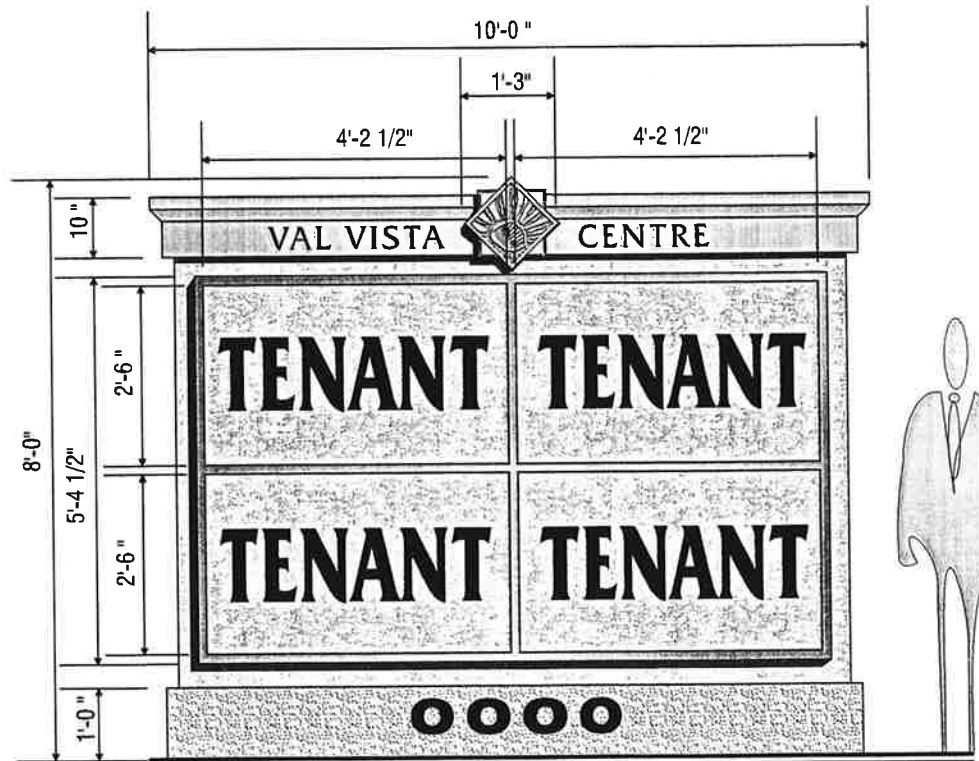
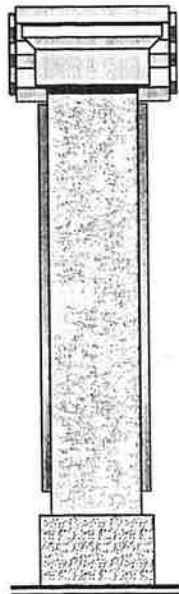


EXHIBIT 3-B

SCALE 3/8" = 1'-0"





## SECONDARY TENANT MONUMENT SIGN

EXHIBIT 4

# DOUBLE FACED INTERNALLY ILLUMINATED DISPLAY

CABINET, RETAINERS & BASE:  
.080 ALUMINUM.

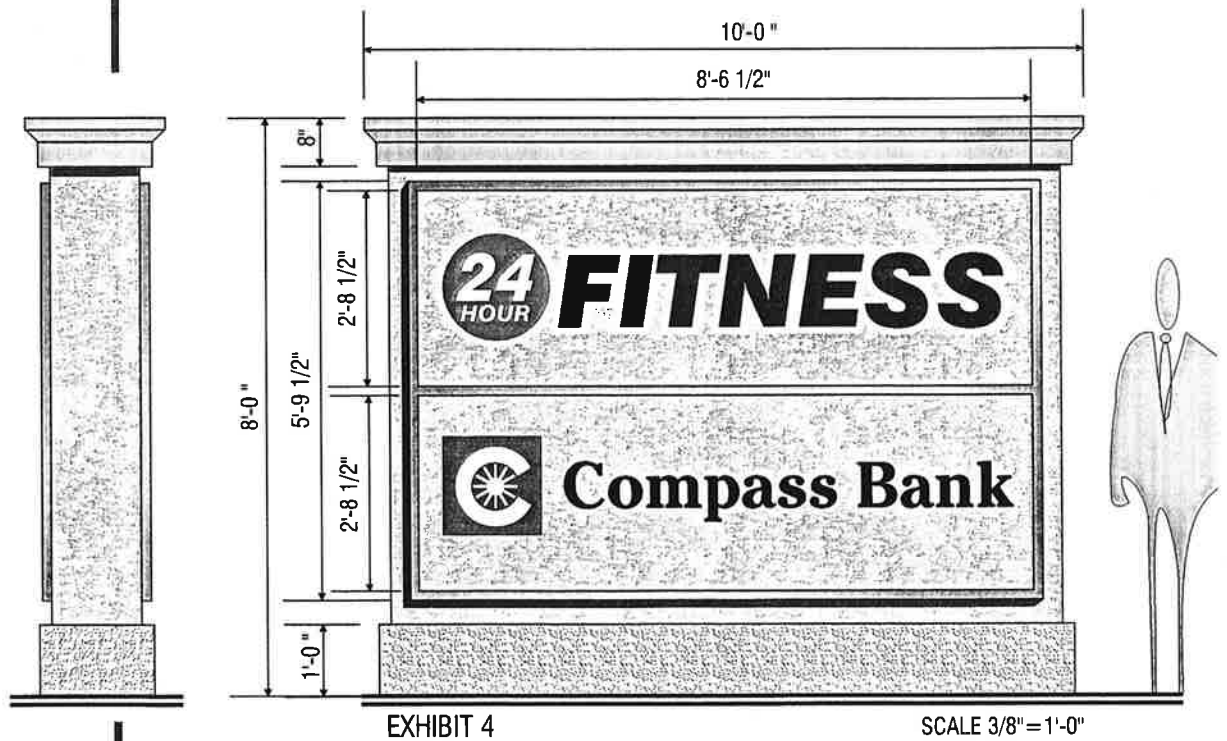
ILLUMINATION:  
CABINET & ROUTED LETTERS: T12 FLUORESCENTS

### FINISH NOTES...

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE CORNUS IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE TENANT PANEL RETAINERS ARE PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE BASE IS "PUBLIC HOUSE" #1447 (ICI) MATTE SAND FINISH.

### FACES:

LEXAN WITH FIRST SURFACE VINYL DECORATION WITH "SAND PINK" TEXCOAT BACKGROUND.





# PRIMARY ANCHOR MONUMENT SIGN

## EXHIBIT 5

### PRIMARY ANCHOR - DOUBLE FACED INTERNALLY ILLUMINATED DISPLAY

CABINET, RETAINERS & BASE:  
.080 ALUMINUM.

ILLUMINATION:  
CABINET & ROUTED LETTERS: T12 FLUORESCENTS

**FINISH NOTES...**

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE CORNUS IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE TENANT PANEL RETAINERS ARE PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE BASE IS "PUBLIC HOUSE" #1447 (ICI) MATTE SAND FINISH.

**FACES:**

LEXAN WITH FIRST SURFACE VINYL DECORATION WITH "SAND PINK" TEXCOAT BACKGROUND.

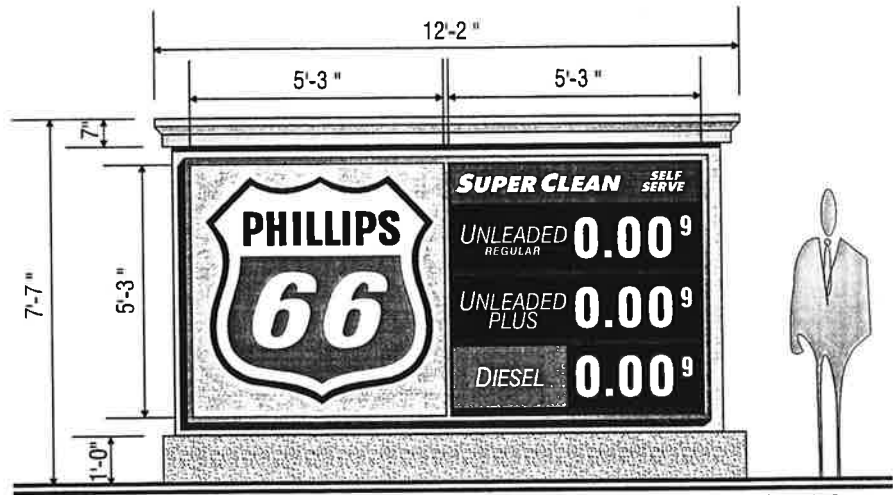
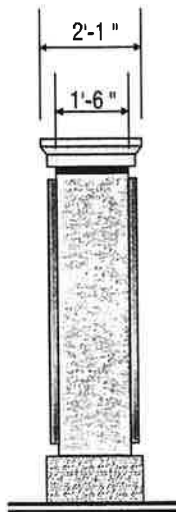


EXHIBIT 5-A

SCALE 1/4"=1'-0"

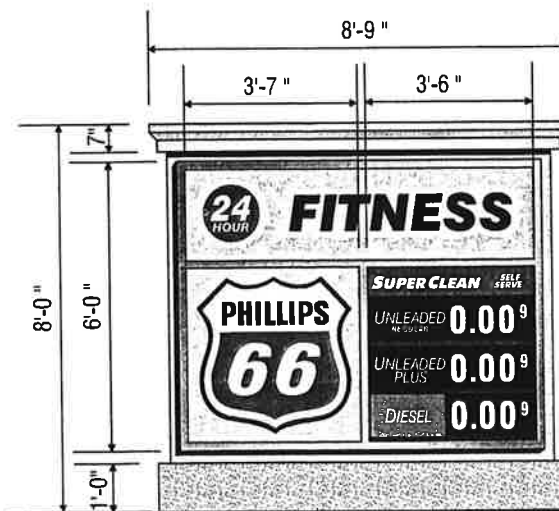


EXHIBIT 5-B

SCALE 1/4"=1'-0"





# TENANT UNDER CANOPY SIGN

## EXHIBIT 6

### UNDER CANOPY SIGN

CENTER & OUTSIDE PANELS...  
ALUMINUM, .250

#### INSTALLATION...

HANG FROM BLACK FINISHED IRON BRACKET WITH CHAIN. SIGN TO BE CENTERED AT TENANT FRONT ENTRY. SIGN TO BE PERPENDICULAR TO TENANT ENTRY. SIGN BOTTOM TO BE 8'-0" FROM TOP SURFACE OF CONCRETE WALKWAY.

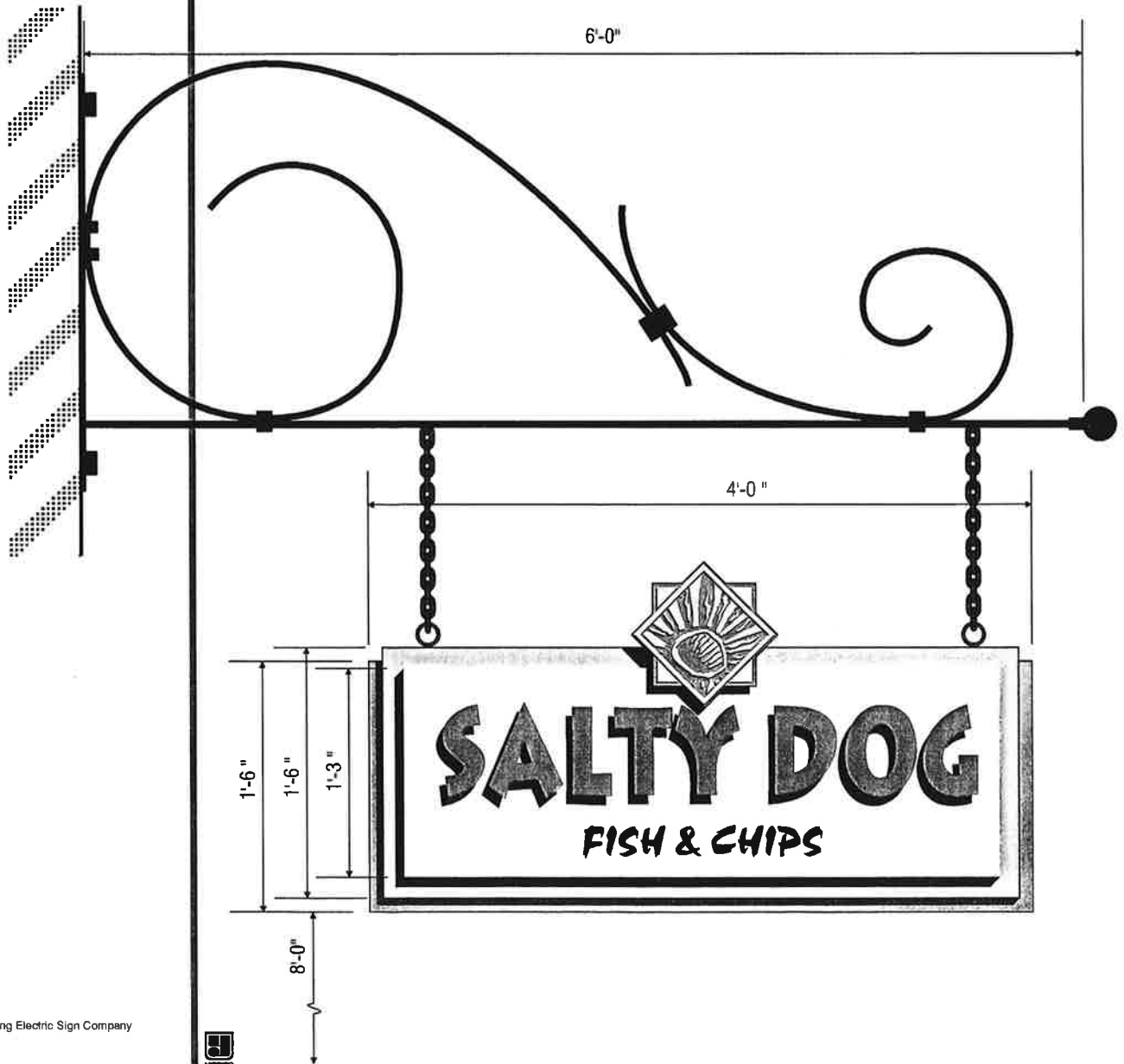
#### FINISH NOTES...

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE INSIDE TRIM IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE OUTSIDE TRIM PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE TENANT COPY BACKGROUND COLOR IS SELECTED BY THE TENANT.

THE LOGO SURFACE IS PAINTED "CRANAPPLE" SATIN FINISH; THE RAISED FACE IS PAINTED "SAND PINK" SATIN FINISH AND THE RETURNS ARE PAINTED "PEACH BISQUE" MATTE FINISH. TENANT IDENTIFICATION;

LOGO AND/OR LOGOTYPE WILL BE A MAXIMUM OF 2 COLORS (INCLUDING DROPSHADE). GENERIC SERVICE IDENTIFICATION ("BAKERY") WILL BE BLACK (SEE EXHIBIT 6).

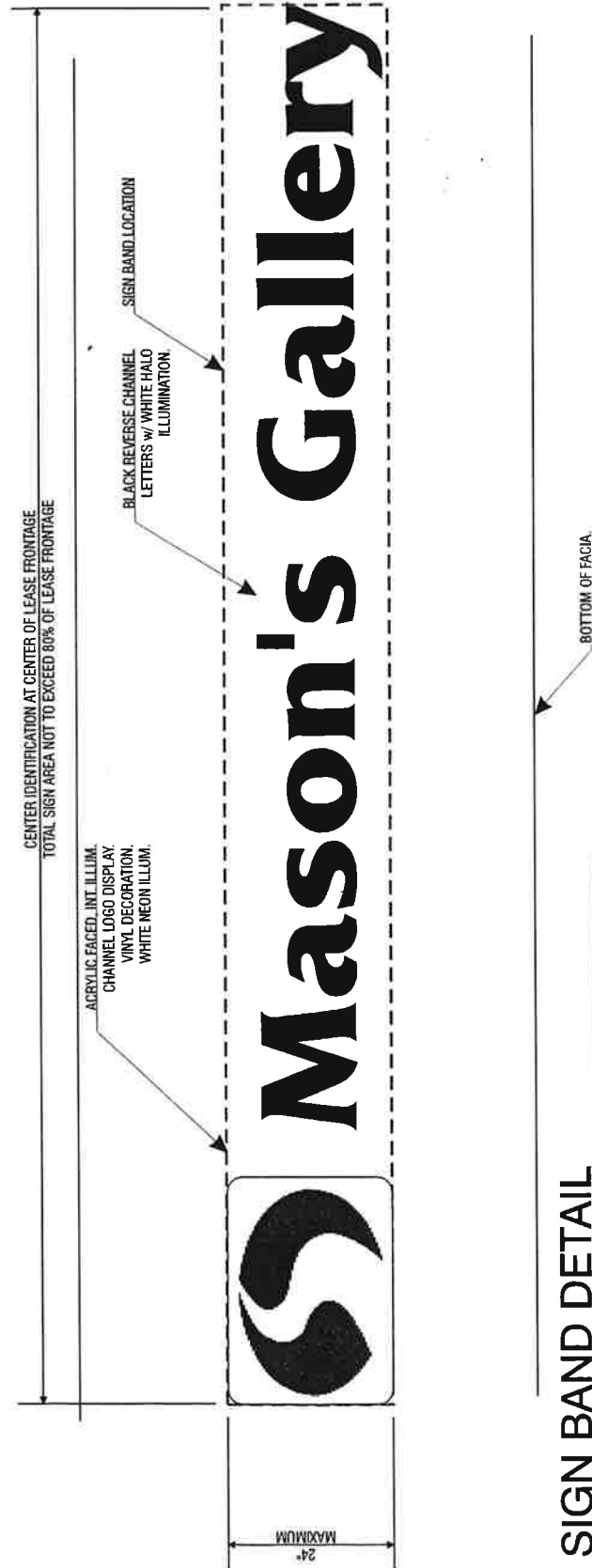
ALL GRAPHICS ARE 3M VINYL OR EQUIV.





TENANT  
SIGN BAND  
DETAIL

EXHIBIT 7



SIGN BAND DETAIL

N.T.S.



TENANT  
VINYL WINDOW  
IDENTIFICATION

EXHIBIT 8

# VINYL WINDOW IDENTIFICATION

Size and location as indicated on detail.  
Letters are not to exceed or be smaller  
than 3" in height.

Helvetica Medium

1234567890

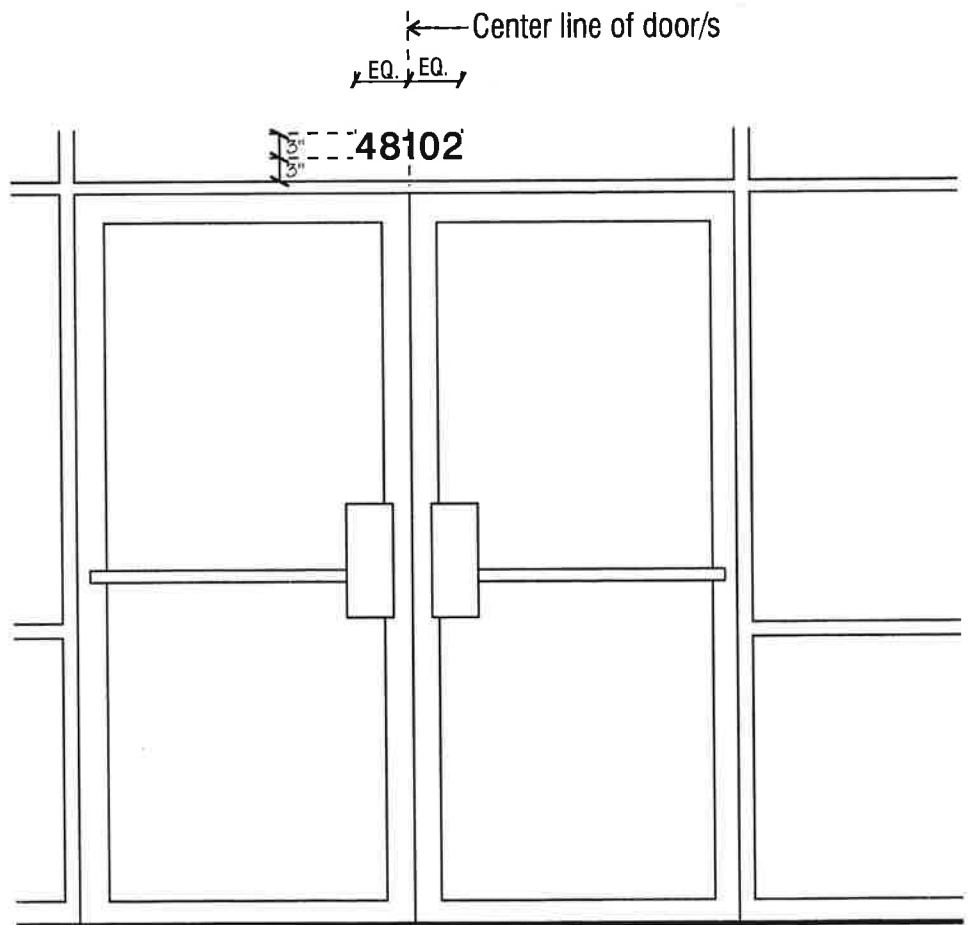
ABCDEFGHIJKLMNO P Q

RSTUVWXYZ &

abcdefghijklmnopqrstuv

wxyz

All materials are to be #220-10 white,  
reverse cut high performance 3M  
Scotchcal vinyl, computer generated.



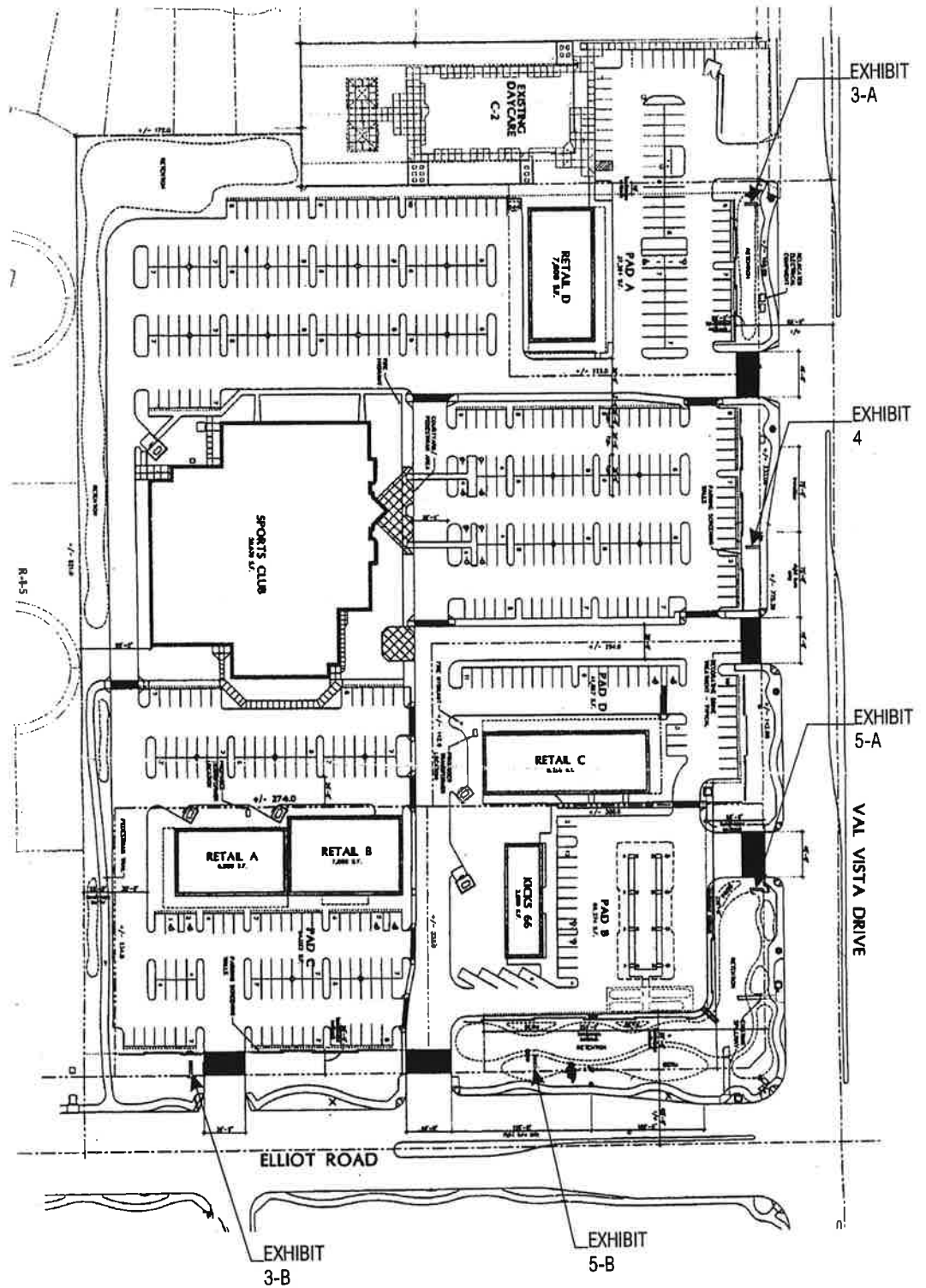
ENTRANCE ELEVATION... TYPICAL TENANT IDENTIFICATION & HOURS







# SITE PLAN MONUMENT SIGN LOCATIONS



shall be painted to match the field color of the main building. Said base shall not exceed 24" in height.

7. Roof-mounted mechanical equipment shall be fully screened by a parapet wall.

8. To the extent permitted by law, satellite dishes shall be required to be fully screened from public view.

9. All wall fixtures shall be mounted at a maximum of fourteen (14) feet and their design shall match the architectural design of the fixtures used on the main building (Albertson's and free standing pads). The gooseneck fixtures similar to the Albertson's express (C-store/gas pumps) are not acceptable.

10. Signage shall comply with the sign package criteria stated in the sign package approved for the Cooper Square project (DR99-9) and all the requirements for sign allocation and placement contained in article 3.71.A of the sign code. The conceptual wall signage proposed shall be limited to the following dimensions if allowed per the sign code:

- A. Approximately 48 square feet of sign on the southwest elevation.
- B. Twenty-six square feet of wall sign on the northwest elevation.
- C. Cabinet signs shall not exceed 6 square feet each, and should not be a square face rather the outline of the letter W.
- D. Sign on the northeast elevation should only be allowed if permitted by the sign area calculation per section 3.71.A of the sign code.

**11. The trash enclosure gates shall be opaque.**

**DR01-15-Approval of final site plan, landscaping, preliminary grading and drainage, signage, and building elevations for the proposed 24-Hour Fitness facility (Replacing the previously approved Q-Club), located on the southeast corner of Val Vista Drive and Elliot Road.**

Mr. Newcombe presented DR01-15, the proposed 24-Hour Fitness facility replacing the Q-Club. Mr. Newcombe stated that the applicant revised the elevations to incorporate some the thoughts and ideas the Board and Staff had recommended.

Mr. Newcombe noted that the applicant had worked hard to connect the new design theme into the overall design of the

center. Mr. Newcombe stated that there are no site changes per se, except on the building envelope. The building size is not the same as the Q-Club. The height has been dropped significantly. The subdivision in the rear of the project has not presented any concerns to Staff.

From Staff's perspective, the applicant has addressed some concerns from the Board. First off, the tower element has been increased the tower to give it more grandeur. There was originally too much horizontal banding, to which the applicant has addressed by using split-face CMU, the effice is now providing more undulation and wainscoting. There are some additional windows, along with some of the sizes of the windows have been changed. Banding is utilized extensively to provide for a more finished parapet with a cornice. The CMU pilasters are raised out 12 inches. There are all kinds of changes to the massing to provide for diversity.

Staff felt that the applicant has gone to great lengths to improve the project and wished to see it approved.

Vice Chairman Petterson invited the applicant to come forward.

Mr. Lyle Richardson, 320 East McDowell, Phoenix, came forward. Mr. Richardson stated that they read the Staff report. They agree with the Staff report, and wish to answer any questions.

Board Member Deardorff asked the applicant would mind losing the terra cotta roof and replace it using the silver gray color instead, to which the applicant replied he did not.

Vice Chairman Petterson opened and closed the public hearing and brought the discussion back to the Board.

***A motion was made by Board Member Schneider, seconded by Board Member Rojo, to approve DR01-15, subject to Staff stipulations, modified as follows:***

***Motion Carried 5-0.***

1. Construction of the project shall conform with the exhibits presented and conditions stipulated by the Design Review Board on March 15, 2001. Any revisions to the approved plans shall be reviewed by the Board or Staff, prior to the issuance of a building permit.
2. All conditions of zoning case Z99-22 are applicable.
3. The eastern landscape setback and southeast retention basin shall be improved with a staggered, double row of evergreen type trees against the adjacent residential development. Said trees shall be 50% 24-inch box size, and 50% 36-inch box size,

with trees planted 30-feet on center line for each row. Rows shall be staggered a minimum of 10 feet to create optimum buffering. A single row of 36-inch box trees shall be provided every 30 feet on center, in the 10-foot wide landscape setback on the south perimeter of the site.

4. The two (2) driveways off of Val Vista Drive that this project will utilize shall be developed to their full width as part of this project. Special paving treatment shall be used at all driveway entrances at a depth of no less than fifteen (15') feet to match the commercial center. Said special paving shall be laid out behind the right-of-way line at the driveway entrances.

5. The pedestrian walkways proposed on the site shall match the commercial center color and design.

6. All illumination on the new building and site shall comply with the recently adopted Light and Glare Ordinance No. 1315. All lights shall be 90-degree cut-offs. Cut-sheets shall be submitted with the construction document submittal for review and approval by the Planning Department, prior to the issuance of a building permit.

7. A photometric plan shall be provided at the time of construction documents review for approval by the Planning Director.

8. Decorative wall mounted lighting that blends with the architecture of the building shall be provided on three (3) sides of the building. The rear only shall be allowed to utilize the typical "box" style mounted lighting fixture, if necessary. Cut-sheets shall be provided of a decorative wall fixture at the time of construction documents review for approval by the Planning Department.

9. The 3' parking screen walls shall match the design of the commercial center. A detail elevation, with the materials/colors labeled, shall be provided at the time of construction documents review for approval by the Planning Department.

10. The proposed bicycle parking shall be in-ground mount and detail provided at the time of construction documents review for approval by the Planning Department.

11. Live Oak trees shall be used in the parking lot and Sissoo trees used along the eastern/southern boundary. All parking lot trees shall be a minimum size of twenty-four (24") inch box.

12. The applicant shall also maintain and/or replace any existing landscaping or berming disturbed during the construction of the building and parking area.

13. Per Town Code (Section 11.11.F.1), no more than 50% of the landscape and ROW area along the streets can be utilized for retention. Review and approval of the grading and drainage plan by the Planning & Engineering Departments shall be required, prior to the issuance of a building permit.

14. Signage shall meet the minimum requirements of the ULDC and the approved Sign Package for Val Vista Centre (DR01-08). Sign area shall be calculated using Val Vista Drive and may be split between the north and west elevations only.

15. No signage shall be allowed along the south or east elevations, as shown, due to the proximity of the residentially zoned parcels. Any signage on the north elevation shall be placed on the EIFS only of the first massing element projecting from the building on that elevation, just east of the proposed location on the renderings.

16. The "24" logo, as shown, shall be pan channels for the number and a pan channel circle around the "24."

17. Water mains within the commercial center shall be placed in an exclusive 12-foot easement that is to be dedicated by a Final Plat.

18. A master plan for water, sewer, and drainage for the project shall be reviewed and approved by the Engineering Department prior to the issuance of any permits.

19. All off-sites for the entire commercial center shall be completed, prior to the issuance of a Certificate of Occupancy.

20. The Developer shall create or participate in a Property Owners Association and/or shall produce Covenants, Conditions and Restrictions (CC&Rs) for the maintenance of all on- and off-site landscaping, for the management and shared use of the parking lots, and for the shared use of the access drives.

21. A Final Plat for 24-Hour Fitness shall be required prior to the issuance of any permits.

**22. The large gable metal roof over the entrance shall be silver in replace of the Terra Cotta color that is shown on the rendered elevation.**

23. The accent and coping color shall be revised to blend with the Sedona Red integrally colored CMU block. This shall be reviewed and approved by staff.

**COMMUNICATIONS:**

**A Report from the Chairman on current events.**

None.

**A Report from the Planning Director on current events.**

Planning Director Jerry Swanson informed the Board that the Growing Smarter General Plan is about to be released for public comment and agency review on the 23rd of this month. The goal for the plan is to come before the Planning Commission in June, the Town Council in July, to be on the ballot for the November 6th election.

**A Report from the Board.**

Board Member Deardorff stated that he has been working with Staff on design guidelines for DRB. He felt that they were coming to a point where the guidelines were almost in place.

**ADJOURNMENT:**

Vice Chairman Petterson adjourned the meeting at 7:07 p.m.

  
Vice Chairman Gary Petterson

**ATTEST:**

  
Recorder Heather R. Urie-Ruth



## CENTER CRITERIA

### Introduction:

The intent of the Sign Criteria is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing signage environment at Val Vista Centre.

Performance of the Sign Criteria shall be rigorously enforced and any nonconforming signs shall be removed by the tenant or tenants sign contractor at their expense, upon demand of the Center Manager.

Exceptions to these standards shall be reviewed by the Center Manager. However, based upon past field experience, deviations will generally result in serious inequities between tenants. Accordingly, the Center Manager will retain full rights of approval of any sign used in Val Vista Center.

### General Owner/Tenant Requirements:

1. Each tenant shall submit to the Center Manager for written approval, five (5) copies of the detailed shop drawings of this proposed sign, (one in full color) indicating conformance with the Sign Criteria herein outlined, sent to: *Val Vista Centre*  
*c/o Roth Development Corporation*  
*10000 North 31st. Avenue, Suite D401*  
*Phoenix, Arizona 85051*
2. The tenant shall submit a sign drawing approved by the Center Manager to the appropriate City authority for approval prior to the start of any sign construction or fabrication.
3. The tenant shall be the owner of record for all signs, shall pay for all signs their installation (including final connection, transformers and all other labor and materials) and maintenance.
4. The tenant shall obtain all necessary permits.
5. The tenant shall be responsible for fulfillment of all requirements of this sign criteria.
6. The Owner shall provide primary electrical service terminations at the center of the allowed signage area.
7. The location of all signs shall be per the sign criteria exhibits.
8. One "sign space" shall be allowed for each tenant (except as otherwise approved in writing). The tenant shall verify the sign location with the Center Manager prior to fabrication.
9. All tenants are required to have both a sign band and an under canopy sign.  
(see Exhibits 1, 2 & 6)
10. Address numerals shall be applied to each store by tenant's sign company during the regular course of construction.  
(see Exhibit 7)
11. Special signs which vary from the Sign Criteria must first be approved by the Center Manager and respective city authorities.
12. No sign shall be constructed until approved building permits from local City Planning, Building and Safety Departments.





## CENTER CRITERIA

### **Major Tenant Signage (over 15,000 sq. ft.):**

Maximum sign area shall not exceed 1.5 square feet per linear foot of business frontage per building tenant, with no individual sign exceeding 225 square feet in area per building tenant. Total allowable signage area may be allocated between the primary and secondary signs. Signs shall be:

Acrylic faced pan channel letters with internal neon illumination.

The character "A" represents letters, logos and numerals as primary identification features of the sign. The maximum height of individual letters for primary wall signs is 5 feet and the maximum for the secondary signs is 2 feet.

(see Exhibits 1 & 2)

### **Major Tenant Signage (from 1,800 sq. ft. to 15,000 sq. ft.):**

Criteria the same as Sign Type A with the following exceptions:

Maximum individual sign shall not exceed 100 square feet

Maximum height of individual letters for primary signs is 30".

Acrylic faced pan channel letters with internal neon illumination.

### **Major Tenant Signage (up to 1,800 sq. ft.):**

Maximum sign area shall not exceed 1.5 square feet per linear foot of business frontage per building tenant, The length of any tenant sign shall not exceed 80% of the tenants store front width.

Acrylic faced pan channel letters with internal neon illumination.

Letter height maximum is 24".

A "letter" as used above includes logos and numerals as primary identification features of the sign.

The building sign area may be divided between more than one side of the building. Signs shall be mounted on the wall or fascia.







## CENTER CRITERIA

### **Freestanding Center-Tenant Signage:**

Monument sign consist of 6 to 8 illuminated tenant panels (3 for each side). This display would provide a minimum area for "The Center" identification.

Maximum sign area shall not exceed 80 square feet each. Square footage is determined by boxing in the tenant panels at the outside edge's of the retainers as well as boxing in the overall length & width of Val Vista Center identification layout. The sum of the two products equal the square footage. Maximum height from finish grade on Val Vista Road exposure is 8'-0" and on Elliot exposure is 8'-0".

The sign base and embellishments shall complement the center architecture.  
(see Exhibit 3)

### **Freestanding Tenant Signage:**

Monument sign consist of two Lexan tenant panels per face. This display would provide no identification for "Val Vista Centre".

Maximum sign area shall not exceed 80 square feet. Square footage is determined by boxing in the tenant panels at the outside edges of the retainers. Maximum height from finish grade on Val Vista exposure is 8'-0" and on Elliot exposure is 8'-0".

The sign base and embellishments shall compliment the architecture.  
(see Exhibit 4)

### **Freestanding Primary Anchor Signage:**

Monument sign consists of one Lexan panel dedicated to the Primary Anchor and one Lexan panel for a secondary tenant per face. This display would provide no identification for "Val Vista Centre".

Maximum sign area shall not exceed 80 square feet. Square footage is determined by boxing in the tenant panels at the outside edges of the retainers. Maximum height from finish grade on Val Vista exposure is 8'-0" and on Elliot exposure is 8'-0".

The sign base and embellishments shall compliment the architecture.  
(see Exhibit 5)



## CENTER CRITERIA

### Miscellaneous Signage:

#### Marquee Signs:

Marquee signs and/or panels with movable letters or messages are not permitted.

#### Directional Signs:

Signs necessary for on-premise vehicle control and the performance of business transactions from a vehicle shall be allowed subject to the following conditions:

- 1) Maximum area of 6 square feet.
- 2) Maximum height of 3 feet.
- 3) No business identification permitted.
- 4) Signs shall be permanently affixed to the ground or building.

#### Future Tenant Signs:

Signs listing the name of a future tenant shall be allowed until the occupancy of the tenant. Future Tenant Signs shall not exceed eight (8) feet in height and a total area of 40 square feet per sign face.

#### Sales or Lease Signs:

Temporary signs advertising the sale, lease or hire of the site will be allowed. One freestanding sign per 400 feet of street frontage is permitted. These signs shall not exceed eight (8) feet in height and a total area of 32 square feet per sign face.

#### Construction Signs:

A sign denoting the developer, architect, engineers, contractors and other related subjects will be allowed at the commencement of construction. The signs shall be removed within 30 days after building occupancy. One sign for each separate construction project shall be allowed. Each sign shall not exceed 8 feet in height and a total of 40 square feet per sign face. These signs shall be removed upon the completion of the projects construction.





## CENTER CRITERIA

### General Sign Standards:

1. All signs and their installation must comply with local building and electrical codes.
2. A Tenant may identify service door for delivery and emergency purposes only. Signs shall identify suite number only and located in the center of the door, five feet from finished floor (to the top of the letters).
3. No animated, flashing, audible or roof mounted signs shall be permitted.
4. No exposed ballasts, crossovers, conduit, connectors, transformers, etc., shall be permitted. P.K. housings are required for all wall mounted neon.
5. Signs will be restricted to advertising only the person, firm, company or corporation operating the use conducted on the site, or the products sold herein.
6. When signs are placed in building and landscape setback areas, they shall be positioned a minimum of five feet from the right-of-way to maintain safe sight distance at entrance to the public right-of-way or be outside of established visibility triangles (which ever takes precedence).
7. Sign text may be placed on more than one row, subject to space availability, required approvals, and provided the maximum allowable area guidelines are not exceeded.
8. Retail tenants shall be allowed to place a sign in the upper window panel adjacent to the entrance door, not more than 144 square inches. Decal stick-on lettering or graphics indicating hours of business, telephone numbers for emergency contact, approved credit business, approved credit cards, etc. shall be permitted.
9. Signs installed without written approval of the Center Manager will be subject to removal at tenant's expense. Damage will be assessed to cover costs of repair to signband as a result of an unauthorized installation.
10. Tenant and/or the sign contractor shall repair any damage caused during the installation of signage.
11. No labels shall be permitted on the exposed surfaces of signs, except those required by local ordinance. Those required must be installed in an inconspicuous location.

*Continued*





## CENTER CRITERIA

### General Sign Standards:

13. No window signs are permitted without the expressed permission of the Center Manager.
14. No portable signs are to be placed on the site.
15. Neon strips/stripes will not be allowed without the expressed permission of the Center Manager
16. The signage consultant of choice for the Val Vista Centre is:

*Jeff Cooper*  
*Young Electric Sign Company*  
*201 South, 26th. Street,*  
*Phoenix, Arizona 85034*  
*(602) 275-5791*





## FACIA LETTERS

### EXHIBIT 1

# CHANNEL LETTER

#### LETTER SIDES & BACKS...

ALUMINUM, .063 BACKS, .050 SIDES.

#### NEON...

RED ACRYLIC FACE ONLY: CLEAR RED NEON, 15 MM. 30 MA.

ALL OTHER ACRYLIC FACE COLORS: 6500 WHITE NEON, 15 MM., 30 MA.

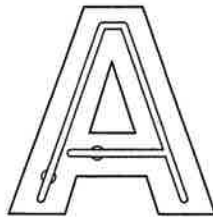
#### FINISH NOTES...

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. TOP COAT WITH AN ACRYLIC ENAMEL PAINT (DUPONT CENTARI OR EQ.).

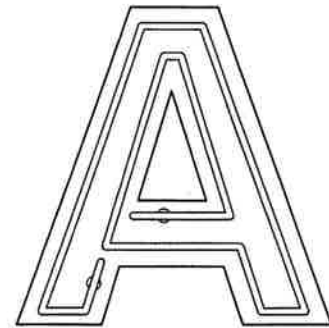
#### ELECTRICAL NOTES...

ALL METAL PARTS ARE TO BE GROUNDED. ALL TRANSFORMERS TO BE GFI PROTECTED. TRANSFORMERS TO BE MOUNTED ON PANS. 15,000 VOLT GTO WIRE TO BE USED ON ALL SECONDARY WIRING. TRANSFORMER LEADS TO BE AS SHORT AS POSSIBLE. MINIMUM 2" CLEARANCE FROM HIGH VOLTAGE TERMINALS TO GROUNDED METAL. DISCONNECT SWITCH TO BE PROVIDED FOR ALL SIGNS. ALL SIGNS TO BE CHECKED WITH GROUNDED TEST CORD PRIOR TO LEAVING FACILITY.

U.L. NOTES (IN ADDITION TO THE ABOVE): FUSES & SWITCHES TO BE IN INDIVIDUAL COMPARTMENTS. ELECTRODES TO BE CONTAINED IN APPROVED HOUSINGS.



TYPICAL SINGLE TUBE NEON



TYPICAL DOUBLE TUBE NEON

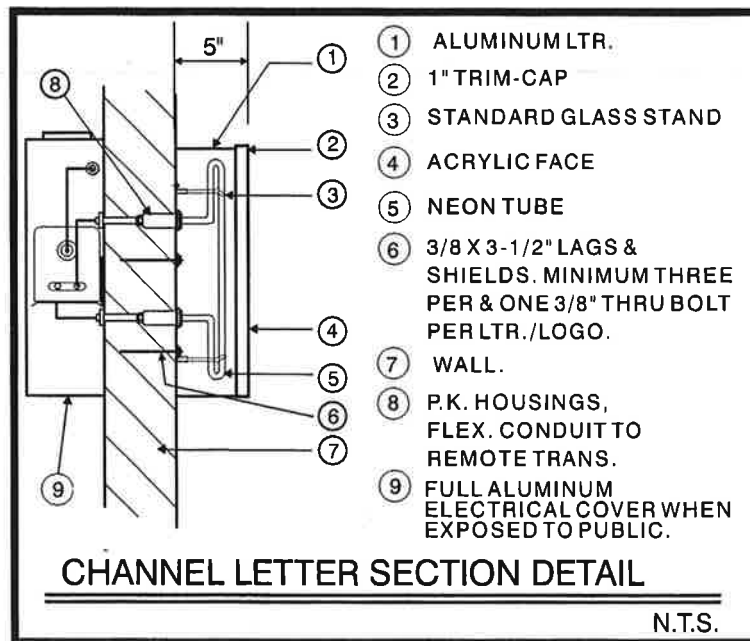
#### SUGGESTED NEON SPACING...

UP TO 6" STROKE: 1 TUBE

4" TO 10" STROKE: 2 TUBES

8" TO 15" STROKE: 3 TUBES

12" TO 24" STROKE: 4 TUBES





## FACIA LETTERS

### EXHIBIT 2

# CHANNEL LETTER, SELF CONTAINED

#### LETTER SIDES & BACKS...

ALUMINUM, .063 BACKS, .050 SIDES.

#### NEON...

RED ACRYLIC FACE ONLY: CLEAR RED NEON, 15 MM. 30 MA.

ALL OTHER ACRYLIC FACE COLORS: 6500 WHITE NEON, 15 MM., 30 MA.

#### FINISH NOTES...

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. TOP COAT WITH AN ACRYLIC ENAMEL PAINT (DUPONT CENTARI OR EQ.).

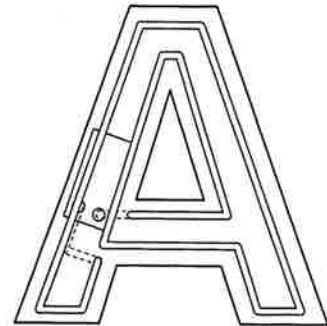
#### ELECTRICAL NOTES...

ALL METAL PARTS ARE TO BE GROUNDED. ALL TRANSFORMERS TO BE GFI PROTECTED. TRANSFORMERS TO BE MOUNTED ON PANS.. TRANSFORMER LEADS TO BE AS SHORT AS POSSIBLE. MINIMUM 2" CLEARANCE FROM HIGH VOLTAGE TERMINALS TO GROUNDED METAL. DISCONNECT SWITCH TO BE PROVIDED FOR ALL SIGNS. ALL SIGNS TO BE CHECKED WITH GROUNDED TEST CORD PRIOR TO LEAVING FACILITY.

U.L. NOTES (IN ADDITION TO THE ABOVE): FUSES & SWITCHES TO BE IN INDIVIDUAL COMPARTMENTS. ELECTRODES TO BE CONTAINED IN APPROVED HOUSINGS.



TYPICAL SINGLE TUBE NEON



TYPICAL DOUBLE TUBE NEON

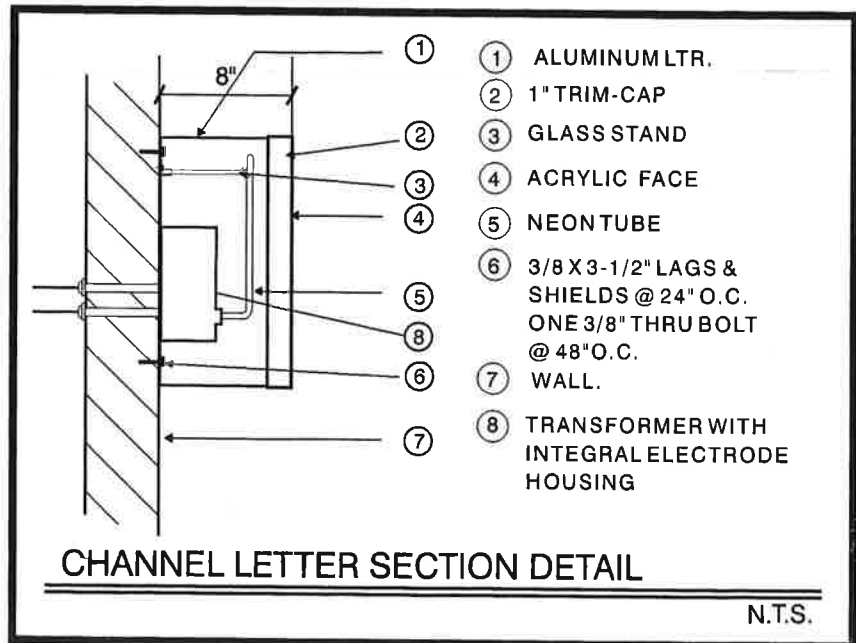
#### SUGGESTED NEON SPACING...

UP TO 6" STROKE: 1 TUBE

4" TO 10" STROKE: 2 TUBES

8" TO 15" STROKE: 3 TUBES

12" TO 24" STROKE: 4 TUBES





**PRIMARY  
CENTER  
IDENTIFICATION  
MONUMENT  
SIGN**

**EXHIBIT 3**

**DOUBLE FACED  
INTERNALLY ILLUMINATED DISPLAY**

**CABINET, RETAINERS & BASE:**  
.080 ALUMINUM.

**ILLUMINATION:**  
CABINET & ROUTED LETTERS: T12 FLUORESCENTS  
LOGO: WHITE NEON COVE LIGHT AT PERIMETER.

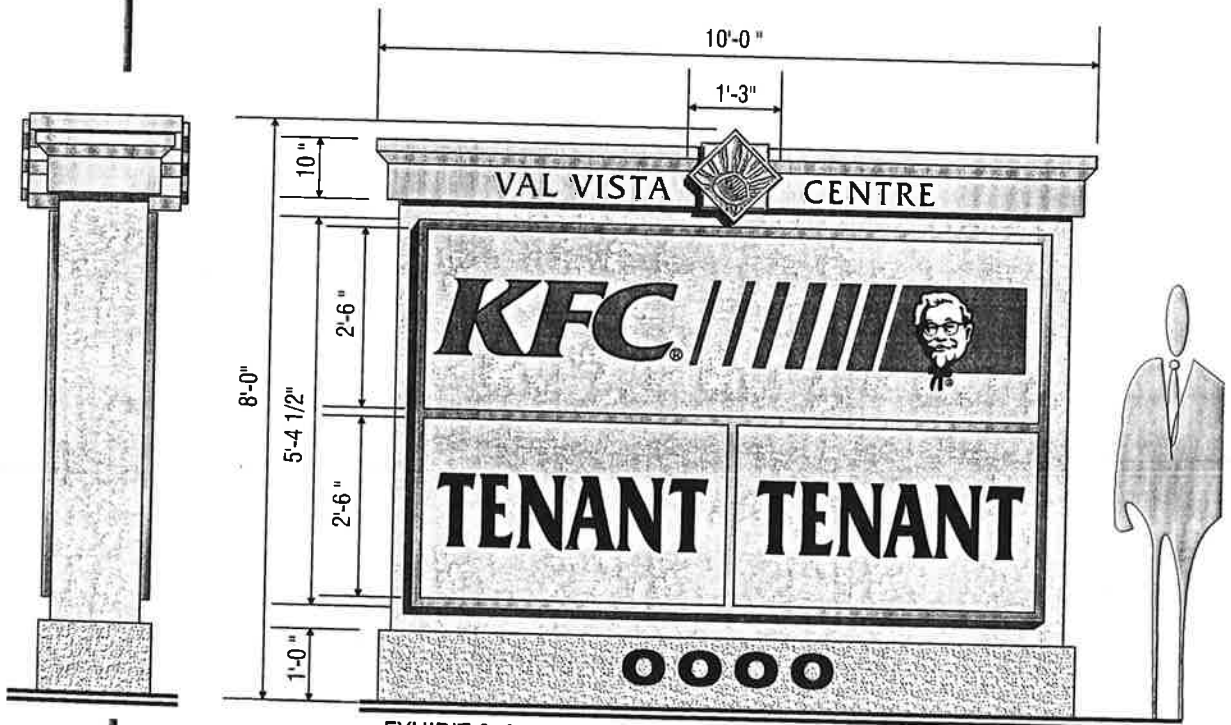
**FINISH NOTES...**

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE CORNUS IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE TENANT PANEL RETAINERS ARE PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE BASE IS "PUBLIC HOUSE" #1447 (ICI) MATTE SAND FINISH WITH FLAT BLACK ADDRESS NUMERALS.

THE LOGO SURFACE IS PAINTED "CRANAPPLE" SATIN FINISH; THE RAISED FACE IS PAINTED "SAND PINK" SATIN FINISH AND THE RETURNS ARE PAINTED "PEACH BISQUE" MATTE FINISH.

**FACES:**

LEXAN WITH FIRST SURFACE VINYL DECORATION WITH "SAND PINK" TEXCOAT BACKGROUND. "VAL VISTA CENTRE" LETTERS ARE ROUTED ALUMINUM FACE WITH DAY-NIGHT BLACK ACRYLIC BACKUP.

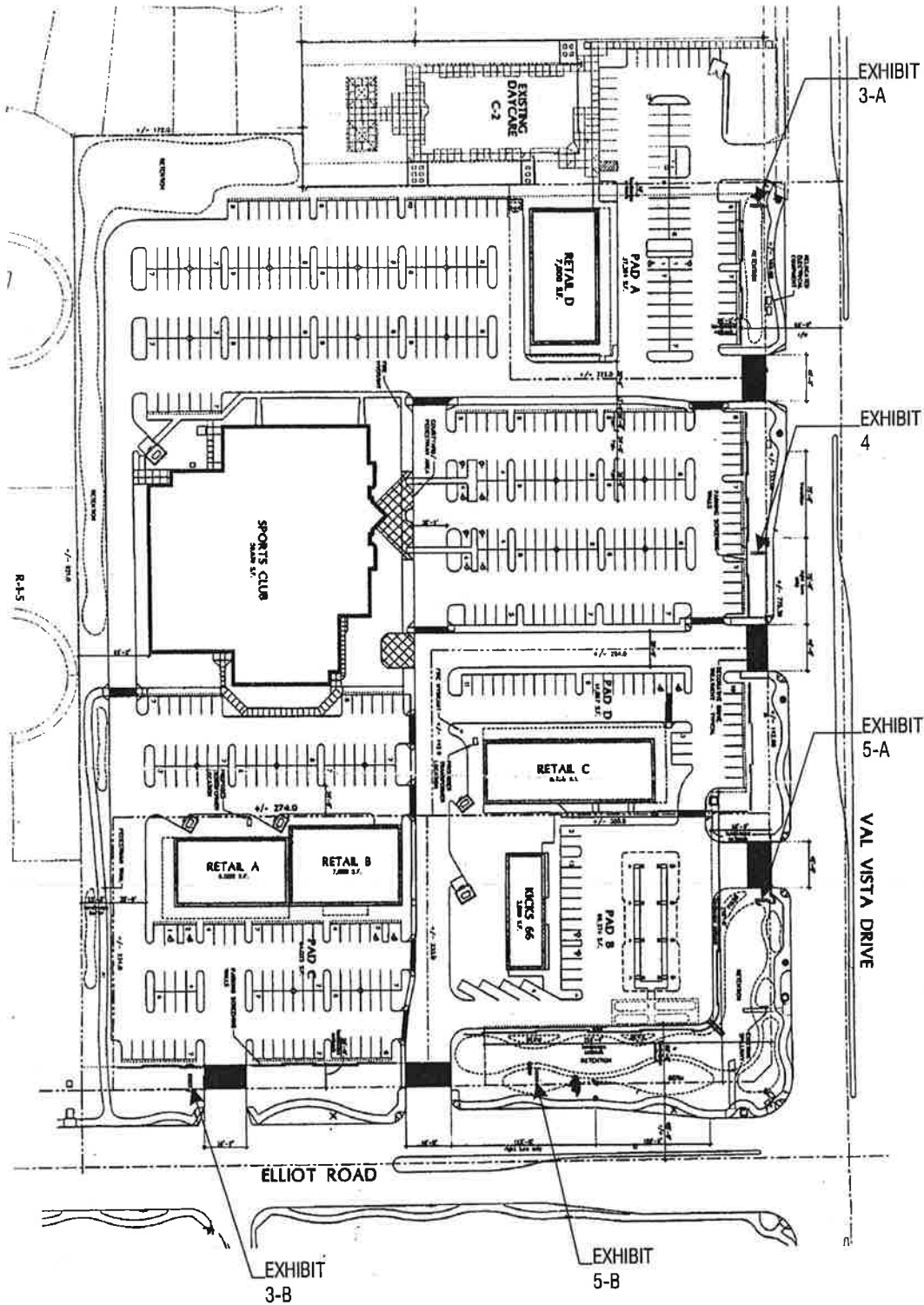


**EXHIBIT 3-A**

SCALE 3/8" = 1'-0"



# SITE PLAN MONUMENT SIGN LOCATIONS



re  
AM

PLANS  
w/ Board  
10/1  
IS OF APPROVAL



N.T.S.

Role



# VINYL WINDOW IDENTIFICATION

Size and location as indicated on detail.  
Letters are not to exceed or be smaller  
than 3" in height.

Helvetica Medium

1234567890

ABCDEFGHIJKLMNO P Q

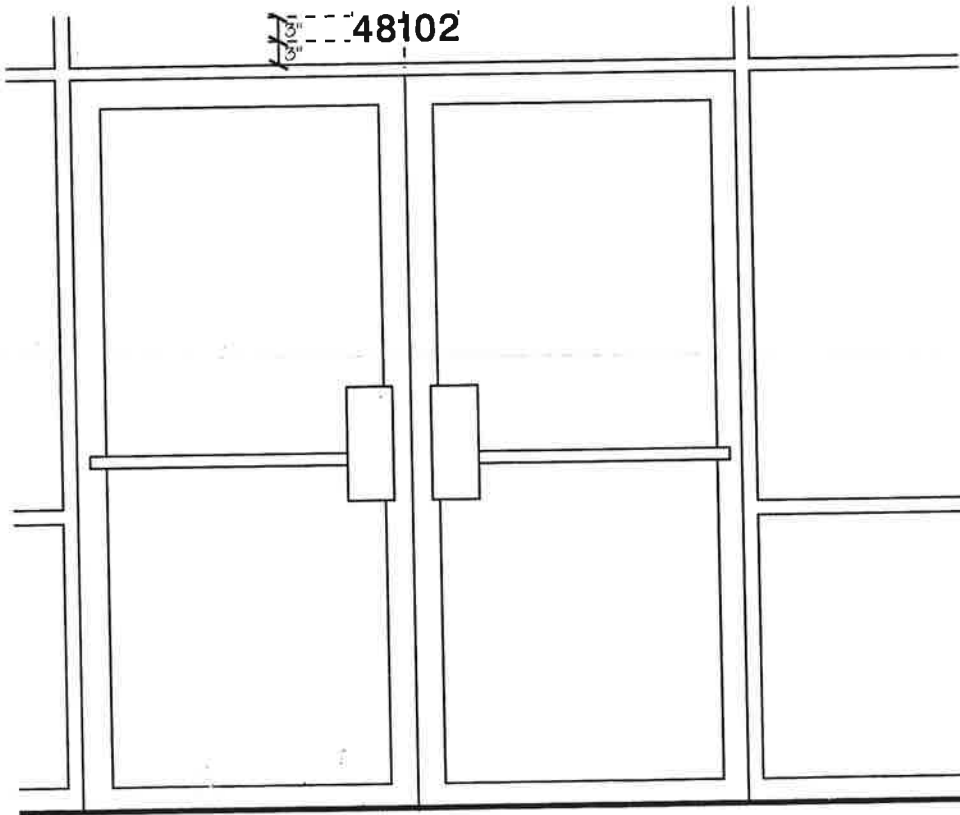
RSTUVWXYZ &

abcdefghijklmnopqrstuv

wxyz

All materials are to be #220-10 white,  
reverse cut high performance 3M  
Scotchcal vinyl, computer generated.

← Center line of door/s  
EQ. EQ.



e

AM

PLANS  
Board  
01  
OF APPROVAL

ENTRANCE ELEVATION... TYPICAL TENANT IDENTIFICATION & HOURS

Roller

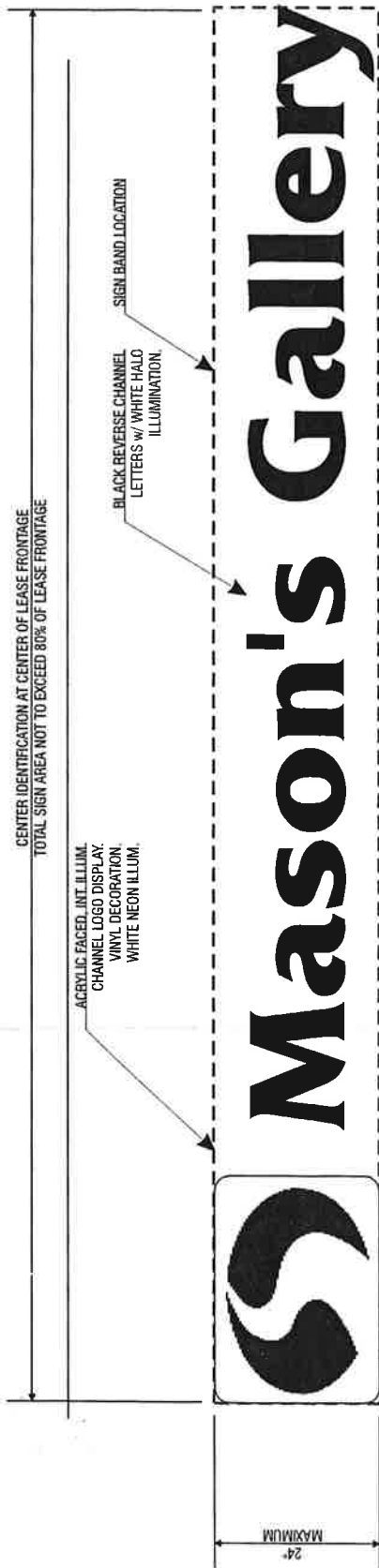
IT  
V  
N  
8





TENANT  
SIGN BAND  
DETAIL

EXHIBIT 7



SIGN BAND DETAIL

N.T.S.

BOTTOM OF FACIA.

CENTER IDENTIFICATION AT CENTER OF LEASE FRONTAGE  
TOTAL SIGN AREA NOT TO EXCEED 80% OF LEASE FRONTAGE

ACRYLIC FACED, INT. ILLUM.  
CHANNEL LOGO DISPLAY  
VINYL DECORATION  
WHITE NEON ILLUM.

BLACK REVERSE CHANNEL  
LETTERS w/ WHITE HALO  
ILLUMINATION

SIGN BAND LOCATION

24"  
MAXIMUM





# TENANT UNDER CANOPY SIGN

## EXHIBIT 6

### UNDER CANOPY SIGN

CENTER & OUTSIDE PANELS...  
ALUMINUM, 250

#### INSTALLATION...

HANG FROM BLACK FINISHED IRON BRACKET WITH CHAIN. SIGN TO BE CENTERED AT TENANT FRONT ENTRY. SIGN TO BE PERPENDICULAR TO TENANT ENTRY. SIGN BOTTOM TO BE 8'-0" FROM TOP SURFACE OF CONCRETE WALKWAY.

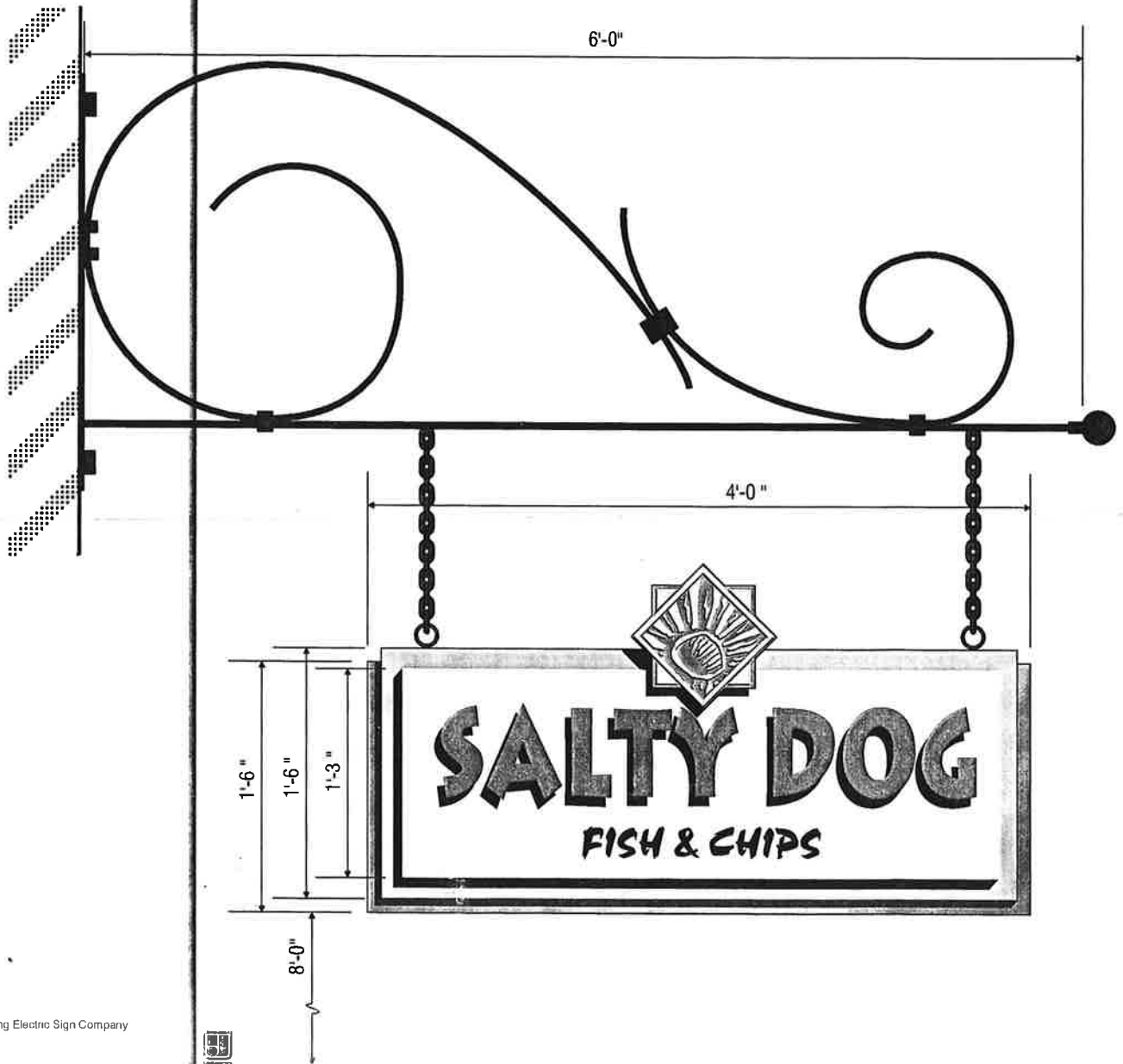
#### FINISH NOTES...

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE INSIDE TRIM IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE OUTSIDE TRIM PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE TENANT COPY BACKGROUND COLOR IS SELECTED BY THE TENANT.

THE LOGO SURFACE IS PAINTED "CRANAPPLE" SATIN FINISH; THE RAISED FACE IS PAINTED "SAND PINK" SATIN FINISH AND THE RETURNS ARE PAINTED "PEACH BISQUE" MATTE FINISH. TENANT IDENTIFICATION;

LOGO AND/OR LOGOTYPE WILL BE A MAXIMUM OF 2 COLORS (INCLUDING DROP SHADE). GENERIC SERVICE IDENTIFICATION ("BAKERY") WILL BE BLACK (SEE EXHIBIT 6).

ALL GRAPHICS ARE 3M VINYL OR EQUIV.





**PRIMARY ANCHOR  
MONUMENT  
SIGN**

**EXHIBIT 5**

**PRIMARY ANCHOR - DOUBLE FACED  
INTERNALLY ILLUMINATED DISPLAY**

**CABINET, RETAINERS & BASE:**  
.080 ALUMINUM.

**ILLUMINATION:**  
CABINET & ROUTED LETTERS: T12 FLUORESCENTS

**FINISH NOTES...**  
ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE CORNUS IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE TENANT PANEL RETAINERS ARE PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE BASE IS "PUBLIC HOUSE" #1447 (ICI) MATTE SAND FINISH.

**FACES:**  
LEXAN WITH FIRST SURFACE VINYL DECORATION WITH "SAND PINK" TEXCOAT BACKGROUND.

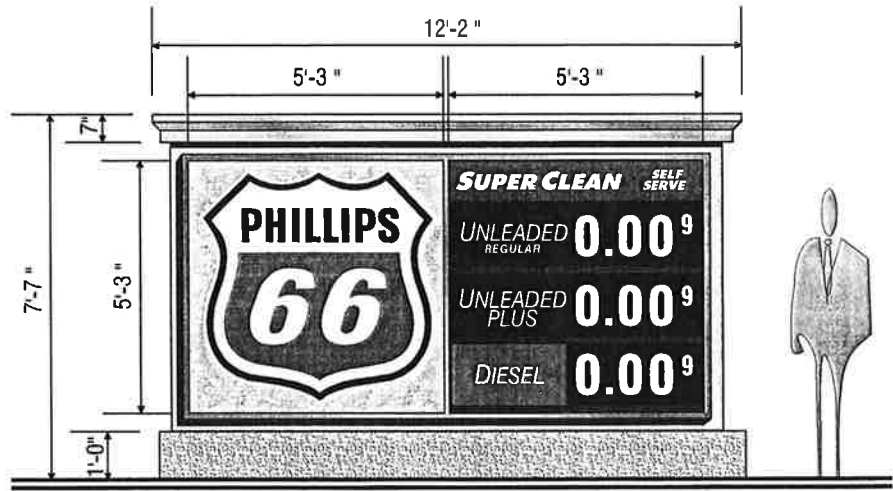
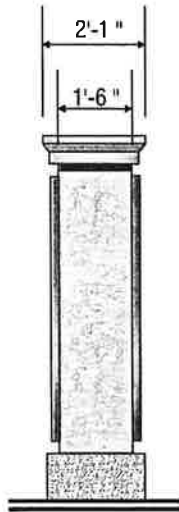


EXHIBIT 5-A

SCALE 1/4" = 1'-0"

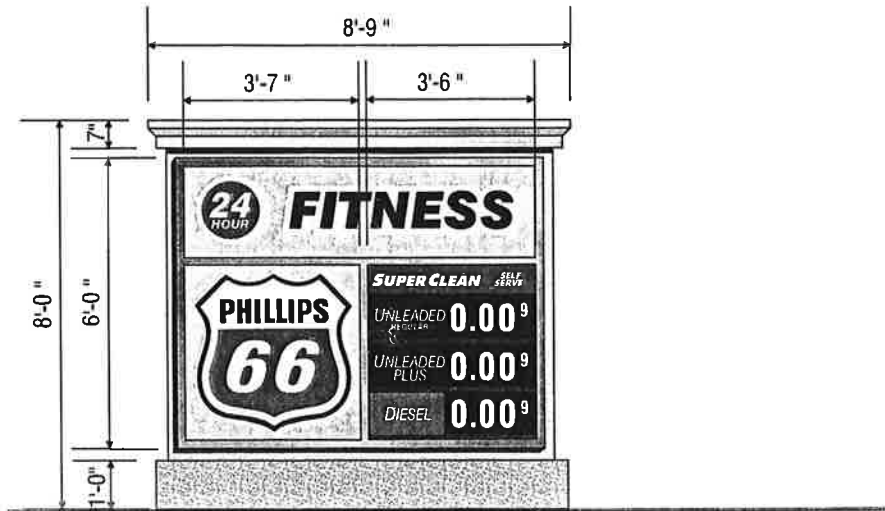


EXHIBIT 5-B

SCALE 1/4" = 1'-0"





## SECONDARY TENANT MONUMENT SIGN

EXHIBIT 4

# DOUBLE FACED INTERNALLY ILLUMINATED DISPLAY

CABINET, RETAINERS & BASE:  
.080 ALUMINUM.

ILLUMINATION:  
CABINET & ROUTED LETTERS: T12 FLUORESCENTS

### FINISH NOTES...

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE CORNUS IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE TENANT PANEL RETAINERS ARE PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE BASE IS "PUBLIC HOUSE" #1447 (ICI) MATTE SAND FINISH.

### FACES:

LEXAN WITH FIRST SURFACE VINYL DECORATION WITH "SAND PINK" TEXCOAT BACKGROUND.

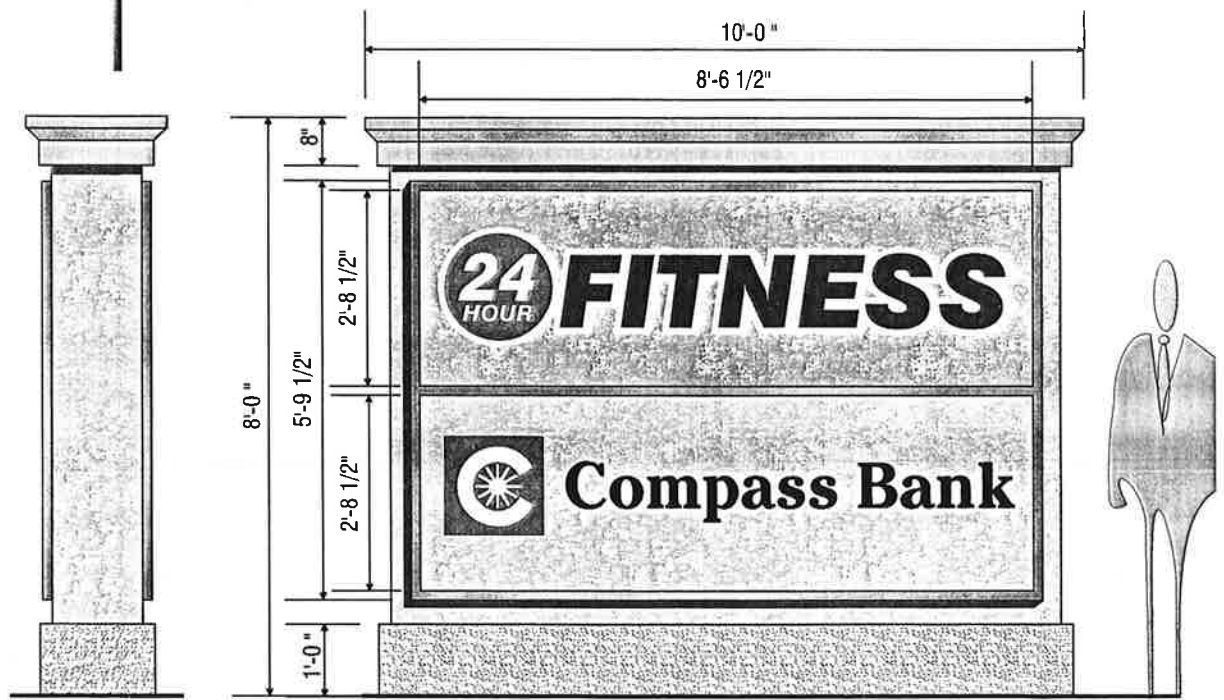


EXHIBIT 4

SCALE 3/8" = 1'-0"





**PRIMARY  
CENTER  
IDENTIFICATION  
MONUMENT  
SIGN**

**EXHIBIT 3**

(CONTINUED)

**DOUBLE FACED  
INTERNALLY ILLUMINATED DISPLAY**

**CABINET, RETAINERS & BASE:**  
.080 ALUMINUM.

**ILLUMINATION:**  
CABINET & ROUTED LETTERS: T12 FLUORESCENTS  
LOGO: WHITE NEON COVE LIGHT AT PERIMETER.

**FINISH NOTES...**

ALUMINUM: EXTERIOR TO BE ACID ETCHED, RINSED AND COATED WITH SELF ETCHING PRIMER. THE CORNUS IS PAINTED "PEACH BISQUE" #283 (ICI) MATTE FINISH. THE CABINET IS PAINTED "SAND PINK" (ICI) MATTE TEXCOAT WITH A SKIP TROWEL FINISH. THE TENANT PANEL RETAINERS ARE PAINTED "CRANAPPLE" #1015 (PRATT LAMBERT) SATIN FINISH. THE BASE IS "PUBLIC HOUSE" #1447 (ICI) MATTE SAND FINISH WITH FLAT BLACK ADDRESS NUMERALS.

THE LOGO SURFACE IS PAINTED "CRANAPPLE" SATIN FINISH: THE RAISED FACE IS PAINTED "SAND PINK" SATIN FINISH AND THE RETURNS ARE PAINTED "PEACH BISQUE" MATTE FINISH.

**FACES:**

LEXAN WITH FIRST SURFACE VINYL DECORATION WITH "SAND PINK" TEXCOAT BACKGROUND. " VAL VISTA CENTRE "LETTERS ARE ROUTED ALUMINUM FACE WITH DAY-NIGHT BLACK ACRYLIC BACKUP.

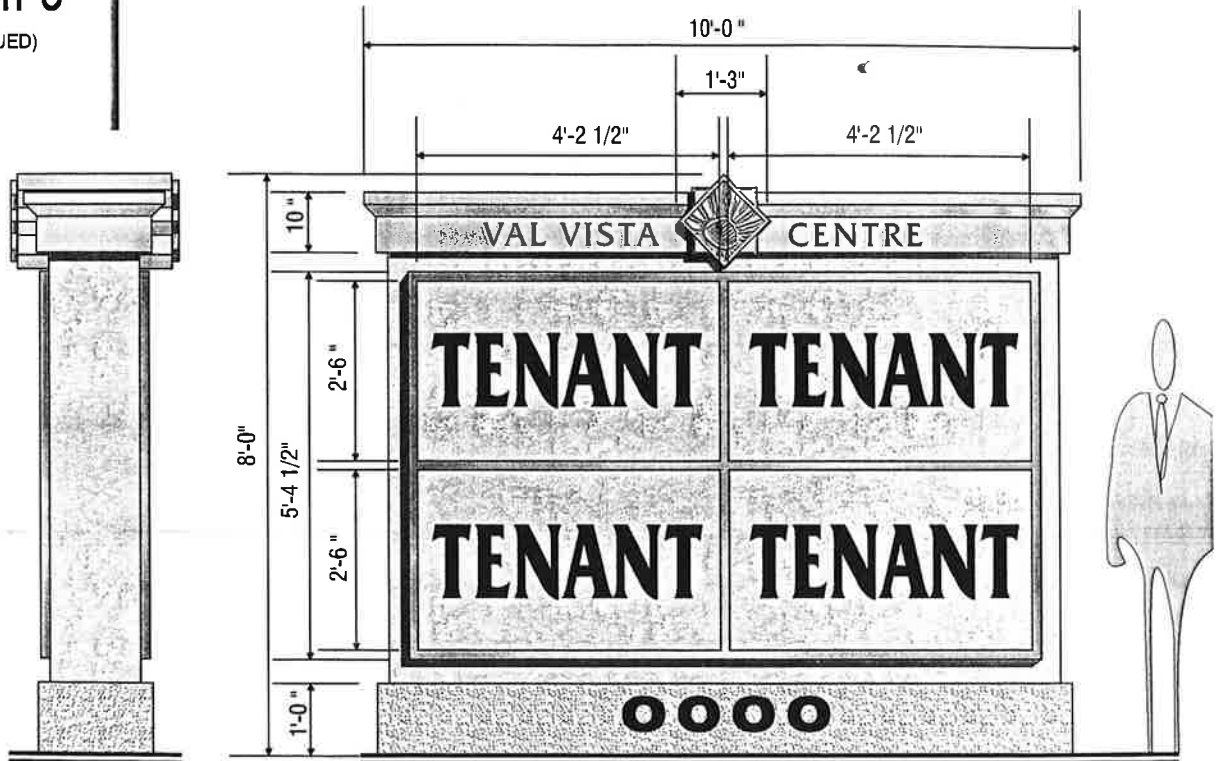


EXHIBIT 3-B

SCALE 3/8" = 1'-0"

