



## NOTICE OF ADMINISTRATIVE DECISION

February 15, 2024

Arizona Commercial Signs  
c/o Darshan Dawson  
4018 E Winslow Ave.  
Phoenix, AZ 85040  
Sent via email: [permits@arizonacommercialsigns.com](mailto:permits@arizonacommercialsigns.com)

**RE: Amendment to Township Plaza CSP - DR87-49-E (PDR-2023-00169)**

To Darshan Dawson:

Staff has reviewed and **approved** your Minor Administrative Design Review application **DR87-49-E (PDR-2023-00169)** for Township Plaza.

### Summary

- The subject site is currently developed with the Township Plaza shopping center and is zoned Shopping Center (SC). The master site plan was approved by the Design Review Board under DR89-49 and included the Comprehensive Sign Program (CSP). The proposed request includes:
  - Removal of one (1) wrought iron cross accent on the building fascia that fronts the My Dr Now tenant suite. Other wrought iron cross accents are located around the shopping center and are not included in this Notice of Decision letter. The applicant proposes to infill the stucco surfacing and install wall signage in place of the accent piece.
  - Removing language to the existing CSP that prohibits the use of signs with backgrounds. This effect would allow backgrounds behind signs within the Township Plaza shopping center. The current CSP under section C, provision 1 states “Letters are not to be on a background and shall not be mounted on an exposed raceway.” This approval would rewrite the provisions as follows: “Letters shall not be mounted on an exposed raceway.” The applicant has provided a letter of authorization from the property owner, and said letter is attached to this Notice of Decision.

### Findings

- The project is consistent with the LDC and applicable design guidelines.
- The project is compatible with adjacent and nearby development.
- The project design provides for safe and efficient provision of public services.

Staff has **approved** your request with the following conditions:

1. Construction shall conform to the following stamped exhibits: Project Narrative, Sign Details, and Letter of Authorization.
2. The applicant must obtain any necessary sign permits prior to construction.

If you have questions regarding these findings, please contact me at (480) 503-6602 or [samantha.novotny@gilbertaz.gov](mailto:samantha.novotny@gilbertaz.gov).

Sincerely,

A handwritten signature in black ink that reads "Samantha Novotny". The signature is written in a cursive, flowing style.

Samantha Novotny  
Planner I

Attachments: Stamped exhibits dated 2/15/2024



November 15, 2023

Town of Gilbert  
Development Services  
Attn: Dana Stevens

**RE: Comprehensive Sign Plan Amendments for Township Plaza**

To whom it may concern:

Kinsale Realty Group, LLC as property manager for Township SPE, LLC (Landlord and property owner) approves My Doctor Now's standard sign design that incorporates oval background panels behind the MY DOCOTR NOW illuminated channel letters. We support the proposed amendment to the Comprehensive Sign Plan to allow backgrounds behind illuminated letter signs at Township Plaza.

We also support amending the CSP's sign band location for My Doctor Now's suite to be raised from the bottom of the tower to the center to better conform with the signage on similar towers throughout the center. This requires removal of the architectural cross feature on the fascia, and we approve My Doctor Now 's request to remove the cross and restore the fascia surface to match the other towers in the center.

If you have any questions, please reach out to me at 480-836-8848

Sincerely,  
KINSALE REALTY GROUP, LLC

A handwritten signature in blue ink, appearing to read 'Jim Gilligan', is written over a horizontal line.

Jim Gilligan  
Property Manager for  
Township SPE, LLC

**APPROVED**  
Minor Administrative Design Review  
Case # DR87-49-D (PDR-2023-00169)  
Date February 15, 2024

# Ellipse calculator

Input values:

Area (A)

Semi-axis (p)

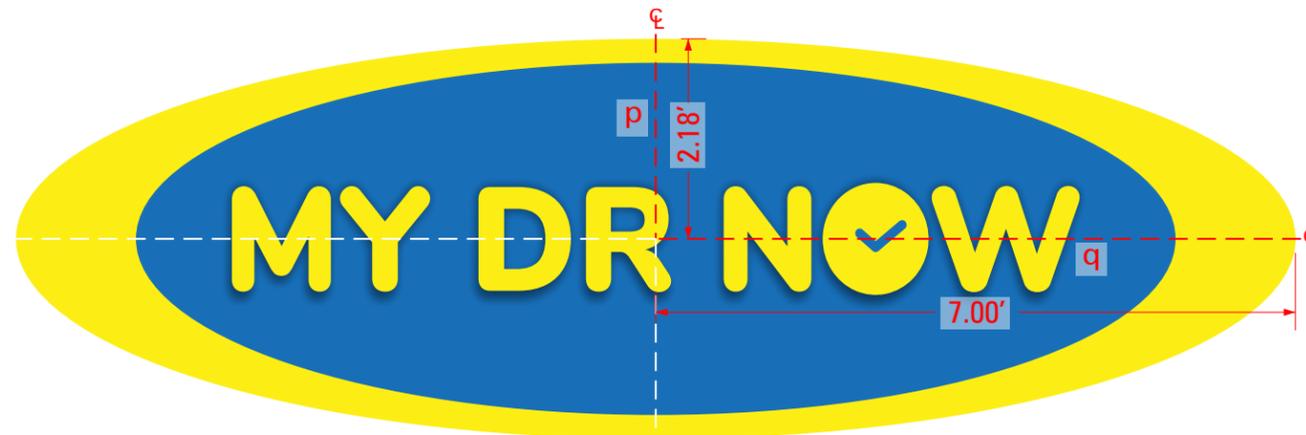
Semi-axis (q)

Output

Step-by-step solution:

**p = 2.18**  
**q = 7**

Computing Area using equation:  $A = \pi * p * q$   
**A = 47.94070389378**



### INSTALLATION/BUILD DETAILS

PAN SPEC	P.C. SPEC	ELECTRICAL SPECIFICATIONS
(1.5") Alum. Spacers Painted To Spec's	Aluminum Back & (5") Returns	<input checked="" type="checkbox"/> U.L. REQUIRED <input type="checkbox"/> OTHER
(.080) Alum. Return(s) Painted Mid Blue	Alumet Yellow Coil (3/4") Trim Cap Jewelite Yellow	<input type="checkbox"/> NON U.L. REQUIRED
Low Voltage Wiring	(1/8") 407 Yellow Acrylic Face(s)	( 1 ) 20 AMP CIRCUITS REQUIRED
L.E.D. Lighting White Modules ON BACKERS	Low Voltage Wiring Yellow LED Module(s)	ACTUAL AMP LOAD <b>2.5A</b>
Face(s) Painted To Spec's	3M™ Trans. 3630-157 "Bright Blue" Vinyl Overlay(s)	<input checked="" type="checkbox"/> 120 VOLTS <input type="checkbox"/> 277 VOLTS
(3/16") Clear Lexan Backer(s)	ATTACHMENT Toggle Bolt Fastener W/ "L" Clip Attachment To Letter(s) Min. 3 Per Letter (Typical)	<input type="checkbox"/> OTHER
	1/4" Weep Hole At Low Points & Bottom Area Of Each Letter	Service ON/OFF Toggle Switch
	.080 Routed Alum. Oval Painted Yellow	Power Supply In Outdoor Rated Enclosure 120v/20a Circuit

**UL LISTED YELLOW L.E.D. INT.-ILL. PAN-CHANNELS ON UL LISTED YELLOW L.E.D. HALO-ILL. OVAL PAN ON PANEL BACKER FLUSH TO WALL**

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

SIGN(S) TO BE MANUFACTURED TO U.L. SPECIFICATIONS AND WILL BEAR THE U.L. LABEL(S). INSTALL IN ACCORDANCE WITH NATIONAL ELECTRICAL CODES.

SIGN INSTALLATION COMPLIANT IN ACCORDANCE WITH 2018 IBC® AND 2018 NEC™ AS ADOPTED BY LOCAL JURISDICTION.

\*\*\* REQUIRES PENETRATION HOLES TO BE DRILLED INTO FASCIA FOR INSTALLATION MOUNTING PURPOSES. REQUIRES LANDLORD APPROVAL ON LAYOUT, COLOR(S) & LOCATION. REQUIRES CITY/COUNTY DESIGN REVIEW AND PERMITTING.

\*\*\* IRREGULAR SQUARE FOOTAGE CALCULATION(S) WILL BE UTILIZED WITH OVAL SHAPE BACKER TO MAXIMIZE SIGN SQUARE FOOTAGE.

LASTS LONGER! ALUMINUM CONSTRUCTION NO RUSTING!

InternationalLight TECHNOLOGIES

## A MANUFACTURE AND INSTALL ONE (1) SET OF ILLUMINATED CHANNEL LETTERS WITH BACKER PANELS

SCALE: 1/2" = 1'-0"

47.94 ELLIPSE SF

### CHANNEL LETTERS - MY DR. NOW

- FACES: 1/8" THICK, 407 YELLOW ACRYLIC
- VINYL: 3M TRANS. BRIGHT BLUE 3630-167 (CHECKMARK)
- RETURNS: 5" DEEP ALUMINUM PAINTED MP 10211 "CITRUS YELLOW"
- BACKS: ALUMINUM
- TRIMCAP: (3/4") JEWELITE YELLOW
- ILLUMINATION: WHITE LEDs
- POWER SUPPLIES: REMOTE

### BLUE OVAL REVERSE PAN & YELLOW BACKER PANEL

- BLUE OVAL: (2.5") DEEP ALUMINUM REVERSE PAN PAINTED MP 10452 "MID BLUE" WITH (3/16") THICK CLEAR LEXAN BACKER, WITH WHITE HALO-ILLUMINATION MOUNTED (1.5") OFF YELLOW OVAL
- YELLOW OVAL BACKER: (.080) GRADE ALUMINUM ROUNDED OVAL PANEL PAINTED MP 10211 "CITRUS YELLOW" MOUNTED FLUSH TO FASCIA W/ HARDWARE AS REQUIRED

PAINT	PAINT	VINYL
MATTHEWS MP 10211 CITRUS YELLOW	MATTHEWS MP 10452 MID BLUE	3M TRANS. BRIGHT BLUE 3630-167



PROPOSED - NORTH ELEVATION SCALE: 1/8" = 1'-0"



EXISTING

**APPROVED**  
Minor Administrative Design Review  
Case # DR87-49-E (PDR-2023-00169)  
Date February 15, 2024

THIS DRAWING IS THE INTELLECTUAL PROPERTY OF ARIZONA COMMERCIAL SIGNS. REPRODUCTION IS PROHIBITED BY LAW - STATUTE: 17 U.S.C. §§ 101-810

**ARIZONA COMMERCIAL SIGNS**  
www.arizonacommercialsigns.com  
3006 North Maple | Mesa, Arizona 85215  
480.921.9900 | 480.832.6390

PROJECT NAME:  
■ MY DOCTOR NOW - GILBERT  
1927 E. Baseline Rd., Suite 104  
Gilbert, AZ 85233

CONTACT:  
PHONE:  
EMAIL:

CONTACT REP:  
■ STEVE NELSEN - [c] 480-656-5658

DESIGNER:  
■ JENNIFER FRASHER - [d] (480) 471-8478  
KIRK FAIRCHILD - [d] (480) 471-8478

DESIGN NUMBER:  
■ My Doctor Now - Gilbert 230219-PER05.cdr

SCALE:  
■ AS NOTED

DATE:  
■ 02/02/24

PROJECT NUMBER:  
■ 230219

REVISIONS:

- 1
- 2
- 3
- 4
- 5

LANDLORD / DEVELOPER APPROVAL  
SIGNATURE & DATE:

CUSTOMER APPROVAL  
SIGNATURE & DATE:

SHEET:  
**1** OF **5**  
**PERMIT**



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 1927 E. Baseline Rd., Suite 104  
 Gilbert, AZ 85233  
 CONTACT:  
 PHONE:  
 EMAIL:

CONTACT REP:  
 ■ STEVE NELSEN - [c] 480-656-5658  
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LANDLORD / DEVELOPER APPROVAL  
 SIGNATURE & DATE:

CUSTOMER APPROVAL  
 SIGNATURE & DATE:

SHEET:  
**2** OF **5**  
**PERMIT**

**PROJECT PERMIT INFORMATION:**

PROJECT ADDRESS:  
 ■ 1927 E. BASELINE RD., STE 104  
 GILBERT, AZ 85233

PROJECT SUBDIVISION:  
 ■ TOWNSHIP PLAZA REPLAT

ARIZONA PARCEL NUMBER (APN):  
 ■ 310-10-084

PROPERTY ZONING:  
 ■ SC

PARCEL USE CODE (PUC):  
 ■ 1410

MARICOPA COUNTY RECORDS (MCR):  
 ■ 755-44

JURISDICTION:  
 ■ TOWN OF GILBERT - MARICOPA COUNTY



**PROJECT DETAILS:**



**PROJECT NOTES:**

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**APPROVED**  
 Minor Administrative Design Review  
 Case # DR87-49-E (PDR-2023-00169)  
 Date February 15, 2024



- = PROPERTY/PARCEL LINE
- = STORE FRONT/ SUITE SIZE
- A = IDENTIFIED SIGN

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**ARIZONA COMMERCIAL SIGNS**  
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LANDLORD / DEVELOPER APPROVAL  
 SIGNATURE & DATE:

---

CUSTOMER APPROVAL  
 SIGNATURE & DATE:

---

SHEET:  
**5** OF **5**  
**PERMIT**



### LETTER OF AUTHORIZATION

**OWNER/AGENT ADDRESS**

Township Plaza SPE LLC  
1933 E. Baseline Rd.  
Gilbert 85233

**BUSINESS / LOCATION ADDRESS**

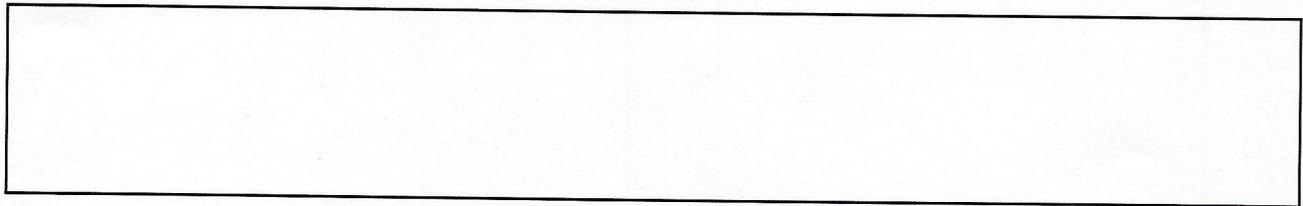
My Dctor Now  
1927 E. Baseline Rd., Suite 104  
Gilbert 85233

**Contact Name** Jim Gilligan

**Phone #** (480) 836-8848

**Email Address** jpgilligan@kinsalerealty.com

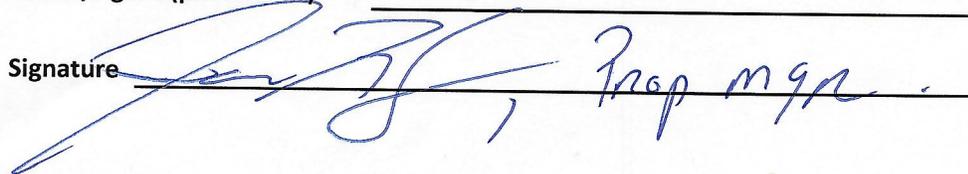
**Legal Description/ Parcel Number(s)** 310-10-084



I, (print name) Jim Gilligan as owner/agent for the project located at  
(project location) Township Plaza give  
(contractor name) Arizona Commercial Signs authorization to install (number) \_\_\_\_\_  
and (type of sign) Business ID signage at the above location.

This letter shall also serve as authorization for Arizona Commercial Signs to act as our agent when applying for the necessary municipal permits.

**Owner/Agent (print name)** Jim Gilligan

**Signature** 

**Date** 5-10-23

**APPROVED**  
Minor Administrative Design Review  
Case # DR87-49-E (PDR-2023-00169)  
Date February 15, 2024

*Submitted  
Township*

Comprehensive Sign Program

**CTW Township, LLC**

8098 N. Via de Negocio Suite 100  
Scottsdale, AZ 85258

**Township Plaza**

1845 E. Baseline Rd  
Gilbert, AZ

ADMINISTRATIVE  
SIGN  
PROGRAM

*02.9.11*

Prepared by:



■ ADDRESS: 4028 W. WHITTON PKY, AZ. 85019  
■ PHONE: ( 602 )-272-9356  
■ FAX: ( 602 )-272-4608  
■ www.bootzandduke.com

**APPROVED**  
**Administrative**  
**Design review**

Permit # \_\_\_\_\_  
Case # DR87-49  
Date: 7/17/06

*(Signature)*

*COPY*

**DR87-49 (2/21/06) SignADM**

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Add	pg.Add

## Sign Locations / Site Map

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D287.49

**Township Center  
COMPREHENSIVE SIGN PROGRAM  
Sign specifications and Requirements**

The purpose of this Comprehensive Sign Program is to create a graphic environment that is individual and distinctive in identity for the merchant and also compatible with other signs within the Property. The total concept should give an impression of quality and professionalism, as well as, instill a good business image.

The following specifications shall be used for the design of all signage within the Property; however, in all cases, final written approval by Township Center is required prior to manufacturing and installation of all signs.

For purposes of this Comprehensive Sign Program, any reference herein to "Owner" shall also include all tenants, subtenants, licensees and other occupants of Owner's Parcel.

**PROCEDURE:** All signage drawing proposals will be submitted in three (3) copies to CTW Township, LLC for written approval, prior to application for sign permit from the Town of Gilbert.

**NOTICE:**

WRITTEN APPROVAL AND CONFORMANCE WITH THE REQUIREMENTS SET FORTH HEREIN DOES NOT IMPLY CONFORMANCE WITH APPLICABLE LAWS, CODES, RULES, AND REGULATIONS PROMULGATED BY THE TOWN OF GILBERT OR ANY OTHER APPLICABLE GOVERNMENTAL AGENCY OR BODY (COLLECTIVELY, THE "LAWS"). ALL SIGNAGE LOCATED WITHIN THE PROPERTY SHALL BE APPROVED IN WRITING BY DECLARANT AND SHALL COMPLY WITH THE APPLICABLE LAWS, RECEIPT BY OWNER OF A SIGN PERMIT AND NOTIFICATION BY OWNER TO CTW TOWNSHIP, LLC MUST BE RECEIVED PRIOR TO MANUFACTURING AND INSTALLATION OF ANY SIGNAGE.

**A. GENERAL PROVISIONS**

1. All signs and signage programs must conform to the requirements of this Master Signage plan, the Town of Gilbert, and all applicable Laws. Applications and submittals for signage permits shall be per the Town of Gilbert's procedure and requirements.
2. Signs shall identify the person or company operating the use conducted on the Parcel or Suite. No off-premises advertising is permitted.

**B. GENERAL REQUIREMENTS**

1. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, painted or affixed in any manner to any part of the building exterior except as approved in writing by CTW Township and the Town of Gilbert.
2. Each Owner shall defend, indemnify and hold CTW Township harmless for, from, and against all claims, costs (including attorneys' fees, expert witness fees and other litigation related costs), damages, expenses, liabilities and losses arising from the installation, maintenance and repair of Owner's signs.
3. Each electrical sign, and the installation thereof, shall comply with all applicable Laws.
4. Owner shall obtain all necessary permits for signs and the construction and installation of signs.
5. No labels shall be placed on the exposed surfaces of signs except those required by applicable Laws. Required labels shall be applied in inconspicuous locations.
6. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight manner.
7. Sign copy shall be limited to Owner's proper firm name and shall not include the names of items, goods, products, or service lines. The use of a crest, shield, logo, or other established corporate insignia or modifier which has been displayed or associated with Owner's firm name shall be permitted subject to CTW Township written approval.
8. Any sign that does not conform with the requirements of this Comprehensive Sign Program or was not approved by CTW Township as required hereby shall be immediately removed or brought into conformance at the Owner's expense.
  - a. Signs with penetrations falling above roof line must seal wiring using a raceway rear.

**C. TYPE OF SIGN**

1. All signs shall contain individual, pan channel, internally illuminated, wall mounted letters. Letters are not to be on a background and shall not be mounted on an exposed raceway.

**D. SPECIFIC REQUIREMENTS FOR MAJOR ANCHOR(ACE) BUILDINGS SIGNAGE**

1. SIZE OF SIGN

- a. ACE sign will be allowed at 7'-7" tall with a total width of 17'-9". This meets 80% store frontage allowance specification
- b. ACE will be allowed secondary 43" tall copy to include "Paul's" that will meet 80% of Store frontage allowance specification
- c. VerticalLength: The overall length of spread of letters shall not exceed 80% of sign band or wall space on which sign is placed. (Example: Maximum spread for a sign with a space thirty (30) feet wide will be twenty-four (24) feet.
- d. Horizontal Height: Sign may not exceed 80% of SIGN BAND height
- e. ACE will be allowed two (2) modifier signs. These signs are limited to 24" in height and 30 square feet each. Letters must be individual Reverse . Pan Channel letters.

2. LIGHTING

- a. ACE will be illuminated with LED's (see side detail)
- b. Secondary approved modifier ACE copy can be illuminated with standard UL Approved neon methods or standard UL LED lighting methods .

**E. SPECIFIC REQUIREMENTS FOR IN-LINE TENANTS/SUITES**

1. SIZE OF SIGN

- a. Depth 5"
- b. VerticalLength: The overall length of spread of letters shall not exceed 80% of sign band or wall space on which sign is placed. (Example: Maximum spread for a sign with a space thirty (30) feet wide will be twenty-four (24) feet.
- c. Horizontal Height: Sign may not exceed 80% of SIGN BAND height
- d. Overall size of each sign allowed may be 1.5 square feet in size per foot of frontage on the same elevation as per 4.407C.I.B. (1+2). A minimum of 32 square feet will be allotted

2. LIGHTING

- a. All lighting shall be illuminated with Internal LED's or Neon

- b. All electrical will be U.L. or equivalent approved.
- c. Electrical power shall be provided by CTW Township, all signs will be on master photo cell.
- d. Penetration of structure and graphics beams shall be kept to a minimum and must have proper insulation for voltage cable and must be approved in writing by CTW Township.
- e. Power supplies shall be concealed behind fascia and mounted in metal boxes.

**F. FREE-STANDING PAD BUILDINGS**

- 1. Pad tenants are defined as those entities occupying a single free-standing Building on its own pad or parcel, located within the perimeter of CTW Township
- 2. Monument signs for free-standing pads are permitted per attached drawings
- 3. Permanent Sign Area:
- 4. Wall Signs: 1 square foot of sign for each foot building frontage. For buildings whose minimum setback is more than seventy-five (75) feet from the right-of-way line, 1.5 square feet of sign area for each front foot of building from which it draws its allowed square footage. Each tenant for use is permitted a minimum of 32 square feet of sign area
- 5. Tenant shall be permitted to install signs designed and located solely for the Purpose of relieving traffic congestion and promoting the safe flow of traffic. Three (3) square feet per directional and no higher than 3'-0". Locations must Be clearly marked for submittals and approved at the time of design review.
- 6. All menu boards shall be internally illuminated and will be in keeping with the buildings color and materials, matching those of the free-standing directional. All menu boards shall be approved by the design review board at the time of design review approval.
- 7. Wall signs shall use integral color 3/16" plexiglas inserts with 3/4" trim cap. Trimcap and returns to be five (5) inches deep and shall be painted to match trimcap.
- 8. Letter style and color shall be subject to approval by the Developer/Landlord.

9. Each pad sign package shall be subject to review and approval by the Developer/Landlord and the Town of Gilbert
10. **Should you have any questions or require the services of a sign company, Contact *Charlie Gibson*, BOOTZ & DUKE SIGN CO., PHOENIX, AZ (602) 272-9356**

**G. DETAIL DRAWING**

1. Three copies of a complete and detailed drawing by Owner's sign company shall be submitted to CTW Township for final review and written approval.
2. Elevation of building fascia and sign shall be drawn using a minimum ¼” to 1” scale.
3. Drawing shall indicate the following specifications:
  - a. Type, thickness, and color of plexiglass type of material used for backs, returns, and trim caps, including color
  - b. Finish used on returns
  - c. Type of illumination and mounting method
4. Drawing must include fascia cross section showing electrical connections.

**H. WINDOW SIGNAGE**

1. Window signs shall not exceed two (2) square feet and shall be limited to store name, hours of operation, and phone numbers. Any other variations must be approved by CTW Township and shall comply with the Town of Gilbert in writing.
2. Window signs to be crafted in a professional manner.

**I. BANNERS, OR TEMPORARY SIGNS WILL NOT BE PERMITTED WITHOUT APPROVAL BY CTW Township and shall comply with the Town of Gilbert code.**

**J. ADDRESS SIGNS**

1. Each store is required to display a street address and suite number above the storefront door and service door constructed of four (4) inch white exterior vinyl.

**K. THE FOLLOWING ARE NOT PERMITTED**

1. Roof signs.
2. Cloth signs or streamers hanging in front of business without landlord or City of Gilbert approval.
3. Exposed seam tubing.
4. Animated or moving components.
5. Intermittent or flashing illumination.
6. Iridescent painted signs.
7. Letter mounted or painted-on illuminated panels.
8. Signs or letters painted directly on any surface.
9. Signs will not be permitted to be installed or placed along perimeter of Property.
10. A-Frames and/or Sandwich Boards

**L. AUTHORIZED SIGN VENDORS**

CTW Township has authorized the following sign companies to do work at CTW Township. Only these sign vendors are authorized to do any work at the site. CTW Township may replace or modify this list of vendors without notice at anytime at its option.

Bootz and Duke Signs  
Christy Signs  
Flouresco  
AZ Commercial Signs

**M. SIGNAGE REMOVAL**

Upon the event your sign must be removed, CTW Township must approve your efis repair contractor.

If you have any questions please call:

**Charlie Gibson**

**Bootz and Duke Sign Company**

4028 W. Whitton Ave

Phoenix, AZ 85019

Phone: 602-272-9356/Fax: 602-272-4608

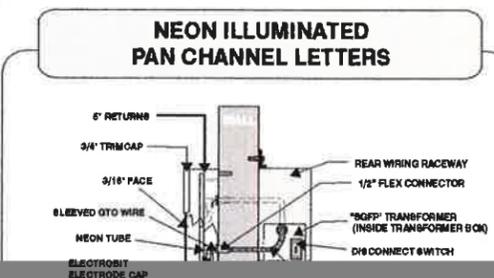
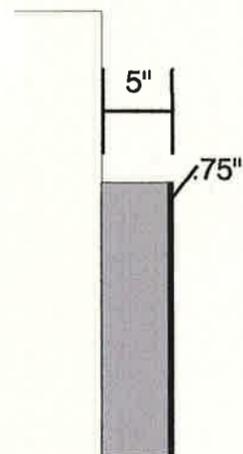
Charlie@bootzandduke.com

## IN LINE SUITES

NOT TO EXCEED 80%  
OF SIGN BAND

NOT TO EXCEED 80%  
OF SIGN BAND IN HEIGHT  
(COLORED BAND NEAR TOP OF BUILDING)

# TENANT



### TYPICAL SET OF PAN CHANNEL LETTERS.

#### CONSTRUCTION

.063" ALUMINUM CONSTRUCTION.  
5" DEEP RETURNS, .040" CLC, COLOR AS PER  
TENANT.  
3/4" TRIM CAP, COLOR AS PER TENANT..

#### MOUNTING

MOUNT FLUSH TO WALL.

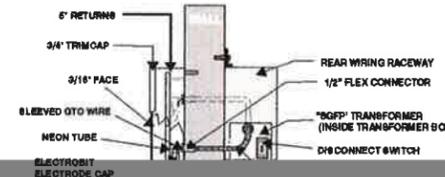
#### FACE

3/16" SG ACRYLIC, COLOR AS PER TENANT.

#### ILLUMINATION

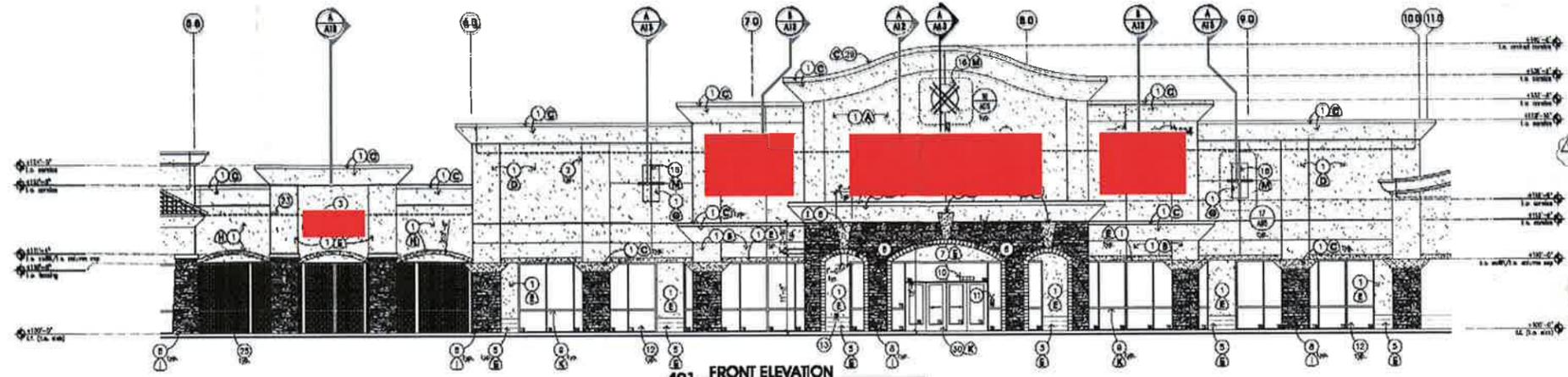
PERMLITE OR GEL-COR L.E.D.'S, SINGLE OR DOUBLE STROKE.  
1 STROKE PER 4"  
WITH REMOTE TRANSFORMER(S) OR  
SINGLE OR DOUBLE STROKE NEON TUBING (1 STROKE PER 4")  
WITH ELECTRO-BIT BOOTS AS CONNECTORS AND  
REMOTE TRANSFORMER(S) AS NEEDED.

### NEON ILLUMINATED PAN CHANNEL LETTERS

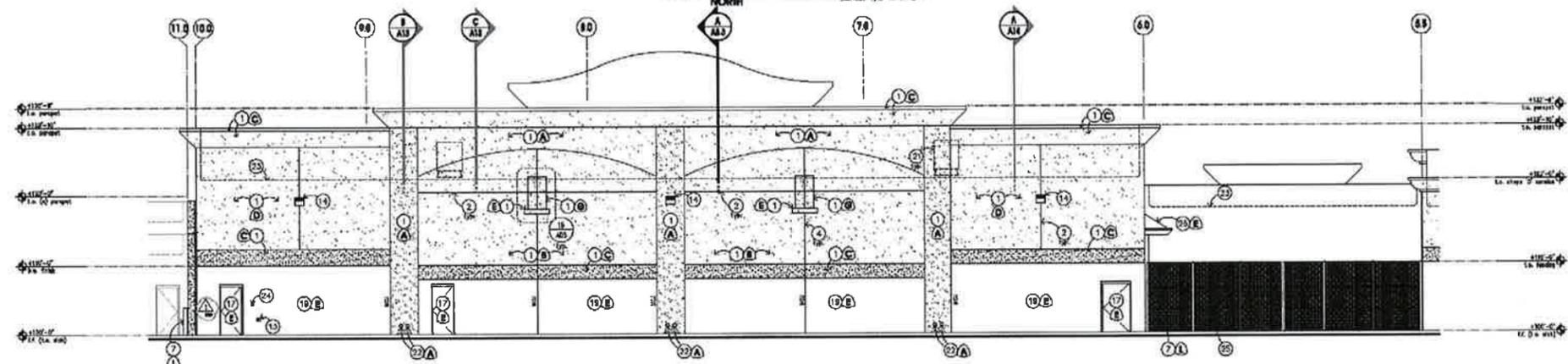


### L.E.D. ILLUMINATED PAN CHANNEL LETTERS

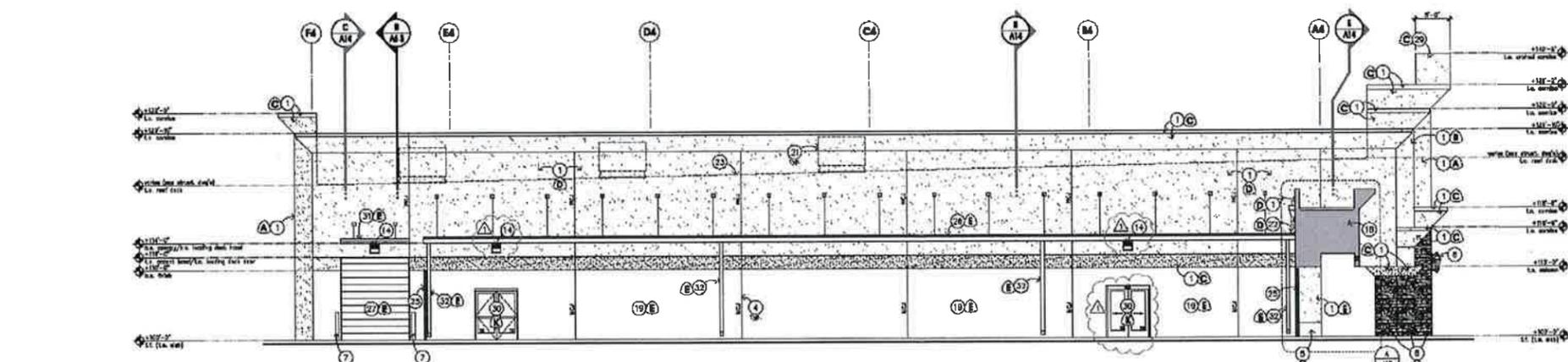




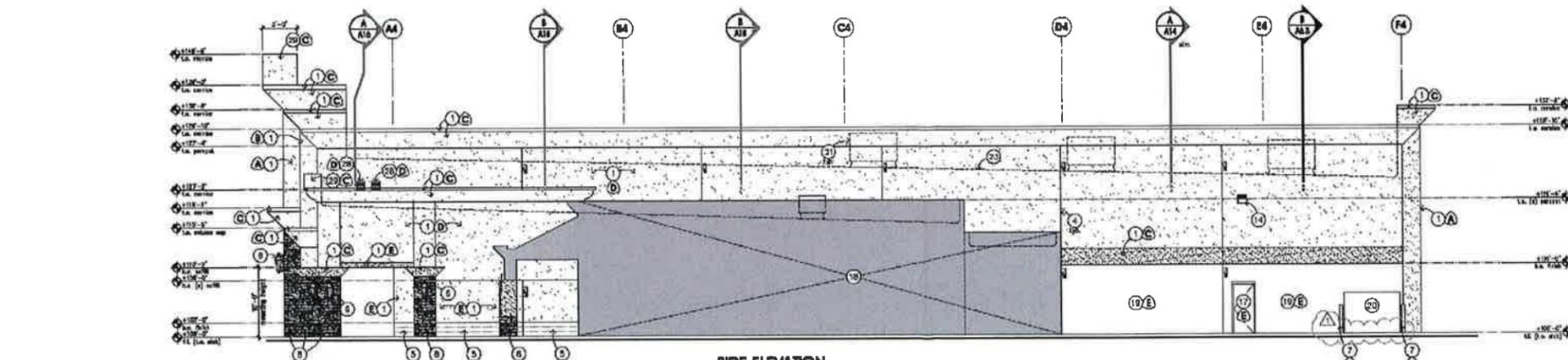
401 FRONT ELEVATION NORTH SCALE: 1/8" = 1'-0"



402 REAR ELEVATION SOUTH SCALE: 1/8" = 1'-0"



403 SIDE ELEVATION WEST SCALE: 1/8" = 1'-0"



404 SIDE ELEVATION EAST SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. SEE THE MECHANICAL AND ELECTRICAL DRAWINGS FOR THE LOCATION OF ALL MECHANICAL AND ELECTRICAL EQUIPMENT.
2. VERIFY SQUARE TO B.L.C. GENERAL CONTRACTOR SHALL PROVIDE ELECTRICAL AND MECHANICAL EQUIPMENT FROM MANUFACTURER'S LISTED AND APPROVED BY THE LOCAL HEALTH DEPARTMENT.
3. NEW GROUND AND MECHANICAL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL HEALTH DEPARTMENT'S REQUIREMENTS.
4. THE EXTERIOR WALL AND CEILING SHALL BE FINISHED WITH A FINISH TO MATCH ADJACENT WALL, CEILING.
5. THE EXTERIOR WALL AND CEILING SHALL BE FINISHED WITH A FINISH TO MATCH ADJACENT WALL, CEILING.
6. EXTERIOR WALL AND CEILING SHALL BE FINISHED WITH A FINISH TO MATCH ADJACENT WALL, CEILING.
7. THE EXTERIOR WALL AND CEILING SHALL BE FINISHED WITH A FINISH TO MATCH ADJACENT WALL, CEILING.

COLOR SCHEDULE

- COLORS USED ON THIS BUILDING
- (1) BRUSHED ALUMINUM
  - (2) BRUSHED ALUMINUM
  - (3) BRUSHED ALUMINUM
  - (4) BRUSHED ALUMINUM
  - (5) BRUSHED ALUMINUM
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  - (98) BRUSHED ALUMINUM
  - (99) BRUSHED ALUMINUM
  - (100) BRUSHED ALUMINUM

**CTW Township Plaza, L.L.C.**

**ADDRESS: 4028 W. WHITTON PKY, AZ 85019**

**PHONE: (602)-272-9356**

**FAX: (602)-272-4608**

**E-MAIL: www.bootzandduke.com**

**BOOTZ & DUKE**

**Since 1968**

REVISIONS:

CLIENT: CTW Township Plaza, L.L.C.

ADDRESS: CTW Township - 1845 E. Baseline Rd.-Gilbert, AZ

SALESMAN: Charlie Gibson

DESIGNER: AMorales

DESIGN #: CSP

DATE: 02-07-06

SCALE: AS NOTED

PAGE:

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**A** FABRICATE ONE (1) INTERNALLY ILLUMINATED LETTER SET  
SCALE: 1/4"=1'

**72/ACE/BR/RF/BT/LED/FM**

ACE - ILLUMINATED CHANNEL LETTER LOGO

- RETURNS -
  - \* ALUMINUM CONSTRUCTION 3" RETURNS, 080 ALUMINUM WITH .125 BACKS.
  - \* PRIMED AND PAINTED M.A.P. (MATTHEWS ACRYLIC POLYURETHANE) SATIN BLACK.
- FACES -
  - \* 3/16" RED ACRYLIC #2662 - \* 1" RETAINERS.
- ILLUMINATION -
  - \* RED L.E.D. ENGINE LIGHT SOURCE.
- INSTALLATION -
  - \* FLUSH MOUNTED TO FASCIA USING REMOTE TRANSFORMERS - ACCESS REQUIRED.



**B** FABRICATE ONE (1) EACH, HALO ILLUMINATED LETTER SETS  
SCALE: 1/4"=1'

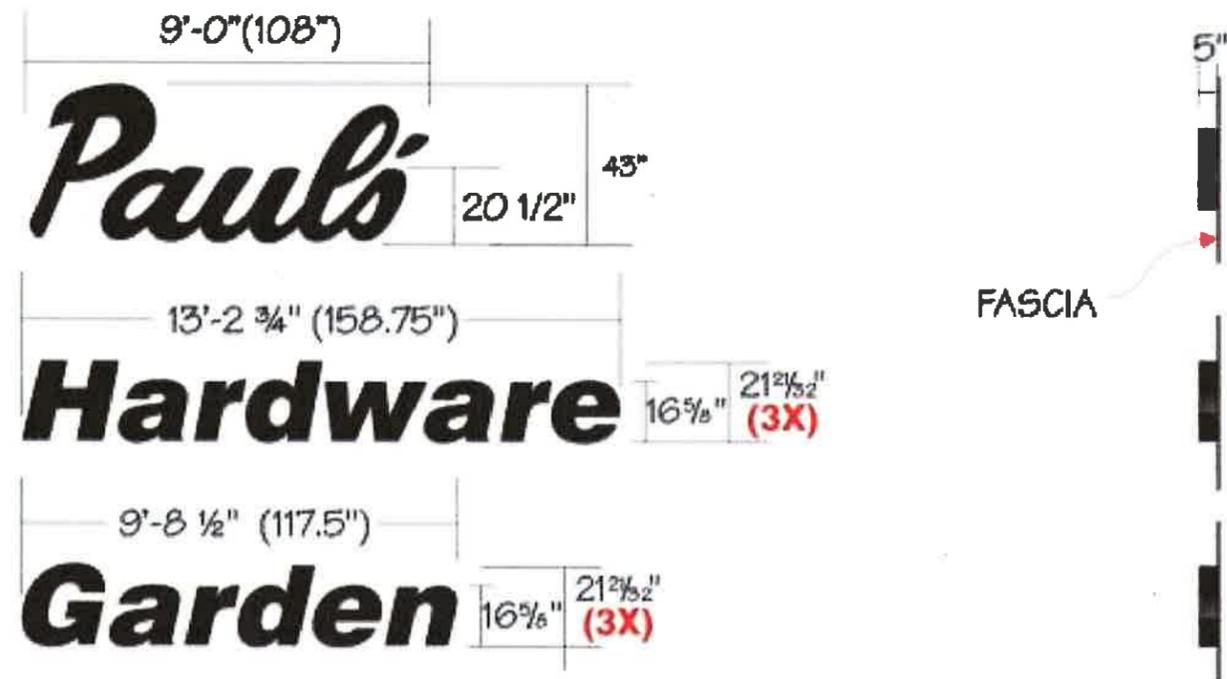
**36/Paul's-LIN-H/BFR/WN/CM**

**36/HDWR-LIN-H/BFR/WN/CM**

**36/Garden Center-LIN-H/BFR/WN/CM**

Paul's - Hardware - Garden - ILLUMINATED REVERSE CHANNEL LETTERS

- RETURNS -
  - \* ALUMINUM CONSTRUCTION 3" RETURNS, 065 ALUMINUM WITH .080 FACES.
  - \* PRIMED AND PAINTED M.A.P. (MATTHEWS ACRYLIC POLYURETHANE) SATIN BLACK.
- ILLUMINATION -
  - \* 15MM 6500 WHITE NEON LIGHT SOURCE - HALO ILLUMINATION.
- INSTALLATION -
  - \* CLIP MOUNTED 3/4" OFF SURFACE OF FASCIA USING REMOTE TRANSFORMERS - ACCESS REQUIRED.



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CUSTOMER:	Ace Hardware	ADDRESS:	4028 W. Whitton Ave. - Phoenix, AZ - 85019
ADDRESS:	CTW Township	WEBSITE:	www.bootzandduke.com
SALESMAN:	Charlie Gibson	PHONE #:	(602) 272-9356
DESIGNER:	AVMorales II	FAX #:	(602) 272-4608
DESIGN #:	CSP	REVISION:	[0] ~ Date
DATE:	February 6, 2006	PAGE #:	1 of 1



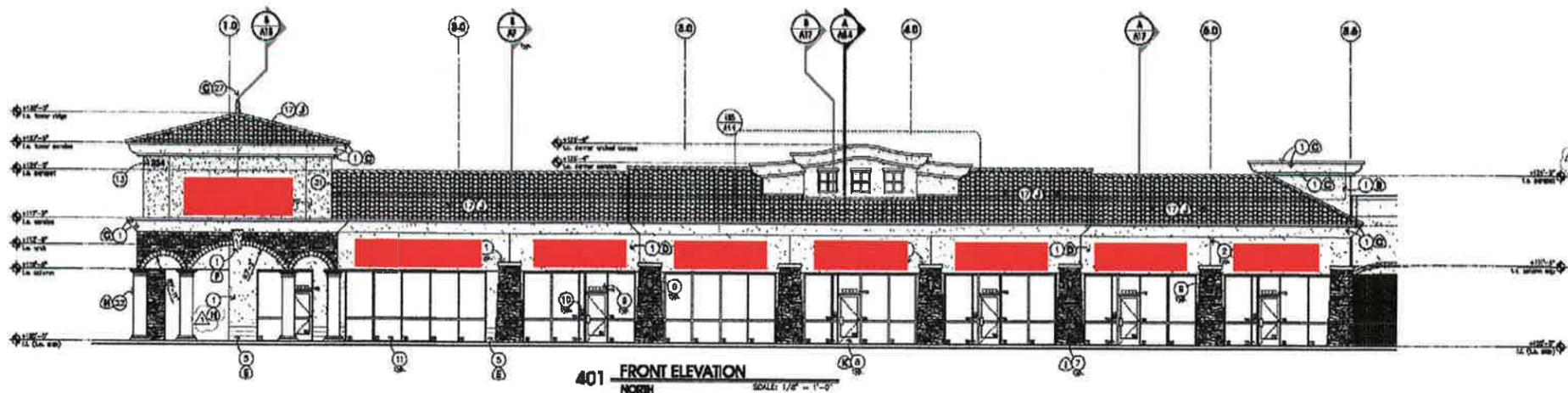
SIGN AREA	
ACE	=100.6 <sup>sq</sup>
Garden	=17.8 <sup>sq</sup>
Paul's	=22.8 <sup>sq</sup>
Hardware	=23.8 <sup>sq</sup>
<b>TOTAL SIGN AREA</b>	<b>=165<sup>sq</sup></b>

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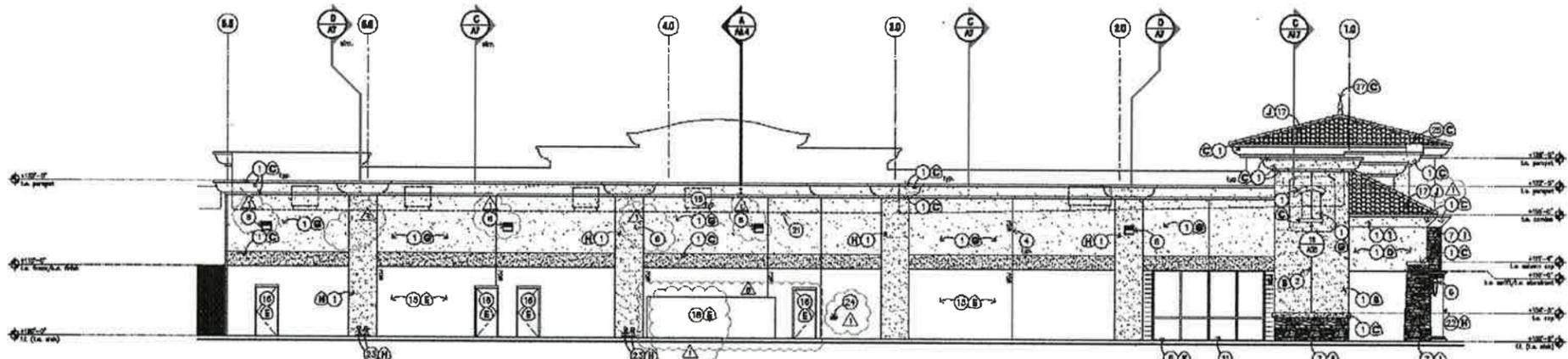


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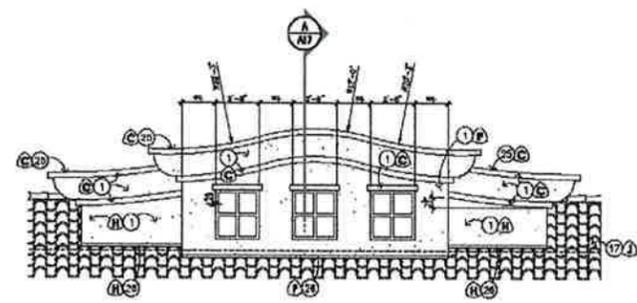
DR87-49 (2/21/06) SignADM



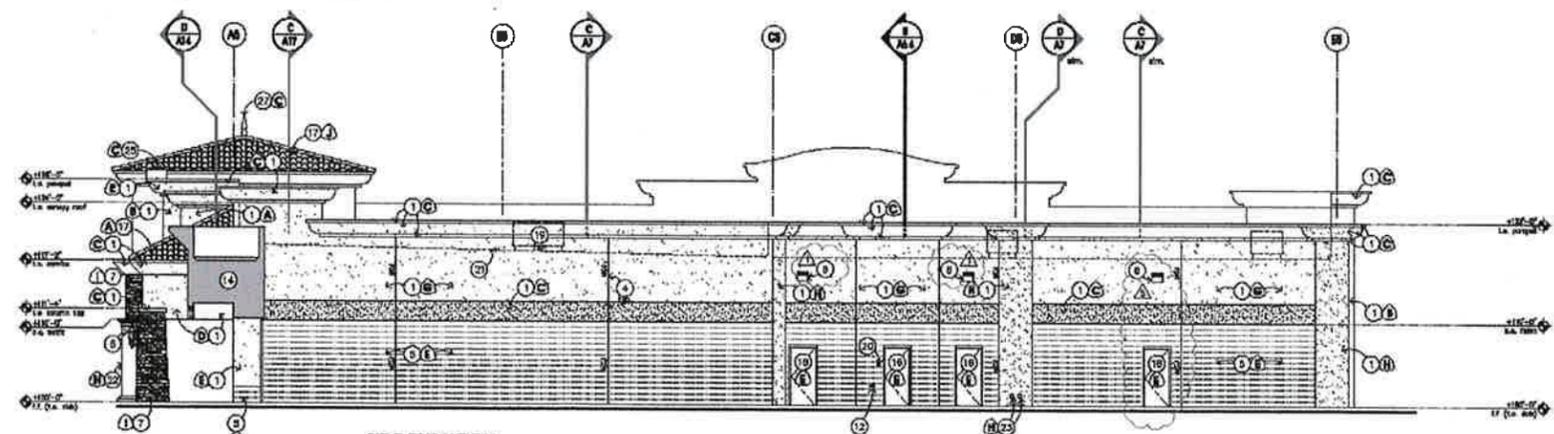
401 FRONT ELEVATION NORTH SCALE: 1/8" = 1'-0"



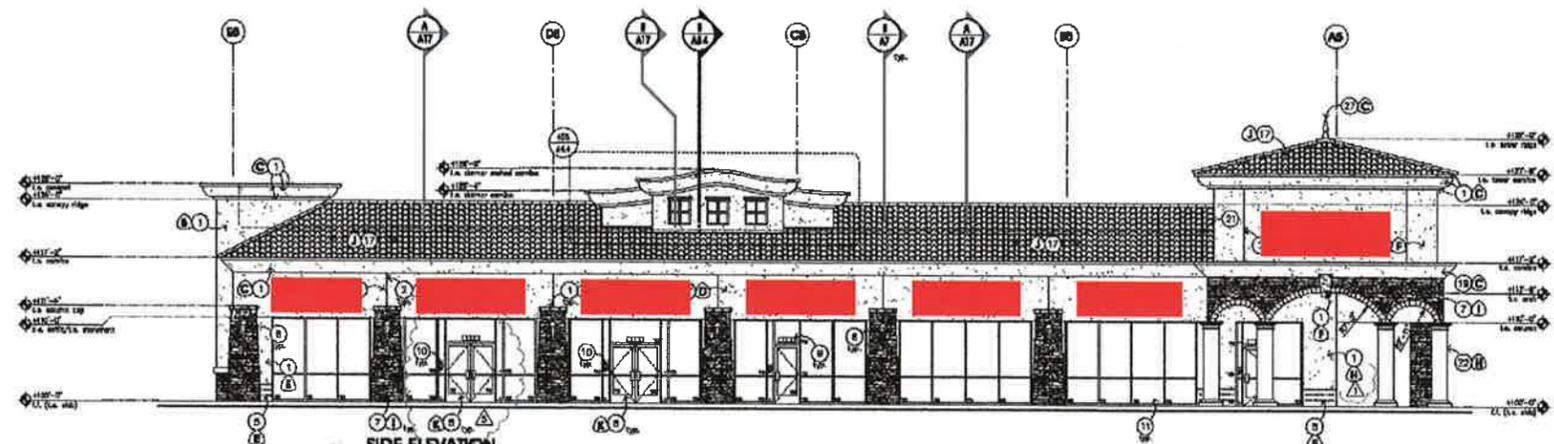
402 REAR ELEVATION SOUTH SCALE: 1/8" = 1'-0"



405 ENLARGED ELEVATION TYPICAL DORMER AT CANOPY SCALE: 1/4" = 1'-0"



403 SIDE ELEVATION WEST SCALE: 1/8" = 1'-0"



404 SIDE ELEVATION EAST SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. SEE TO VERIFY ALL DIMENSIONS WITH ARCHITECT PRIOR TO INSTALLATION OF ALL FINISHED MATERIALS.
2. EXISTING MATERIALS TO REMAIN UNLESS OTHERWISE NOTED.
3. NEW WORK AND MECHANICAL TREATMENT SHALL BE DONE FOR REPAIRS, SEE ELECTRICAL DRAWINGS FOR NEW WORK REVISIONS AND MECHANICAL TREATMENT FOR NEW WORK.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
7. SEE REVISIONS SHEET FOR CHANGES TO THIS DRAWING.

**COLOR SCHEDULE**

COLORS USED ON THIS DRAWING:

- (A) POLYURETHANE PAINT (100% SOLIDS)
- (B) POLYURETHANE PAINT (100% SOLIDS)
- (C) POLYURETHANE PAINT (100% SOLIDS)
- (D) POLYURETHANE PAINT (100% SOLIDS)
- (E) POLYURETHANE PAINT (100% SOLIDS)
- (F) POLYURETHANE PAINT (100% SOLIDS)
- (G) POLYURETHANE PAINT (100% SOLIDS)
- (H) POLYURETHANE PAINT (100% SOLIDS)
- (I) POLYURETHANE PAINT (100% SOLIDS)
- (J) POLYURETHANE PAINT (100% SOLIDS)
- (K) POLYURETHANE PAINT (100% SOLIDS)
- (L) POLYURETHANE PAINT (100% SOLIDS)
- (M) POLYURETHANE PAINT (100% SOLIDS)
- (N) POLYURETHANE PAINT (100% SOLIDS)
- (O) POLYURETHANE PAINT (100% SOLIDS)
- (P) POLYURETHANE PAINT (100% SOLIDS)
- (Q) POLYURETHANE PAINT (100% SOLIDS)
- (R) POLYURETHANE PAINT (100% SOLIDS)
- (S) POLYURETHANE PAINT (100% SOLIDS)
- (T) POLYURETHANE PAINT (100% SOLIDS)
- (U) POLYURETHANE PAINT (100% SOLIDS)
- (V) POLYURETHANE PAINT (100% SOLIDS)
- (W) POLYURETHANE PAINT (100% SOLIDS)
- (X) POLYURETHANE PAINT (100% SOLIDS)
- (Y) POLYURETHANE PAINT (100% SOLIDS)
- (Z) POLYURETHANE PAINT (100% SOLIDS)

**BOOTZ & DUKE**

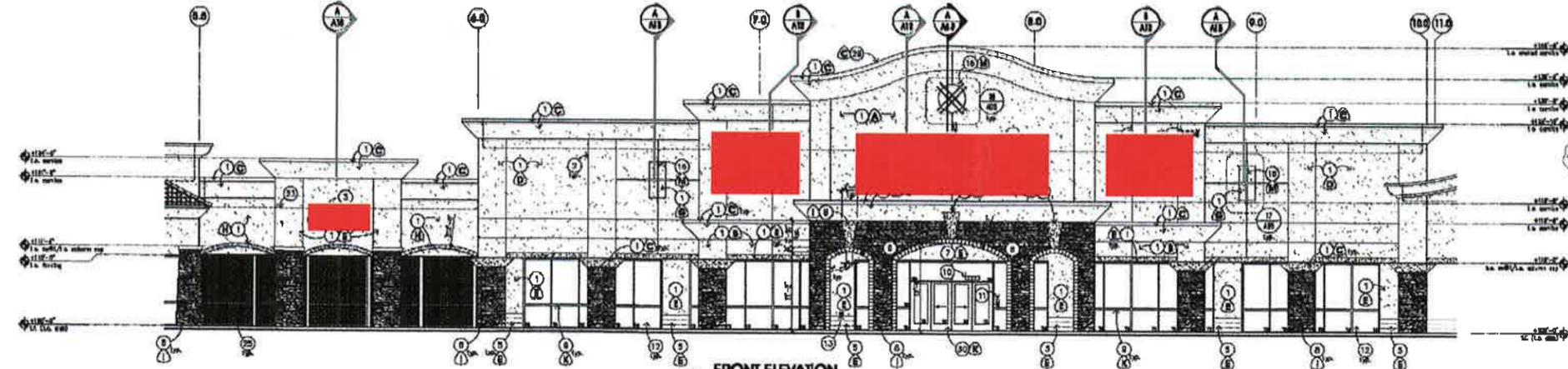
**Sigma**

ARCHITECTS

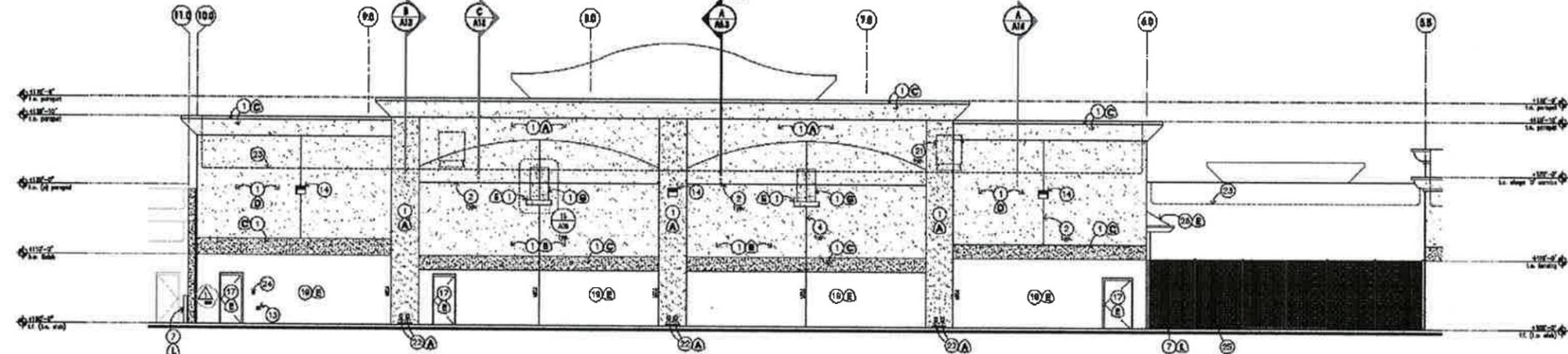
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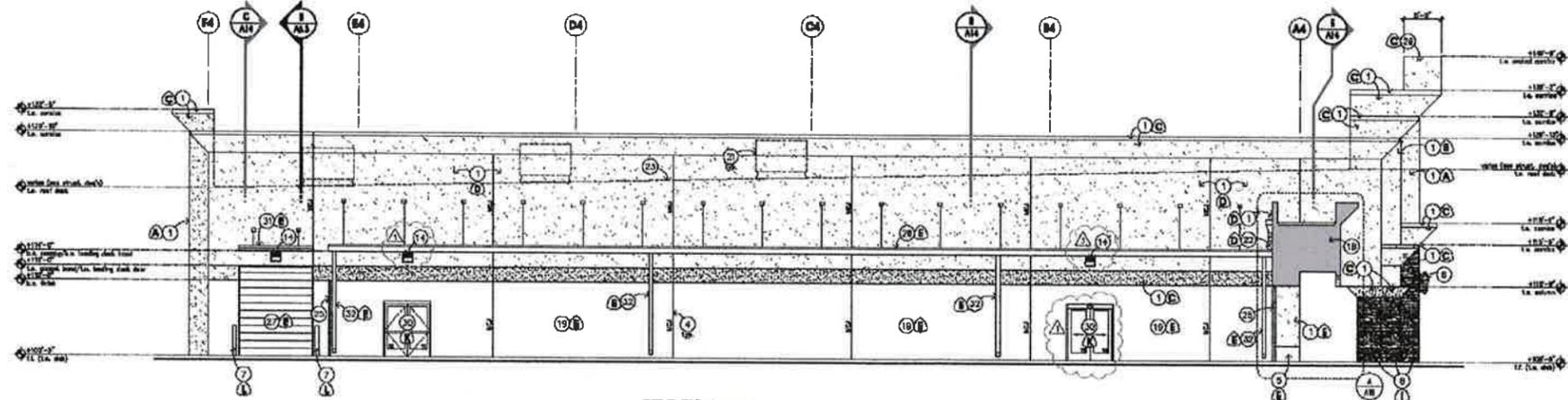
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 SALESMAN: Charlie Gilbeon  
 DESIGNER: AMoralesII  
 DESIGN #: CSP  
 DATE: 02-07-06  
 SCALE: AS NOTED  
 PAGE: \_\_\_\_\_



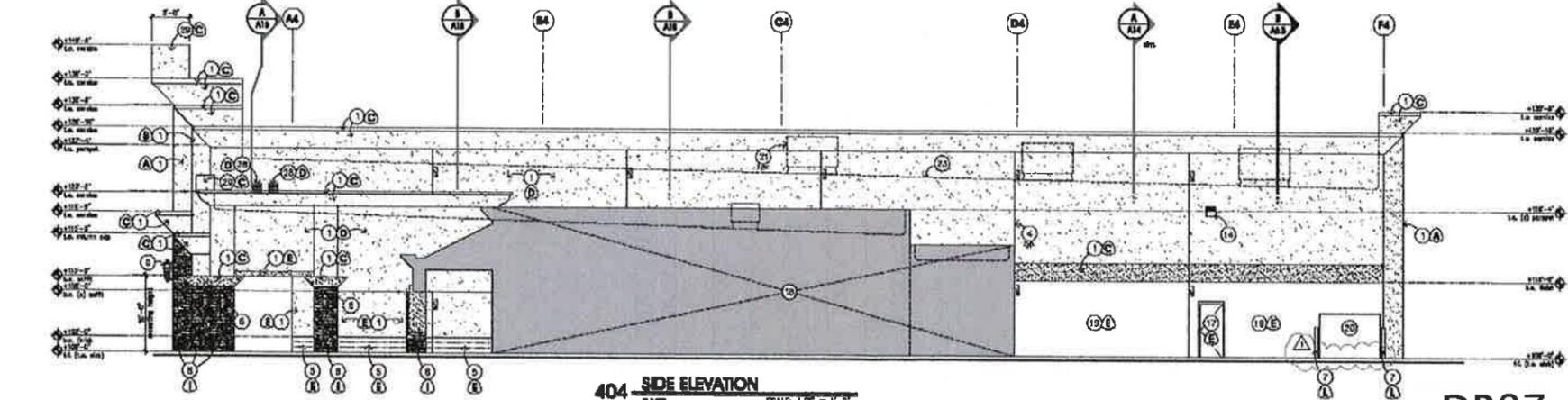
401 FRONT ELEVATION NORTH SCALE: 1/8" = 1'-0"



402 REAR ELEVATION SOUTH SCALE: 1/8" = 1'-0"



403 SIDE ELEVATION WEST SCALE: 1/8" = 1'-0"



404 SIDE ELEVATION EAST SCALE: 1/8" = 1'-0"

**GENERAL NOTE**

1. ALL TO BE BY WHITTON EXCEPT WHERE SHOWN OTHERWISE BY ALL TRADES.
2. VERIFY EXISTING CONDITIONS AND LOCATIONS BEFORE BEGINNING WORK.
3. NEW WORK AND MATERIALS SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
4. ALL WORK SHALL BE DONE WITHIN THE WALLS - PART TO MATCH EXISTING WALL, CEILING, FLOOR.
5. OFF BEARING WALL AND CARRY OVER FOR ADDITIONAL INFORMATION AND DETAILS SEE DRAWING IN EXTERIOR ELEVATIONS.
6. STAINED FLOOR AT NEW SUBSTITUTIONS AND AT EXTERIOR LOCATIONS SHALL BE SHOWN FROM TO MATCH EXISTING EXTERIOR FLOOR.
7. SEE REFERENCED DRAWING FOR EXTERIOR PAINT COLORS AND LOCATIONS.

**COLOR SCHEDULE**

COLOR CODES OF THE SCHEDULE

(A)	(1) POLYURETHANE MOISTURE RESISTANT
(B)	(2) POLYURETHANE MOISTURE RESISTANT
(C)	(3) POLYURETHANE MOISTURE RESISTANT
(D)	(4) POLYURETHANE MOISTURE RESISTANT
(E)	(5) POLYURETHANE MOISTURE RESISTANT
(F)	(6) POLYURETHANE MOISTURE RESISTANT
(G)	(7) POLYURETHANE MOISTURE RESISTANT
(H)	(8) POLYURETHANE MOISTURE RESISTANT
(I)	(9) POLYURETHANE MOISTURE RESISTANT
(J)	(10) POLYURETHANE MOISTURE RESISTANT
(K)	(11) POLYURETHANE MOISTURE RESISTANT
(L)	(12) POLYURETHANE MOISTURE RESISTANT
(M)	(13) POLYURETHANE MOISTURE RESISTANT
(N)	(14) POLYURETHANE MOISTURE RESISTANT
(O)	(15) POLYURETHANE MOISTURE RESISTANT
(P)	(16) POLYURETHANE MOISTURE RESISTANT
(Q)	(17) POLYURETHANE MOISTURE RESISTANT
(R)	(18) POLYURETHANE MOISTURE RESISTANT
(S)	(19) POLYURETHANE MOISTURE RESISTANT
(T)	(20) POLYURETHANE MOISTURE RESISTANT
(U)	(21) POLYURETHANE MOISTURE RESISTANT
(V)	(22) POLYURETHANE MOISTURE RESISTANT
(W)	(23) POLYURETHANE MOISTURE RESISTANT
(X)	(24) POLYURETHANE MOISTURE RESISTANT
(Y)	(25) POLYURETHANE MOISTURE RESISTANT
(Z)	(26) POLYURETHANE MOISTURE RESISTANT

**Signs**

**BOOTZ & DUKE**

PAINTERS

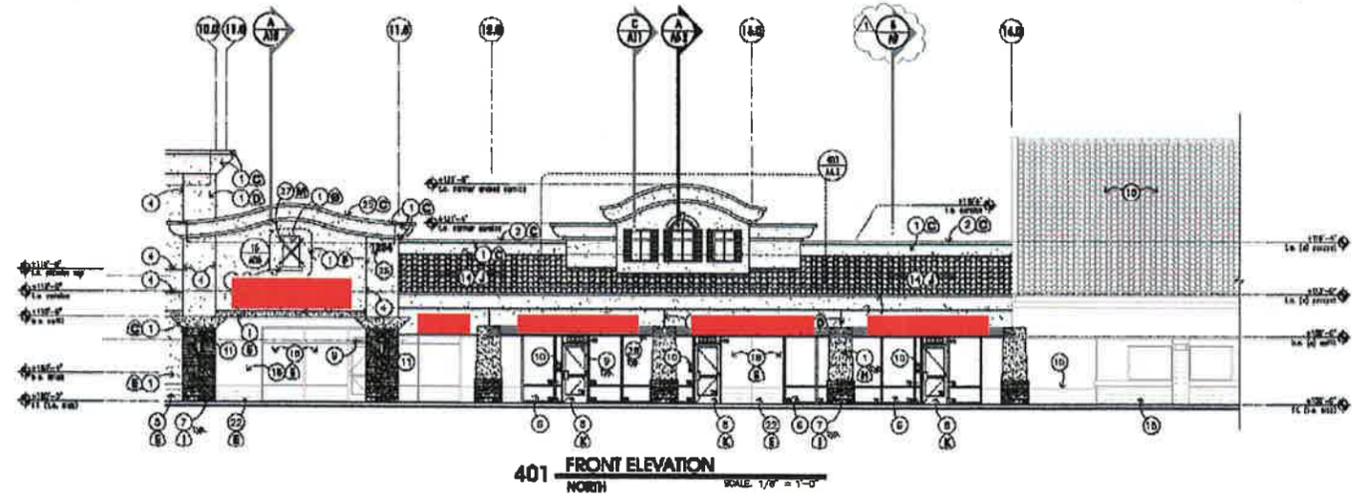
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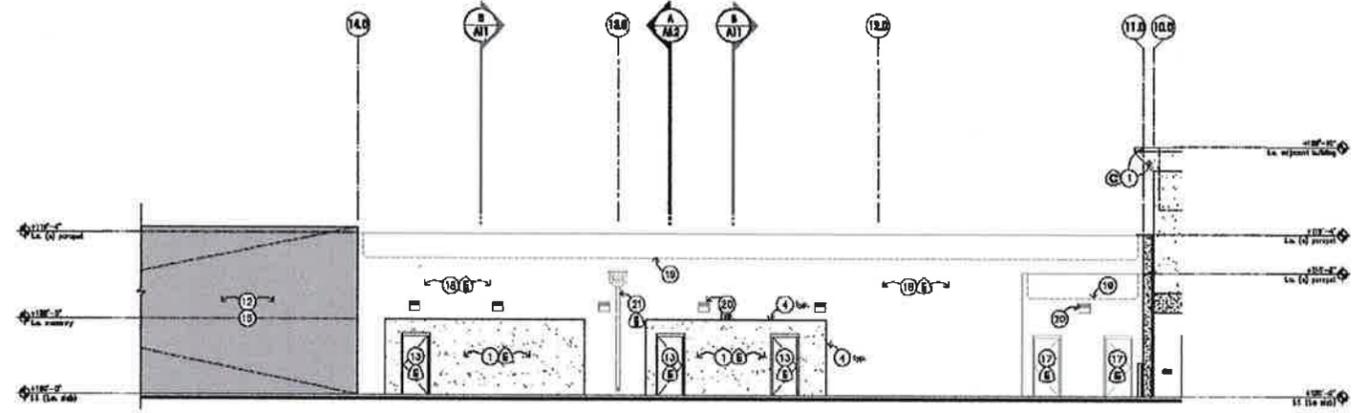
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DESIGN #: CSP

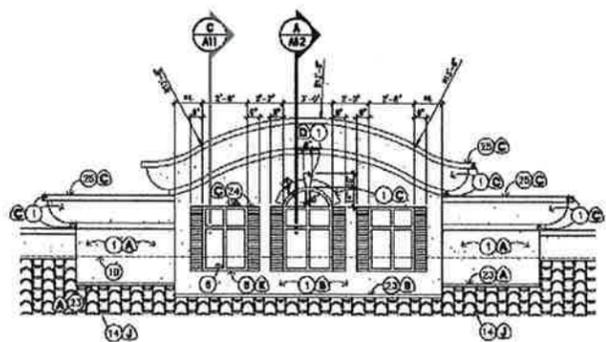
DR87-49 (2/21/06) SignADM



401 FRONT ELEVATION  
NORTH SCALE: 1/8" = 1'-0"



402 REAR ELEVATION  
SOUTH SCALE: 1/8" = 1'-0"



403 ENLARGED ELEVATION  
CANOPY DOWNER SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
1. SEE TO VERIFY EXISTING PERMITS WITH APPLICABLE FROM THE JURISDICTION OF ALL APPLICABLE AGENCIES.
  2. VERIFY EXISTING S.I.C. GENERAL CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL AND PLUMBING FOR REPAIR LOCATIONS WHERE EXISTING COORDINATE WITH EXISTING AND CHECK FOR DISCREPANCIES.
  3. ROOF EDGE AND MEDIAN, EXISTING ROOF DASHES FOR REFERENCE, SEE STRUCTURAL DRAWINGS FOR ROOF JOIST ELEVATION AND IS STRUCTURAL DRAWING FOR ROOF JOIST.
  4. SEE EXISTING / S.I.C. PERMITS, PERMITS, PIPE MANHOLE - FIRST TO MATCH EXISTING WALL, DASH.
  5. SEE BUILDING WALL AND CARRY SETBACK FOR ADDITIONAL INFORMATION AND VERIFY NOT BEING IN EXISTING CLEARANCE.
  6. TRUCKS PARK AT NEW CONSTRUCTION AND AT EXISTING CONDITIONS SHALL BE DASH FROM TO MATCH EXISTING EXISTING SITE.
  7. ALL REFLECTOR BEINGS PLUMB FOR CANOPY FRONT CORNER AND LOCATION.

- COLOR SCHEDULE**
- COLOR LIST OF THE BUILDING
- (A) POLYURETHANE WOODS (10-10) "MASTIFF WHITE"
  - (B) POLYURETHANE WOODS (10-10) "SANDSTONE 10-10"
  - (C) POLYURETHANE WOODS (10-10) "SANDSTONE 10-10"
  - (D) POLYURETHANE WOODS (10-10) "SANDSTONE 10-10"
  - (E) POLYURETHANE WOODS (10-10) "SANDSTONE 10-10"
  - (F) POLYURETHANE WOODS (10-10) "SANDSTONE 10-10"
  - (G) POLYURETHANE WOODS (10-10) "SANDSTONE 10-10"
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  - (K) POLYURETHANE WOODS (10-10) "SANDSTONE 10-10"
  - (L) POLYURETHANE WOODS (10-10) "SANDSTONE 10-10"
  - (M) POLYURETHANE WOODS (10-10) "SANDSTONE 10-10"

**BOOTZ & DUKE**

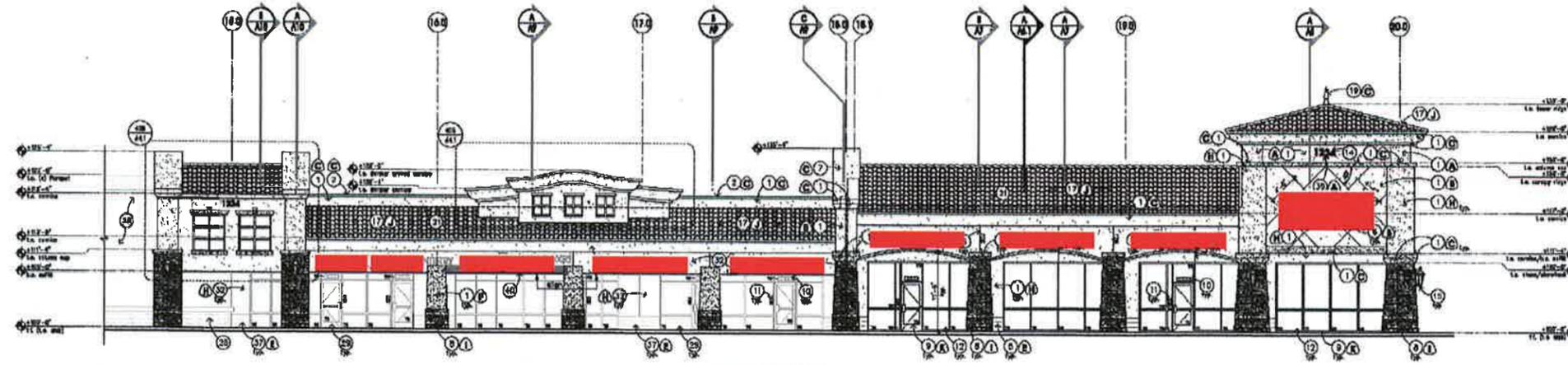
**Sigma**

SINCE 1963

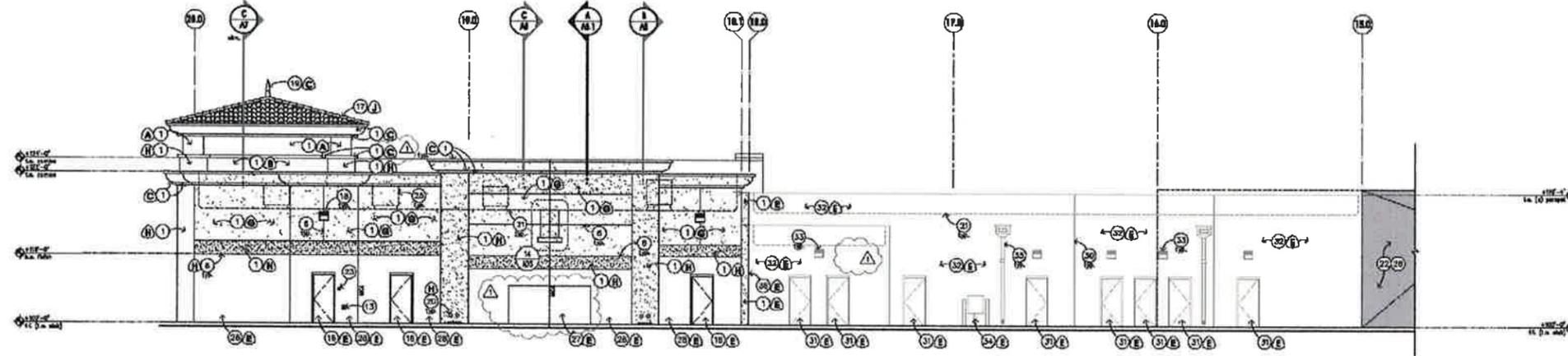
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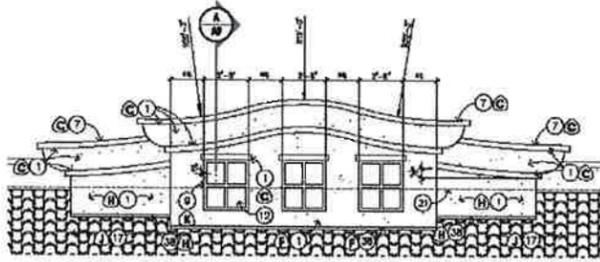
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SALESMAN: Charlie Gibbon	
DESIGNER: AMoralesl	DESIGN #: CSP
DATE: 02-07-06	SCALE: AS NOTED
	PAGE:



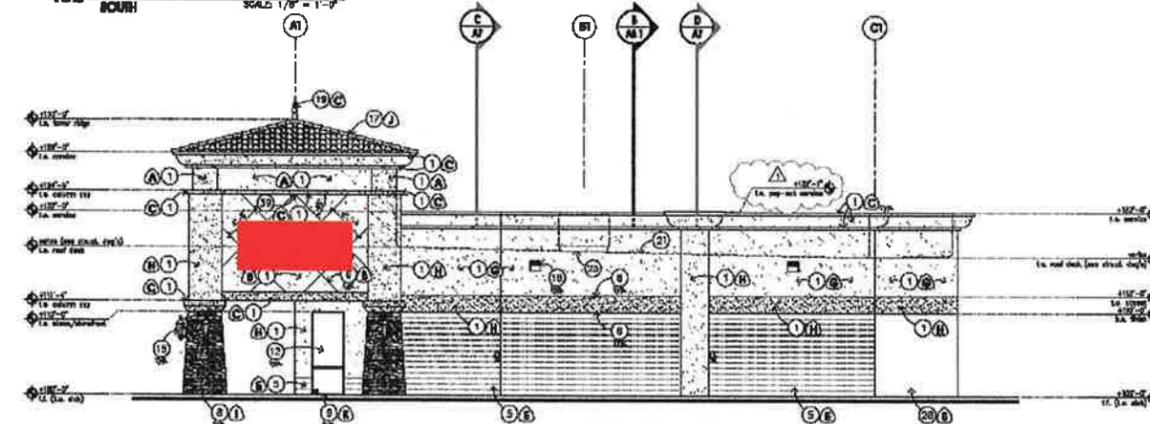
401 FRONT ELEVATION NORTH SCALE: 1/8" = 1'-0"



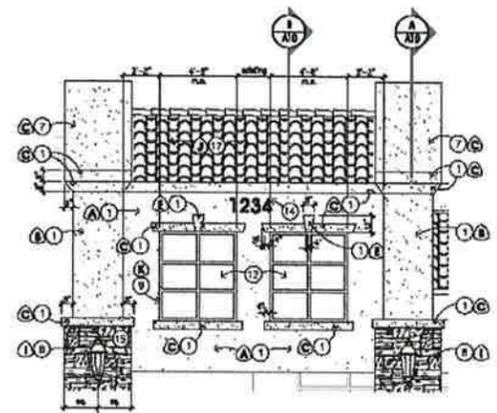
402 REAR ELEVATION NORTH SCALE: 1/8" = 1'-0"



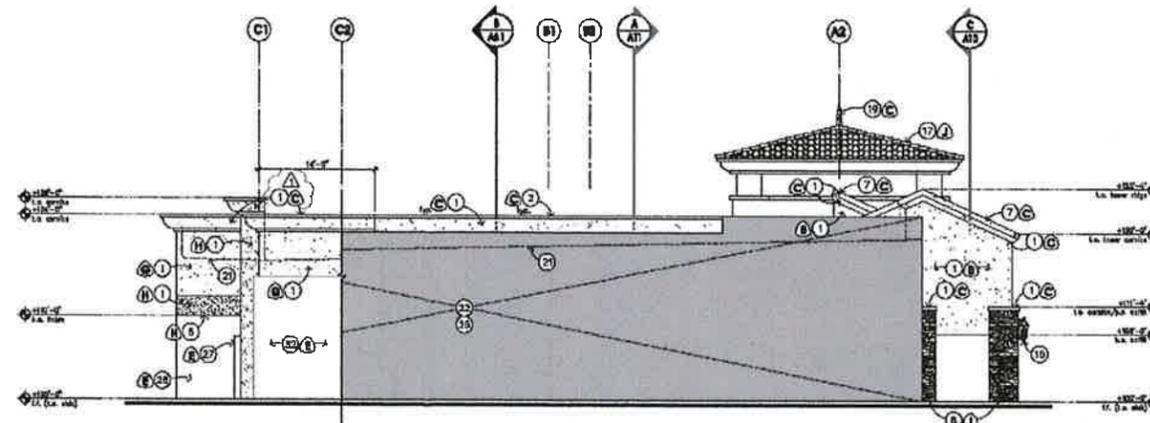
405 ENLARGED CANOPY FEATURE SCALE: 1/4" = 1'-0"



403 SIDE ELEVATION WEST SCALE: 1/8" = 1'-0"



406 ENLARGED TOWER FEATURE SCALE: 1/4" = 1'-0"



404 SIDE ELEVATION EAST SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
1. SEE TO VERIFY EXISTING HEIGHT WITH ADJACENT PROJECTIONS OF ALL FORMER LIGHTS.
  2. VERIFY EXISTING ROOF, EXISTING OPERATIONS SHALL REMAIN ELECTRICAL AND MECHANICAL FOR SERVICE LOCATIONS WITHIN EXISTING ROOF SPACE AND SHOWN FOR RELOCATION.
  3. ADDITIONAL MECHANICAL EQUIPMENT SHALL BE SHOWN FOR RELOCATION, SEE MECHANICAL SCHEDULE FOR ROOF WORK CLEARANCE AND MECHANICAL ROOMS FOR ROOF OF EXISTING.
  4. ALL ROOF / ALL ROOF, DOWN SPOUTS PIPE SAUC - FANT 1 WITH DOWNSPUT WALL TANKS.
  5. SEE BUILDING WILL AND CHECK VENTILATION FOR ADDITIONAL OPERATIONS AND HEIGHTS NOT SHOWN IN EXISTING LOCATION.
  6. VERIFY FRONT AT NEW OPERATIONS END AT CORNER OPERATIONS SHALL BE SHOWN FROM TO NEW EXISTING EXTERIOR SIDE.
  7. SEE EXISTING SIGNAGE PLANS FOR EXISTING SIGNAGE AND LOCATION.

- COLOR SCHEDULE**
- DESIGN USE OR THE DRAWING
- (A) (1) MEDIUM WOOD GRAIN - 2010-08 "WOODEN WOOD"
  - (A) (2) MEDIUM WOOD GRAIN - 2010-08 "WOODEN WOOD"
  - (A) (3) MEDIUM WOOD GRAIN - 2010-08 "WOODEN WOOD"
  - (A) (4) MEDIUM WOOD GRAIN - 2010-08 "WOODEN WOOD"
  - (A) (5) MEDIUM WOOD GRAIN - 2010-08 "WOODEN WOOD"
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**BOOTZ & DUKE**

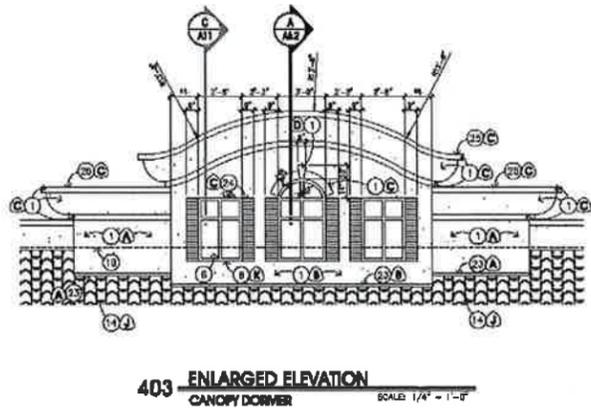
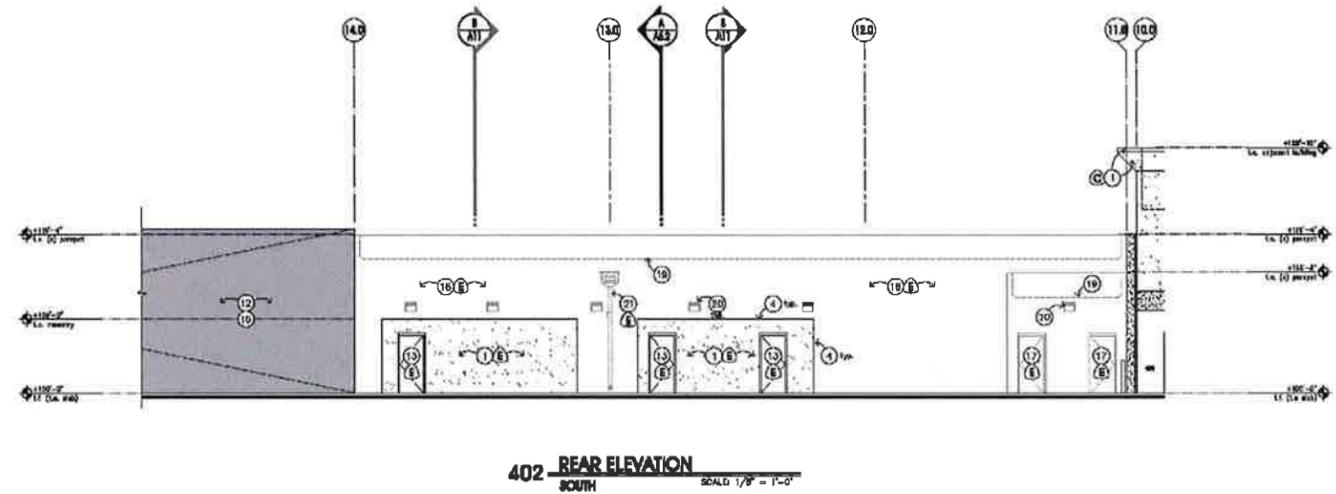
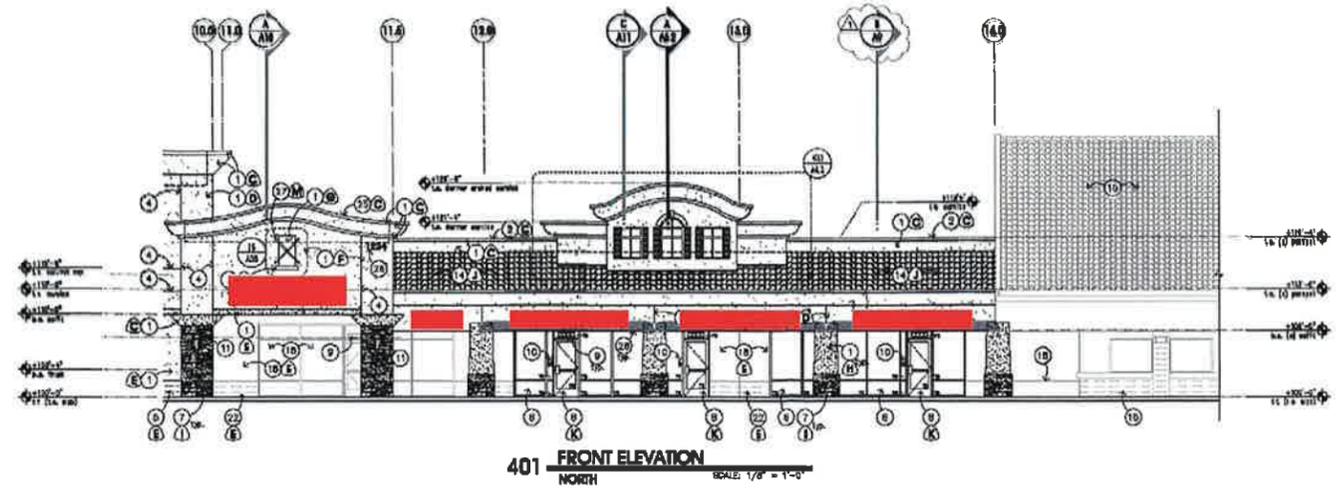
**Since 1913**

ADDRESS: 4028 W. WHITTON PKY, AZ 85019  
 PHONE: (602) 272-9356  
 FAX: (602) 272-4608  
 E-MAIL: www.bootzandduke.com

CLIENT: CTW Township Plaza, L.L.C.  
 ADDRESS: CTW Township - 1845 E. Baseline Rd., Gilbert, AZ  
 SALESMAN: Charlie Gibbon  
 DESIGNER: AMorales  
 DESIGN #: CSP  
 DATE: 02-07-06 SCALE: AS NOTED PAGE:

DR87-49 (2/21/06) SignADM





- GENERAL NOTES**
1. C.C. TO VERIFY AVAILABILITY WITH ARCHITECT FROM TO INSTALLATION OF ALL FIXTURES LISTED.
  2. EXISTING WORK IS TO BE PROTECTED FROM DAMAGE TO ELECTRICAL AND PLUMBING FOR WORK LOCATIONS WHERE WORK IS TO BE PERFORMED.
  3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES FOR MECHANICAL, ELECTRICAL AND PLUMBING (IMC, EBC, AND IPC).
  4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES FOR MECHANICAL, ELECTRICAL AND PLUMBING (IMC, EBC, AND IPC).
  5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES FOR MECHANICAL, ELECTRICAL AND PLUMBING (IMC, EBC, AND IPC).
  6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES FOR MECHANICAL, ELECTRICAL AND PLUMBING (IMC, EBC, AND IPC).
  7. SEE REFLECTED FINISH SCHEDULE FOR FINISH SCHEDULE AND LOCATIONS.

- COLOR SCHEDULE**
- COLORS LISTED ON THIS BUILDING
- (A) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (B) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (C) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (D) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (E) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (F) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (G) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (H) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (I) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (J) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (K) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (L) BENTONITE MOORE #214-40 "BENTONITE MOORE"
  - (M) BENTONITE MOORE #214-40 "BENTONITE MOORE"

**BOOTZ & DUKE**

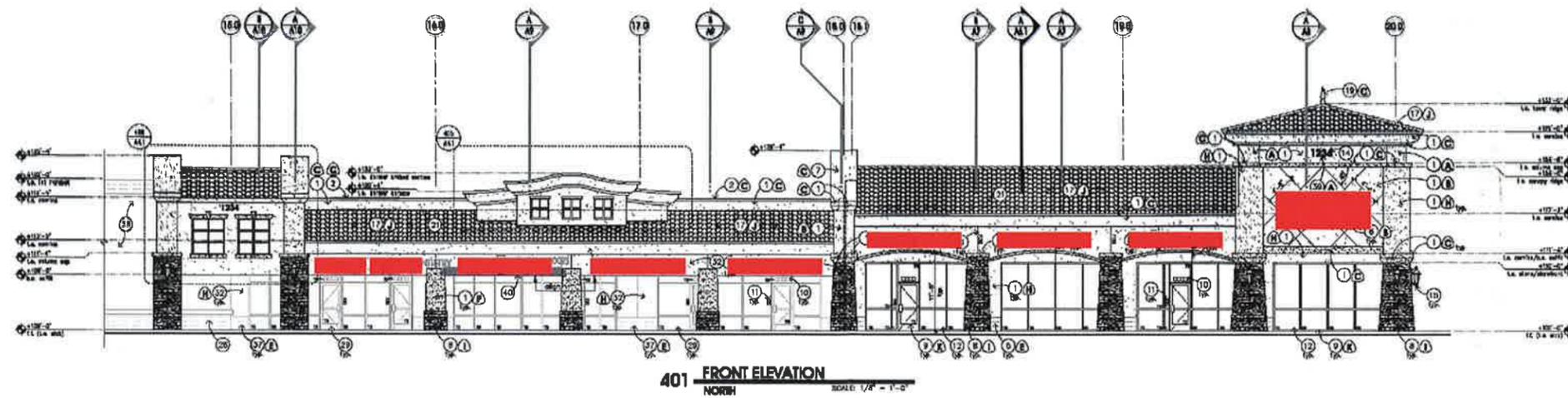
**BOOTZ**

Since 1964

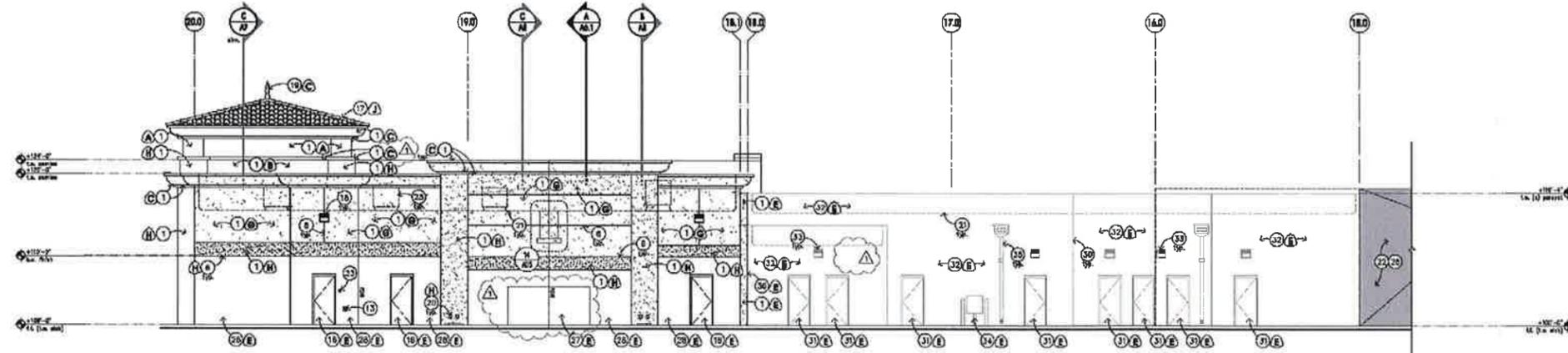
ADDRESS: 4028 W. WHITTON PKY, AZ. 85019  
 PHONE: (602) 272-9356  
 FAX: (602) 272-4608  
 E-MAIL: www.bootzandduke.com

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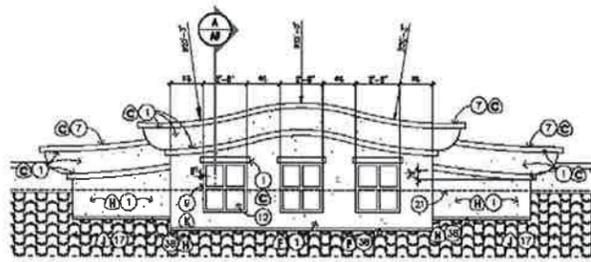
CLIENT: CTW Township Plaza, L.L.C.	REVISIONS:
ADDRESS: CTW Township - 1845 E. Baseline Rd.-Gilbert, AZ	
SALESMAN: Charlie Gibson	
DESIGNER: AMoralesII	DESIGN #: CSP
DATE: 02-07-06	SCALE: AS NOTED PAGE:



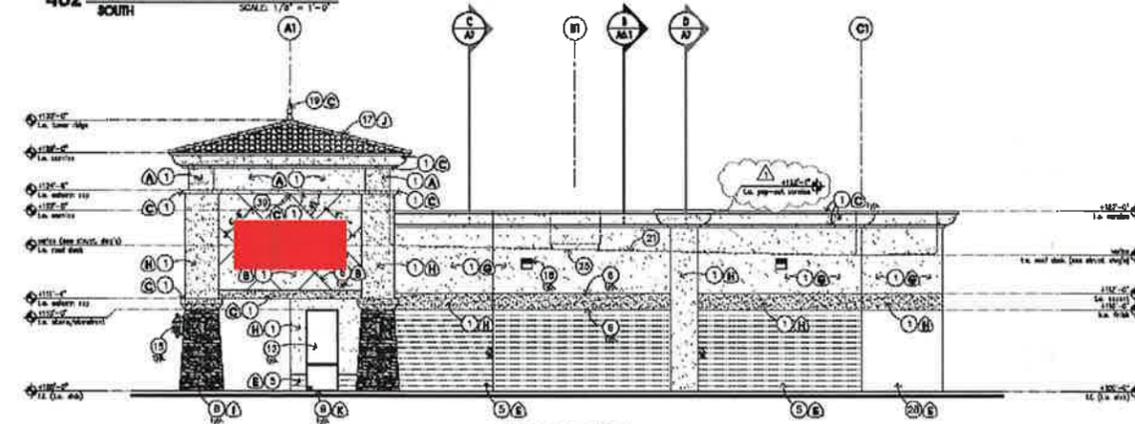
401 FRONT ELEVATION NORTH SCALE: 1/4" = 1'-0"



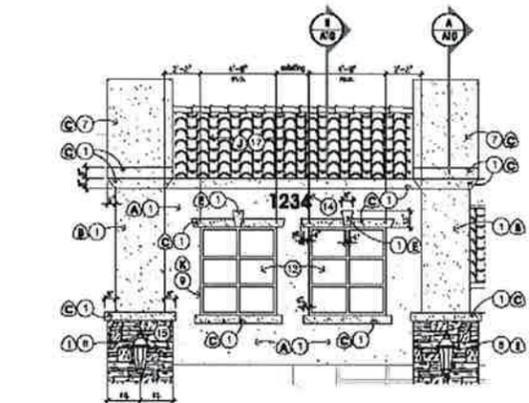
402 REAR ELEVATION SOUTH SCALE: 1/8" = 1'-0"



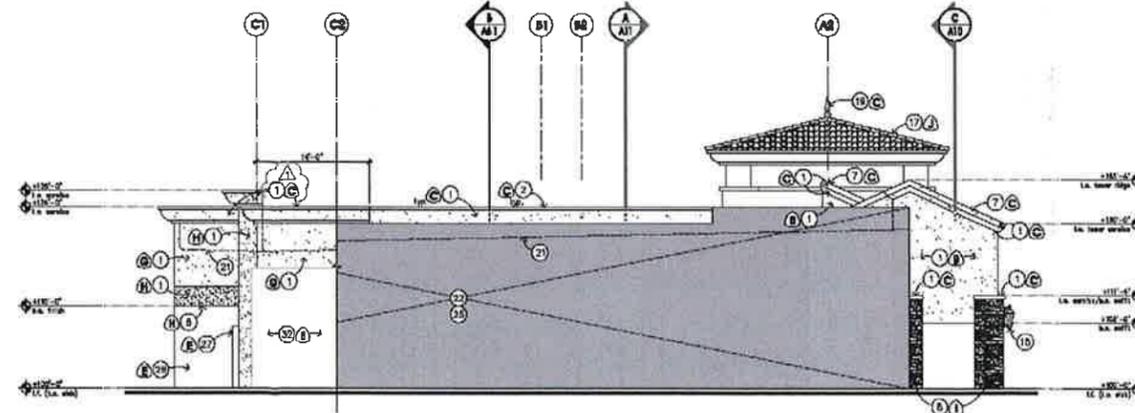
405 ENLARGED CANOPY FEATURE SCALE: 1/4" = 1'-0"



403 SIDE ELEVATION WEST SCALE: 1/8" = 1'-0"



406 ENLARGED TOWER FEATURE SCALE: 1/4" = 1'-0"



404 SIDE ELEVATION EAST SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. SEE TO VERIFY EXISTING MAINT AND ADDRESS FROM TO INTERIOR OF ALL EXISTING LIGHTING.
2. VERIFY EXISTING & NEW EXISTING EXTERIOR WALL, ROOF, ELECTRICAL, AND PLUMBING FOR EXISTING LOCATIONS. VERIFY EXISTING WITH EXISTING AND CHECK FOR HOLDINGS.
3. A ROOF EDGE AND ROOFING EQUIPMENT SHALL BE CHECKED FOR SUPPORTS. SEE STRUCTURAL DRAWINGS FOR ROOF EDGE PLANTER AND ROOFING EQUIPMENT FOR ROOF TOP EQUIPMENT.
4. ALL ROOF & ALL ROOFING EQUIPMENT SHALL BE PART I MAINT EXISTING ONLY.
5. SEE BUILDING MAINT AND CHECK RECORDS FOR ADDITIONAL INFORMATION AND VERIFY NOT WORK ON EXISTING EXTERIOR.
6. VERIFY FROM ALL EXISTING MAINT AND VERIFY FROM EXISTING CONDITIONS SHALL BE SHOWN FIRST TO MATCH EXISTING EXTERIOR.
7. SEE REFERENCED DRAWING PLANS FOR CHARTER PAINT COLORS AND LOCATIONS.

COLOR SCHEDULE

- COLORS LISTED ON THIS BUILDING
- (A) BROWN WOOD GRAIN - "AMBER WAVES"
  - (B) BROWN WOOD GRAIN - "COUNTRY CLUB"
  - (C) BROWN WOOD GRAIN - "SUNNY STONE"
  - (D) BROWN WOOD GRAIN - "SUNNY STONE"
  - (E) BROWN WOOD GRAIN - "SUNNY STONE"
  - (F) BROWN WOOD GRAIN - "SUNNY STONE"
  - (G) BROWN WOOD GRAIN - "SUNNY STONE"
  - (H) BROWN WOOD GRAIN - "SUNNY STONE"
  - (I) BROWN WOOD GRAIN - "SUNNY STONE"
  - (J) BROWN WOOD GRAIN - "SUNNY STONE"
  - (K) BROWN WOOD GRAIN - "SUNNY STONE"
  - (L) BROWN WOOD GRAIN - "SUNNY STONE"
  - (M) BROWN WOOD GRAIN - "SUNNY STONE"
  - (N) BROWN WOOD GRAIN - "SUNNY STONE"

**Signs**

**BOOTZ & DUKE**

SINCE 1966

ADDRESS: 4028 W. WHITTON PKY, AZ, 85019  
 PHONE: (602) 272-9356  
 FAX: (602) 272-4608  
 E-MAIL: [www.bootzandduke.com](http://www.bootzandduke.com)

CLIENT: CTW Township Plaza, L.L.C.  
 ADDRESS: CTW Township - 1845 E. Baseline Rd.-Gilbert, AZ  
 SALESMAN: Charlie Gibson  
 DESIGNER: AMorales  
 DATE: 02-07-06  
 SCALE: AS NOTED  
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*Signs*

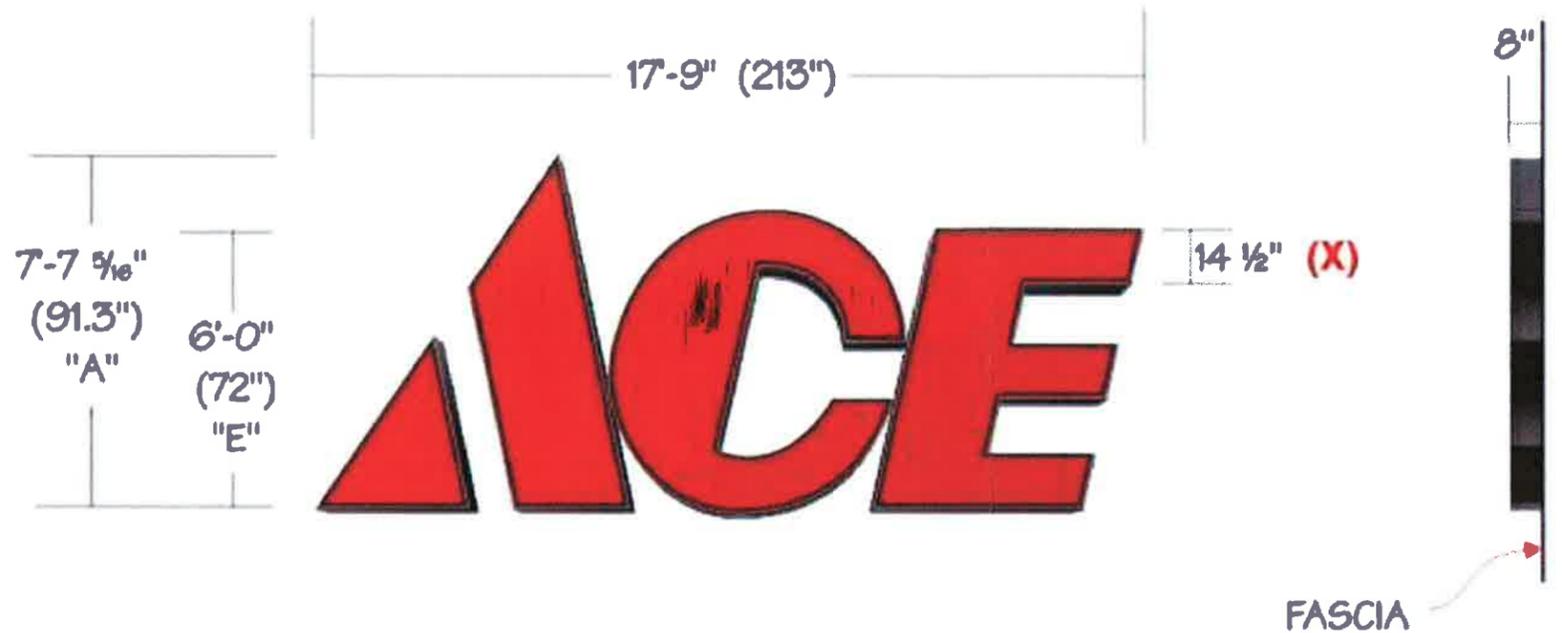
CUSTOMER:	Ace Hardware	ADDRESS:	4028 W. Whitton Ave. - Phoenix, AZ - 85019
ADDRESS:	CTW Township	WEBSITE:	www.bootzandduke.com
SALESMAN:	Charlie Gibson	PHONE #:	(602) 272-9356
DESIGNER:	AVMorales II	FAX #:	(602) 272-4608
DESIGN #:	CSP	REVISION:	[0]~ Date
		DATE:	February 6, 2006
		PAGE #:	1 of 1

**A** FABRICATE ONE (1) INTERNALLY ILLUMINATED LETTER SET  
SCALE: 1/4"=1'

**72/ACE/BR/RF/BT/LED/FM**

**ACE - ILLUMINATED CHANNEL LETTER LOGO**

- RETURNS -
  - ALUMINUM CONSTRUCTION 8" RETURNS, 080 ALUMINUM WITH .125 BACKS.
  - PRIMED AND PAINTED M.A.P. (MATTHEWS ACRYLIC POLYURETHANE) SATIN BLACK.
- FACES -
  - 3/16" RED ACRYLIC #2682 - • 1" RETAINERS.
- ILLUMINATION -
  - RED L.E.D. ENGINE LIGHT SOURCE.
- INSTALLATION -
  - FLUSH MOUNTED TO FASCIA USING REMOTE TRANSFORMERS - ACCESS REQUIRED.



**B** FABRICATE ONE (1) EACH, HALO ILLUMINATED LETTER SETS  
SCALE: 1/4"=1'

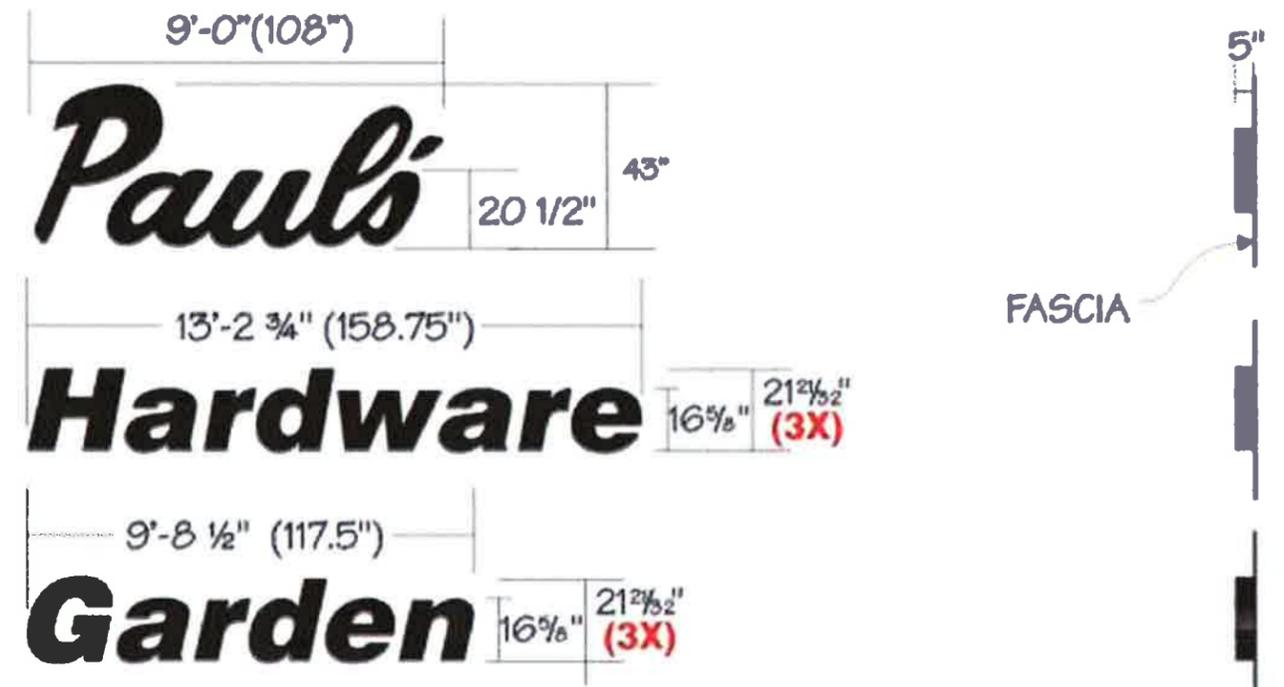
**36/Paul's-LIN-H/BFR/WN/CM**

**36/HDWR-LIN-H/BFR/WN/CM**

**36/Garden Center-LIN-H/BFR/WN/CM**

**Paul's - Hardware - Garden - ILLUMINATED REVERSE CHANNEL LETTERS**

- RETURNS -
  - ALUMINUM CONSTRUCTION 3" RETURNS, 085 ALUMINUM WITH .080 FACES.
  - PRIMED AND PAINTED M.A.P. (MATTHEWS ACRYLIC POLYURETHANE) SATIN BLACK.
- ILLUMINATION -
  - 15MM 6500 WHITE NEON LIGHT SOURCE - HALO ILLUMINATION.
- INSTALLATION -
  - CLIP MOUNTED 3/4" OFF SURFACE OF FASCIA USING REMOTE TRANSFORMERS - ACCESS REQUIRED.



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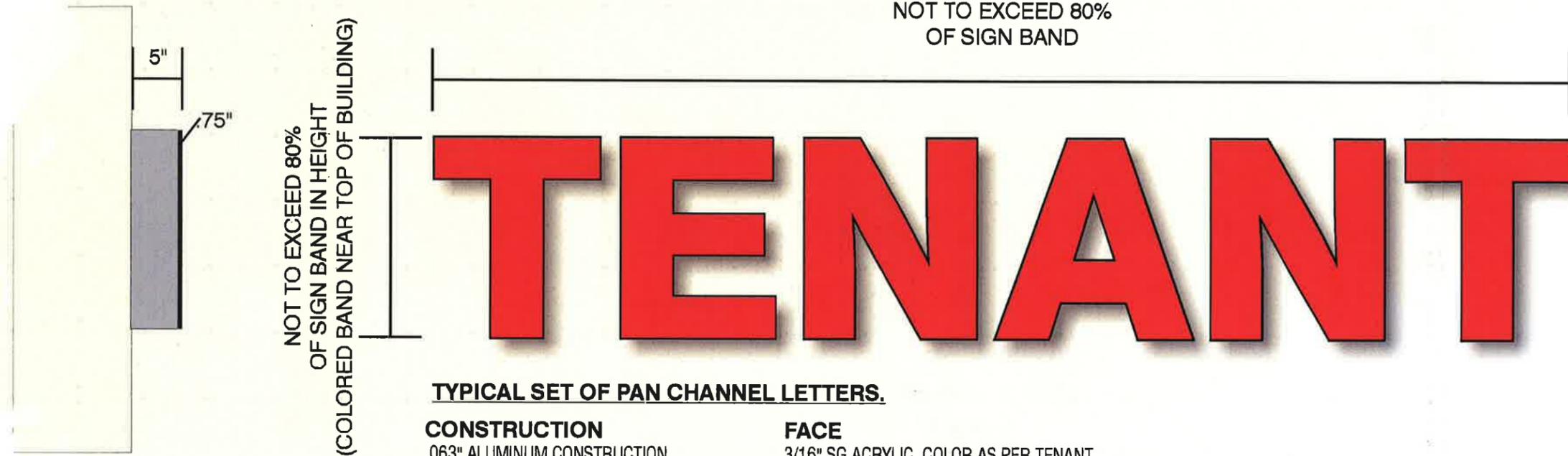


**Signs**

CUSTOMER:	Ace Hardware	ADDRESS:	4028 W. Whitton Ave. - Phoenix, AZ - 85019
ADDRESS:	CTW Township	WEBSITE:	www.bootzandduke.com
SALESMAN:	Charlie Gibson	PHONE #:	(602) 272-9356
DESIGNER:	AVMorales II	FAX #:	(602) 272-4608
DESIGN #:	CSP	REVISION:	[0]~ Date
DATE:	February 6, 2006	PAGE #:	1 of 1

## IN LINE SUITES

NOT TO EXCEED 80%  
OF SIGN BAND



NOT TO EXCEED 80%  
OF SIGN BAND IN HEIGHT  
(COLORED BAND NEAR TOP OF BUILDING)

### TYPICAL SET OF PAN CHANNEL LETTERS.

#### **CONSTRUCTION**

.063" ALUMINUM CONSTRUCTION.  
5" DEEP RETURNS, .040" CLC, COLOR AS PER  
TENANT.  
3/4" TRIM CAP, COLOR AS PER TENANT.

#### **MOUNTING**

MOUNT FLUSH TO WALL.

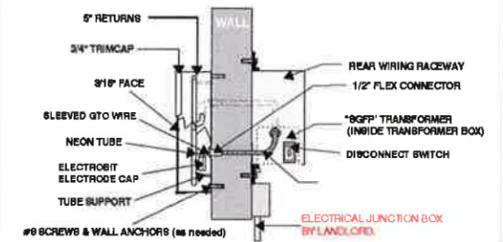
#### **FACE**

3/16" SG ACRYLIC, COLOR AS PER TENANT.

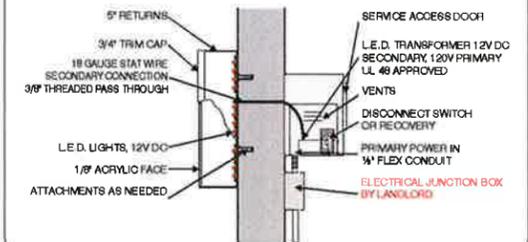
#### **ILLUMINATION**

PERMLITE OR GEL-COR L.E.D.'S, SINGLE OR DOUBLE STROKE.  
1 STROKE PER 4"  
WITH REMOTE TRANSFORMER(S) OR  
SINGLE OR DOUBLE STROKE NEON TUBING (1 STROKE PER 4")  
WITH ELECTRO-BIT BOOTS AS CONNECTORS AND  
REMOTE TRANSFORMER(S) AS NEEDED.

#### **NEON ILLUMINATED PAN CHANNEL LETTERS**



#### **L.E.D. ILLUMINATED PAN CHANNEL LETTERS**





SIGN AREA	
ACE	= 100.6°
Garden	= 17.8°
Paul's	= 22.8°
Hardware	= 23.8°
<b>TOTAL SIGN AREA</b>	<b>= 165°</b>

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*Signs*

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ADDRESS:	CTW Township	WEBSITE:	www.bootzandduke.com
SALESMAN:	Charlie Gibson	PHONE #:	(602) 272-9356
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DESIGN #:	CSP	REVISION:	[0] ~ Date
DATE:	February 6, 2006	PAGE #:	1 of 1