



NOTICE OF ADMINISTRATIVE DECISION

February 14, 2017

Bleier Industries, LTD.
Paul Bleier
9650 West Roosevelt Street
Tolleson, Arizona 85353

RE: DA17-01 (DR04-61-A) San Tan Motorplex Master Sign Plan Amendment.

Dear Mr. Bleier,

Staff has reviewed the revised drawings received for Administrative Design Review regarding the amendment to the San Tan Motorplex Master Sign Plan, more specifically, "Spectrum" Monument Feature (ST 8) and Secondary Entry Monument (ST3). Staff has made the following findings:

- The project is consistent with the Land Development Code (LDC) and applicable guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:

1. Amendment to the existing freestanding monument signage (ST 8) on the corner of Val Vista Drive and Pecos Road; additional new signage will consist of 15 internally illuminated pan change identification letters that are base mounted to curve raceway behind CMU/ledgestone wall. Each letter measures 1' in height by 7" wide and painted 7328 White Acrylic and PMS 7567C for the paint letter returns.
2. Amendment to the existing freestanding monument signage (ST 8) on the corner of Val Vista Drive and Pecos Road; additional new signage will also consist of 7 internally illuminated cabinets with white acrylic push-thru identification and attached to ledgestone. Cabinets will be painted to match ledgestone wall and each letter measures ¾" in height by 11" wide and painted 7328 White Acrylic and PMS 7567C for the paint letter returns.
3. Amendment for two gateway freestanding monument signs (ST 3) on the SWC of Pecos Road and Val Vista Drive. Existing walls to be refurbished with new fabricated sign element. Signage element includes curved wall structure with stucco finish to match existing walls, reverse pan-channel prismatic logo element and reverse channel letters, illuminated by LED ground fixtures.

Gateway freestanding monument sign elements measure 10' 6" in height by 3' wide and painted 7328 White Acrylic and PMS 7614C for the paint letter returns.

If you have any questions regarding the above, please contact me at (480) 503-6745 or Gilbert.Olgin@gilbertaz.gov.

Respectfully,

Gilbert Olgin
Planner II

Attachments:

- *San Tan Motorplex Master Sign Plan Amendment DA17-01 (DR04-61-A) approved drawings dated 2/14/2017.*

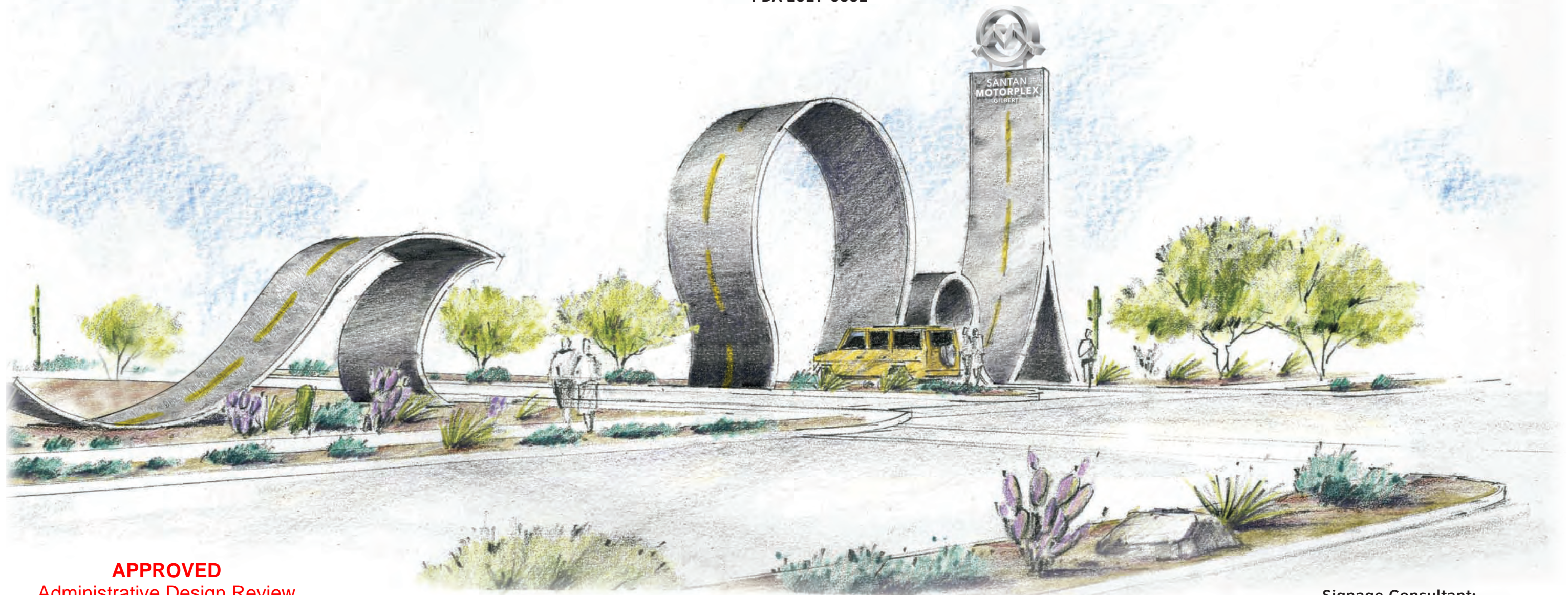
MASTER SIGN PLAN

CELEBRATION OF THE ROADWAY

Amendment to Master Sign Program (DR 04-61)

February, 2017 V2.0

PDA 2017-0001



APPROVED

Administrative Design Review

Case # PDA-2017-00001

Date 2/14/2017



SANTAN
MOTORPLEX

Signage Consultant:

bleier
INDUSTRIES

9650 WEST ROOSEVELT STREET
TOLLESON, ARIZONA 85353
602-944-3117
FAX 602-395-0753
SALES@BLEIERINDUSTRIES.COM



○ Corner Feature Signage Rendering
 Scale: NTS

APPROVED

Administrative Design Review

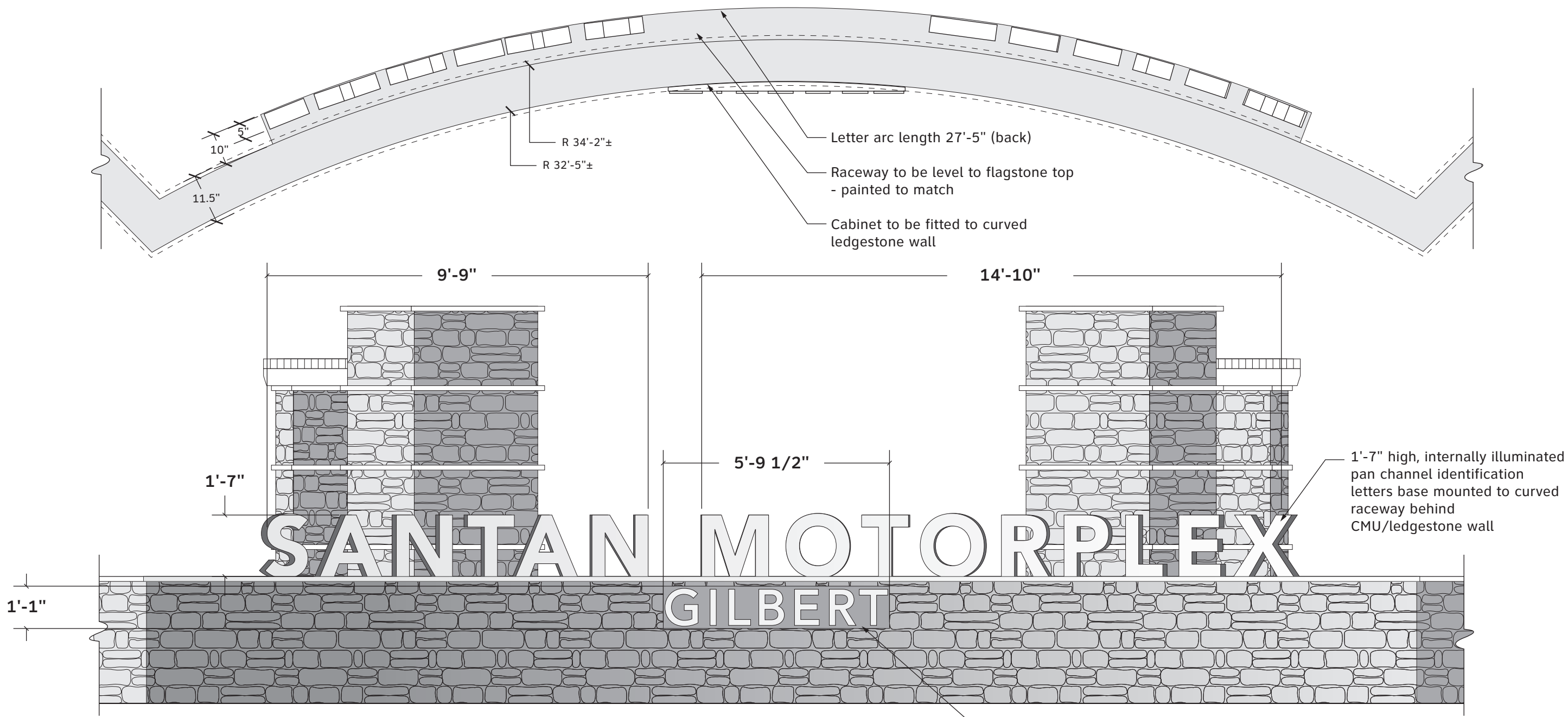
Case # PDA-2017-00001

Date 2/14/2017

bleier
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 TOLLESON, ARIZONA 85353
 602-944-3117
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 SALES@BLEIERINDUSTRIES.COM

PROJECT:	DATE:	REVISIONS:
SanTan Motorplex SWC of Val Vista Dr & Pecos Road Gilbert, AZ	01/04/17	1st Review Edit 02/01/17
TITLE: Corner Feature Signage	SHEET No: 1	
DESIGNER: GED	SALES: Paul Bleier	© 2016, BLEIER INDUSTRIES, LTD. This drawing and the ideas expressed herein, remain the confidential property of Bleier Industries, Ltd. This drawing and the ideas contained in it are not to be reproduced, copied or disclosed to any other person or entity without the express written permission of an officer of Bleier Industries, Ltd.
DESIGN No: 2016-J-031	SCALE: AS NOTED	



Elevation View

○ Corner Feature Signage
Scale: 3/8" = 1'-0"

SIGN AREA COMPUTATION:

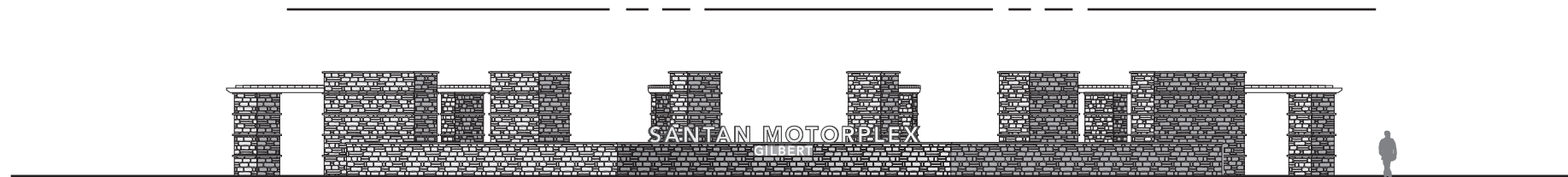
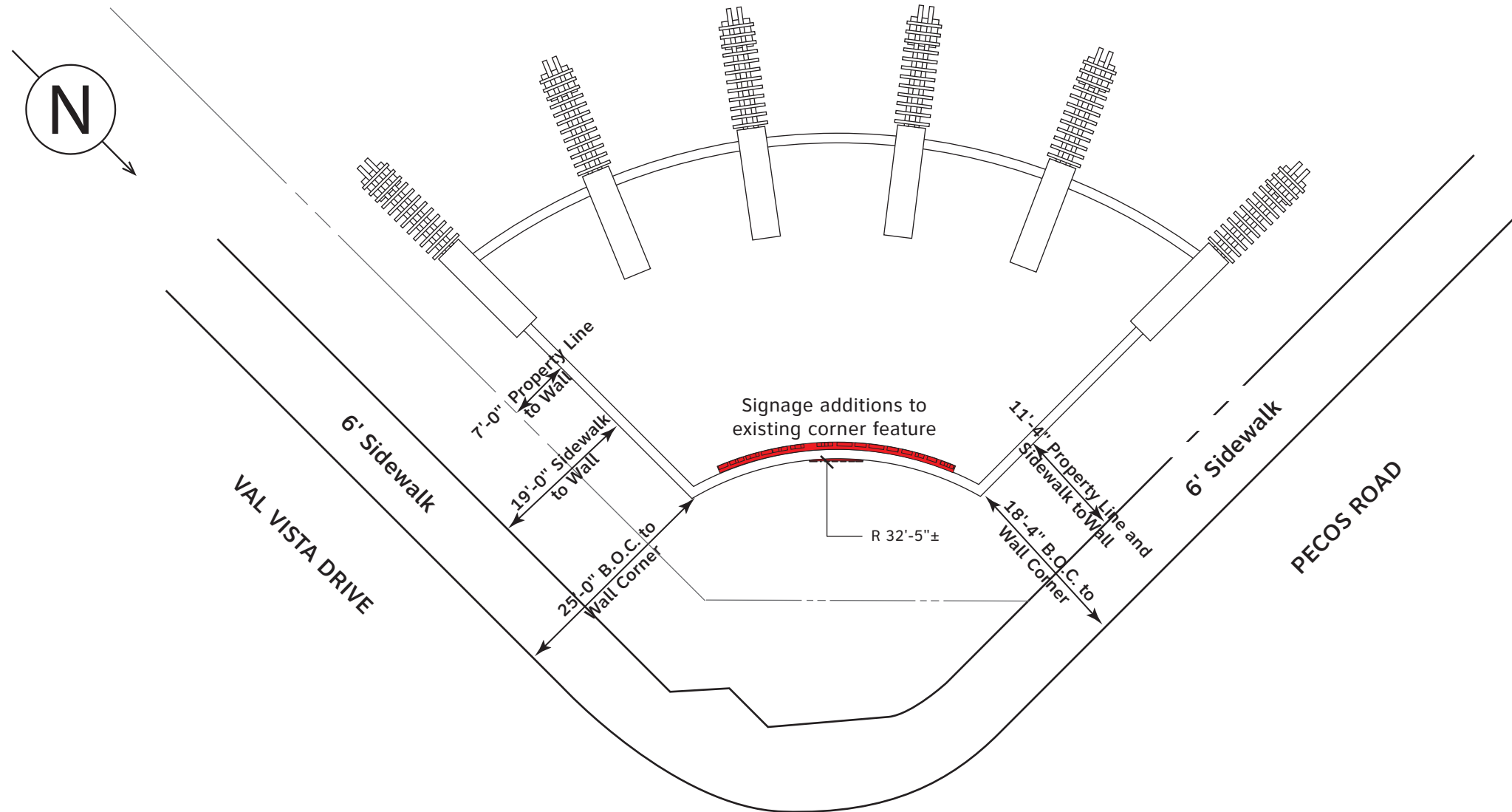
"SANTAN MOTORPLEX"	39.0 SF
"GILBERT"	6.25 SF
TOTAL SIGN AREA	45.5 SF

Internally illuminated cabinet with 3/4" white acrylic push-thru identification (11" cap height) - cabinet painted to match selected color from ledgestone wall (TBD)

APPROVED
Administrative Design Review
PDA-2017-00001
Case # _____
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SALES@BLEIERINDUSTRIES.COM

PROJECT: SanTan Motorplex SWC of Val Vista Dr & Pecos Road Gilbert, AZ	DATE: 01/04/17	REVISIONS: 1st Review Edit 02/01/17
TITLE: Corner Feature Signage	SHEET No: 2	
DESIGNER: GED	SALES: Paul Bleier	© 2016, BLEIER INDUSTRIES, LTD. This drawing and the ideas expressed herein, remain the confidential property of Bleier Industries, Ltd. This drawing and the ideas contained in it are not to be reproduced, copied or disclosed to any other person or entity without the express written permission of an officer of Bleier Industries, Ltd.
DESIGN No: 2016-J-031	SCALE: AS NOTED	



○ Corner Feature Signage - SW Corner Val Vista & Pecos Roads
Scale: 1/16" = 1'-0"

APPROVED

Administrative Design Review

PDA-2017-00001

Case # _____

Date 2/14/2017

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PROJECT: SanTan Motorplex SWC of Val Vista Dr & Pecos Road Gilbert, AZ	DATE: 01/04/17	REVISIONS: 1st Review Edit 02/01/17
TITLE: Corner Feature Signage	SHEET No: 3	
DESIGNER: GED	SALES: Paul Bleier	© 2016, BLEIER INDUSTRIES, LTD. <small>This drawing and the ideas expressed herein, remain the confidential property of Bleier Industries, Ltd. This drawing and the ideas contained in it are not to be reproduced, copied or disclosed to any other person or entity without the express written permission of an officer of Bleier Industries, Ltd.</small>
DESIGN No: 2016-J-031	SCALE: AS NOTED	



○ Gateway Monument Addition Rendering
 Scale: NTS

APPROVED

Administrative Design Review

Case # PDA-2017-00001

Date 2/14/2017

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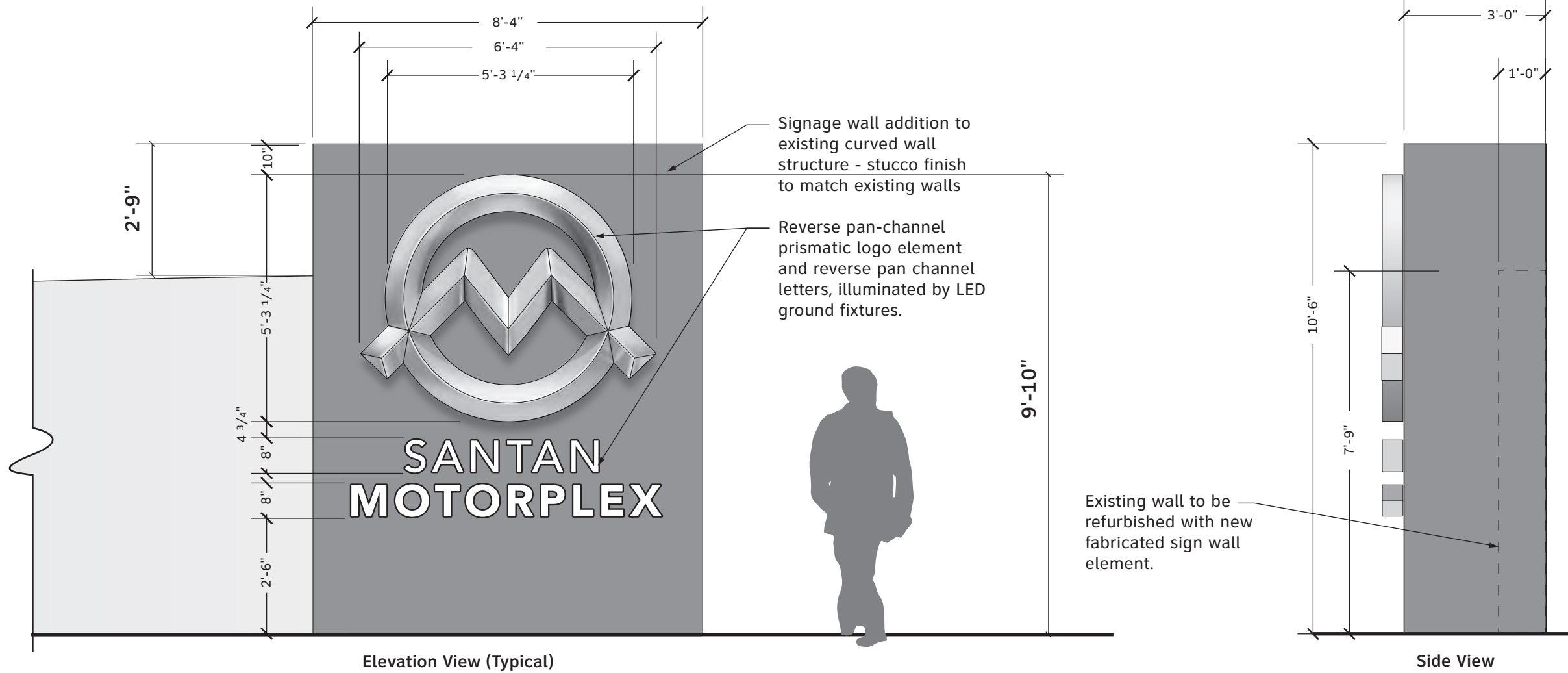
PROJECT: SanTan Motorplex SWC of Val Vista Dr & Pecos Road Gilbert, AZ		DATE: 01/04/17	REVISIONS: 1st Review Edit 02/01/17
TITLE: Pecos Entry Gateway Signage		SHEET No: 4	
DESIGNER: GED	SALES: Paul Bleier	© 2016, BLEIER INDUSTRIES, LTD. This drawing and the ideas expressed herein, remain the confidential property of Bleier Industries, Ltd. This drawing and the ideas contained in it are not to be reproduced, copied or disclosed to any other person or entity without the express written permission of an officer of Bleier Industries, Ltd.	
DESIGN No: 2016-J-031	SCALE: AS NOTED		

4.407.2.a (2) Height Criteria. Signs shall be no greater than 12 feet in height to the top of design embellishments. The sign face shall be located between 2 feet and 10 feet above grade with design embellishments added to the top, sides or bottom of the sign.

Proposed sign meets the above referenced code criteria.

4.407.2.a (3) Area. The Monument Sign area shall not exceed 60 square feet.

Proposed sign meets the above referenced code criteria.



○ Gateway Monument Addition - Pecos Road Entry
Scale: 3/8" = 1'-0"

SIGN AREA COMPUTATION:

"SANTAN MOTORPLEX"	7.25 SF
"LOGO"	27.25 SF
TOTAL SIGN AREA	34.50 SF

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PROJECT: SanTan Motorplex SWC of Val Vista Dr & Pecos Road Gilbert, AZ	DATE: 01/04/17	REVISIONS: 1st Review Edit 02/01/17
TITLE: Pecos Entry Gateway Signage	SHEET No: 5	
DESIGNER: GED	SALES: Paul Bleier	
DESIGN No: 2016-J-031	SCALE: AS NOTED	

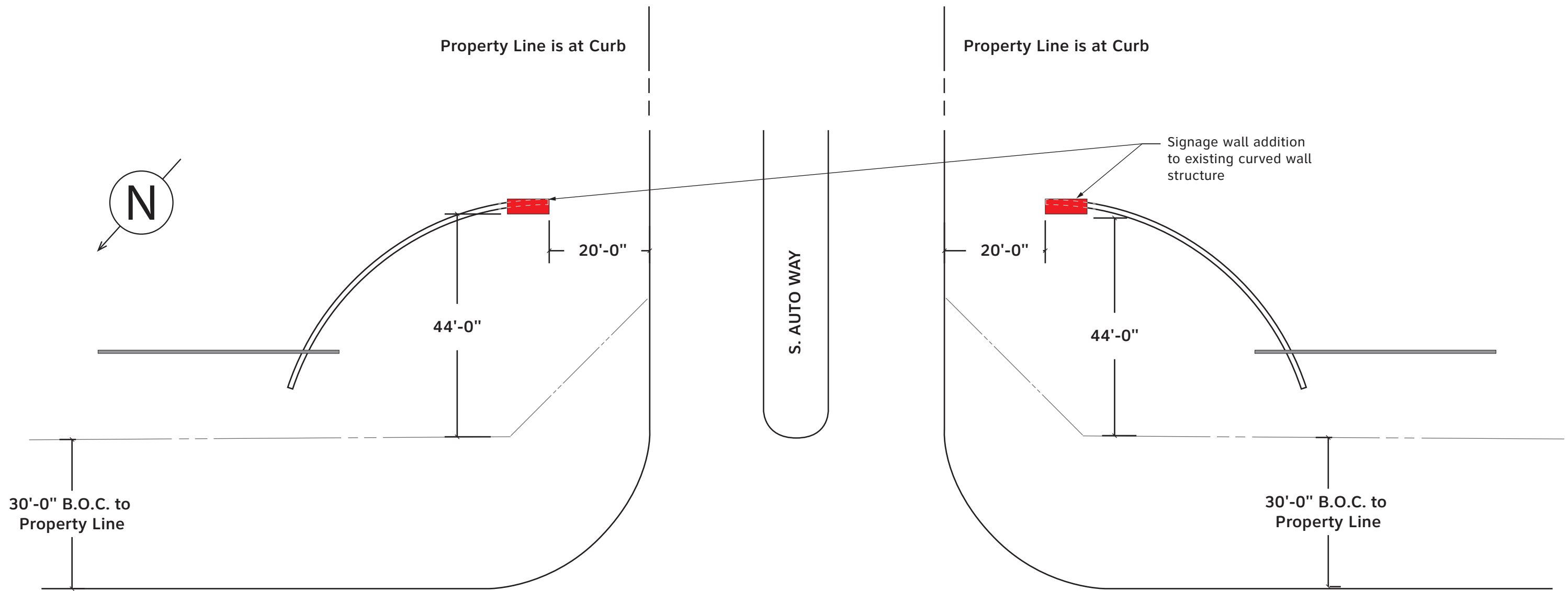
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APPROVED

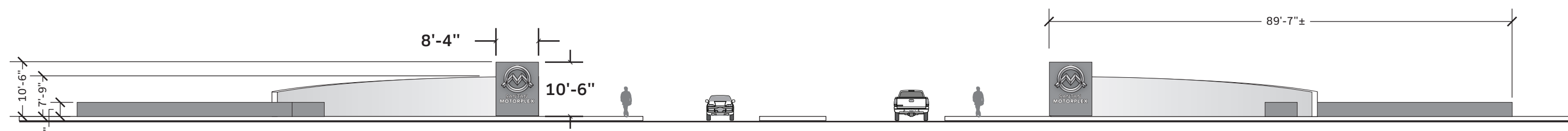
Administrative Design Review

Case # PDA-2017-00001

Date 2/14/2017



PECOS ROAD



Gateway Monument Addition - Pecos Road Entry (both sides of entry)

Scale: 1" = 20'-0"

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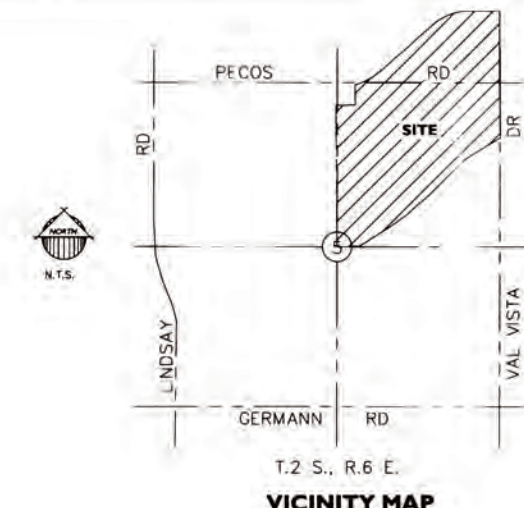
PROJECT: SanTan Motorplex SWC of Val Vista Dr & Pecos Road Gilbert, AZ		DATE: 01/04/17	REVISIONS: 1st Review Edit 02/01/17
TITLE: Pecos Entry Gateway Signage		SHEET No: 6	
DESIGNER: GED	SALES: Paul Bleier	© 2016, BLEIER INDUSTRIES, LTD. <small>This drawing and the ideas expressed herein, remain the confidential property of Bleier Industries, Ltd. This drawing and the ideas contained in it are not to be reproduced, copied or disclosed to any other person or entity without the express written permission of an officer of Bleier Industries, Ltd.</small>	
DESIGN No: 2016-J-031	SCALE: AS NOTED		

APPROVED
Administrative Design Review

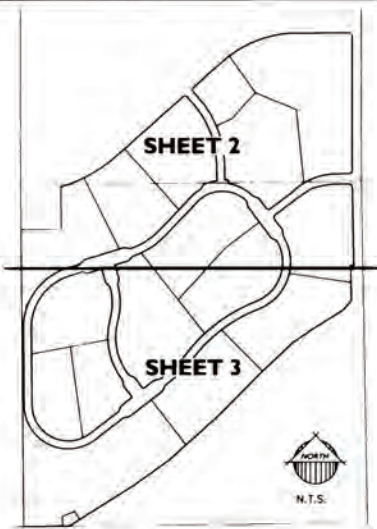
Case # PDA-2017-00001
Date 2/14/2017

A FINAL PLAT OF SANTAN MOTORPLEX

A portion of the Southeast Quarter of Section 32, Township 1 South, Range 6 East AND a portion of the Northeast Quarter of Section 5, Township 2 South, Range 6 East, Gila and Salt River Meridian, Maricopa County, Arizona



T.2 S., R.6 E. VICINITY MAP



KEY MAP

LEGAL DESCRIPTION

A portion of the Southeast Quarter of Section 32, Township 1 South, Range 6 East AND a portion of the Northeast Quarter of Section 5, Township 2 South, Range 6 East of the Gila and Salt River Meridian, Maricopa County, Arizona, more particularly described as follows:

BEGINNING at a Brass Cap in Hand Hole at the Northeast corner of said Section 5, from which a 1/2" Rebar at the East Quarter corner of said Section 5 bears S01°06'52"E, along the East line of the Northeast Quarter of said Section 5, for a distance of 2625.46 feet; thence S01°06'52"E, along said East line, for a distance of 648.24 feet to a point on the Northern right-of-way line for the San Tan Freeway (SR 202); thence S88°49'50"W, along said northerly right-of-way line, for a distance of 94.00 feet to a point on the West line of the East 94 feet of the Northeast Quarter of said Section 5; thence S01°06'52"E, along said West line and along said northerly right-of-way line, for a distance of 270.17 feet; thence S42°52'40"W, along said northerly right-of-way line, for a distance of 100.57 feet; thence S58°20'30"W, along said northerly right-of-way line, for a distance of 261.20 feet; thence S56°08'51"W, along said northerly right-of-way line, for a distance of 199.99 feet; thence S46°41'07"W, along said northerly right-of-way line, for a distance of 304.14 feet; thence S44°50'15"W, along said northerly right-of-way line, for a distance of 509.90 feet; S48°10'41"W, along said northerly right-of-way line, for a distance of 504.88 feet; thence S54°20'39"W, along said northerly right-of-way line, for a distance of 317.76 feet; thence S57°47'40"W, along said northerly right-of-way line, for a distance of 591.57 feet to a point on the South line of the Northeast Quarter of said Section 5; thence S89°22'59"W, along said South line, for a distance of 352.10 feet to the Southwest corner of the Northeast Quarter of said Section 5; thence N00°34'09"W, along the West line of the Northeast Quarter of said Section 5, for a distance of 2282.36 feet to the Southwest corner of the Salt River Project (SRP) property described in Document No. 00-0973785, records of Maricopa County; thence N89°25'54"E, along the South line of said SRP property, for a distance of 310.00 feet; thence N00°34'06"W, along the East line of said SRP property, for a distance of 325.26 feet to a point on the South right-of-way line for Pecos Road, as defined in Book 573, Page 36, records of Maricopa County, said point lying on a curve, concave to the Northwest, the center of which bears N16°49'40"W for a distance of 1130.00 feet; thence Northeasterly, along the arc of said curve and along said South right-of-way line, through a central angle of 24°47'12" for a distance of 488.85 feet; thence N48°23'08"E, tangent to said curve and along said South right-of-way line, for a distance of 1094.87 feet to the beginning of a curve, concave to the Southeast, the center of which bears S41°36'52"E for a distance of 870.00 feet; thence Northeasterly, along the arc of said curve and along said South right-of-way line, through a central angle of 41°36'52' for a distance of 631.89 feet; thence EAST, tangent to said curve and along said South right-of-way line, for a distance of 410.31 feet; thence S45°02'43"E, along said South right-of-way line, for a distance of 28.31 feet to a point on the West line of the East 65 feet of the Southeast Quarter of said Section 32; thence N89°54'34"E for a distance of 65.00 feet to a point of the East line of the Southeast Quarter of said Section 32; thence S00°05'26"E, along said East line, for a distance of 1120.62 feet to the POINT OF BEGINNING.

DEDICATION

Know all men by these presents: That San Tan Motorplex, Inc., an Arizona Corporation, and Double Diamond H Investments, an Arizona Limited Partnership, as owners have subdivided under the name of SANTAN MOTORPLEX, a portion of the Southeast Quarter of Section 32, Township 1 South, Range 6 East AND a portion of the Northeast Quarter of Section 5, Township 2 South, Range 6 East, Gila and Salt River Meridian, Maricopa County, Arizona, and does hereby publish this plat as and for the plat of said SANTAN MOTORPLEX, and hereby declares that said plat sets forth the location and gives the dimensions of each street and parcel, and that each street and parcel shall be known by the name and number given to each respectively. The Monumentation, Landscape and Sign Easements are for the benefit of the Santan Motorplex Property Owners Association. The easements are hereby dedicated for the purposes shown hereon. The irrigation easement shown hereon is hereby dedicated to the Spectrum Irrigation Delivery District No. 48. The streets as shown herein are hereby dedicated to the public.

IN WITNESS WHEREOF: San Tan Motorplex, Inc., an Arizona Corporation, and Double Diamond H Investments, an Arizona Limited Partnership, as owners have hereunto caused their names to be affixed and the same to be attested by the signature of the undersigned officer thereunto duly authorized this 11th day of OCTOBER 2004

By: San Tan Motorplex, Inc., as owner.

By: William S. Lund
Its: William S. Lund
President

By: Double Diamond H Investments
Its: Double Diamond H Investments,
Arizona Limited Partnership, as owner

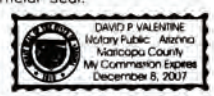
By: Robert C. Horne
Its: Robert C. Horne
General Partner

ACKNOWLEDGMENT

STATE OF ARIZONA)
) s.s.
COUNTY OF MARICOPA)
On this 11th day of OCTOBER 2004, before me, the undersigned notary public, personally appeared William S. Lund, who acknowledged himself to be President of San Tan Motorplex, Inc., as owner an acknowledged that he as such officer, being duly authorized so to do, executed the foregoing instrument for the purposes herein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

By: David P. Valentine 10-11-2004
NOTARY PUBLIC DATE
MY COMMISSION EXPIRES:



STATE OF ARIZONA)
) s.s.
COUNTY OF MARICOPA)

On this 25 day of OCTOBER, before me, the undersigned notary public, personally appeared Robert C. Horne, who acknowledged himself to be General Partner of Double Diamond H Investments, Inc., as owner an acknowledged that he as such officer, being duly authorized so to do, executed the foregoing instrument for the purposes herein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

By: Catherine Malloy 10/25/04
NOTARY PUBLIC DATE
MY COMMISSION EXPIRES:



GENERAL NOTES

- Construction within public easements, except by public agencies and utility companies, shall be limited to utilities and wood, wire or removable section type fencing unless approved otherwise by the Town of Gilbert.
- All utilities shall be constructed underground.
- All electric and communication lines to be constructed underground as required by the Arizona Corporation Commission.
- The Town of Gilbert is not responsible for and will not accept maintenance of any private streets, private utilities, private facilities, and landscaped areas within the project. The Santan Motorplex Owners Association shall be responsible for private streets, private utilities, private facilities, and landscaped areas within the project.
- No structures shall be constructed in or across nor shall other improvements or alterations be made to the drainage facilities that are a part of this development without written authorization of the Town of Gilbert.
- All retention basins must drain any storm event up to and including the 50-year, 24 hour storm within 36 hours. Owner(s) of any basin failing to meet this requirement must take corrective action to bring the basin into compliance.
- All properties platted hereon are subject to an annual street light improvement district assessment.
- All drywells shown on this project shall be maintained by the owner(s) and are to be replaced by the owner(s) when they cease to drain the surface water in a 36 hour period. Regular maintenance of the drywell silt chamber is required to achieve the best operation of the drywell.
- A #4 Rebar 18" in length will be set at each property corner.
- This property, due to its proximity to the San Tan Freeway, is likely to experience noise from the freeway, which could be of concern to some individuals.
- Existing right-of-way as defined in Bk. 1 of Rd. maps, Pg. 49 & Bk. 2 of Rd. maps, Pg. 15 lying within the boundary of this final plat, shall be abandoned upon recordation of this final plat.
- Landscape Easements along Roadway rights-of-way shall meet applicable PAD requirements.

APPROVALS

Approved by the MAYOR and TOWN COUNCIL of the Town of Gilbert, Arizona this 21st DAY OF SEPTEMBER 2004

BY: [Signature] MAYOR ATTEST: [Signature] TOWN CLERK

Approved by: [Signature] 11-2-04
Planning Director Date

Approved by: [Signature] 11-2-04
Town Engineer Date

This is to certify that the area platted hereon is approved and lies within the domestic water services of the Town of Gilbert which is designated as having an assured water supply in accordance with ARS 45-576.

BY: [Signature]

DEVELOPER

SANTAN MOTORPLEX, INC
c/o Bill Lund
7005 North 68th Place
Paradise Valley, AZ 85253
(480) 607-3443

BASIS OF BEARING

The Basis of bearing is the West line of the Northeast Quarter of Section 5, T.2 S., R.6 E, Assumed Bearing N00°34'09"W

ACREAGE

Gross: 149.79 Acres
Net: 146.88 Acres, excludes Val Vista Drive, & Pecos Road Right-of-way

TOTAL PARCEL COUNT

16 PARCELS

CERTIFICATION

I, Gail A. Morgan hereby certify that I am a Registered Land Surveyor in the State of Arizona; that this plat correctly represents a survey made under my direction during the month of January 2004; that the survey is true and correct as shown; that all monuments actually exist or will be set as shown; that said monuments are sufficient to enable the survey to be retraced.

BOOK 712 PAGE 20

OFFICIAL RECORDS OF MARICOPA COUNTY RECORDER HELEN PURCELL 2004 - 1302372

11/05/2004 12:44 PM

GAIL A. MORGAN REGISTERED LAND SURVEYOR NO. 31601

712-20

APPROVED
Administrative Design Review
Case # PDA-2017-00001
Date 2/14/2017

03-058

eps group, inc.
Engineers, Planners & Surveyors
2180-1 S. Country Club Dr., Ste. 21, Mesa, Arizona 85210
Phone (480) 957-2128 Fax (480) 957-2128

SANTAN MOTORPLEX
Gilbert, Arizona
FINAL PLAT

Revisions:

CALL FOR RECORDS INFO AT 263-1100 1-800-STAKE-IT (OUTSIDE MARICOPA COUNTY)

DESIGNED BY: gm
DRAWN BY: gm

31601 GAIL A. MORGAN REGISTERED LAND SURVEYOR ARIZONA U.S.A.

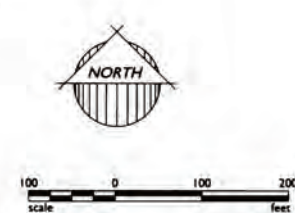
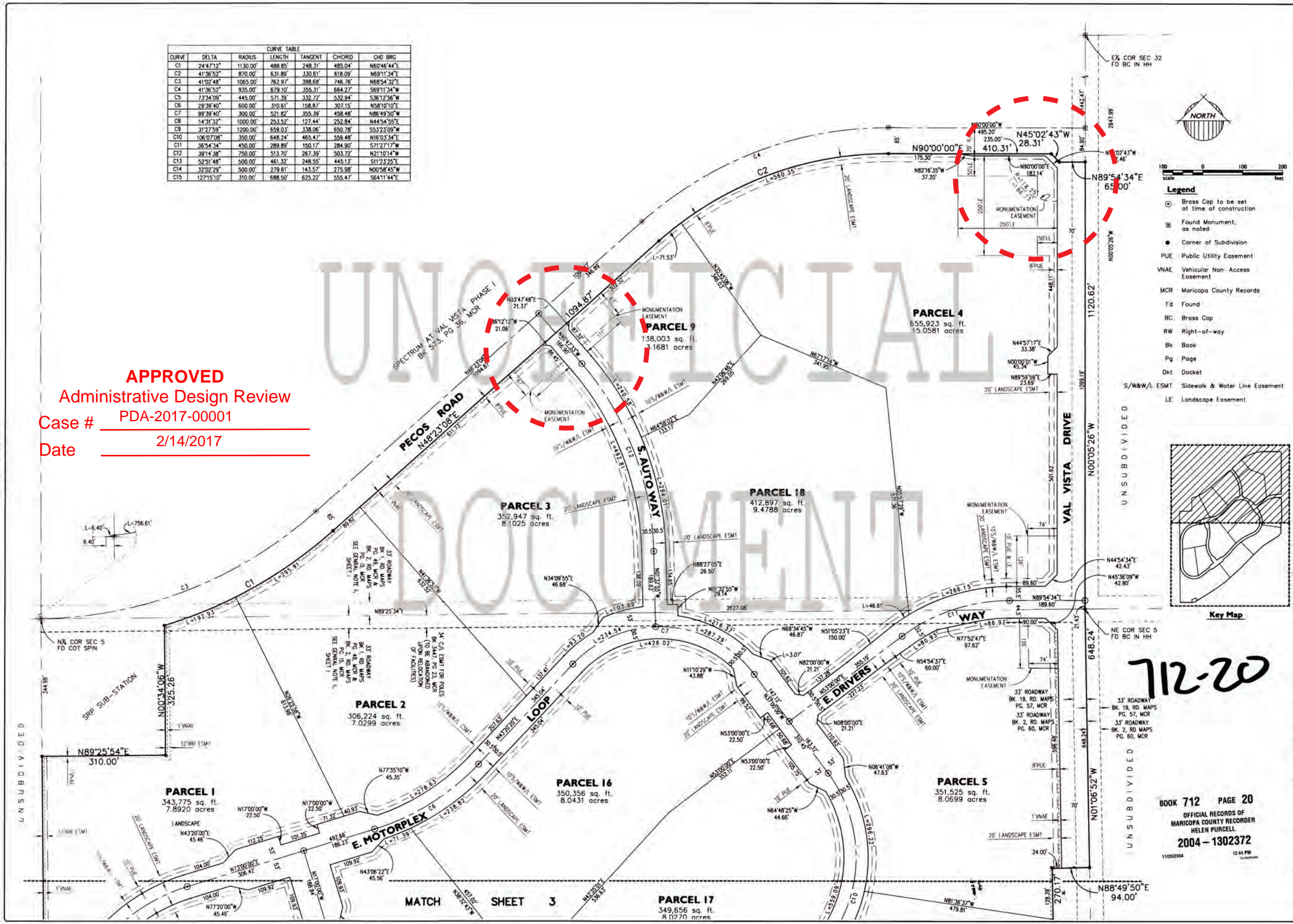
Job No. **03-058**

Sheet No. **1 of 3**

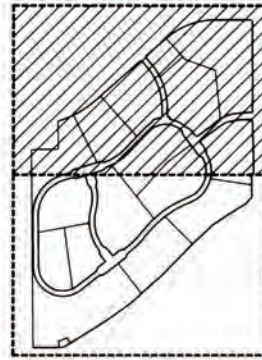
CURVE TABLE						
CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHD BRG
C1	24°47'12"	1130.00'	488.85'	248.31'	485.04'	N60°46'44"E
C2	41°36'52"	870.00'	631.89'	330.61'	618.09'	N69°11'34"E
C3	41°02'48"	1065.00'	762.97'	398.68'	746.76'	N68°54'32"E
C4	41°36'52"	935.00'	679.10'	355.31'	664.27'	S69°11'34"W
C5	73°34'09"	445.00'	571.39'	332.72'	532.94'	S36°12'56"W
C6	29°39'40"	600.00'	310.61'	158.87'	307.15'	N58°10'10"E
C7	99°39'40"	300.00'	521.82'	355.39'	458.48'	N86°49'50"W
C8	14°31'32"	1000.00'	253.52'	127.44'	252.84'	N44°54'55"E
C9	31°27'59"	1200.00'	659.03'	338.06'	650.78'	S53°23'09"W
C10	106°07'08"	350.00'	648.24'	465.47'	559.48'	N16°03'34"E
C11	36°54'34"	450.00'	289.89'	150.17'	284.90'	S71°27'17"W
C12	39°14'38"	750.00'	513.70'	267.39'	503.72'	N21°10'14"W
C13	52°51'48"	500.00'	461.32'	248.55'	445.13'	S11°23'25"E
C14	32°02'29"	500.00'	279.61'	143.57'	275.98'	N00°58'49"W
C15	127°15'10"	310.00'	688.50'	625.22'	555.47'	S64°11'44"E

APPROVED
 Administrative Design Review
 Case # PDA-2017-00001
 Date 2/14/2017

03-058



- Legend**
- Brass Cap to be set at time of construction
 - Found Monument, as noted
 - Corner of Subdivision
 - PUE Public Utility Easement
 - VNAE Vehicular Non-Access Easement
 - MCR Maricopa County Records
 - Fd Found
 - BC Brass Cap
 - RW Right-of-way
 - Bk Book
 - Pg Page
 - Dkt Docket
 - S/W&W/L ESM Sidewalk & Water Line Easement
 - LE Landscape Easement



712-20

BOOK 712 PAGE 20
 OFFICIAL RECORDS OF
 MARICOPA COUNTY RECORDER
 HELEN PURCELL
 2004 - 1302372
 11/05/2004 12:44 PM

eps group, Inc.
 Engineers, Planners & Surveyors
 3185 E. Country Club Dr., Ste. 11, Mesa, Arizona 85218
 Phone: (480) 502-2338 Fax: (480) 502-2339

SANTAN MOTORPLEX
 Gilbert, Arizona

FINAL PLAT

Project: _____
 Revisions: _____

Designer: gmi
 Drawn by: gmi

Job No. **03-058**

Sheet No. **2 of 3**

MASTER SIGN PLAN

CELEBRATION OF THE ROADWAY



APPROVED PLANS
DESIGN REVIEW BOARD

CASE: DR04-61

DATE: 7-5-04

SUBJECT TO CONDITIONS OF APPROVAL

DR APPROVAL

7-15-04 MTA

Project Design:

GREY | PICKETT
landscape architecture | community design

7507 e. mcdonald dr., suite b
scottsdale, arizona 85250
480.609.0009 p 480.609.0068 f



SANTAN MOTORPLEX

Signage Consultant:

**bleier
INDUSTRIES**

2030 WEST DESERT COVE AVE.
PHOENIX, ARIZONA 85029
602.944.3117
FAX 602.395.0753
SALES@BLEIERINDUSTRIES.COM

Environmental
Graphic Designers:



JRC DESIGN
CORPORATE COMMUNICATIONS
LANDSCAPE ARCHITECTURE

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General Requirements Dealership Signage

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout Santan Motorplex for the mutual benefit of all Dealerships, and to comply with the approved Master Sign Plan for the development, regulations of the Town of Gilbert Sign Ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Dealership shall be brought into conformance at the sole cost and expense of the Dealership. This criteria is subject to final approval by the Town of Gilbert as part of a Master Sign Plan submittal. If a conflict is found to exist between these criteria and the final criteria approved by the Town of Gilbert, the latter shall prevail.

I. GENERAL REQUIREMENTS

- A. Each Dealership shall submit or cause to be submitted to the Developer, for approval, prior to installation, four (4) copies of detailed drawings indicating the location, size, layout, design color, illumination materials and method of attachment for all signage.
- B. Dealership's representative shall obtain all permits for signs and their installation as required by the Town of Gilbert.
- C. All signs shall be constructed and installed at Dealership's sole expense.
- D. The Dealership shall be responsible for the fulfillment of all requirements and specifications, including those of the local municipality.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole right of Developer or Developer's authorized representative.
- F. Each Dealership shall be responsible for the installation and maintenance of their signage. Should Dealership's sign require maintenance or repair, Developer shall give Dealership thirty (30) days written notice to effect said maintenance or repair. Should Dealership fail to do the same, Developer may

undertake the necessary repairs and Dealership shall reimburse the Developer for all repair costs within ten (10) days from receipt of Developer's invoice.

- G. Advertising devices such as attraction boards, posters, banners and flags shall not be permitted.

II. SPECIFICATIONS - DEALERSHIP SIGNS

A. General Specifications

1. No animated, flashing or audible signs shall be permitted.
2. All signs and their installation shall comply with all local building and electrical codes.
3. No exposed raceways, crossovers or conduit shall be permitted. All Dealership building mounted signage shall consist of individual letters and logos installed onto the building's wall surfaces in accordance to corporate identification programs established by the respective brands. Monument signs shall be limited to low profile cabinets not exceeding eight (8) feet in height above grade and fifty (50) square feet in area installed onto a poured in place concrete base specifically detailed within this Master Sign Plan.
4. All cabinets, conductors, transformers and other equipment shall be concealed.
5. Painted lettering shall not be permitted except as approved by the Developer and the Town of Gilbert.
6. Upon removal of any sign by a Dealership, damage to wall surfaces shall be repaired by the Dealership.

B. Location of Signs

1. All wall mounted signs and devices shall be attached to building surfaces specifically designed to accommodate the signage in accordance to corporate identification programs established by the brand(s) marketed by the Dealership.
2. Monument signs shall be located adjacent to driveways best suited to provide the function intended and shall integrate with all required landscaping.

III. DESIGN REQUIREMENTS

Individual illuminated letters and logos may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, and/or any combination thereof. Electrical connections shall be concealed to remote and/or self-contained transformers. All signage shall be installed in compliance to the Town of Gilbert electrical code and

UL 2161 / UL 48 specifications. Any sign installation found to be non-compliant shall be repaired immediately by the Dealership at Dealership's sole expense.

A. Sign Area

1. The maximum aggregate sign area for each building elevation shall be calculated by multiplying one and one-half (1.50) times the length of the elevation(s) upon which signage is to be placed.

B. Letter Height and Placement Restrictions

1. Dealership signage shall be installed in accordance with the approved Master Sign Plan.
2. All Brands shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained in the approved Master Sign Plan. All signage shall be reviewed and approved by the Developer and shall be compatible to surrounding building features, general environment, and thematic design of Santan Motorplex. The Developer shall have the sole and separate discretion in varying any provision of these specifications.
3. Length of Sign on Wall Surface: In no event shall any sign exceed seventy-five (75%) percent of the building elevation and/or wall surface upon which it is placed. The available wall or mounting surface of the sign band shall regulate individual letter and/or logo height.
4. Each Dealership shall include its sign program with its individual DRB submittal to the Town of Gilbert.

C. Letter Style or Logo Restrictions

1. Copy and/or logos utilized shall be Dealership's choice, subject to the approval of the Developer and/or Developer's agents and the Town of Gilbert.

D. Illumination

1. Dealership building signage may be internally illuminated, backlit to create a silhouette, exposed neon and/or combination of lighting methods mentioned herein.
2. Monument signage may be internally illuminated, ground illuminated, and/or combination thereof. Directional signs may be internally and/or ground illuminated, and may utilize reflective vinyl graphics.

IV. GENERAL CONSTRUCTION REQUIREMENTS

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All signs shall be fabricated using full welded construction or similar method to conceal light leaks.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Dealership shall be fully responsible for the operations of Dealership's sign contractors and shall indemnify, defend and hold Developer harmless for, from and against damages or liabilities on account thereof.

Freestanding Signs

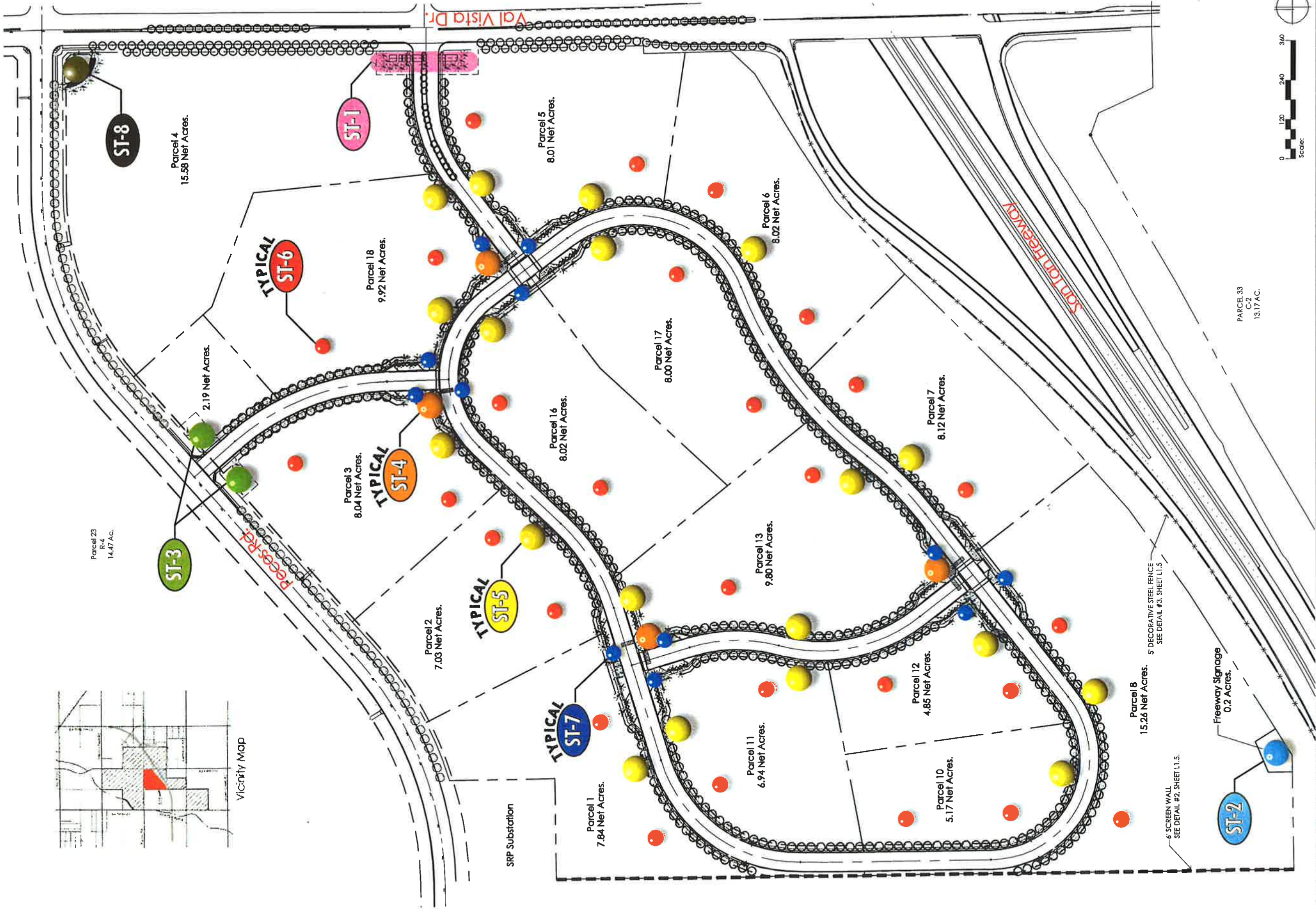




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Freestanding Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	QUANTITY	HEIGHT	SIZE	ILLUMINATION	MATERIALS
ST 1 Accessory Entry Monument	Entry Feature	Project ID with Thematic Feature	Placed at Primary Entrance on Val Vista Dr.	1	Forty Eight (48) Feet to top of feature	400 SF of Project Identification and Architectural Embellishments	Interior and Ground Illumination	Aluminum, Steel, Perforated Metals and Acrylics
ST 2 Freeway Pylon	Freeway Pylon	Project Identification with Electronic Message Center Providing Brand Identification to Dealerships within San Tan Motorplex	Adjacent to San Tan Freeway	1	Sixty (60') feet to top of project logo exclusive of architectural embellishment	600 SF Maximum Exclusive of Architectural Embellishments	Combination of Interior and Exterior Illumination Amber LED or Color Matrix	Aluminum, Steel, Perforated Metals and Acrylics
ST 3 Secondary Entry Monument	Entry Monument	Project Identification	Placed at Secondary Entrance on Pecos Rd	2	Eight (8') Feet to top of Wall Feature	60 SF of Project Identification Exclusive of Architectural Wall Features	Internal Illumination and/or Ground Illumination	Masonry, Stucco, Aluminum, and Acrylics
ST 4 Dealership Traffic Directional	Projecting Stylon	Provide Direction to Vehicular Traffic	At Principal Internal Loop Road Intersections	TBD	Twenty Two (22) Feet to top of Stylon	50 SF Per Directional Panel Exclusive of Architectural Embellishments	Non-Illuminated	Concrete Post, Aluminum, Steel, Reflective Vinyl
ST 5 Dealership/Brand Monument	Monument	Dealership and/or Brand Identification	Adjacent to Each Driveway Providing Access to the Dealership	TBD	Eight (8') Feet to top of Sign Element	50 SF of Sign Area Exclusive of Architectural Embellishments and Base	Internal Illumination and/or Ground Illumination	Decorative Concrete Base, Aluminum, Steel, Perforated Metals and Acrylics
ST 6 On-Site Dealership Directionals	Post/Panel	Provide Vehicular and Pedestrian Directional Information	As Required to Direct Vehicular and Pedestrian Traffic	TBD	Four (4) Feet to top of Sign Element	12 SF of Sign Area Exclusive of Architectural Embellishments and Base	Internal Illumination and/or Ground Illumination	Aluminum, Steel, Reflective Vinyl, Acrylics
ST 7 Traffic Regulatory Signs	Post	Traffic Regulatory Information	As Required	TBD	Per Town of Gilbert Specifications	Per Town of Gilbert Specifications	Non-Illuminated	Concrete Post, Aluminum, Steel, Reflective Vinyl
ST 8 "Spectrum" Monument Feature	Corner Monument	Identify "The Spectrum at Val Vista"	SWC of Pecos Road and Val Vista Drive	1	Five (5') Feet to top of Wall Feature	60 SF Each of Project Identification on Two (2) Wall Surfaces Exclusive of Architectural Wall Features	Internal Illumination and/or Ground Illumination	Masonry, Stucco, Aluminum, and Acrylics



- ST 1 - ACCESSORY ENTRY MONUMENT
- ST 2 - FREEWAY PYLON
- ST 3 - SECONDARY ENTRY MONUMENT
- ST 4 - DEALER DIRECTIONAL STYLON
- ST 5 - DEALER IDENTIFICATION MONUMENT (TYPICAL)
- ST 6 - ON-SITE DIRECTIONAL (TYPICAL)
- ST 7 - TRAFFIC REGULATORY SIGNS (TYPICAL)
- ST 8 - SPECTRUM MONUMENT FEATURE



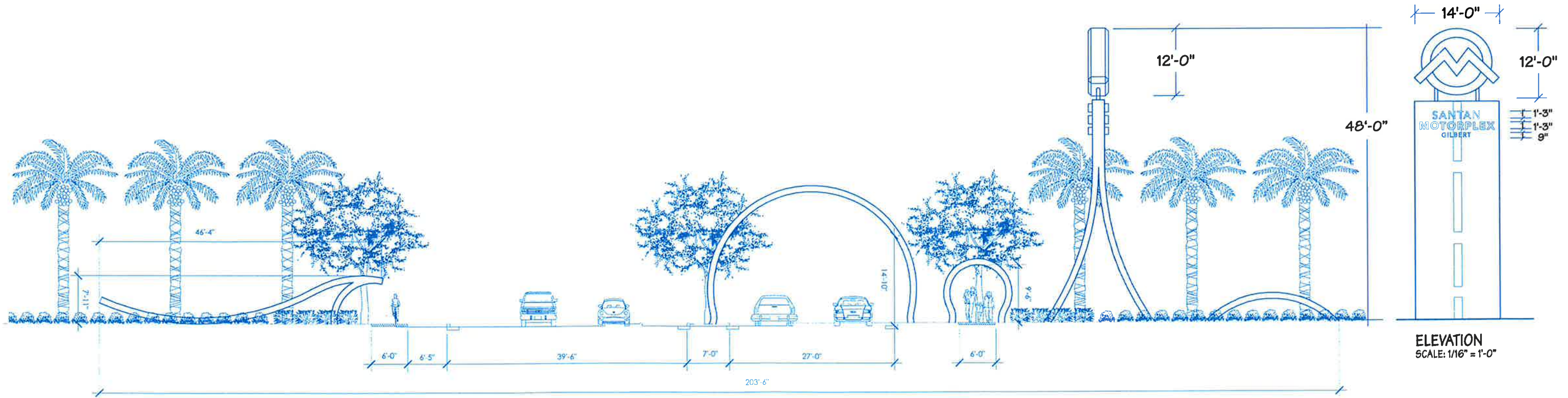
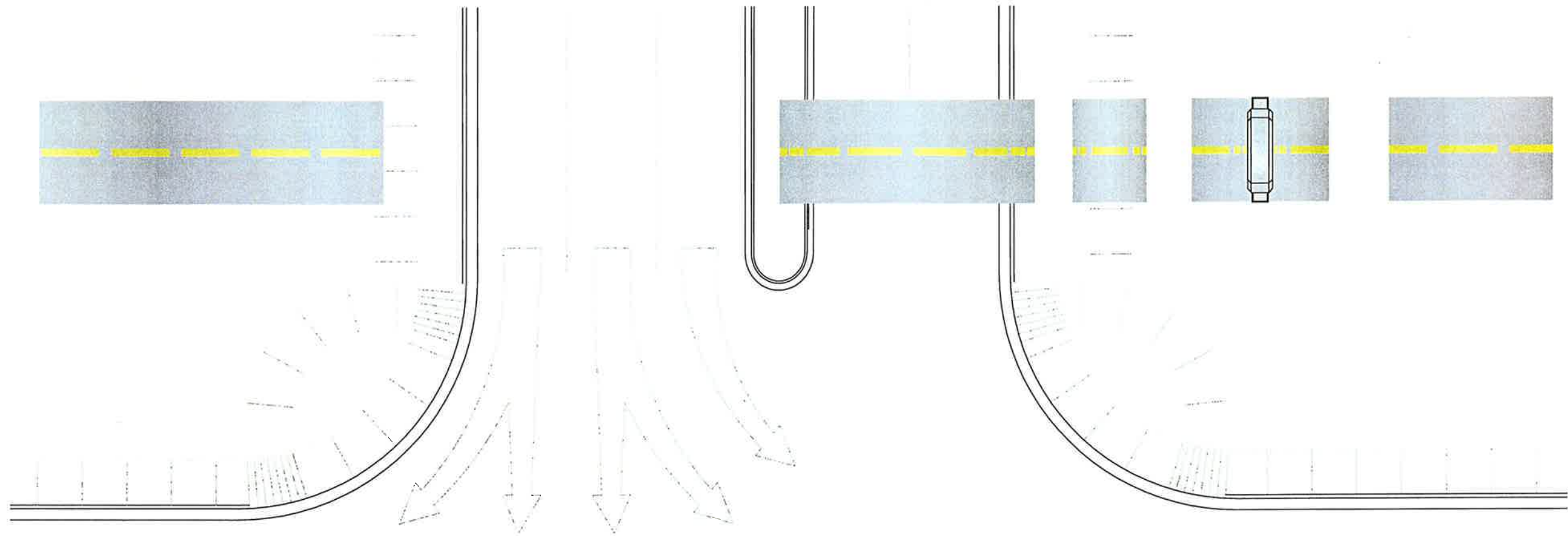
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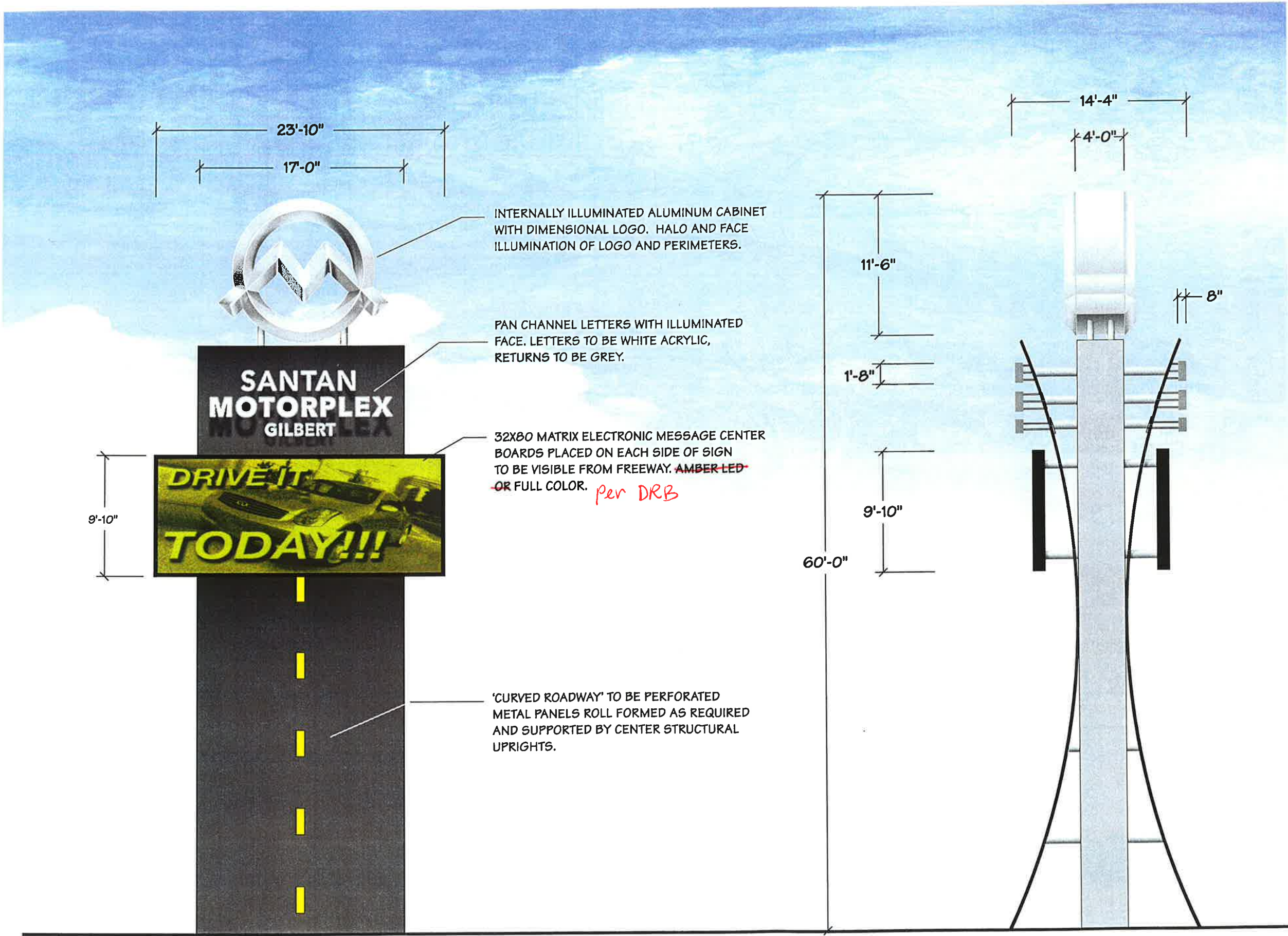
ST 1 - ACCESSORY ENTRY MONUMENT
 SCALE: 1/16" = 1'-0"



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23'-10"
17'-0"



INTERNALLY ILLUMINATED ALUMINUM CABINET WITH DIMENSIONAL LOGO. HALO AND FACE ILLUMINATION OF LOGO AND PERIMETERS.

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GILBERT

PAN CHANNEL LETTERS WITH ILLUMINATED FACE. LETTERS TO BE WHITE ACRYLIC, RETURNS TO BE GREY.

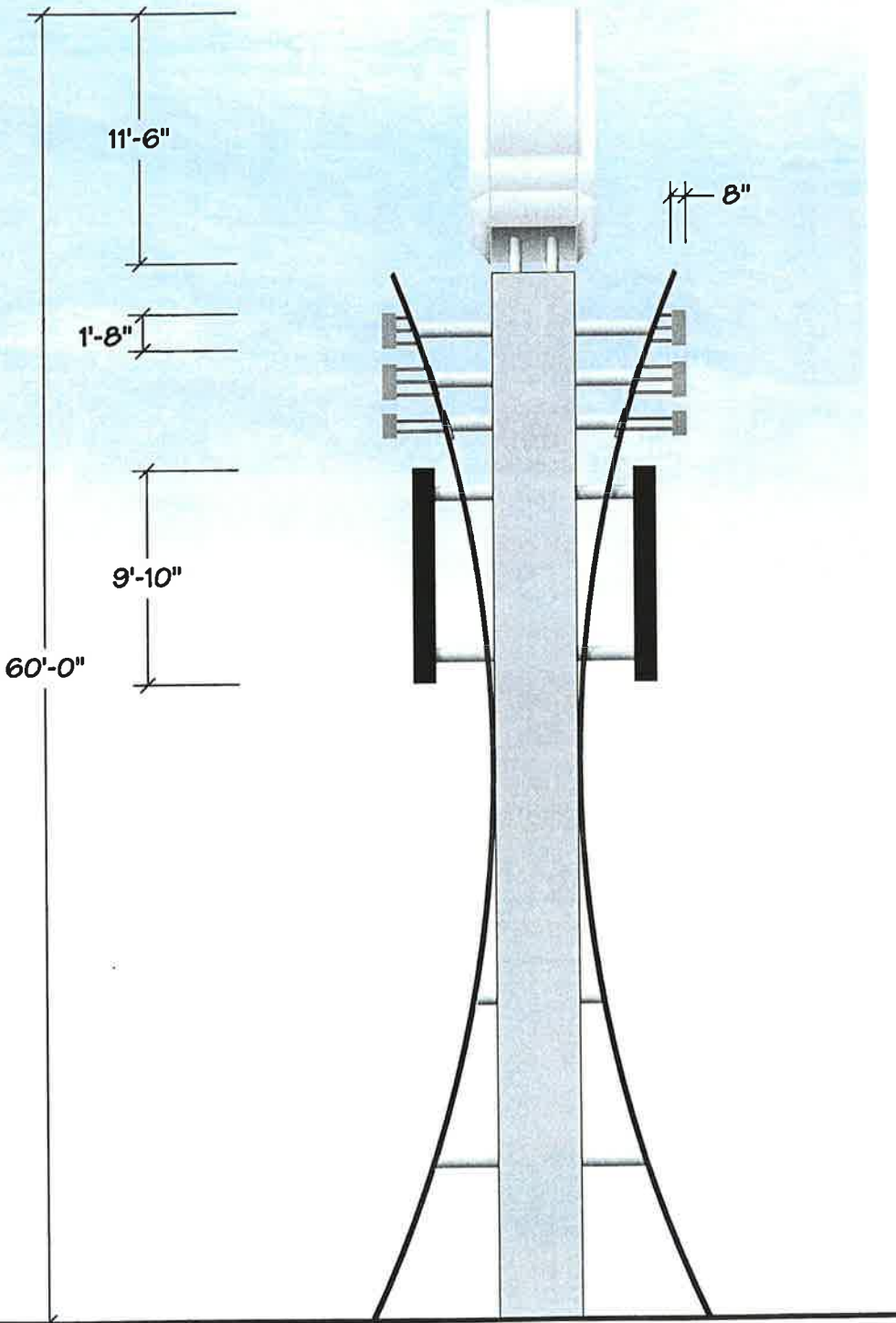


9'-10"

32X80 MATRIX ELECTRONIC MESSAGE CENTER BOARDS PLACED ON EACH SIDE OF SIGN TO BE VISIBLE FROM FREEWAY. ~~AMBER LED~~ OR FULL COLOR. *Per DRB*

'CURVED ROADWAY' TO BE PERFORATED METAL PANELS ROLL FORMED AS REQUIRED AND SUPPORTED BY CENTER STRUCTURAL UPRIGHTS.

14'-4"
4'-0"



11'-6"

1'-8"

9'-10"

60'-0"

8"

ELEVATION
SCALE: 1/8" = 1'-0"

SIDE VIEW
SCALE: 1/8" = 1'-0"



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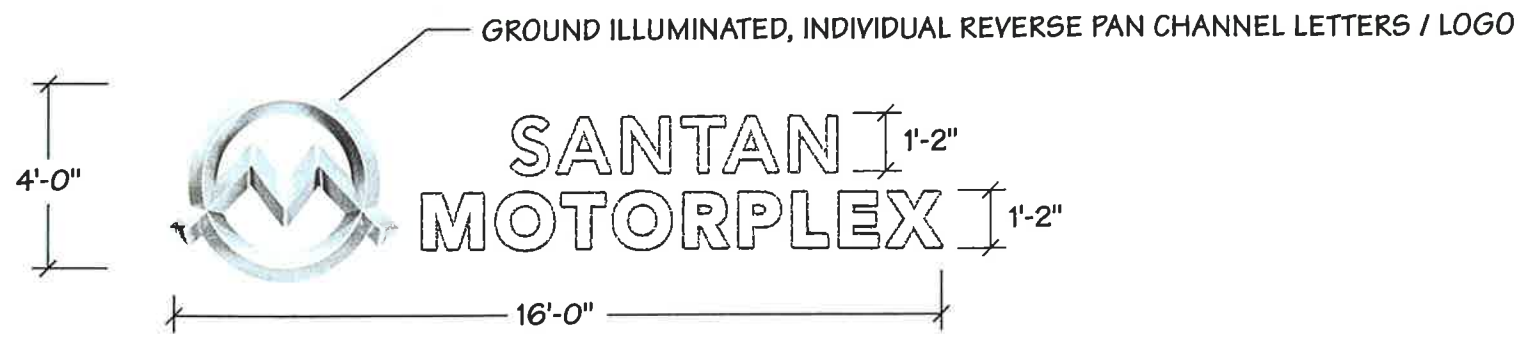
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ST 2
FREEWAY PYLON



1. SIGN SPECIFICATIONS - SCALE: 1/4" = 1'-0"



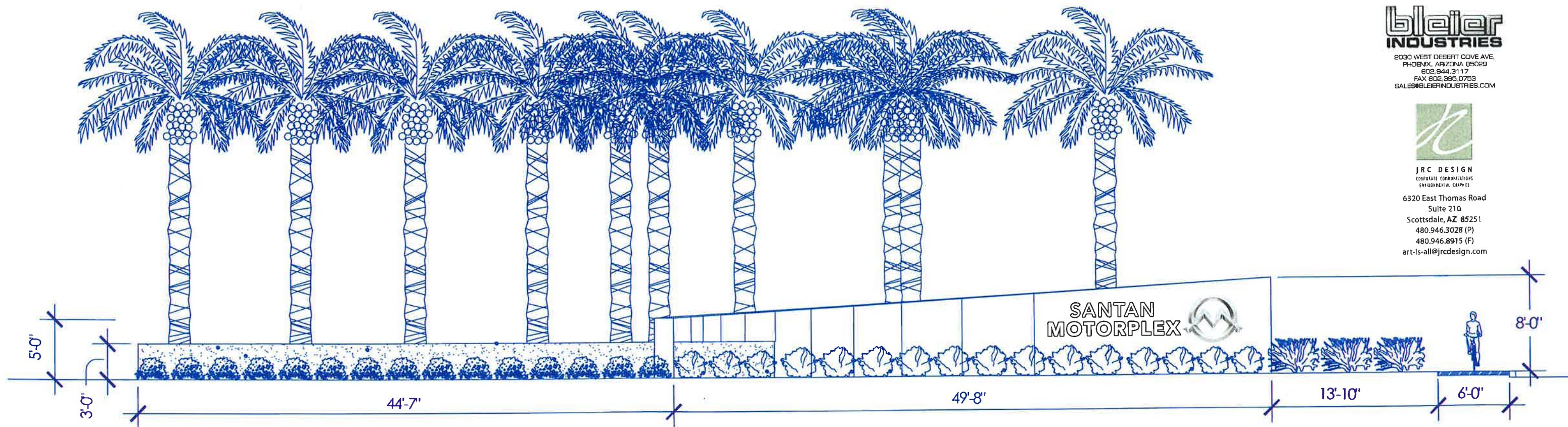
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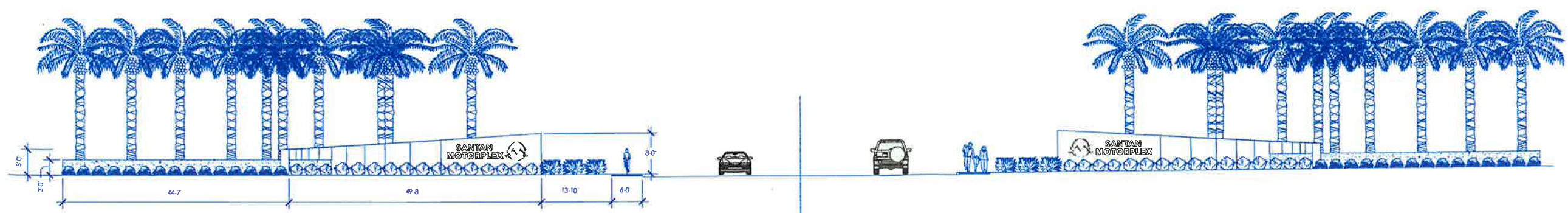
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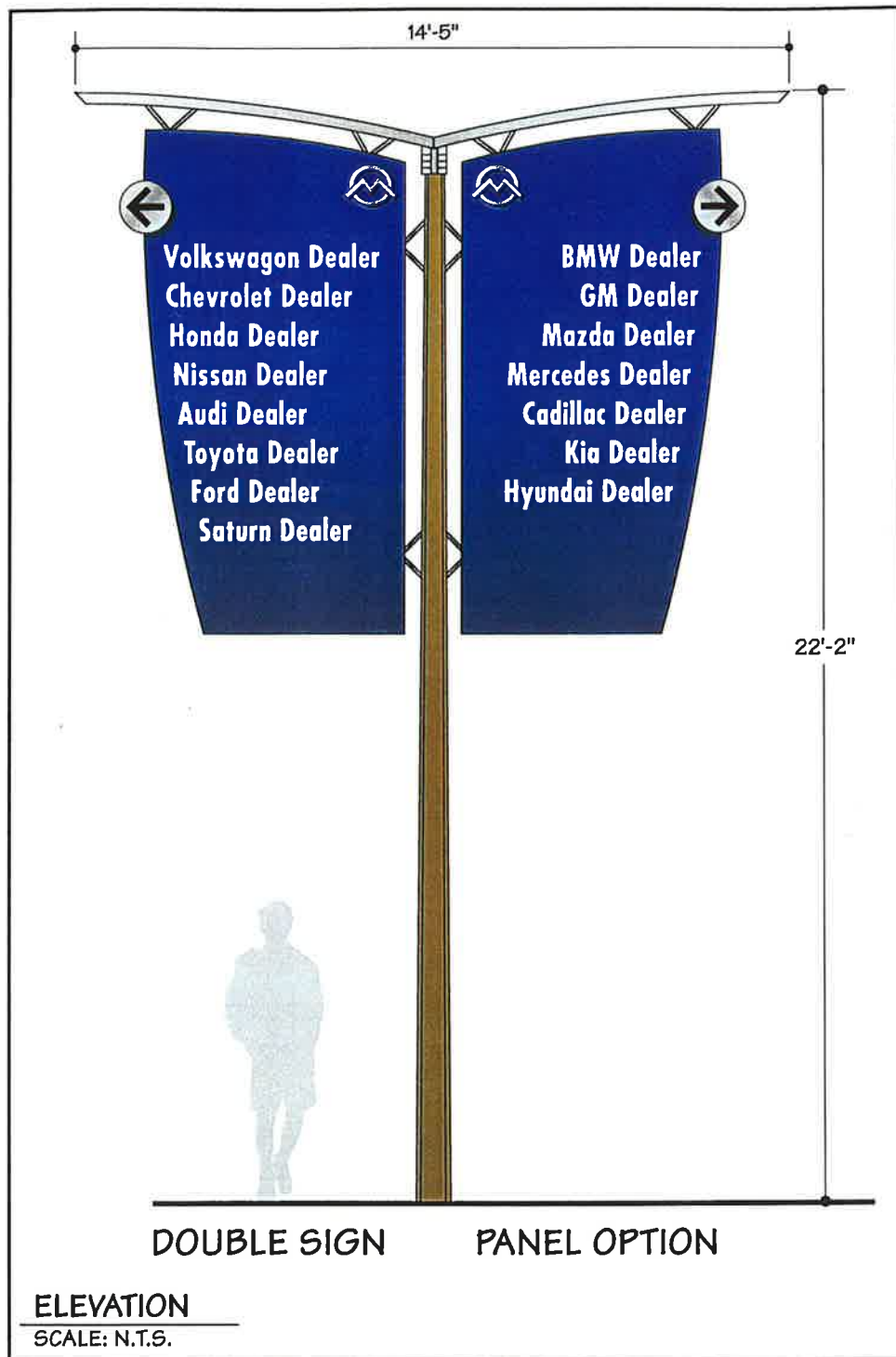


2. MONUMENT ENLARGEMENT - SCALE: 1/8" = 1'-0"



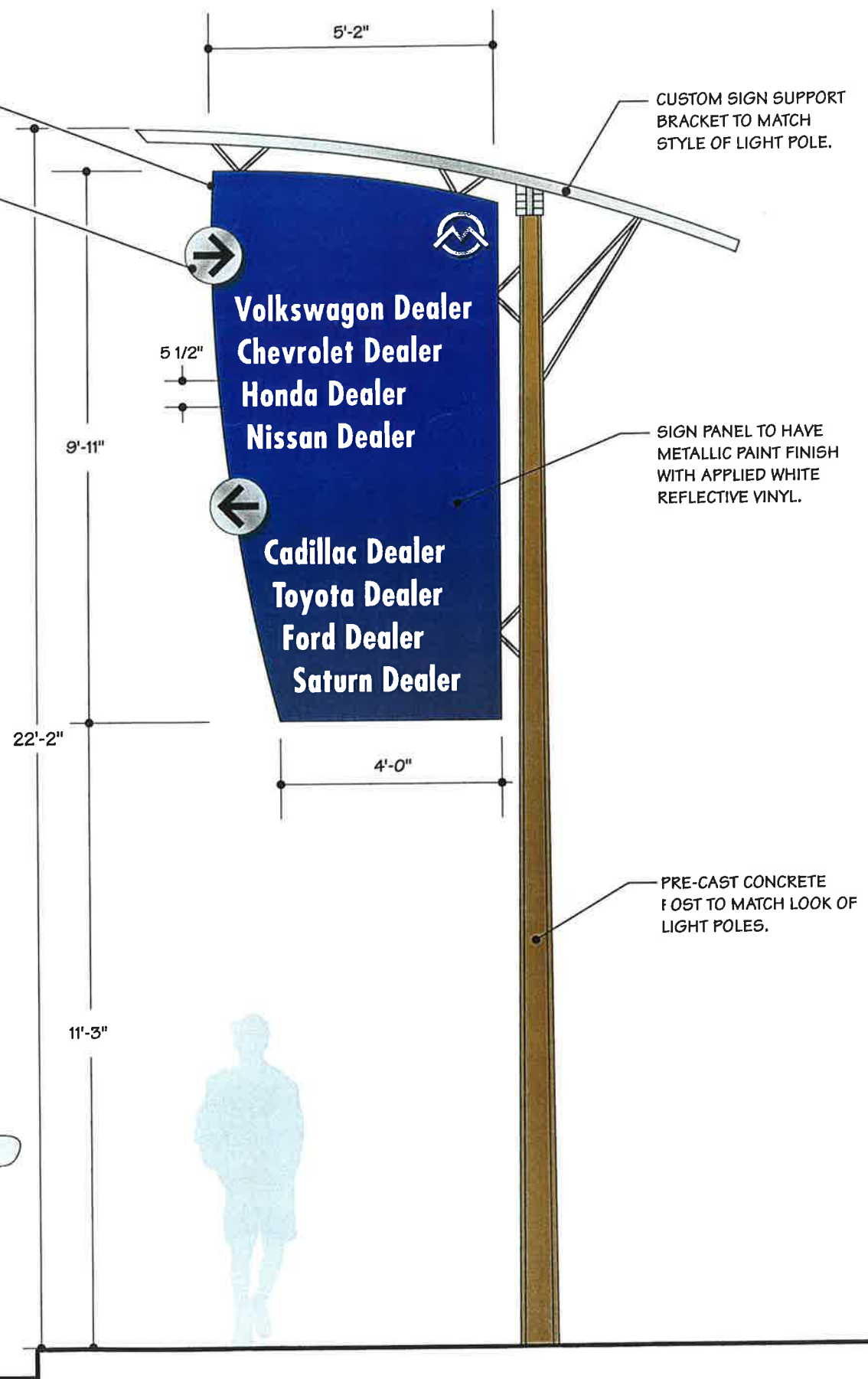
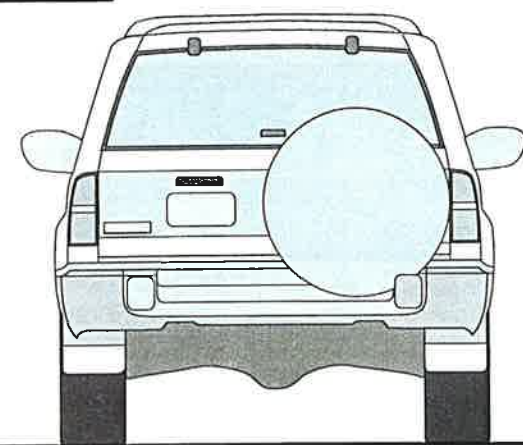
3. MONUMENTS AT ENTRANCE - SCALE: NTS

**ST 3
SECONDARY ENTRY
MONUMENT**



DIMENSIONAL LOGO TO BE APPLIED TO PANEL.

DIMENSIONAL ARROW DISCS TO WRAP END OF SIGN PANEL.



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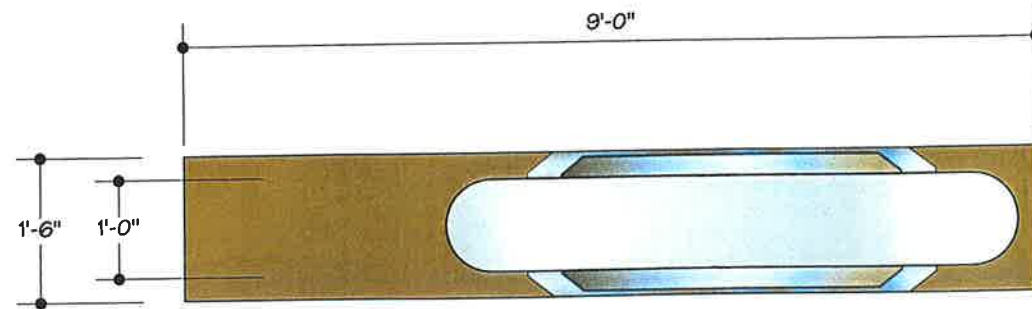
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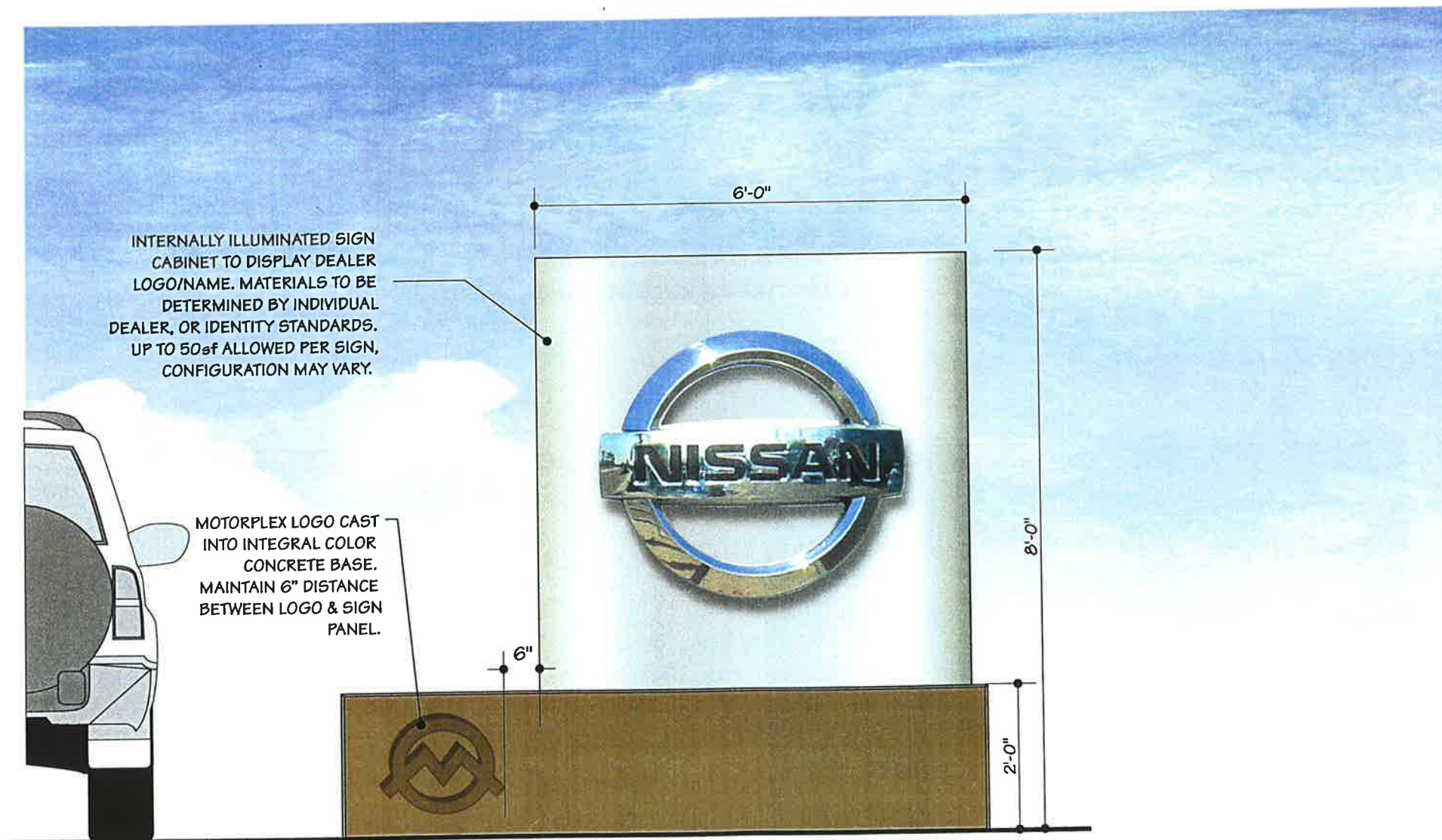
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ST 4
DEALER DIRECTIONAL
STYLON
(TYPICAL)

ELEVATION
SCALE: 3/8"=1'-0"



PLAN VIEW
Scale: 1/2" = 1'-0"



ELEVATION
SCALE: 1/2" = 1'-0"



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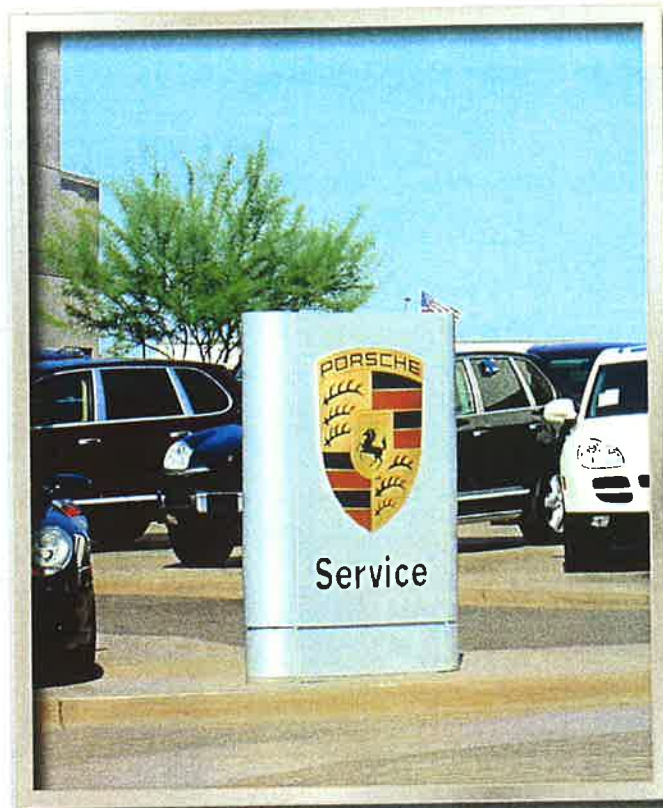


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ST 5 DEALER IDENTIFICATION MONUMENT (TYPICAL)



ST-6 12 SF / 4' HIGH SITE DIRECTIONAL SIGN (TYPICAL)



ST-6 12 SF / 4' HIGH SITE DIRECTIONAL SIGN (TYPICAL)



ST-6 12 SF / 4' HIGH SITE DIRECTIONAL SIGN (TYPICAL)



ST-6 12 SF / 4' HIGH SITE DIRECTIONAL SIGN (TYPICAL)



ST-6 12 SF / 4' HIGH SITE DIRECTIONAL SIGN (TYPICAL)



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ST 6
**ON-SITE DIRECTIONAL
SIGN
(TYPICAL)**



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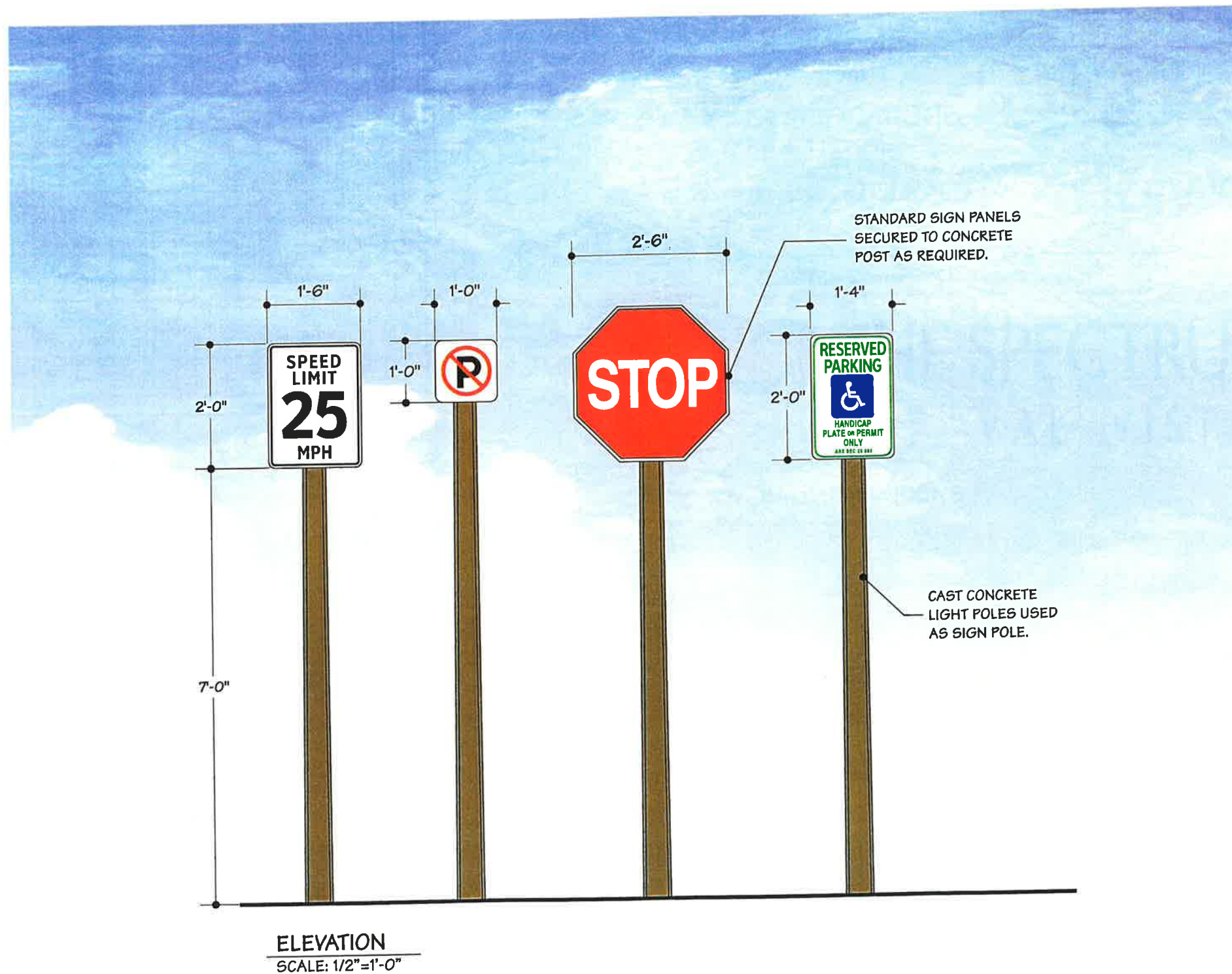
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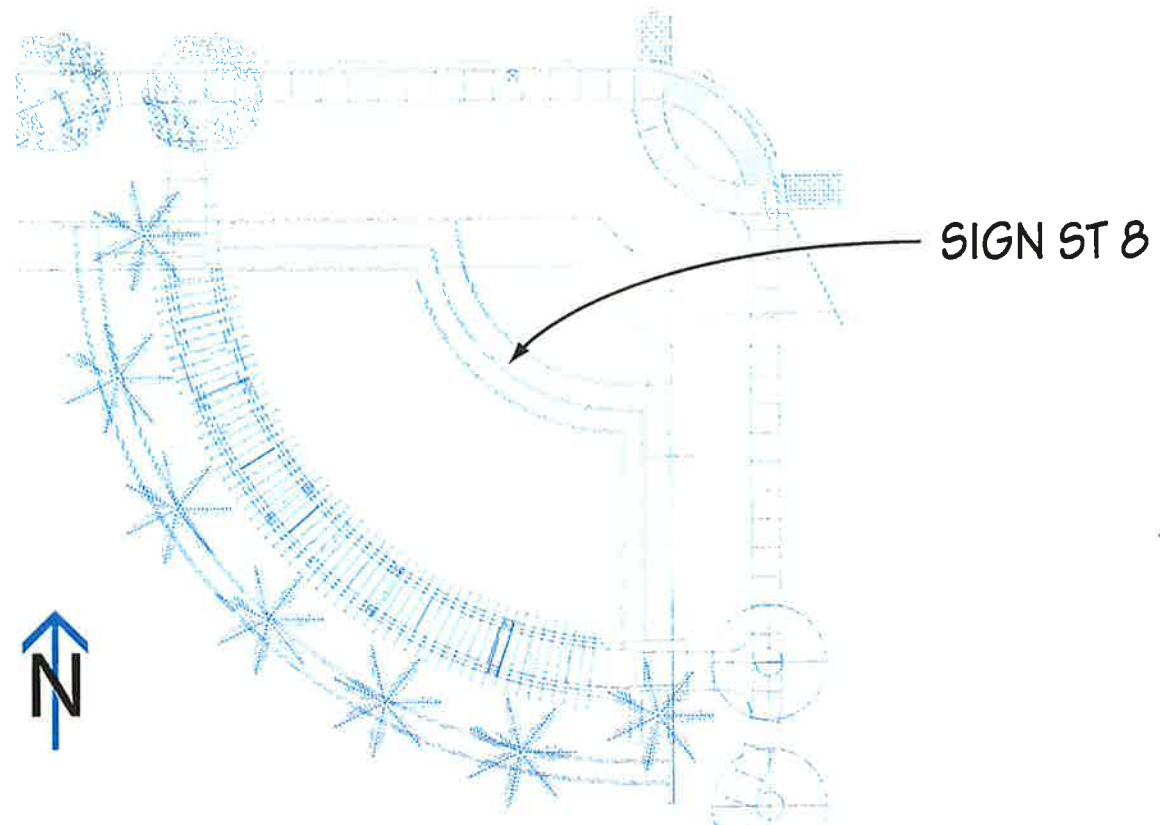


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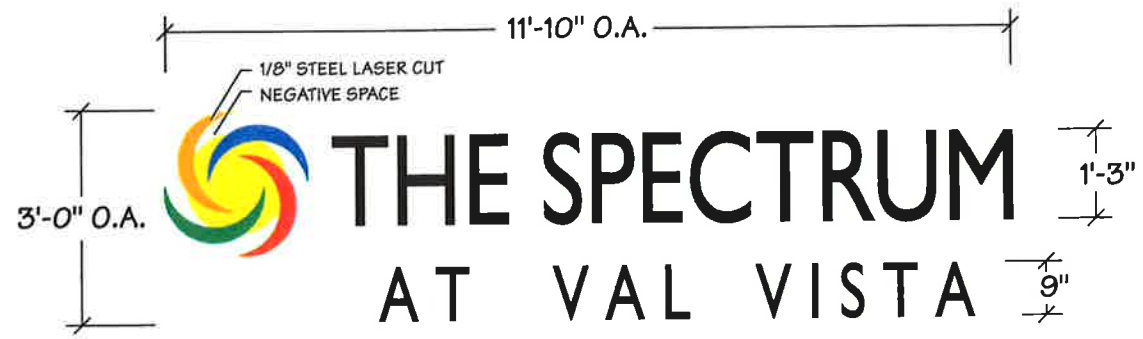


ST 7
TRAFFIC REGULATORY
SIGNS
(TYPICAL)



SITE PLAN ISOLATION @ FEATURE
SCALE: 1" = 40'-0"

SPECIFICATIONS:
PIN SET LETTERS
COPPER REVERSE PAN CHANNEL LETTERING
FONT GILL SANS REGULAR



OVERALL DIMENSIONS
SCALE: 3/8" = 1'-0"

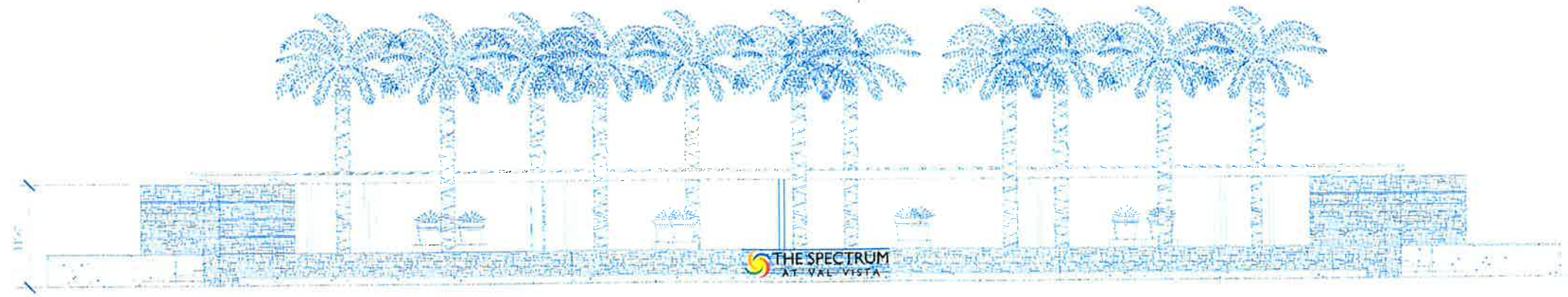


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ELEVATION @ FEATURE
SCALE: 1/16" = 1'-0"

ST 8
SPECTRUM MONUMENT
FEATURE

Dealership Building Signs





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Dealership Sign Matrix

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Primary Building Mounted Signage	Surface Mounted Signs	Dealership and Brand Identification	All elevations that offer readability	Proportional to Background Surface	1.50 SF / Linear Foot of Each Building Elevation Upon Which Signage is Placed (Typical) Aggregate sign area may be increased by up to twenty five (25%) percent to accommodate brand identification programs	Interior, Backlit or a combination thereof in addition to non-illuminated displays	Aluminum, Acrylic, Painted Metal, Flexface Material
Secondary Building Mounted Signage	Surface Mounted Signs	Secondary Identification	All elevations that offer readability	Proportional to Background Surface	1.50 SF / Linear Foot of Each Building Elevation Upon Which Signage is Placed (Typical) Aggregate sign area may be increased by up to twenty five (25%) percent to accommodate brand identification programs	Interior, Backlit or a combination thereof in addition to non-illuminated displays	Aluminum, Acrylic, Painted Metal, Flexface Material
Tertiary Building Mounted Signage	Surface Mounted Signs	Identification of Accessory Uses and Areas Within the Dealership	All elevations that offer readability	Proportional to Background Surface	1.50 SF / Linear Foot of Each Building Elevation Upon Which Signage is Placed (Typical) Aggregate sign area may be increased by up to twenty five (25%) percent to accommodate brand identification programs	Interior, Backlit or a combination thereof in addition to non-illuminated displays	Aluminum, Acrylic, Painted Metal, Flexface Material

Individual Dealership Sign Plans are subject to Developer and Town of Gilbert Design Review Board Approval



PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE



PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE
Enlarged View



PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE
Enlarged View



TERTIARY TYPICAL BUILDING SIGNAGE

TYPICAL MAJOR BUILDING SIGNAGE

TO ILLUSTRATE VARIETY OF LETTER STYLES, MATERIALS AND METHODS OF ILLUMINATION. FOR ILLUSTRATION PURPOSES ONLY.





PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE



PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE



PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE

Enlarged View



TERTIARY & PRIMARY TYPICAL BUILDING SIGNAGE

TYPICAL MAJOR BUILDING SIGNAGE

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PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE



PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE



TERTIARY TYPICAL BUILDING SIGNAGE



TERTIARY TYPICAL BUILDING SIGNAGE



TERTIARY TYPICAL BUILDING SIGNAGE

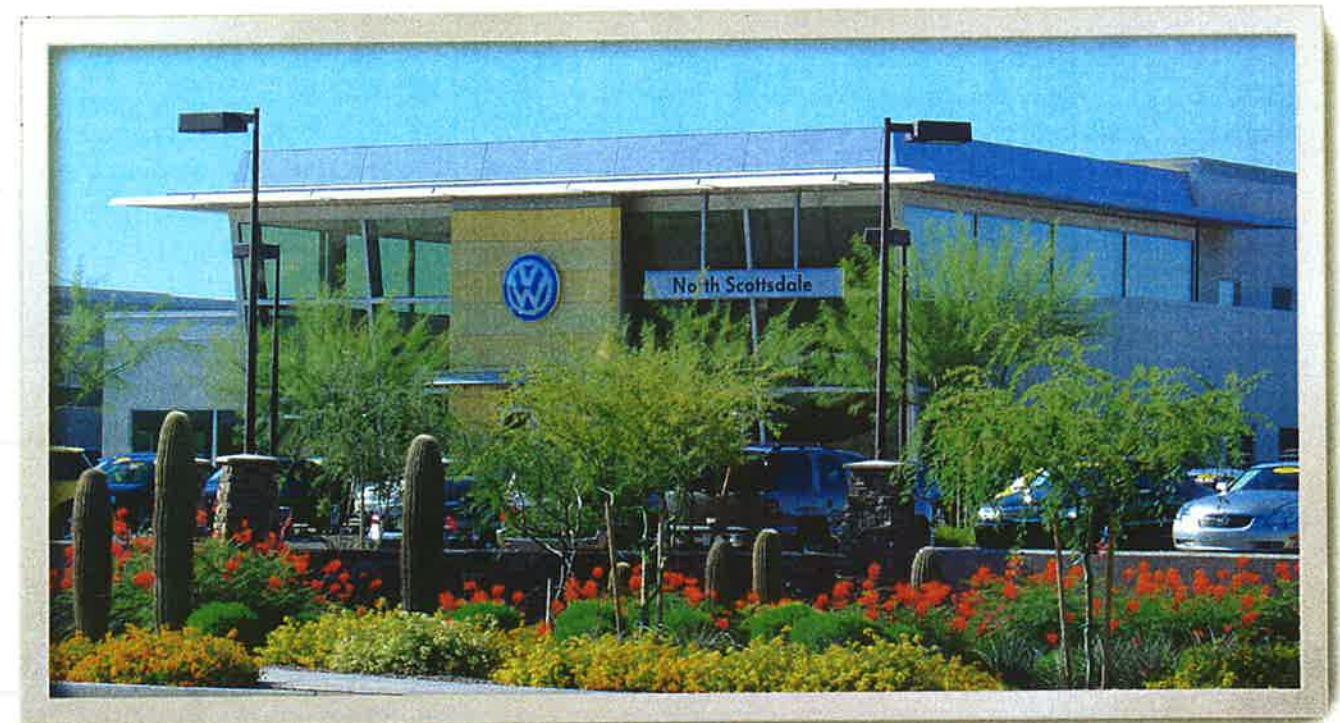
TYPICAL MAJOR BUILDING SIGNAGE

TO ILLUSTRATE VARIETY OF LETTER STYLES, MATERIALS AND METHODS OF ILLUMINATION. FOR ILLUSTRATION PURPOSES ONLY.





PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE



PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE



PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE



SECONDARY TYPICAL BUILDING SIGNAGE



TERTIARY TYPICAL BUILDING SIGNAGE

TYPICAL MAJOR BUILDING SIGNAGE

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PRIMARY TYPICAL BRAND / DEALERSHIP ID BUILDING SIGNAGE



TERTIARY TYPICAL BUILDING SIGNAGE

Enlarged View

TYPICAL MAJOR BUILDING SIGNAGE

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