



## NOTICE OF DECISION

Date: October 18, 2004

Applicant: Christy Signs  
C/O Summer McCarville

Address: 1825 S. Black Canyon HWY  
Phoenix, AZ 85009

Phone: 602.242.4488 Fax: 602.2710433

Subject: Mirador Square Sign Criteria Amendment  
Case number: DR01-66 (PDA-2004-00046)

Dear Summer,

This letter is to inform you that the request to amend the sign criteria for the above referenced project has been administratively reviewed and approved by Staff, subject to the following conditions:

- 1) The **General Signs Standards #1** shall be amended to state as follow:
  1. *Signs shall use a font style that is approved by Landlord. Channel letter returns must be black, bronze, or gold. Channel letter faces or cabinet faces shall be a color that is approved by Landlord and shall not protrude more than 5" from the façade.*
- 2) The **General Signs Standards #5** shall be amended to state as follow:
  5. *No exposed ballasts, crossovers, conduit, connectors, transformers, etc., shall be permitted. Double backs are allowed or other approved methods of attachment by national electrical codes.*

A copy of the requested criteria has been placed in the DR file and will remain as part of the public record. Thank you again for your cooperation in the approval process of this project. Should you have any questions, please contact me at 480.503.6838, or at [leilad@ci.gilbert.az.us](mailto:leilad@ci.gilbert.az.us).

Sincerely,

A handwritten signature in cursive script that reads "Leila A. DeMaree".

Leila A. DeMaree  
Planner I

## Mirador Square Sign Criteria

### General Signs Standards:

- ~~1. Signs shall use a standard font style such as Swiss Black or a similar font for channel letters. Channel letter returns must be black, bronze, or gold. Channel letter faces or cabinet faces shall be red, white, or blue and shall not protrude more than 5" from the facade.~~

***Signs shall use a font style that is approved by Landlord. Channel letter returns must be black, bronze, or gold. Channel letter faces or cabinet faces shall be a color that is approved by Landlord and shall not protrude more than 5" from the facade.***

2. All signs and their installation must comply with local building and electrical codes.
3. A tenant may identify service door for delivery and emergency purposes only.
4. No animated, flashing, audible or roof mounted signs shall be permitted.
- ~~5. No exposed ballasts, crossovers, conduit, connectors, transformers, etc., shall be permitted. P.K. housings are required for all wall mounted neon not on approved raceways.~~

***No exposed ballasts, crossovers, conduit, connectors, transformers, etc., shall be permitted. Double backs are allowed or other approved methods of attachment by national electrical codes.***

6. Signs will be restricted to advertising only the person, firm, company or corporation operating the use conducted on the site, or the products sold herein.
7. When signs are placed on buildings and in landscape setback areas, they shall be positioned a minimum of three feet from any property line to maintain and shall not interfere with required vehicular sight distances.
8. Sign text may be placed on more than one row, subject to space availability, required approvals, and provided the maximum allowable area guidelines are not exceeded.
9. Signs installed without written approval of the Center Manager will be subject to removal at tenant's expense. Damage will be assessed to cover cost of repair to sign band as a result of an unauthorized installation.
10. Tenant and/or the sign contractor shall repair any damage caused during the installation of signage.
11. No labels shall be permitted on the exposed surfaces of signs, except those required by local ordinance. Those required must be installed in an inconspicuous location.

DR 01-66<sup>64</sup>

# MIRADOR SQUARE SIGN CRITERIA

## Introduction:

The intent of the Sign Criteria is to provide the guidelines necessary to achieve visually coordinated, balanced and appealing signage environment at The Center.

Performance of the Sign Criteria shall be rigorously enforced and any nonconforming signs shall be removed by the tenant or tenants sign contractor at their expense, upon demand of the Center Manager.

Exceptions to these standards shall be reviewed by the Town of Gilbert and the Center Manager. However, based upon past field experience, deviations will generally result in serious inequities between tenants. Accordingly, the Center Manager will retain full rights of approval of any sign used in The Center.

## General Owner/Tenant Requirements

1. Each tenant shall submit to the Center Manager for written approval, five (5) copies of the detailed shop drawings of this proposed sign, (one in full color) indicating conformance with the Sign Criteria herein outlined, sent to:  
  
Gustine Company  
2100 Wharton St., Suite 700  
Pittsburgh, PA 15203
2. The tenant shall submit a sign drawing approved by the Center Manager to the Appropriate Town of Gilbert authority for approval prior to the start of any sign construction.
3. The tenant shall pay for all signs, their installation (including final connection, Transformers and all other labor and materials) and maintenance.
4. The tenant shall obtain all necessary permits from the Town of Gilbert.
5. The tenant shall be responsible for fulfillment of all requirements of this sign criteria.
6. The location of all signs shall be per the sign criteria exhibits.

## **Freestanding Center-Tenant Signage:**

Monument signs consist of aluminum cabinets textured coated with routed aluminum faces backed with acrylic.

Maximum sign area shall not exceed 60 square feet. Maximum height from Finish grade is 8'-0".

The sign base and embellishments shall complement the center architecture using the same materials and colors as the buildings.

## **Miscellaneous Signage:**

### **Directional Signs:**

Signs necessary for on-premise vehicle control and the performance of business transactions from a vehicle shall be allowed subject to the following conditions.

1. Maximum area of 3 square feet.
2. Maximum height of 3 feet.
3. No business identification permitted.
4. Signs shall be permanently affixed to the ground or building.

### **Future Tenant Signs:**

Signs listing the name of a future tenant shall be allowed until the occupancy of the tenant. Future Tenant Signs shall not exceed eight (8) feet in height and a total area of 32 square feet per sign face.

### **Sales or Lease Signs:**

Temporary signs advertising the sale, lease or hire of the site will be allowed. One freestanding sign per 300 feet of street frontage is permitted. These signs shall not exceed eight (8) feet in height and a total area of 32 square feet per sign face.

### **Construction Signs:**

A sign denoting the developer, architect, engineers, contractors, and other related subjects will be allowed at the commencement of construction. The signs shall be removed within 30 days after building occupancy. One sign for each separate construction project shall be allowed. Each sign shall not exceed 8 feet in height and a total of 32 square feet per sign face. These signs shall be removed upon the completion of the projects construction.

## General Signs Standards:

1. Signs shall use a standard font style such as Swiss Black or a similar font for channel letters. Channel letter returns must be black, bronze, or gold. Channel letter faces or cabinet faces shall be red, white, or blue and shall not protrude more than 5" from the facade.
2. All signs and their installation must comply with local building and electrical codes.
3. A tenant may identify service door for delivery and emergency purposes only.
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6. Signs will be restricted to advertising only the person, firm, company or corporation operating the use conducted on the site, or the products sold herein.
7. When signs are placed on buildings and in landscape setback areas, they shall be positioned a minimum of three feet from any property line to maintain and shall not interfere with required vehicular sight distances.
8. Sign text may be placed on more than one row, subject to space availability, required approvals, and provided the maximum allowable area guidelines are not exceeded.
9. Signs installed without written approval of the Center Manager will be subject to removal at tenant's expense. Damage will be assessed to cover cost of repair to signband as a result of an unauthorized installation.
10. Tenant and/or the sign contractor shall repair any damage caused during the installation of signage.
11. No labels shall be permitted on the exposed surfaces of signs, except those required by local ordinance. Those required must be installed in an inconspicuous location.

**MATERIALS/COLORS**

- Cabinet colors and materials to match building architecture
- Cabinet and copy: .090 fabricated, routed, texture-coated and painted aluminum backed with red acrylic (OPAQUE BACKGROUND).

- A- Stucco ICI Smokey Beige 00YY-17/036
- B- Stucco ICI King Bird 00YY23/062
- C- Founders Finish Canyon Blend
- E- Accent Color ICI Village Blue 70BG17/116

**PRIMARY SIGNAGE**

Monument Sign  
DOUBLE FACED  
INTERNALLY ILLUMINATED  
SQUARE FOOTAGE: 60.0

**MATERIALS/COLORS**

- Cabinet colors and materials to match building architecture
- Cabinet and copy: .090 fabricated, routed, texture-coated and painted aluminum backed with white acrylic (OPAQUE BACKGROUND).

- A- Stucco ICI Smokey Beige 00YY-17/036
- B- Stucco ICI King Bird 00YY23/062
- C- Founders Finish Canyon Blend
- E- Accent Color ICI Village Blue 70BG17/116

**PRIMARY SIGNAGE**

Monument Sign  
DOUBLE FACED  
INTERNALLY ILLUMINATED  
SQUARE FOOTAGE: 60.0



H

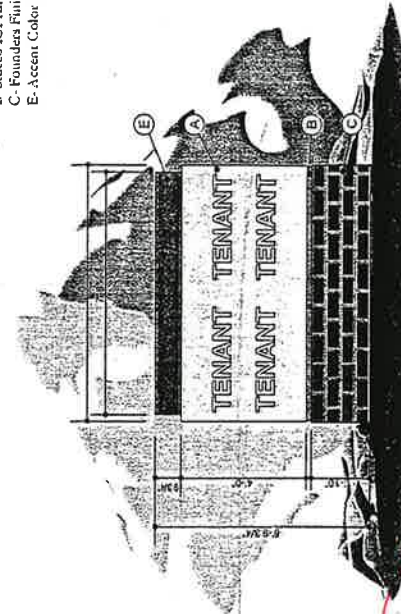
**MATERIALS/COLORS**

- Cabinet colors and materials to match building architecture
- Cabinet and copy: .090 fabricated, routed, texture-coated and painted aluminum backed with white acrylic (OPAQUE BACKGROUND).

- A- Stucco ICI Smokey Beige 00YY-17/036
- B- Stucco ICI King Bird 00YY23/062
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**PRIMARY SIGNAGE**

Monument Sign  
DOUBLE FACED  
INTERNALLY ILLUMINATED  
SQUARE FOOTAGE: 32.0



J

**MATERIALS/COLORS**

- Cabinet colors and materials to match building architecture
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**PRIMARY SIGNAGE**

Monument Sign  
DOUBLE FACED  
INTERNALLY ILLUMINATED  
SQUARE FOOTAGE: 60.0



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**COLLINS SIGNS**

2800 S. Williams Ave  
Cave Creek, AZ 85024  
318.933.5569 Fax  
310.814.9192 Fax

**CVS** **pharmacy**  
Guadalupe @ Greenfield  
Gilbert, AZ

The Collins Sign Company is a leading national sign manufacturer serving the needs of the construction, retail, and service industries. We are committed to providing quality signs and solutions for our clients. For more information, please contact us at 318.933.5569.

### *Illumination*

Site lighting for Bank One includes six pole lights located in landscaped areas. All poles within 150' of the residences to the east are 14' tall or less. There are a total of seven wall-mounted lights that are mounted 10.5' from grade. All lighting fixtures will be dark bronze in color.

### *Signage*

Signage for Mirador Square has been approved through DR01-66, the sign package for the entire center. Bank One signage will be reviewed through the permitting process and required to conform to established sign criteria and Town code. Signage size and location, as shown on the attachments, is for informational purposes only.

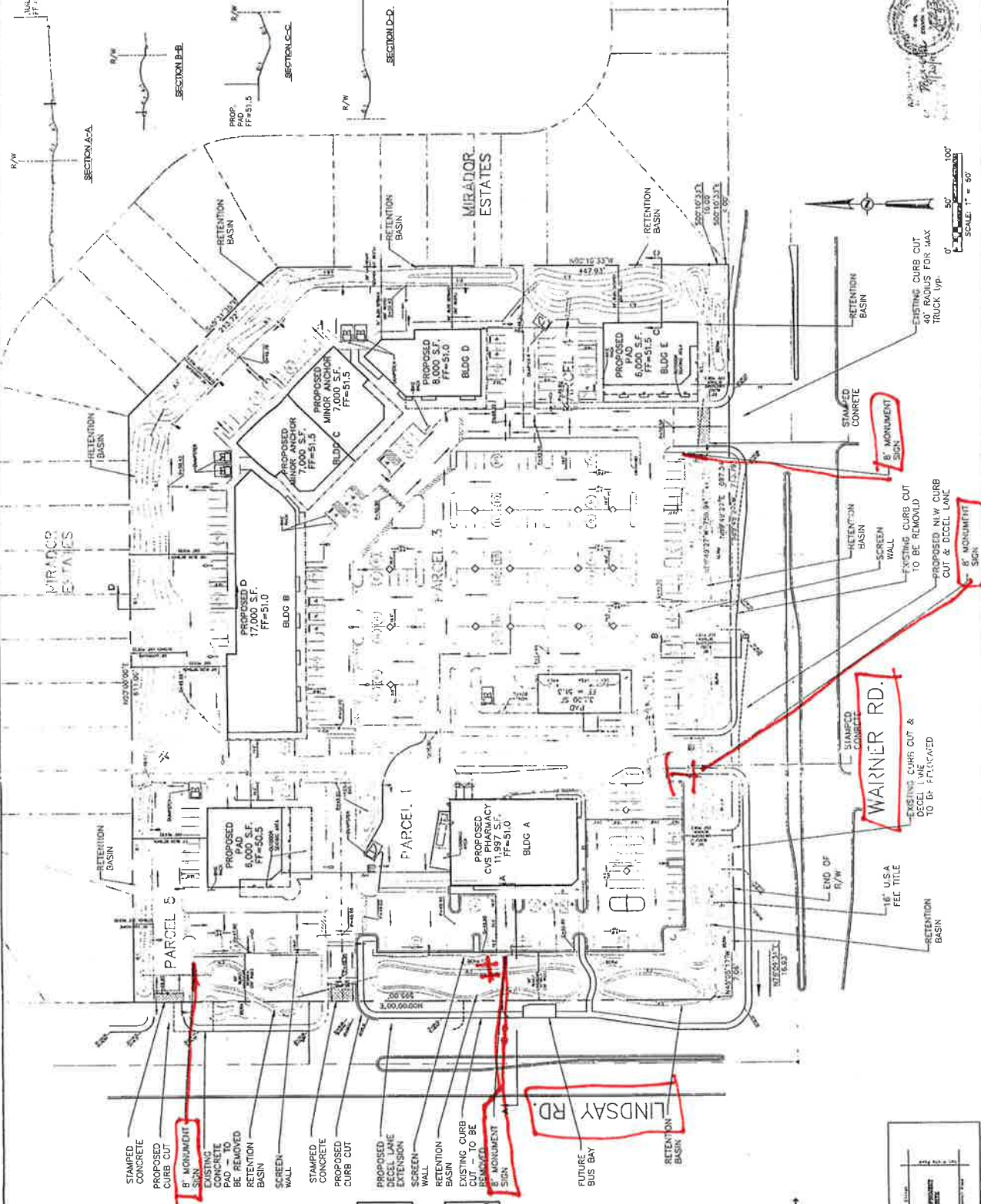
## **STAFF RECOMMENDATION**

Approval of the site plan, landscaping, grading and drainage, lighting, and building elevations for DR04-11, Bank One at Mirador Square, subject to the following conditions:

1. Construction of the project shall conform with exhibits approved by the Design Review Board at the May 13, 2004 public hearing.
2. At the time of construction document submittal, the site plan shall include Town of Gilbert standard commercial and industrial site plan notes adopted by the Gilbert Design Review Board March 11, 2004.

### **Attachments**

1. Notice of Public Hearing Map
2. Site Plan
3. Landscape Plan
4. Preliminary Grading and Drainage Plan
5. Lighting Details
6. Building elevations



**PROJECT DATA**

	PARCEL 1	PARCEL 2	PARCEL 3
GROSS LAND AREA	100,464 SF	40,924 SF	223,196 SF
DEDICATED LAND AREA	100,464 SF	40,924 SF	223,196 SF
BUILDING AREA	11,997 SF	3,500 SF	39,000 SF
PROPOSED PARKING	1/225 SF = 16 SPACES	1/225 SF = 16 SPACES	1/225 SF = 73 SPACES
MAX. BUILDING HEIGHT	30'	30'	25'-30'
PROPOSED BUILDING HEIGHT	PSC-1	PSC-1	PSC-1
EXISTING ZONING	PSC-1	PSC-1	PSC-1
PROPOSED ZONING	PSC-1	PSC-1	PSC-1

	PARCEL 4	PARCEL 5
GROSS LAND AREA	33,520 SF	50,860 SF
DEDICATED LAND AREA	33,520 SF	50,860 SF
BUILDING AREA	6,000 SF	6,000 SF
PROPOSED PARKING	1/225 SF = 27 SPACES	1/225 SF = 27 SPACES
MAX. BUILDING HEIGHT	30'	30'
PROPOSED BUILDING HEIGHT	PSC-1	PSC-1
EXISTING ZONING	PSC-1	PSC-1
PROPOSED ZONING	PSC-1	PSC-1

**PROJECT TOTAL**

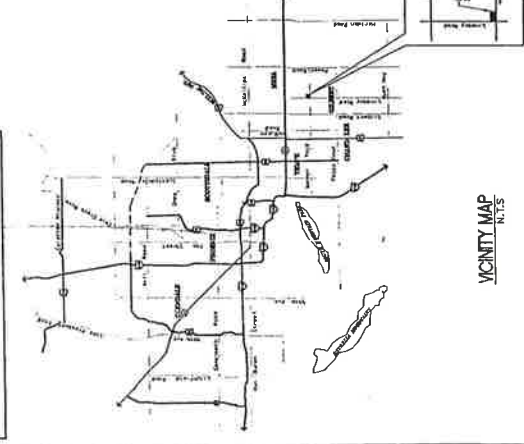
GROSS LAND AREA	469,700 SF
DEDICATED LAND AREA	469,700 SF
NET LAND AREA	448,973 SF
BUILDING AREA	65,487 SF
PROPOSED PARKING	295 SPACES
EXISTING ZONING	PSC-1
PROPOSED ZONING	PSC-1

**ADJACENT ZONING**

NORTH	MIRADOR ESTATES	R2-1
EAST	MIRADOR ESTATES	R2-1
WEST	VACANT	PSC-1

**RETENTION REQUIREMENTS**

OFF-SITE RETENTION REQUIRED (N/C/M/D)	18,700 CF
ON-SITE RETENTION REQUIRED	86,700 CF
TOTAL RETENTION REQUIRED	105,400 CF
TOTAL RETENTION PROVIDED	115,000 CF





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5. The tenant shall be responsible for fulfillment of all requirements of this sign criteria.
6. The location of all signs shall be per the sign criteria exhibits.

7. One "sign space" shall be allowed for each tenant (except as otherwise approved in writing). The tenant shall verify the sign location with the Center Manager prior to fabrication.
  8. Address numeral shall be applied to each store by tenant's sign company during the regular course of construction, per sign criteria exhibits.
  9. Special signs which vary from the Sign Criteria must first be approved by the Center Manager and respective town authorities.
  10. No sign shall be constructed until permits are approved from the Town of Gilbert Planning, Building and Safety Departments.
  11. All signs shall conform to the ULDC regulations and/or Mirador Square sign criteria, the more restrictive shall apply.
-

## **Freestanding Center-Tenant Signage:**

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Maximum sign area shall not exceed 60 square feet. Maximum height from Finish grade is 8'-0".

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**MATERIALS/COLORS**

- Cabinet colors and materials to match building architecture
- Cabinet and copy: .090 fabricated, routed, texture, coated and painted aluminum backed with red acrylic (OPAQUE BACKGROUND)
- A- Stucco ICI Smokey Beige 00YY47/036
- B- Stucco ICI King Blvd 00YY23/062
- C- Founders Finish Canyon Blend
- E- Accent Color ICI Village Blue 70BG17/116

**PRIMARY SIGNAGE**

Monument Sign  
DOUBLE FACED  
INTERNALLY ILLUMINATED  
SQUARE FOOTAGE: 60.0

**MATERIALS/COLORS**

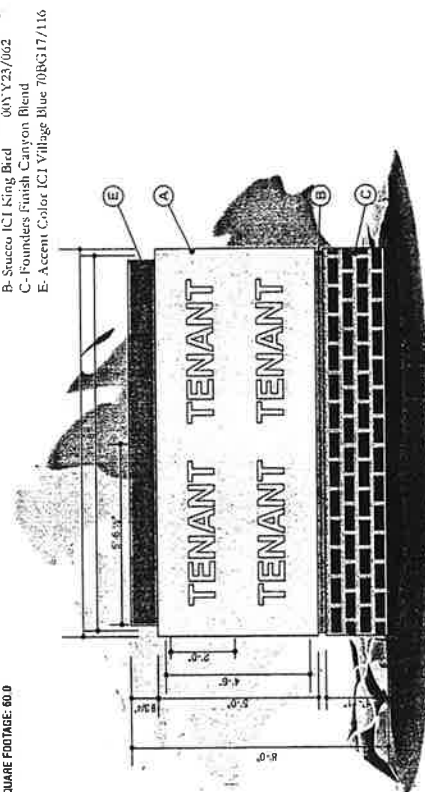
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**PRIMARY SIGNAGE**

Monument Sign  
DOUBLE FACED  
INTERNALLY ILLUMINATED  
SQUARE FOOTAGE: 60.0



(H)



(G)

**MATERIALS/COLORS**

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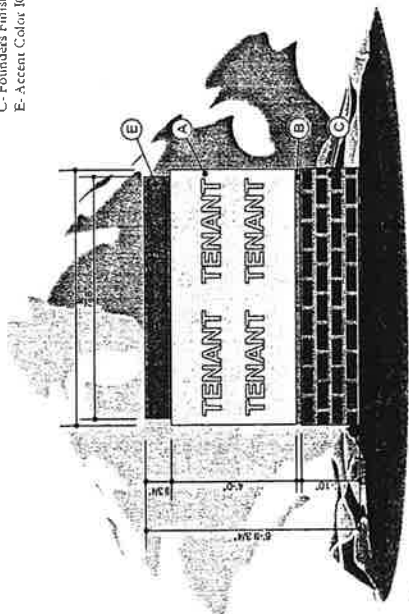
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Monument Sign  
DOUBLE FACED  
INTERNALLY ILLUMINATED  
SQUARE FOOTAGE: 32.0



(J)

**COLLINS SIGNS**



23801 S. Wilmington Ave.  
Carson, CA 90745  
310.532.5959 Tel./Phone  
310.834.8192 Fax

**CVS** pharmacy  
Guadalupe @ Greenfield  
Gilbert, AZ

Not a design. All dimensions shown here are subject to change. All materials and finishes are subject to change without notice. All materials and finishes are subject to change without notice. All materials and finishes are subject to change without notice.

**PROJECT DATA**

	PARCEL 1	PARCEL 2	PARCEL 3
GROSS LAND AREA	100,464 SF	40,924 SF	223,196 SF
DEDICATED LAND AREA	-- SF	-- SF	-- SF
NET LAND AREA	100,464 SF	40,924 SF	223,196 SF
BUILDING AREA	11,987 SF	3,500 SF	39,000 SF
PARKING REQUIRED	1/225 SF = 53	1/225 SF = 16	1/225 SF = 173
PARKING PROVIDED	84 SPACES	39 SPACES	230 SPACES
MAX. BUILDING HEIGHT	30'	30'	25'-30'
PROPOSED BUILDING HEIGHT	25'-30'	25'-30'	25'-30'
EXISTING ZONING	PSC-1	PSC-1	PSC-1
PROPOSED ZONING	PSC-1	PSC-1	PSC-1

	PARCEL 4	PARCEL 5
GROSS LAND AREA	33,520 SF	50,869 SF
DEDICATED LAND AREA	-- SF	-- SF
NET LAND AREA	33,520 SF	50,869 SF
BUILDING AREA	6,000 SF	6,000 SF
PARKING REQUIRED	1/225 SF = 27	1/225 SF = 27
PARKING PROVIDED	15 SPACES	29 SPACES
MAX. BUILDING HEIGHT	30'	30'
PROPOSED BUILDING HEIGHT	25'-30'	25'-30'
EXISTING ZONING	PSC-1	PSC-1
PROPOSED ZONING	PSC-1	PSC-1

**PROJECT TOTAL**

	COMBINED
GROSS LAND AREA	460,790 SF
U.S.A. FEE AREA	11,817 SF
NET LAND AREA	448,973 SF
BUILDING AREA	66,487 SF
PARKING REQUIRED	296 SPACES
PARKING PROVIDED	397 SPACES
EXISTING ZONING	PSC-1
PROPOSED ZONING	PSC-1

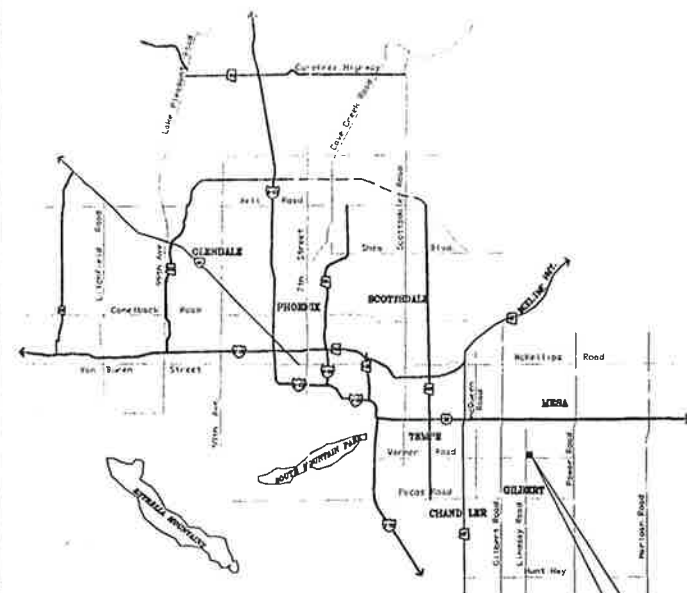
**ADJACENT ZONING**

	NORTH	MIRADOR ESTATES	R-2
SOUTH	VACANT	MIRADOR ESTATES	PSC-1
EAST	VACANT	MIRADOR ESTATES	R2
WEST	VACANT	VACANT	PSC-1

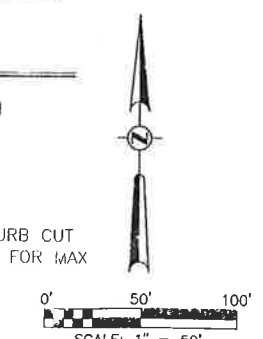
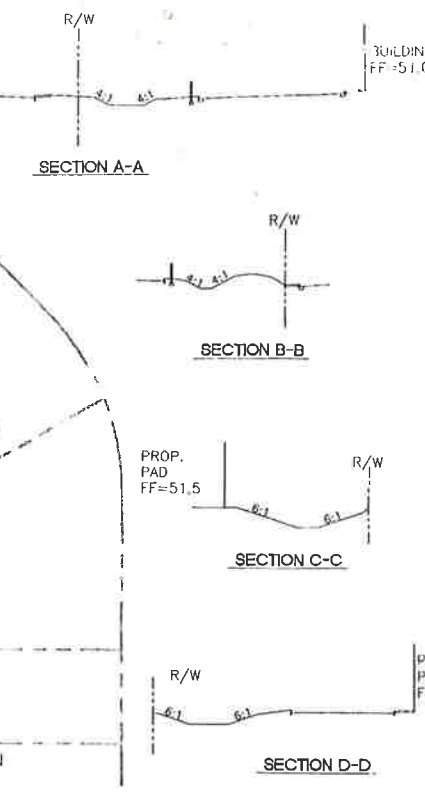
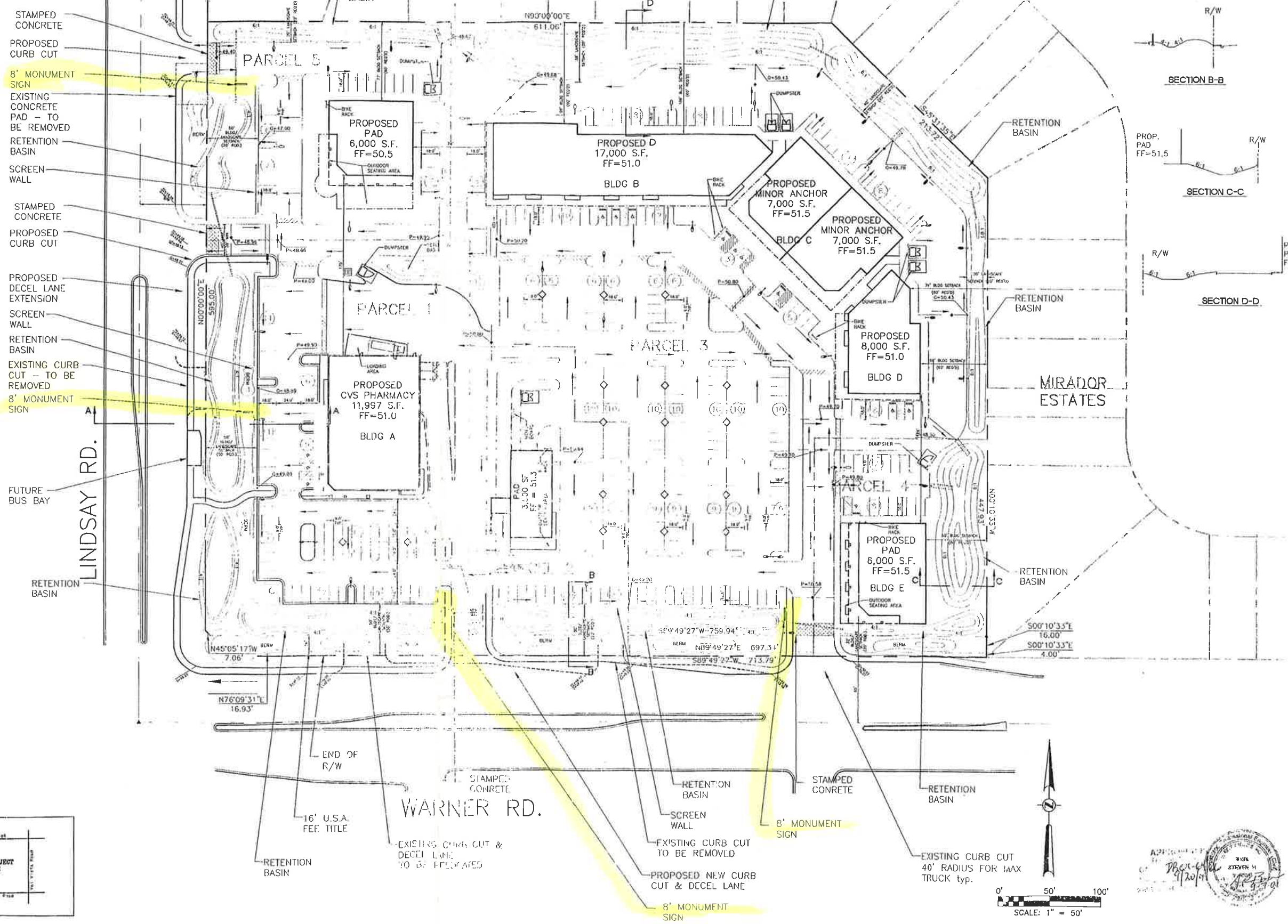
TOTAL FRONTAGE LANDSCAPE SETBACK AREA = 67,000 SF  
 TOTAL FRONTAGE RETENTION AREA = 25,000 SF (38%)

**RETENTION REQUIREMENTS**

OFF-SITE RETENTION REQUIRED (V=DAC) = 0.25 * 0.83 * 91000 SF = 18,700 CF	18,700 CF
ON-SITE RETENTION REQUIRED = 0.25 * 0.80 * 448,973 = 89,700 CF	89,700 CF
TOTAL RETENTION REQUIRED	108,400 CF
TOTAL RETENTION PROVIDED	115,000 CF



VICINITY MAP  
N.T.S.



**PRELIMINARY GRADING AND DRAINAGE PLAN**