



NOTICE OF ADMINISTRATIVE DECISION

June 1, 2016

Mel Corley-For Your Sign Permit Needs, LLC
3661 W. Saragosa Street
Chandler, AZ 85226

RE: Minor Administrative Design Review-**DR02-31-A (PAL-2016-00034)**-Aspen Gilbert

Dear Mr. Corley:

Staff has reviewed and **approved** your Minor Administrative Design Review for approval of **DR02-31-A (PAL-2016-00034)** an amendment to the Final Meeting Minutes for the NWC of Gilbert and Warner Roads site plan, located at 756 South Gilbert Road Gilbert, AZ. The site is zoned General Commercial (GC).

Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provisions of public services

A summary of the proposed amendment to the approved site plan:

- The approved site plan of DR02-31-A which includes the pad owned by Aspen Gilbert LLC contains more limitations in terms of size and colors than Gilbert's current sign code. The request is to amend the Design Review Board meeting minutes to be consistent with the Town's sign code.

Staff has **approved** your request with the following conditions:

1. A strikethrough on the Notice of Action dated September 16, 2002 apart of the Design Review Board Meeting minutes #2, ***"With the exceptions of the end towers, all wall signs shall consist of a single row of letters not to exceed 24 inches in height, Tower wall signage may have 2 rows of signage, with letters not to exceed 20 inches in height. Coverage of signs shall be limited to the sign area."***
2. This site shall comply with Town of Gilbert's current sign code.
3. All future signage will obtain appropriate permits from the Town of Gilbert.

If you have any questions regarding these findings, please contact me at (480) 503-6977.

Sincerely,

A handwritten signature in black ink, appearing to read "Nick Zornes". The signature is fluid and cursive, with a long horizontal stroke at the end.

Nick Zornes
Planner II
Town of Gilbert

Enclosed: Notice of Action, Site Photos



Notice of Action

Project Name: Lowe's Pad "D" Building

Project Number: DR02-31

Date: September 16, 2002

Address or Location: NWC Gilbert and Warner Roads

Applicant Information: Mike Decker
Aspen Acquisitions
4925 North O'Connor Boulevard
Suite 175
Irving, Texas 75062

P: 972.871.9164 F: 972.871.9166

Owner Information: Robin Nickles
Lowe's HIW
North Wilkesboro, North Carolina 28659

P: 336.658.3357 F: 336.658.3643

Planner: Matt Everling, Planner II *me*
P: 480.503.6746 F: 480.497-4923
Email: matte@ci.gilbert.az.us

Action: The Design Review Board on August 15, 2002 approved this project, subject to the conditions contained in the final minutes attached. Please incorporate these stipulations in the set of construction documents or civil drawings to help us in expediting the implementation phase of this project.

In our effort to continuously strive for increased customer service, we would ask that you take several minutes of your time to complete and return the enclosed Community Development Customer Satisfaction Survey.

Thank you again for your cooperation in the approval process of this project. Should you have any questions, please contact me at (480) 503-6807, or at matte@ci.gilbert.az.us.

Attachments: Design Review Board Final Minutes 8/15/02
Development Services Customer Satisfaction Survey

DR02-31 – Approval of the site plan, grading and drainage, architecture, landscaping, elevations, lighting and signage for the Lowes Pad “D” building located at the northwest corner of Warner and Gilbert Roads.

Approval of the site plan, grading and drainage, architecture, landscaping, elevations, lighting and signage for the Lowe’s Pad “D” (DR02-31) subject to the following conditions:

1. Construction of the Lowe’s Pad “D” project shall conform with the exhibits approved at the public meeting on August 15, 2002.
- ~~2. With the exception of the end towers, all wall signs shall consist of a single row of letters not to exceed 24 inches in height. Tower wall signage may have 2 rows of signage, with letters not to exceed 20 inches in height. Coverage of signs shall be limited to the sign area.~~
3. Prior to the issuance of any permits, the applicant shall submit, to the Planning Department for review and approval, the correct cut sheets for the building-mounted lighting.
4. The construction site plan document submittal shall include the list of Standard Commercial and Industrial Site Plan Notes.

~~**DR02-46 – Approval of the final site plan, landscaping, lighting, preliminary grading and drainage, and building elevations for Greenfield Jr. High School Pool located at the southeast corner of Greenfield and Elliot Roads.**~~

~~Approval of DR02-46, the final site plan, landscaping, lighting, preliminary grading and drainage, and building elevations for Greenfield Jr. High School Pool, subject to the following conditions:~~

- ~~1. Construction of the project shall conform with the exhibits presented and conditions stipulated by the Design Review Board at the August 15, 2002 public meeting.~~
- ~~2. At the time of construction document submittal, the site plan shall include standard commercial and industrial site plan notes.~~
- ~~3. The eastern most drive on Elliot Road shall meet detail number 2 of the Unified Land Development Code.~~

~~**DR02-26 – Approval of 4 and 5 plex townhome units, building elevations, grading and drainage plan and landscape plan proposed by Scott Homes located in Fincher Farms PAD located at the northwest corner of Galveston Street and Coronado Road.**~~

~~Staff recommends approval of DR02-26, Fincher Farm Townhomes by Scott Homes at Fincher Farms PAD ([type # plans]) standard plan 1 through 4, subject to the following conditions:~~

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APPROVED

Minor Administrative Design Review

Case # DR02-31-A(PAL-2016-00034)

Date 6/1/2016

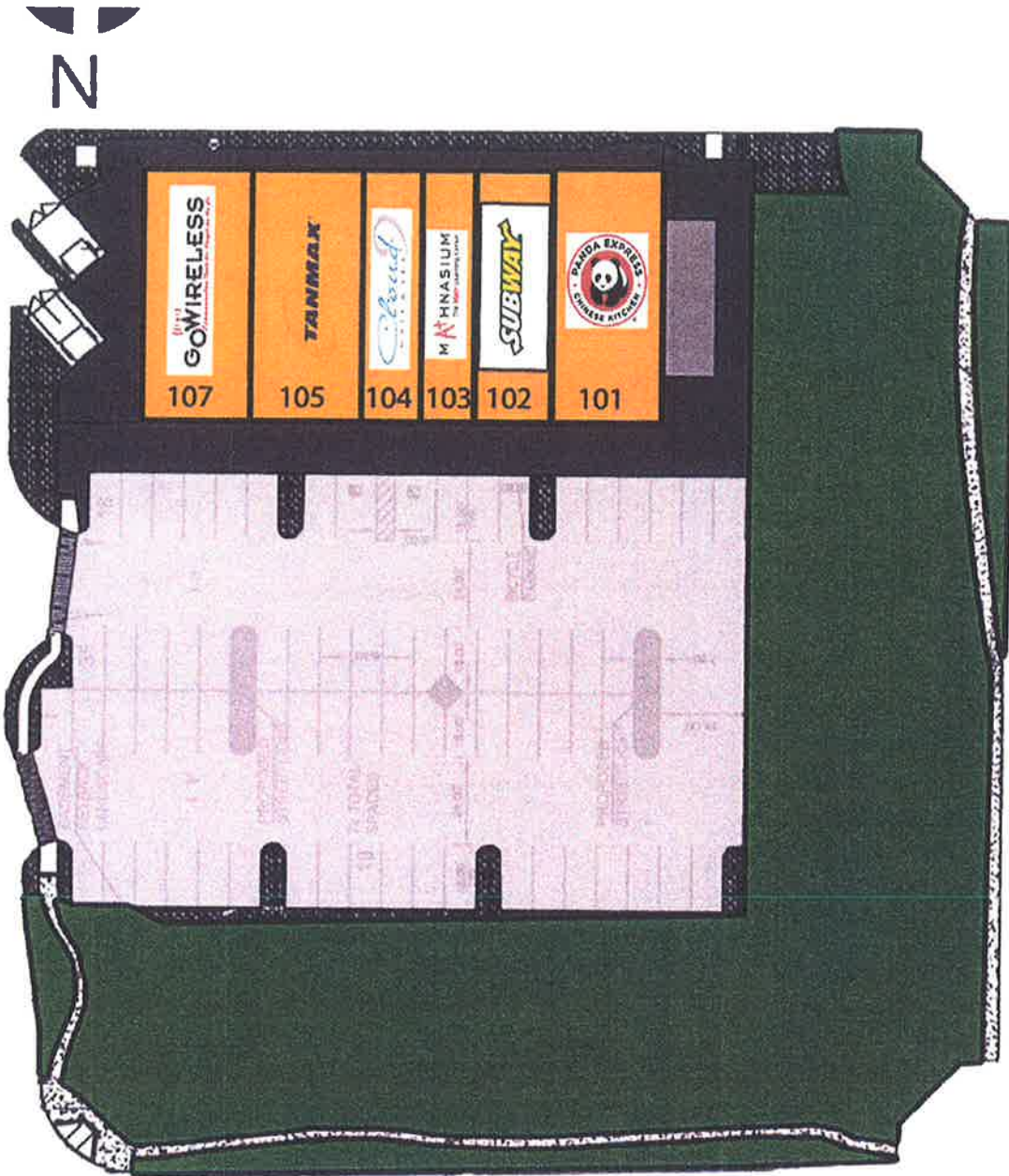


APPROVED

Minor Administrative Design Review

Case # DR02-31-A(PAL-2016-00034)

Date 6/1/2016



Site Summary 9,800 SQ. FT.

Suite 101	Panda Express	2,100 Sq. Ft.
Suite 102	Subway	1,400 Sq. Ft.
Suite 103	Mathnasium	1,120 Sq. Ft.
Suite 104	Cloud 9 Nails	1,060 Sq. Ft.
Suite 105	TanMax	2,072 Sq. Ft.
Suite 107	Go Wireless	2,000 Sq. Ft.

AVAILABLE
Retail Space / Pad Sites



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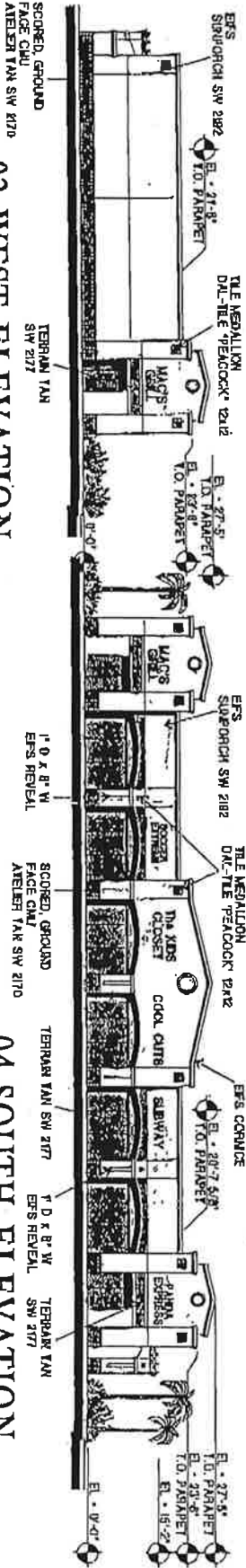
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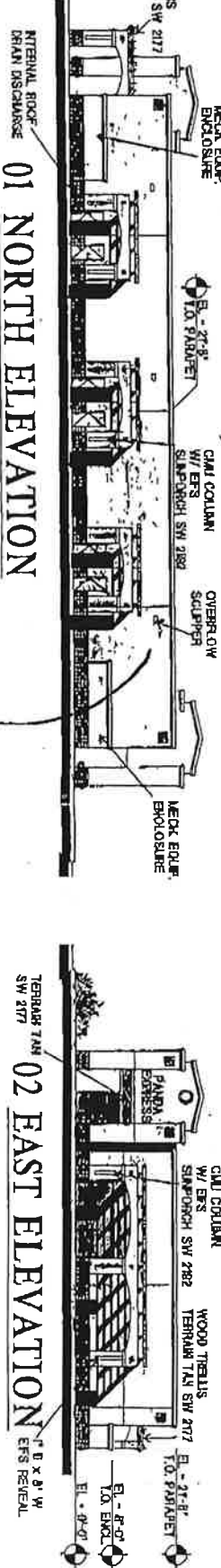
03 WEST ELEVATION

SCALE: 1/8" = 1'-0"



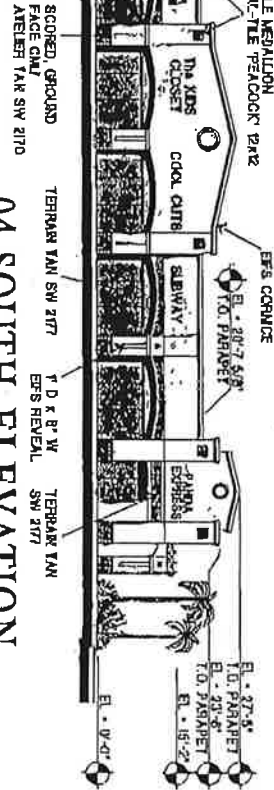
01 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



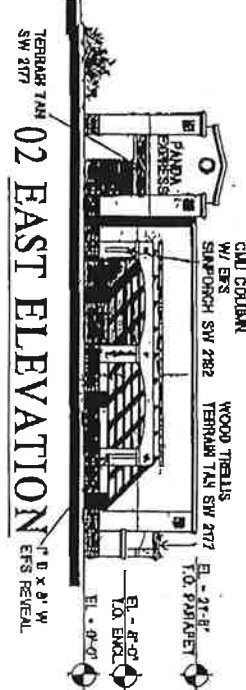
04 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



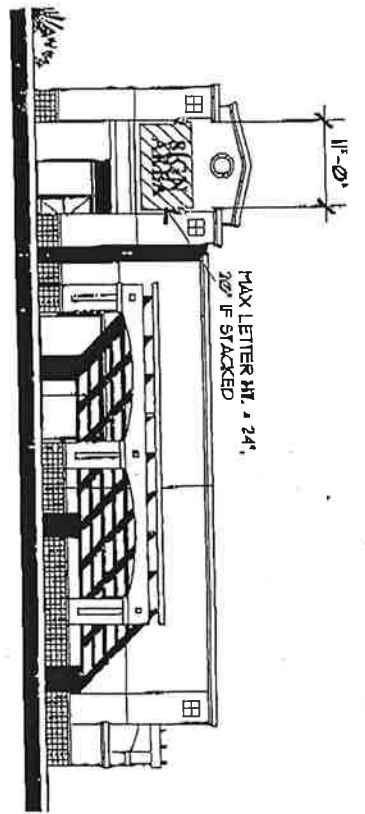
02 EAST ELEVATION

SCALE: 1/8" = 1'-0"



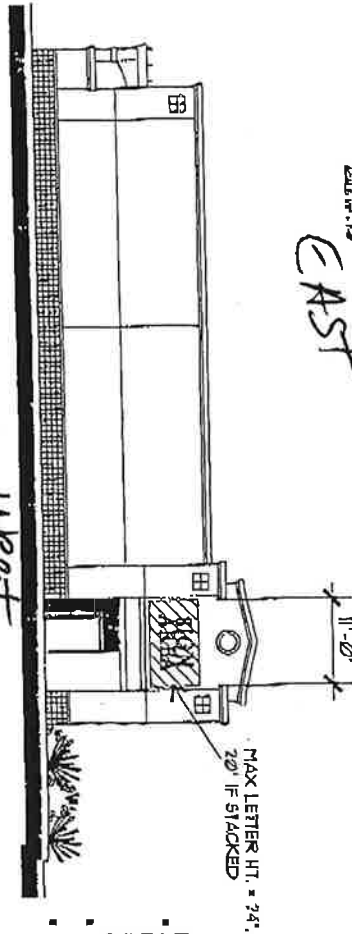
NO sign area

APPROVED PLANS
 Design Review Board
 CASE: 201-51
 DATE: 8-15-02
 SUBJECT TO CONDITIONS OF APPROVAL



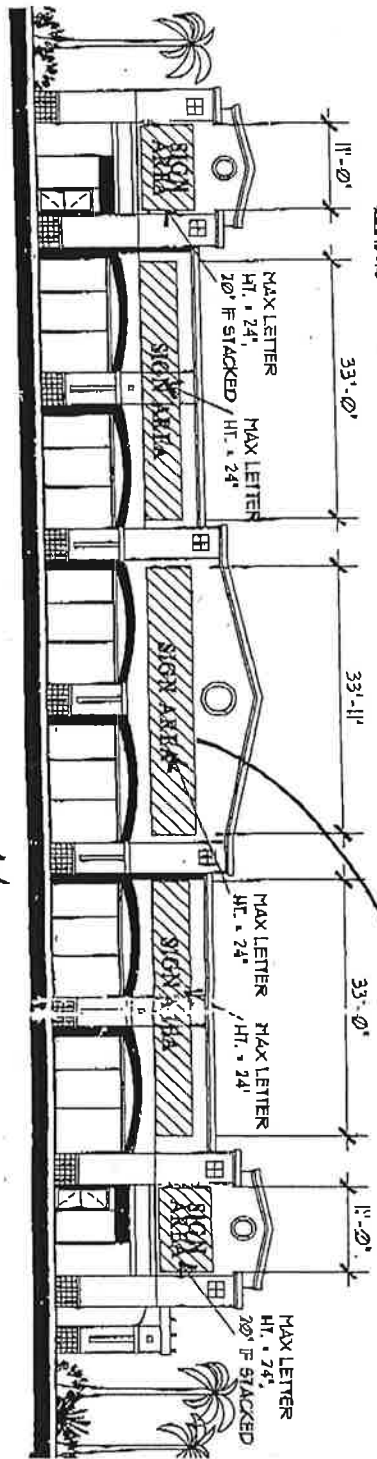
03 SIDE ELEVATION

EAST



02 SIDE ELEVATION

West



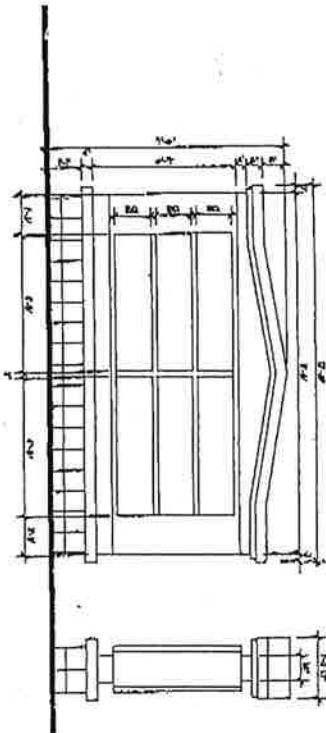
01 FRONT ELEVATION

South

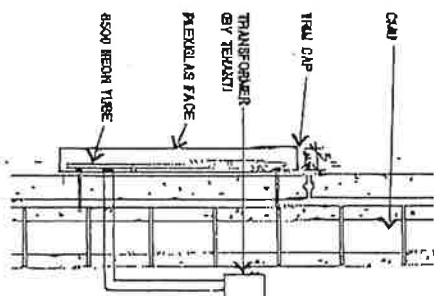
NOTE:
 ■ SIGN AREAS SHOWN ARE TO INDICATE POSSIBLE SIGN
 ■ LOGO, FONTS AND MAX LETTER SIZES ONLY. EXACT SIGN
 ■ SIZE SHALL BE LEFT X LEASE WIDTH AND MAX BOX WIDTH
 ■ OF TOWN'S SIGN PER TOWN OR GILBERT SIGN CODE
 ■ TYPE, SHAPE AND COLOR PER TOWN DISCRETION WITH
 ■ LAND LORD APPROVAL.
 ■ HEIGHT TO BE 6500 WHITE WITH PLEXIGLAS FRONTS.

Sign area

05 MONUMENT SIGN



04 SIGN SECTION



APPROVED FOR CONSTRUCTION
 DATE: 05/02/03
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

DATE	BY	REVISION

LOWE'S PAD D

DR02-31 – Approval of the site plan, grading and drainage, architecture, landscaping, elevations, lighting and signage for the Lowes Pad "D" building located at the northwest corner of Warner and Gilbert Roads.

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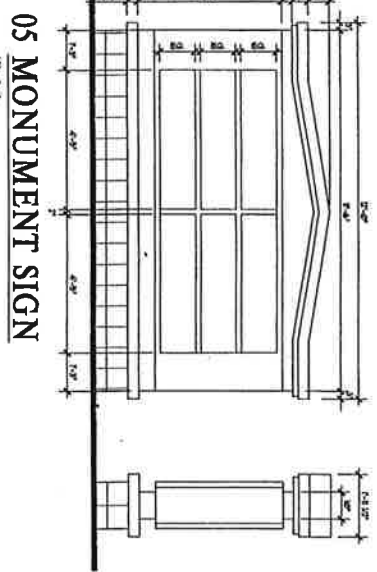
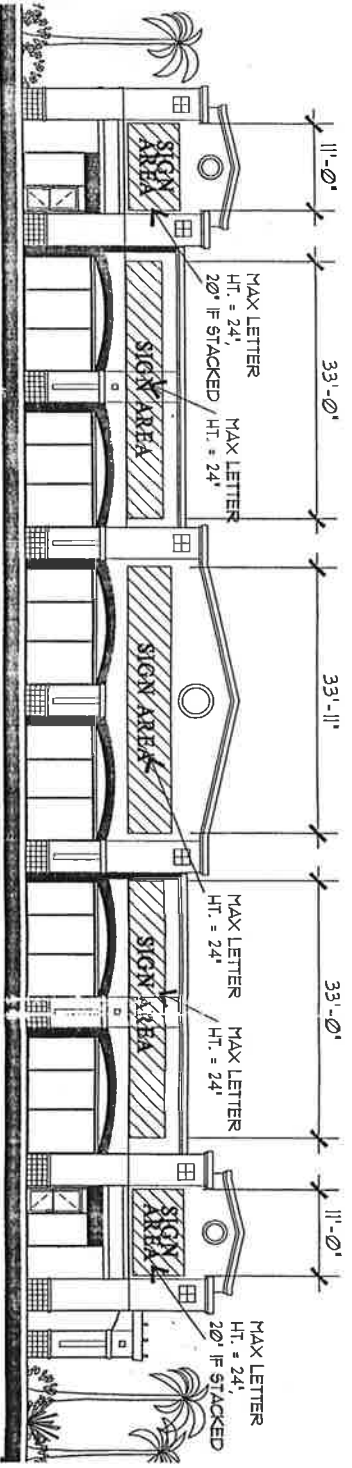
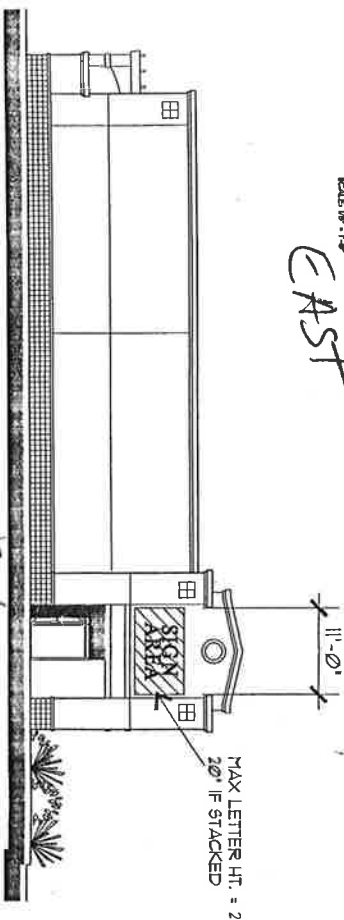
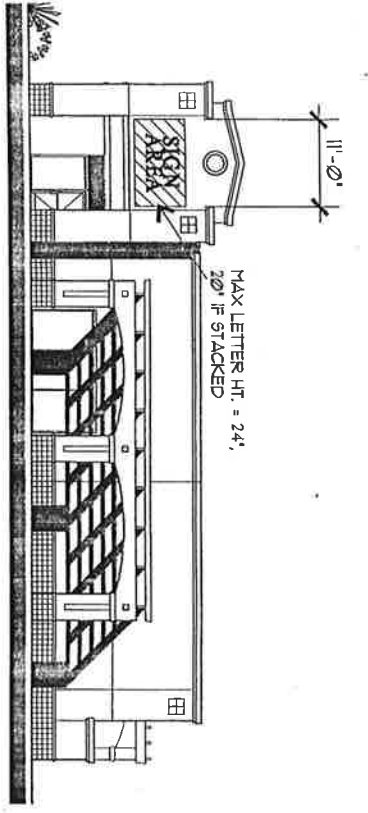
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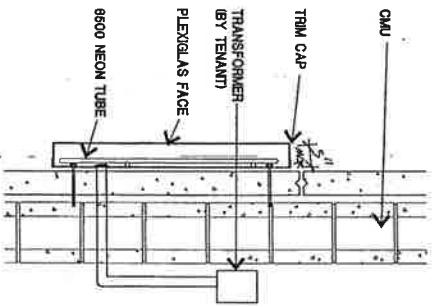
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NOTES:

- SIGN AREAS SHOWN ARE TO INDICATE POSSIBLE SIGN LOCATIONS AND MAX LETTER SIZES ONLY. EXACT SIGN SIZE WILL BE 16ft X LEASE WIDTH AND MAX 80% WIDTH OF TENANT'S SUITE PER TOWN OF GILBERT SIGN CODE
- TYPE FACE AND COLOR PER TENANT DISCRETION WITH LANDLORD APPROVAL.
- NEON: TO BE 8600 WHITE WITH PLEXIGLAS FRONTS.



APPROVED PLANS
DATE: 12/27/17
CASE: 17-02344
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS NOTED
SHEET NO. A2

APPROVED PLANS
DATE: 12/27/17
CASE: 17-02344
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS NOTED
SHEET NO. A2

IMPERIAL LOGS		
NO.	DESCRIPTION	DATE

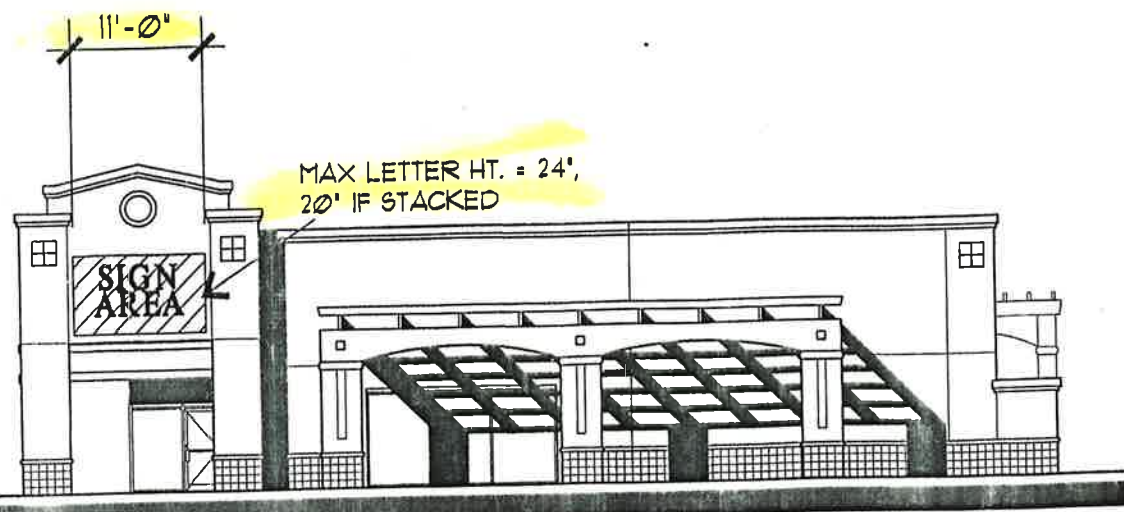
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GILBERT & WARNER RD.
GILBERT, ARIZONA

A DEVELOPMENT OF:
MALY COMMERCIAL RALTY, INC.

O'BRIEN & ASSOCIATES
ARCHITECTURE
PLANNING
INTERIOR

510 HARVEST HILL ROAD
SUITE 108
DALLAS TEXAS 75290
P.O. BOX 728432
www.obrien.com

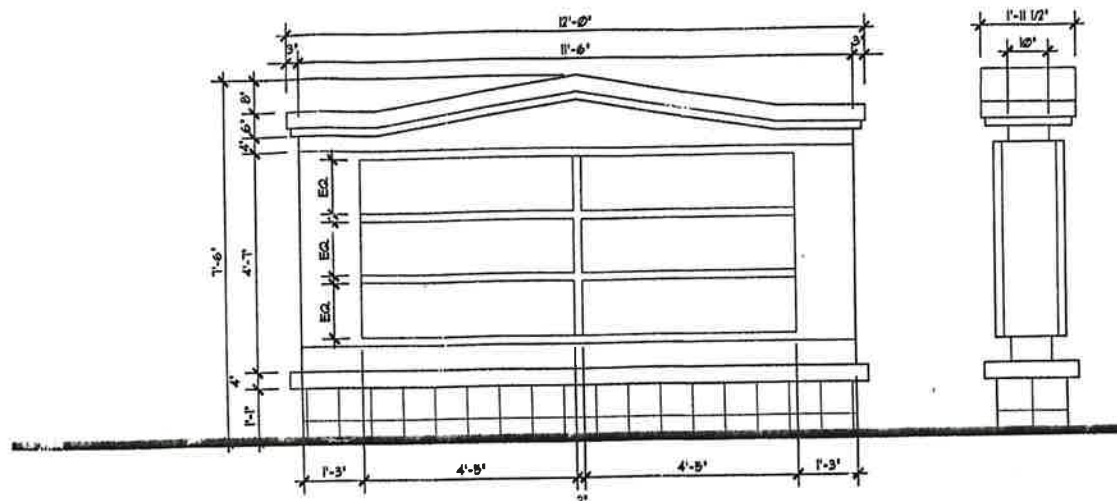


03 SIDE ELEVATION

SCALE: 1/8" = 1'-0"

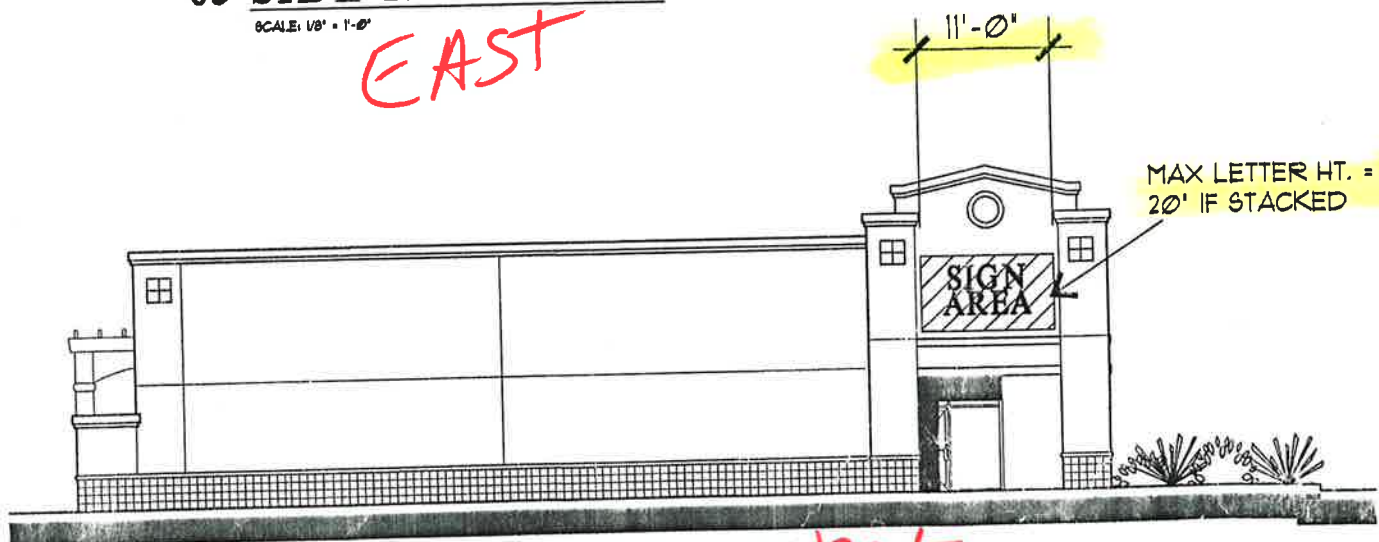
EAST

MAX LETTER HT. = 24',
20' IF STACKED



05 MONUMENT SIGN

SCALE: 1/2" = 1'-0"



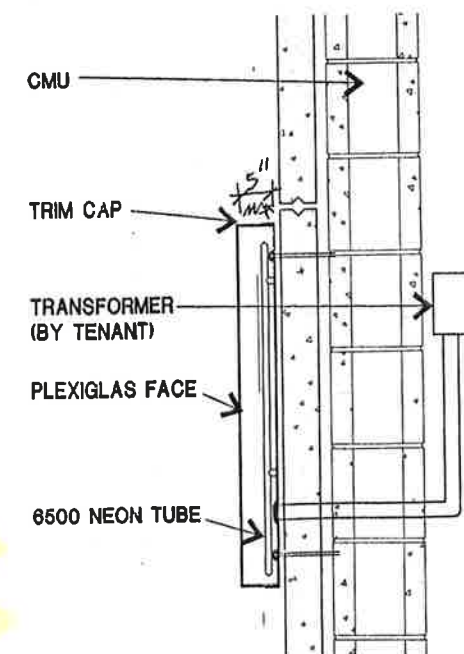
02 SIDE ELEVATION

SCALE: 1/8" = 1'-0"

West

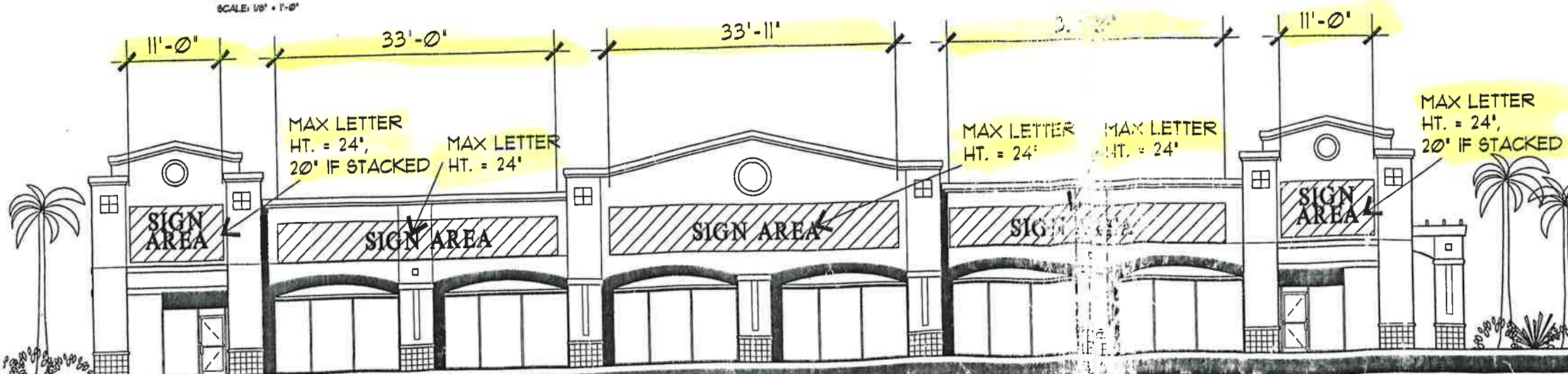
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 - NEONS TO BE 8500 WHITE WITH PLEXIGLAS FRONTS.



04 SIGN SECTION

NOT TO SCALE



01 FRONT ELEVATION

South

MAX LETTER HT. = 24',
20' IF STACKED

MAX LETTER HT. = 24'

MAX LETTER HT. = 24'

MAX LETTER HT. = 24'

MAX LETTER HT. = 24',
20' IF STACKED



O'BRIEN & ASSOCIATES

ARCHITECTURE
PLANNING
INTERIORS

5310 HARVEST HILL ROAD
SUITE 136
DALLAS, TEXAS 75230
972-788-1010
FAX 972-788-4828

www.obrienarch.com

GILBERT & WARNER RD.

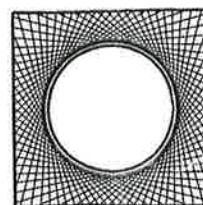
GILBERT, ARIZONA

A DEVELOPMENT OF:
MALLY COMMERCIAL REALTY, INC.

ISSUE LOG

NO.	DESCRIPTION	DATE

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FROM O'BRIEN & ASSOCIATES



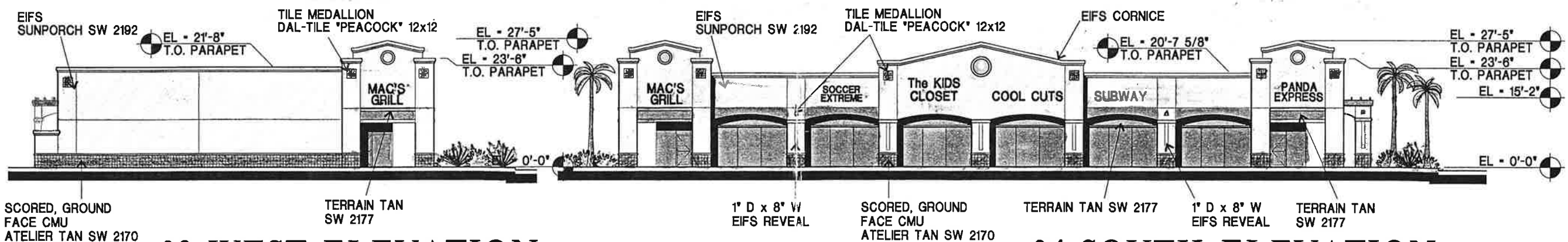
JOHN O'BRIEN - ARCHITECT
REGISTRATION NO. 496

DATE: _____ SIGNED: _____
JOB #: 22037
DATE: _____
SCALE: AS NOTED

SHEET NO.

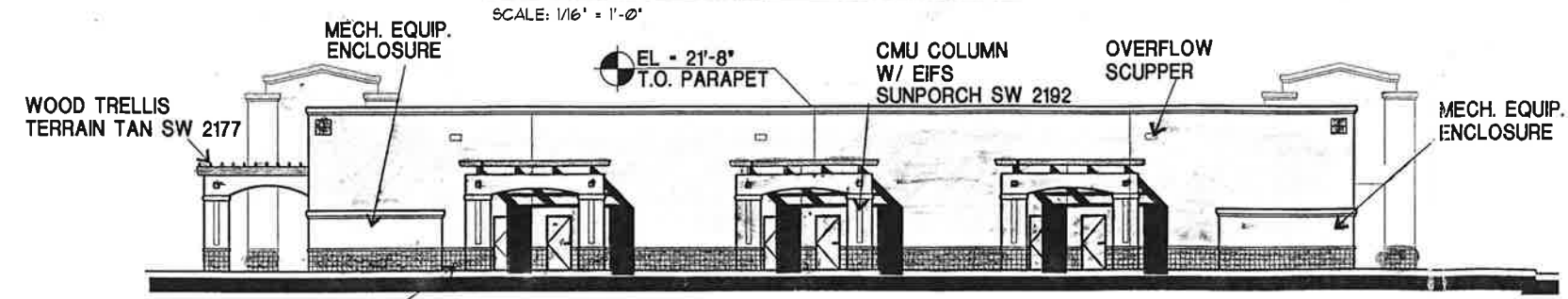
APPROVED PLANS
DATE: _____

APPROVED PLANS
 Design Review Board
 CASE: 0202-31
 DATE: 8-15-02
 SUBJECT TO CONDITIONS OF APPROVAL

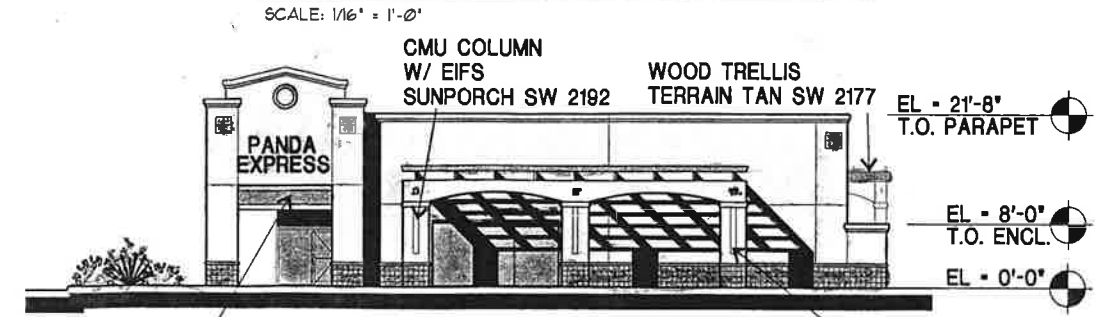


03 WEST ELEVATION

04 SOUTH ELEVATION



01 NORTH ELEVATION



02 EAST ELEVATION

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

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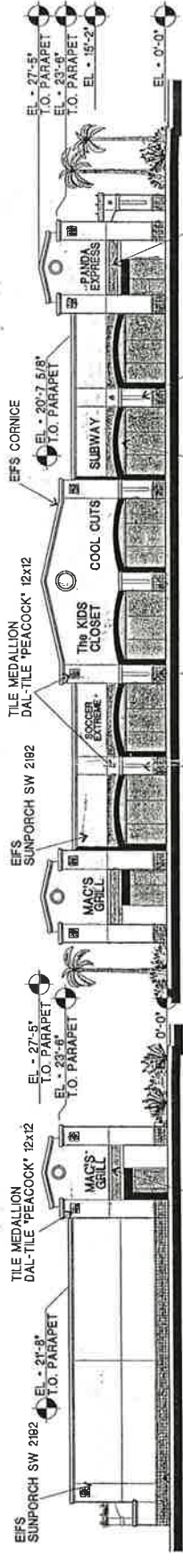
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APPROVED PLANS
 Design Review Board
 CASE: 07-13-02
 DATE: 8-13-02
 SUBJECT TO CONDITIONS OF APPROVAL



03 WEST ELEVATION

04 SOUTH ELEVATION

02 EAST ELEVATION

01 NORTH ELEVATION

NO sign area