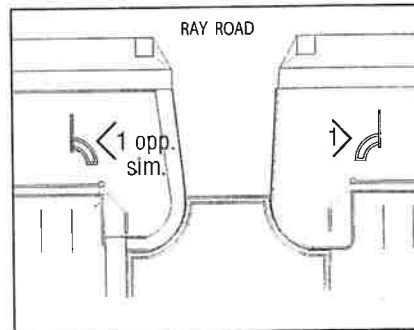
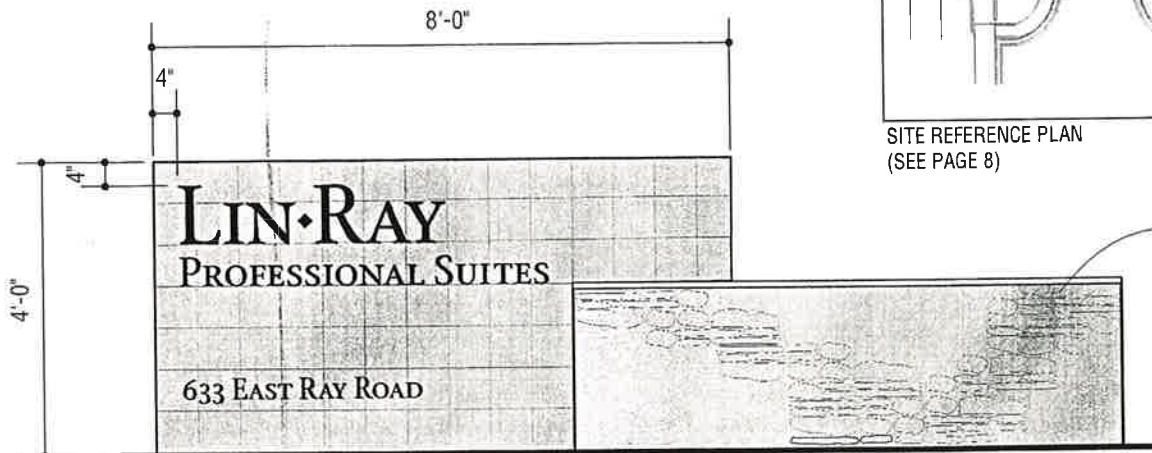


LIN RAY

S1- PRIMARY PROJECT IDENTIFICATION SIGN



SITE REFERENCE PLAN (SEE PAGE 8)

MONUMENT SIGN ELEVATION
Scale: 3/8"=1'-0"

APPROVED PLANS
 Design Review Board
 CASE: # DR02-69
 DATE: 1/15/04
 SUBJECT TO CONDITIONS OF APPROVAL



MONUMENT LETTERS DETAIL
Scale: 3/4"=1'-0"

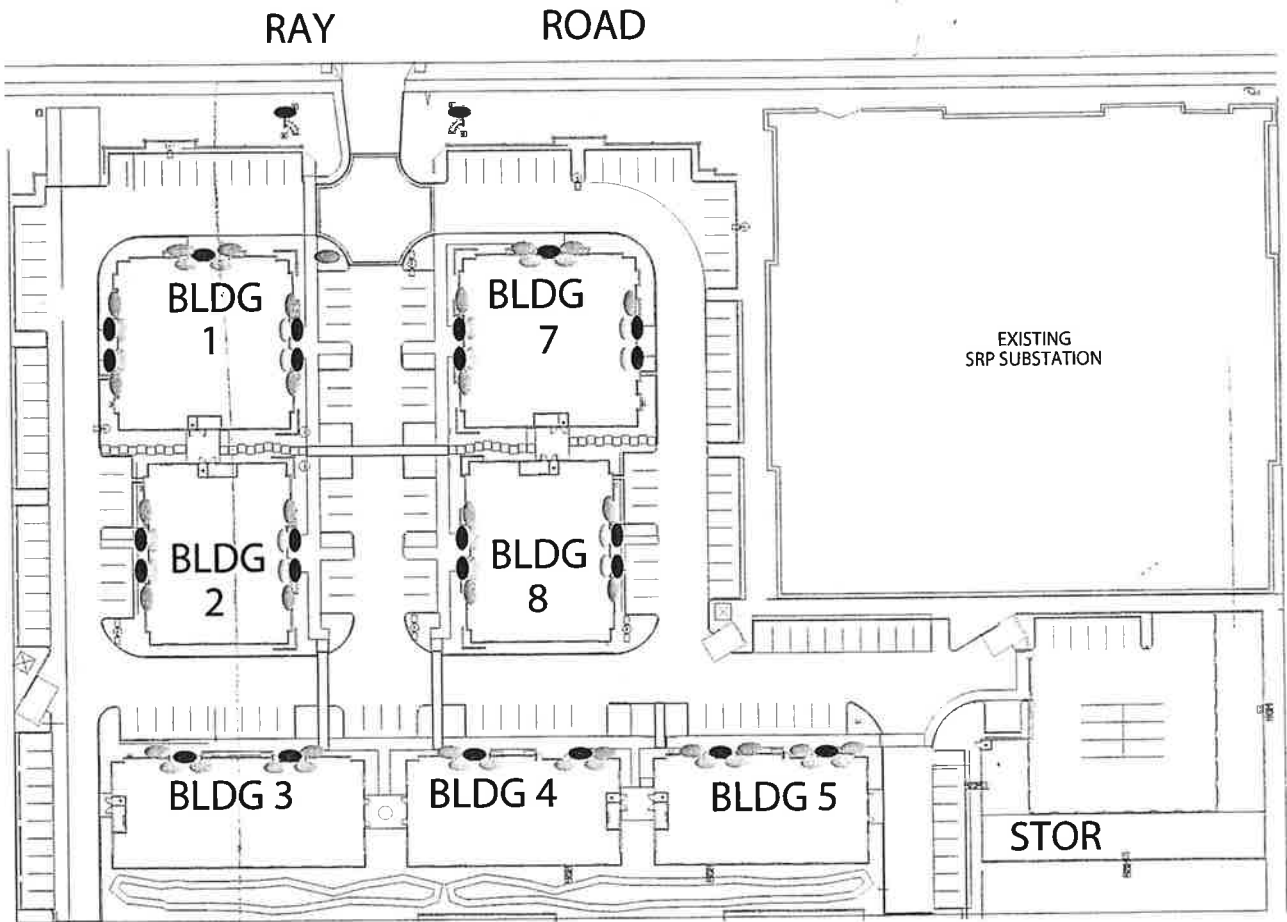
Typeface:
Stone Print Roman SC

Materials:
1-1/2" deep reverse pan channel letters, painted to match MPC MP04836 Brown Black

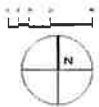
Mounting Specifications:
Stud mounted flush to wall surface

NOTE: SIGN PERMITTED & INSTALLED BY ARCHITECT; SPECIFICATIONS THIS PAGE FOR COPY ONLY.

SITE SIGN LOCATION PLAN



SITE PLAN

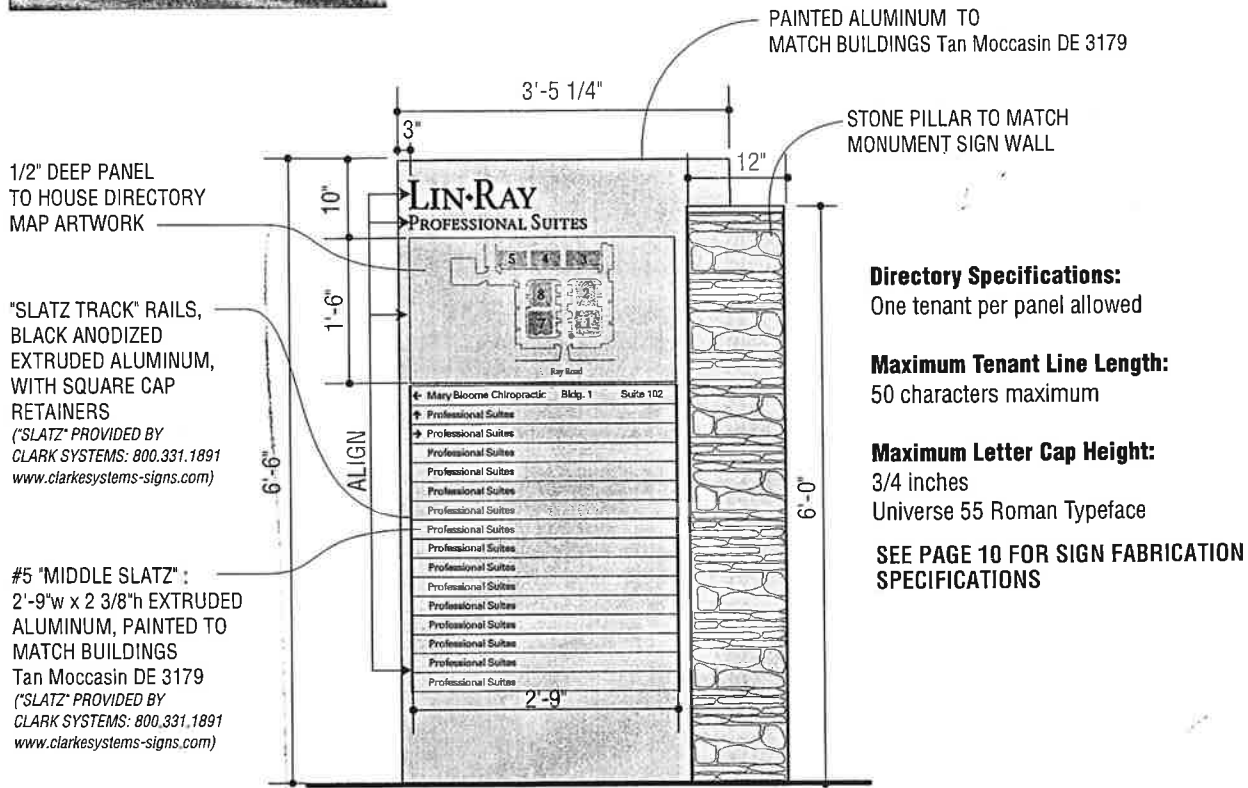


SIGNAGE KEY PLAN

- S1** Site entry monument identification sign
- S2** Tenant/ owner building mounted Identification
- S3** Tenant/ owner entry door glass identification sign
- S4** Tenant/ owner building address numbers
- S5** Directory

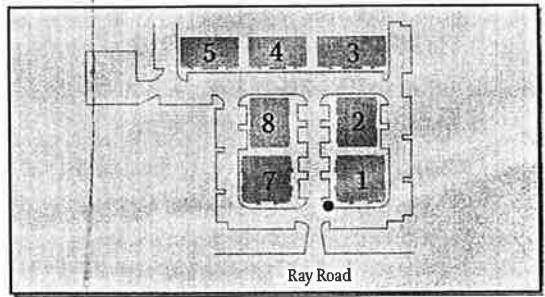
APPROVED PLANS
 Design Review Board
 CASE: # DRO2-69
 DATE: 1/15/04
 SUBJECT TO CONDITIONS OF APPROVAL

S5- PROJECT DIRECTORY/MAP



- Directory Specifications:**
One tenant per panel allowed
- Maximum Tenant Line Length:**
50 characters maximum
- Maximum Letter Cap Height:**
3/4 inches
Universe 55 Roman Typeface
- SEE PAGE 10 FOR SIGN FABRICATION SPECIFICATIONS**

MONUMENT SIGN ELEVATION
Scale: 1/2"=1'-0"



SITE MAP PANEL
Scale: No Scale

- Map Panel Specifications:**
1/2" deep x 2'-9" wide x 1'-6" high
aluminum pan mechanically fastened to face of sign painted to match building color Tan Moccasin DE 3179

- Map Specifications:**
1/4" thick building form cut outs painted to match Wild Dunes DE 3180 and mechanically attached to screened site map on panel

SEE PAGE 11 FOR SPECIFICATIONS



TENANT PANEL
Scale: No Scale

#5 "MIDDLE SLATZ" : 2'-9"w x 2 3/8"h EXTRUDED ALUMINUM, PAINTED TO MATCH BUILDINGS Tan Moccasin DE 3179

- Tenant Names:**
First surface applied vinyl, 3M 7725-10, Standard Black

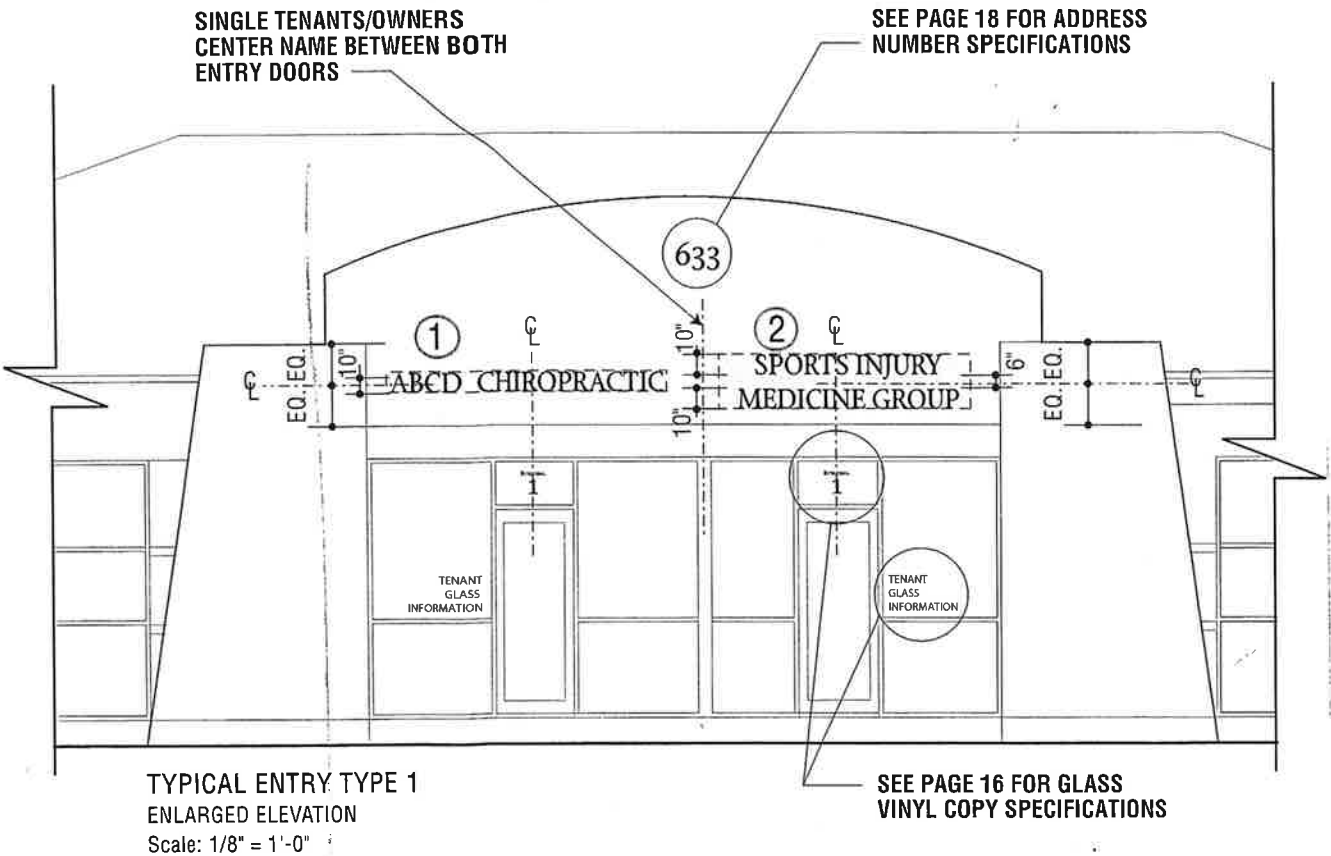
SEE PAGE 11 FOR TENANT/OWNER NAME ORDERING AND SPECIFICATIONS

APPROVED PLANS
Design Review Board

CASE: # DR02-69
DATE: 1/15/04

SUBJECT TO CONDITIONS OF APPROVAL

S2 TENANT/OWNER BUILDING MOUNTED IDENTIFICATION



1 Tenant/Owner Name One Line Specifications:

- 10" high x 12"-0" wide maximum allowable signage area centered right to left above entry door, placed vertically as shown
- 10 inch maximum letter cap height; logo forms not to exceed 12" overall height
- 22 characters maximum length

Fabrication:

- 1" deep fabricated metal letters
- Letters to be painted to match MPC MP04836 BROWN BLACK
- Letters to be individually stud mounted to facades with 1/2" minimum standoff and individually mounted to wall surface. No raceways allowed.

2 Tenant/Owner Name Two Line Specifications:

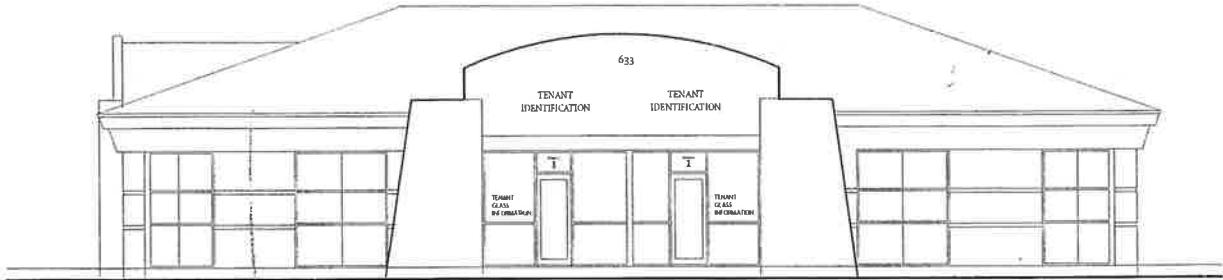
- Two (2) 10" high x 12"-0" wide maximum allowable signage area centered right to left above entry door, placed vertically as shown
- 10 inch maximum letter cap height; no logo forms allowed
- 22 characters maximum per line

Illumination

- no illumination allowed

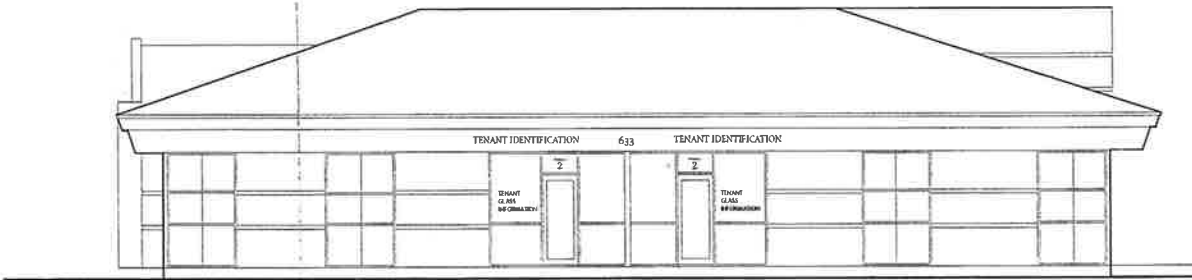
APPROVED PLANS
 Design Review Board
 CASE: # DR02-69
 DATE: 1/15/04
 SUBJECT TO CONDITIONS OF APPROVAL

S2 - TENANT/OWNER-BUILDING MOUNTED IDENTIFICATION



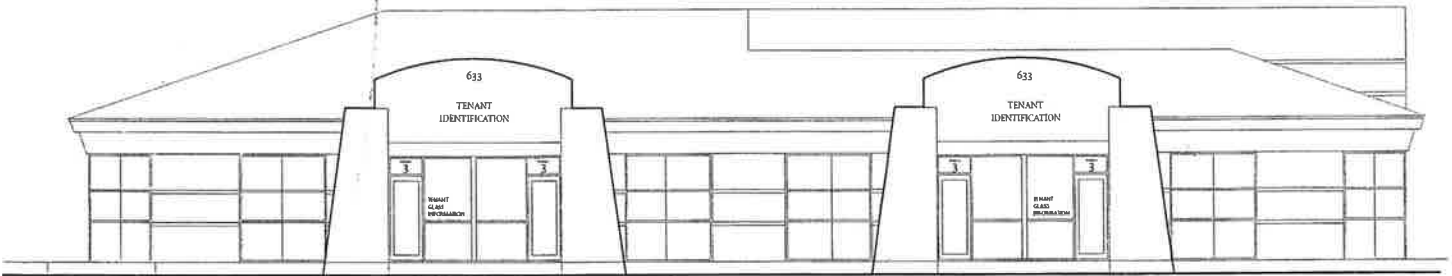
**BUILDING ELEVATION
TYPICAL ENTRIES - TYPE I**

See page 13 for signage details for this entry.



**BUILDING ELEVATION
TYPICAL ENTRIES - TYPE II**

See page 14 for signage details for this entry.

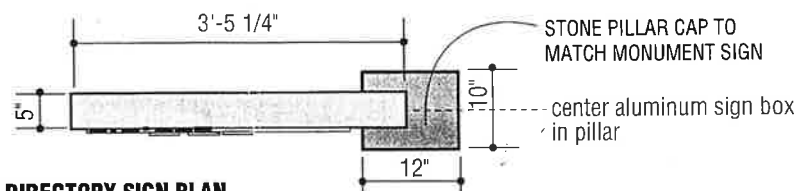


**BUILDING ELEVATION
TYPICAL ENTRIES - TYPE III**

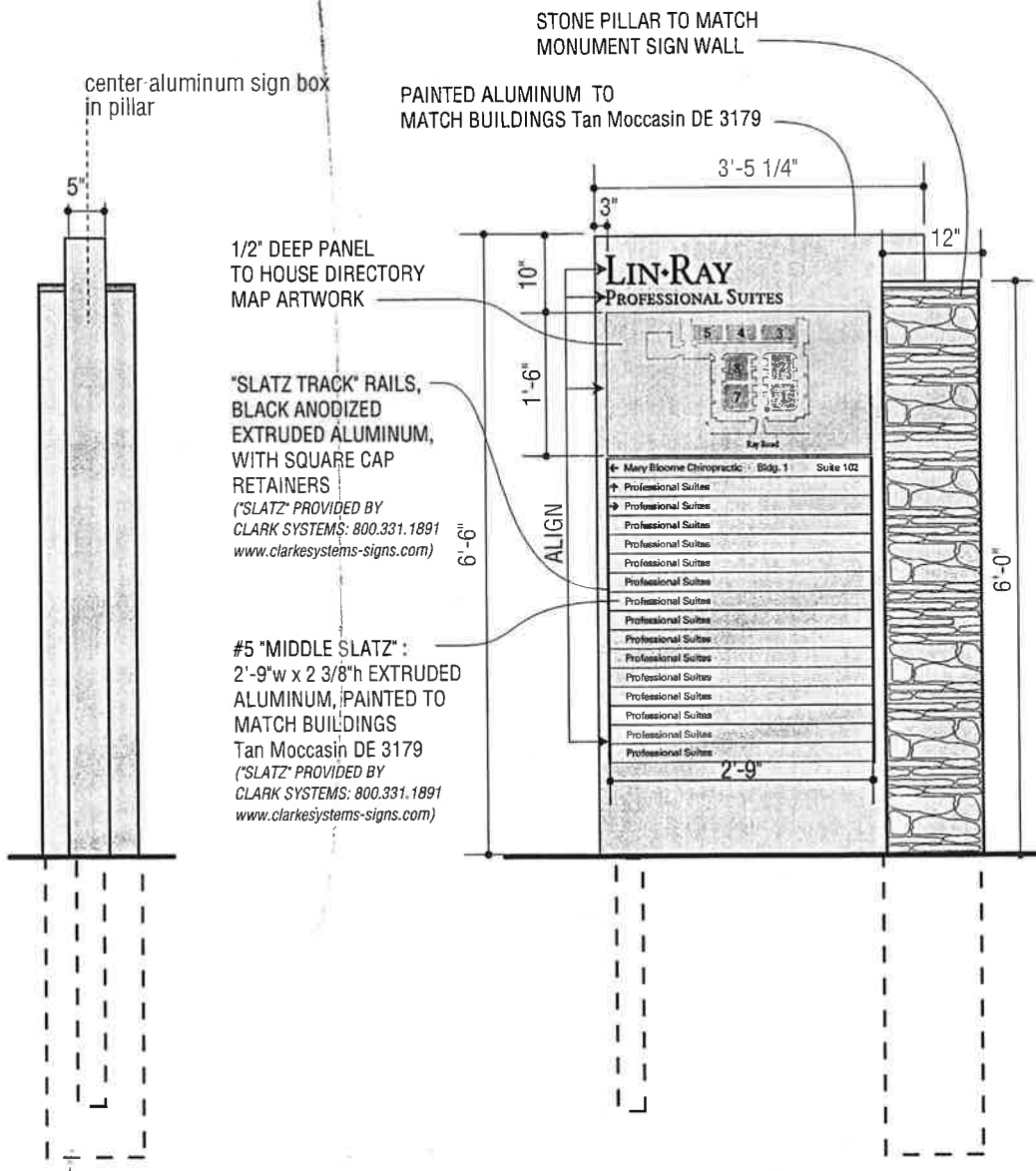
See page 15 for signage details for this entry

APPROVED PLANS
Design Review Board
CASE: # DR02-69
DATE: 1/15/04
SUBJECT TO CONDITIONS OF APPROVAL

THESE ELEVATIONS REPRESENT THE TYPES OF ENTRIES FOR ALL BUILDING TYPES AT LIN RAY PROFESSIONAL SUITES



DIRECTORY SIGN PLAN
Scale: 1/2"=1'-0"



SIDE ELEVATION
Scale: 1/2"=1'-0"

DIRECTORY SIGN ELEVATION
Scale: 1/2"=1'-0"

Fabricated aluminum sign box
painted all exposed surfaces to match Tan Moccasin DE 3179 with suitable exterior grade paint

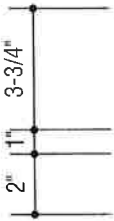
Stone Pillar
72" high x 12" wide x 10" deep pillar - stone to match monument sign

Fabrication aluminum pan painted to match sign with 1/4" high FCO
building pieces over 3 color screened map

Foundation
Suitable below grade foundation by sign fabricaor

APPROVED PLANS
Design Review Board
CASE: # DR02-69
DATE: 1/15/04
SUBJECT TO CONDITIONS OF APPROVAL

LIN·RAY PROFESSIONAL SUITES

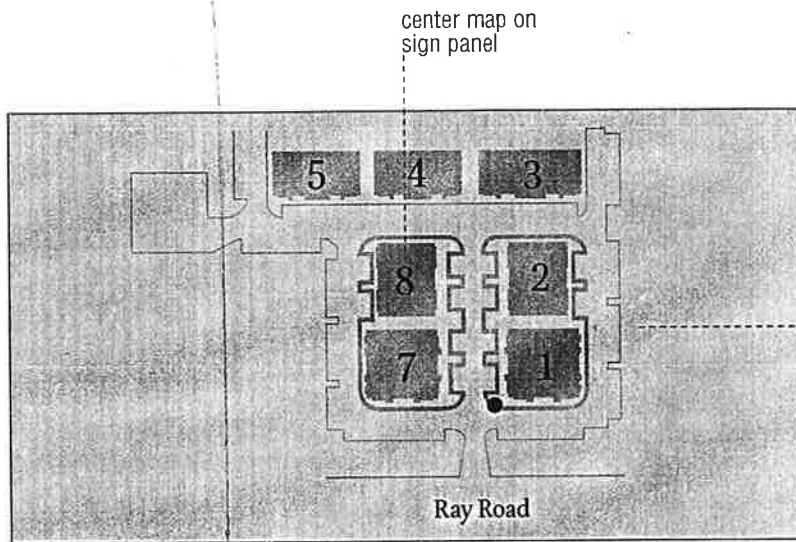


DIRECTORY HEADER LETTERS DETAIL
Scale: 3/8"=1'-0"

Typeface:
Stone Print Roman SC

Materials:
1/2" deep letters, painted to match
MPC MP04836 Brown Black

Mounting Specifications:
Flush to sign face



SITE MAP PANEL
Scale: 1-1/2" = 1'-0"

Panel Specifications:
1/2" deep fabricated aluminum pan painted all exposed surfaces to match Tan Moccasin DE 3179 with suitable exterior grade paint - mechanically fastened to sign

Dimensional Building Shapes
1/4" flat cut out building shapes painted all exposed surfaces to match Wild Dunes DE 3180 with suitable exterior grade paint - mechanically fastened to pan over screened site map

Screened Map:
3 color screened site map; site outline to match Wild Dunes DE 3180 copy to match MPC MP04836 Brown Black red dot to match ICI Crimson Red 31YR 10/591



TENANT PANEL
Scale: 1-1/2" = 1'-0"

#5 "MIDDLE SLATZ" : 2'-9"w x 2 3/8"h EXTRUDED ALUMINUM, PAINTED TO MATCH BUILDINGS
Tan Moccasin DE 3179
(*SLATZ* PROVIDED BY
CLARK SYSTEMS: 800.331.1891
www.clarksystems-signs.com)

Tenant Names:
First surface applied vinyl, 3M 7725-10, Standard Black

Specifications:
3/4" cap height
50 characters maximum

1. All standard plans shall meet requirements set forth in the Resolution of the Design Review Board adopting standard residential house plan conditions approved on December 14, 2000.

2. All standard plan elevations shall be built per exhibits approved by the Design Review Board as presented at the public hearing of January 15, 2004, subject to Staff conditions.

3. These standard plans are approved for 80 lots, lots 1-80, within the Vista Dorado PAD. Any two or more additional standard plans or major revisions to the approved plans shall require review and approval by the Design Review Board prior to the issuance of a building permit.

4. All standard plans shall adhere to the lot coverage and setback requirements conditioned by Ordinance No. 1313 in rezoning case Z00-15. Coverage is interpreted as the area under roof including patios, porches and garages.

DR02-103-Approval of the revised architecture for Lot 9 office building, located in the Oasis at the Islands at the southeast corner of Elliot and McQueen Roads.

1. Construction of the project shall conform with exhibits approved by the Design Review Board at the January 15, 2004 public hearing.

2. At the time of construction document submittal, the site plan shall include Town of Gilbert standard commercial and industrial site plan notes.

DR03-117-Approval of the site plan and architecture for Cupz Coffee and adjacent sandwich shop, located on Lot 2 of Oasis at the Islands at the southeast corner of Elliot and McQueen Roads.

1. Construction of the project shall conform with exhibits approved by the Design Review Board at the January 15, 2004 public hearing.

2. At the time of construction document submittal, the site plan shall include Town of Gilbert standard commercial and industrial site plan notes.

DR02-69-Approval of a Comprehensive Sign Package for a Lin Ray Professional Suites, located west of the southwest corner of Lindsay and Ray Roads.

1. The sign package shall conform with exhibits approved by

the Design Review Board at the January 15, 2004 public hearing.

DR03-124-Approve the site plan, architecture, and elevations for a proposed drive-through restaurant on Pad "D" (Arby's) within the Gilbert Fiesta Shopping Center located at the southeast corner of Gilbert and Williams Field Roads.

1. Construction of the project shall conform with exhibits approved by the Design Review Board at the January 15, 2004 public hearing.

2. At the time of construction document submittal, the site plan shall include Town of Gilbert standard commercial and industrial site plan notes.

DR02-113-Approval of a monument sign package for the Windmill Plaza at the southeast corner of Higley and Germann Roads.

1. The monument signs shall conform to exhibits approved by the Design Review Board at the January 15, 2004 public hearing.

2. The frequency of electronic message changes shall not exceed once every five minutes and shall use a Level 2 mode of operation (fade/dissolve).

DR03-116-Approval of a site plan, grading and drainage, architecture, landscaping, elevations, and lighting for a 7,636 square-foot community center, 2-acre effluent irrigation lake along with a community pool and a 773 square foot restroom facility and associated amenities located at the northwest corner of Ranch House Parkway and South Autumn Drive.

1. Construction of the project shall conform to the exhibits approved by the Design Review Board at the January 15, 2004 public hearing.

2. Prior to the issuance of any permits, the applicant shall submit for Planning Department approval:

A) A revised site plan showing the following:

- i. That the required 35'/55' fire truck turning radius has been met.
- ii. Placing the handicapped spaces in between the two uses.
- iii. Replace the small drive aisle with landscaping and construct a sidewalk with decorative pavers bisecting it to allow pedestrians safer passage through the parking lot.
- iv. Bar-b-que grills and trash receptacles in the picnic pavilion areas, 100 watt high pressure sodium bollard lighting along the lake paths, picnic pavilions, and around the pool area, ~~provide a tot lot with play equipment, preferably in the oval landscaped area behind~~



Notice of Action

Project Name: Linray Professional Suites

Project Number: DR02-69

Date: January 26, 2004

Address or Location: SWC Lindsay Rd. and Ray Rd.

Applicant Information: GNU Group
Attn: Andre Guzman
3451 Golden Gate Way
Lafayette, CA 94549

P: 510-883-1010

Owner Information: Same as Above

Planner: Dayna Bedney, Planner I

P: 480.503.6838 F: 480.497-4923
Email: daynab@ci.gilbert.az.us

Action: The Design Review Board on January 15, 2004 approved this project, subject to the conditions attached. Please incorporate these conditions in the set of construction documents or civil drawings to help us in expediting the implementation phase of this project.

In our effort to continuously strive for increased customer service, we would ask that you take several minutes of your time to complete and return the enclosed Community Development Customer Satisfaction Survey.

Thank you again for your cooperation in the approval process of this project. Should you have any questions, please contact me at (480) 503-6838, or at daynab@ci.gilbert.az.us.

Attachments: Development Services Customer Satisfaction Survey
Design Review Board Minutes; 1-15-04



DESIGN REVIEW BOARD
STAFF REPORT

AGENDA #

TO: DESIGN REVIEW BOARD
FROM: DAYNA BEDNEY, PLANNER I *DB*
THROUGH: LINDA M. EDWARDS, AICP, PLANNING MANAGER *LE*
MEETING DATE: JANUARY 15, 2004
SUBJECT: DR02-69 LINRAY PROFESSIONAL SUITES
W OF SWC LINDSAY ROAD AND RAY ROAD (*AMENDED*)

REQUEST

Approval of a Comprehensive Sign Package for a Lin Ray Professional Suites, located west of the southwest corner of Lindsay Road and Ray Road. (*Amended report modifies case number in staff's recommendation*).

RECOMMENDED MOTION

Move to approve DR03-114 (DR02-69), subject to conditions.

APPLICANT/OWNER

Andre Guzman
GNU Group
3451 Golden Gate Way
Lafayette, CA 94549
V: 510-883-1010 F: 510-883-1025

Shea Commercial
8940 E. Raintree Drive
Suite 200
Phoenix, AZ 85018
V: 480-237-3700 F: 602-956-5375

STAFF RECOMMENDATION

Staff recommends approval of ~~DR03-31~~, **DR02-69** a Comprehensive Sign Package for LinRay Professional Suites, subject to conditions:

1. The sign package shall conform with exhibits approved by the Design Review Board at the January 15, 2004 public hearing.



DESIGN REVIEW BOARD
STAFF REPORT

AGENDA #

7

TO: DESIGN REVIEW BOARD
FROM: DAYNA BEDNEY, PLANNER I *DB*
THROUGH: LINDA M. EDWARDS, AICP, PLANNING MANAGER *LE*
MEETING DATE: JANUARY 15, 2004
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Shea Commercial
8940 E. Raintree Drive
Suite 200
Phoenix, AZ 85018
V: 480-237-3700 F: 602-956-5375

HISTORY

- March 21, 1989:* Town Council adopted Ordinance No. 622 in rezoning case Z88-12 creating the LinRay PAD.
- September 16, 1997:* Town Council adopted Ordinance No. 1057 in rezoning case Z97-7 to modify the development plan and conditions of approval for the eastern portion of the LinRay PAD.
- October 1, 2002:* Town Council approved Z02-8 and revised use restrictions on the LinRay PAD.

November 14, 2002 The Design Review Board approved the site plan, grading and drainage plan, architectural elevations, landscape plan, lighting and signage for LinRay Professional Suites, a professional office, medical office and ancillary storage development.

PROJECT FACTS

Surrounding land uses:

	LAND USE CATEGORY	EXISTING ZONING	EXISTING USE
<i>North:</i>	Residential 3.5 - 5 DU/ac	R1-15	Ray Road then Residential (Lindsay Meadows)
<i>East:</i>	Public Facility /Institutional (PF/I) and Community Commercial (CC)	PF/OS and PSC-1	SRP substation, commercial
<i>South:</i>	Residential 0 - 1 DU/ac	R-43 (County)	Residential
<i>West:</i>	Community Commercial (CC)	R1-43	Vacant
<i>On Site</i>	Community Commercial (CC)	PSC-1 with PAD Overlay	Vacant

DISCUSSION

Background

The Design Review Board approved case DR02-69 a request for approval of the site plan, grading and drainage plan, architecture, building elevations landscape plan for professional offices on November 14, 2002. The request for approval in the staff report included lighting and signage. The sign request was for a wall and planter. The wall behind the sign was single score CMU, with color to match the buildings. The planter was to be ledge stone veneer to match the buildings. In addition, signage was approved to be located on the four (4) buildings as was indicated on the elevations.

Monument Signs

Two entry monument signs are proposed on either side of the drive aisle. The ULDC provides for a maximum height of six (6) feet with a maximum area of thirty-two (32) sq. ft and a minimum setback of three (3) feet from the R.O.W. As proposed, the entry monument signs are four (4) feet in height and thirty-two (32) sq. ft. The sign is integrated into an approximate 16 sq. ft. planter. The signs are required to meet the three (3) foot setback requirement as provided for in the ULDC.

The type face of the sign is stone print roman SC. The materials include 1-1/2' deep reverse pan channel letters, painted to match MPC MP04836 brown/ black with letters stud mounted flush to the wall surface. The colors are consistent with those of the approved structure.

Directory Sign

The ULDC provides for a maximum area of forty (40) sq. ft. and eight (8) feet in height for a directory sign. The applicant is proposing one directory sign which shall be setback a minimum of seventy-five (75) feet from any perimeter property line except when abutting other commercial or

industrial zoning districts. The applicant is proposing an area of approximately twenty-five (25) sq. ft. The height proposed is six feet six inches. The directory sign shall be located a minimum of seventy-five feet from the property line.

The colors, materials, and typeface of the directory sign are consistent with those proposed for the entry monument sign. They are both consistent with the colors of the approved structures.

Wall Signs

The ULDC requires that the maximum area permitted for any building elevation shall be 1.5 times the square feet of the sign area of each linear foot of the building elevation when setback a minimum of 75' from the property line. The metal brown/black lettering proposed is complies with that requirement.

The design of the proposed LinRay Professional monument, directory and wall mounted signs are consistent with those preliminarily approved. The proposed signage meets the provisions of the ULDC.

STAFF RECOMMENDATION

Staff recommends approval of DR03-31, a Comprehensive Sign Package for LinRay Professional Suites, subject to conditions:

1. The sign package shall conform with exhibits approved by the Design Review Board at the January 15, 2004 public hearing.

Exhibits

1. Vicinity Map
2. Site Plan
3. Elevations with sign package



**DESIGN REVIEW BOARD
STAFF REPORT**

AGENDA #

7

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