

one of the outdoor lights would not meet Code. Staff felt as though this was not a problem because it was not one of the major source of lighting for this use. Board Member Bleak asked the applicant what a dashed stuccoed finish was. Applicant Karyn Parks stated that the appearance of a dashed finish was very smooth similar to an acoustic ceiling. Chairman Truitt was concerned with the shared access along the south property line and the increased lot coverage if the lot to the south is improved. Board Member Bleak recommended that in case the shared driveway is effective with the southern lot, to maintain the landscaped strip as and island. Board Member Bleak pointed out that for being an industrial site, it had a low coverage.

A MOTION was made by Board Member Bleak, seconded by Board Member Wallace to approve DR89-12 with the following recommendations:

1. Retention areas "A" and "B" shall be landscaped with vegetative groundcovers up 25% coverage.
2. Applicant shall re-orient the dumpster to the west to allow for better maneuverability and a more convenient turning radius for front loading refuse packer.
3. Applicant shall provide proof of access easement on the east and south property lines prior to issuance of a building permit.
4. Air conditioning units shall be totally screened from any public street by the parapet wall of building and painted to match the building.
5. All outdoor lighting shall be directed down, recessed and 90 degree cut off.
6. Retention areas shall conform to the East Valley Commerce Master Drainage Plan.
7. A master plan for water, sewer and drainage covering the overall project/site must be submitted for approval prior to any development.

Voice vote carried the motion 5-0.

Chairman Truitt excused himself from the meeting at 8:20 a.m.

B. DR89-14 - Approval of the sign package for Lakeview Village Center in the Val Vista Lakes Development at 3600 E. Baseline Road.

Planner Maria Cadavid presented this case stating that the applicant is requesting from the Board approval of the sign program containing various types of signs to be installed

throughout the site. The types of signs will be monument signs to be placed along Baseline, Val Vista Drive and throughout the site; illuminated signs, pan channel letters, proposed on the existing masonry wall along Baseline and on the fascia of the buildings; and shingle signs under roof coverings to identify businesses. Maria stated that staff has concerns with the excessive height of the monument sign type A as well as the internally illuminated signs proposed for the screening wall.

Ray Olson, from Val Vista Lakes stated that there is one project on Pima Road where the Smitty's shopping center is backed up to the street. He added that the advantage to this is not to have the parking lot facing the street. Board Member Bleak questioned as to why a 16 foot sign is needed compared to an 8 foot sign. Mr. Olson explained that they are in need of every bit of signage that they can get to attract tenants. Karen Souer agreed that an 8 foot sign would be fine for the smaller entrance. Board Member Bleak suggested to explore alternatives for the signage on the wall. He said that a signage of permanent nature integrated into the wall and illuminated from the outside would make a better statement if only used for the major tenants. Mr. Olson asked the Board if a tenant would be interested in leasing within the shopping center and wanted different signs if it would be feasible to return to the Board for approval. Board Member Bleak suggested that the internally lit signage should be installed on the back of the building for major tenants and that the smaller tenants signage should be treated differently for better visibility. Various alternatives were mentioned. Board Member Sommer said he would be willing to discuss more about the 16' height free standing signs on Baseline Road, but he felt there was no need for a higher than 8 feet monument on Val Vista Drive.

A MOTION was made by Board Member Sommer, seconded by Board Member Wallace to approve DR89-14 with the following conditions and Board's recommendations:

1. All the perimeter monument signs along Val Vista Drive shall have a maximum of eight feet in height and a signage area of 50 square feet.
2. Landscaping shall be required at the base of all permanent detached signs at a ratio of one (1) square foot of landscaping for each three (3) square feet of sign area.
3. Monument signs throughout the site shall be located as far from a common lot line between users as possible. Location and spacing of signs shall be subject to staff review and approval.
4. All monument signs facing the street shall be constructed with a precast concrete base to match architectural detail common to Lakeview Complex, a translucent acrylic copy area

and painted cabinet.

5. Illuminated signs shall not be allowed on the retention wall along Baseline Road. All signage on this wall shall be architecturally integrated into the wall. No more than the 3 major tenants shall be allowed to use permanent signs on the outside surface of the retention wall.
6. Applicant shall explore other alternatives for the signage advertising users backing onto Baseline Road. The architectural elements on the back of the building shall be used to install illuminated signs.
7. It shall not be permitted exposed raceways, switches, junction boxes or transformers.
8. Illuminated signs shall be internally lighted by fluorescent or neon tubes. No luminous or reflective background or script may be attached or applied.
9. If a variance is granted for the installation of the two monument signs along Baseline, they shall not exceed 16 feet in height from the drive access level grade and the commercial signage area not to exceed the amount allowed by the Town's Code, fifty (50) square feet per sign face.

Voice vote carried the motion 4-0.

V. ADJOURNMENT

A MOTION was made by Board Member Petterson, seconded by Board Member Wallace to adjourn the meeting at 9:05 a.m. Voice vote carried the motion 4-0.

*Darrell Truitt*

DARRELL TRUITT, Chairman

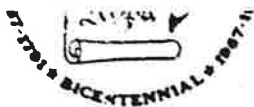
ATTEST:

Lori J. Eparvier, Recorder

DR 89-14

DR 89-19

DR 90-05



Community Development  
459 North Gilbert Road  
Gilbert, Arizona 85234

April 4, 1990

Bill Gibson  
Bootz & Duke Sign Company  
4028 W. Whitton  
Phoenix, AZ 85019

RE: Variance 90-3

Dear Mr. Gibson:

This letter is to confirm the decision of the Zoning Hearing Officer at the hearing held on Tuesday, April 3, 1990 at 8:30 a.m. The variance to allow five attached signs where a maximum of two are allowed; two signs that exceed the maximum size of 50 square feet; and 391 square feet of total sign area where the maximum allowed is 162.5 square feet at 3751 E. Baseline Road (Fry's Food and Drug at Lakeview Village Center) was approved subject to the following stipulations:

1. The front elevation secondary signs (Liquor, etc.) not to exceed 18" high lettering.
2. No screen wall signage will be allowed for Fry's unless the rear elevation sign is removed.
3. Val Vista Lakes to provide written approval of sign package at or prior to issuance of permits.

If you should have any questions, please feel free to contact me.

Sincerely,

W. Scott Anderson  
Planning Director

HELVETICA BOLD

# FRY'S FOOD & DRUG

50'-0"

HELVETICA MED.

## BAKERY • DELI

44' #

HELVETICA MED.

## LIQUOR

24.4' #

HELVETICA MED.

## PHARMACY

35.5' #



325' front

... SEE INT TO A SCALE

# FRY'S FOOD & DRUG

HELVETICA MED

REAR



**BOOTZ**

4825 W. WILSON, PHOENIX, ARIZONA

Designed for **FRY'S**

Type **NO. 1273**

Scale **1/4" = 1'-0"** Date **1/15/73**

Designer **HINE**

Address