





DESIGN REVIEW BOARD STAFF REPORT

AGENDA #

12

TO: DESIGN REVIEW BOARD

FROM: THOMAS VELJIC, AICP, SENIOR PLANNER (480/503-6713) TOMV@CI.GILBERT.AZ.US 

THROUGH: LINDA M. EDWARDS, AICP, PRINCIPAL PLANNER 

MEETING DATE: DECEMBER 11, 2008

SUBJECT: DR08-83S HIGLEY PARK COMMERCIAL CENTER
MASTER SIGN PLAN

REQUEST

DR08-83S Request for approval of a Master Sign Plan for Higley Park Commercial Center in the Shopping Center (SC) zoning district, located at the northeast corner of Higley and Ray Roads

RECOMMENDED MOTION

Move to **approve** the findings and DR08-83S a Master Sign Plan for Higley Park Commercial Center located at the northeast corner of Higley and Ray Roads, subject to conditions

APPLICANT/OWNER

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HISTORY

- December 16, 2003* Town Council adopts Ordinance 1528 for A03-5, an annexation for approximately 156 acres located at the northeast corner of Higley Road and Ray Road to accommodate future commercial, single family and multifamily residential development
- June 8, 2004* Town Council approval of GP03-9 to amend the General Plan Land Use designation on approximately 6 acres from Shopping Center (SC) to Residential > 5 – 8 DU/Acre and approval of Z03-34, changing the zoning classification for

approximately 129 acres in the Gateway Character Area from Maricopa County R-43 to R-CH, R-2 and C-2 Zones with a Planned Area Development Overlay Zoning District

- December 9, 2004* Design Review Board approval of the final site plan, grading and drainage, landscaping, elevations and lighting for DR04-95, Higley Park Professional Village
- August 10, 2006* Design Review Board approval of the final site plan, grading and drainage, landscaping, elevations and lighting for DR05-142, Higley Park Commercial Center
- September 13, 2007* The Design Review Board approved a Comprehensive Sign Program for DR05-142, Higley Park Commercial Center.
- July 10, 2008* An Administrative Design Review (DR05-142S) was approved by Staff permitting internally illuminated pan channel letters for Higley Park Commons (Buildings 1 & 11) facing Higley Road

BACKGROUND

The Design Review Board approved the final site plan, landscaping, lighting and building elevations for the multi-building commercial site on August 10, 2006. The proposed Comprehensive Sign Program for Higley Park Commercial/Commons is located at the northeast corner of Higley and Ray Roads.

This Higley Park Commercial Center consists of approximately 16 net acres (20 acres gross) for development of various commercial, office and retail uses. Development will include 11 office condos, freestanding Pad B and C, a stand-alone pad user on Pad A, and retail and offices at Shops A.

The Design Review Board approved a Comprehensive Sign Program for Higley Park Commercial Center on September 13, 2007. Current tenant requests for external signage due to lack of street frontage prompted the property owner to apply for a Master Sign Plan and take advantage of the sign area, sign height, and sign locations specified in an MSP if approved by the DRB.

PROJECT FACTS

Surrounding land uses:

	Land Use Category	Existing Zoning	Existing Use
<i>North:</i>	Shopping Center Residential>5-8	Shopping Center Single Family-Attached	Commercial Uses Residential Lots
<i>East:</i>	Residential>5-8 Shopping Center ¹	Single Family-Detached Public Facility/Institutional	Residential Lots Post Office
<i>South:</i>	Neighborhood Commercial Residential>3 5-5	Neighborhood Commercial Multi-Family/Medium	Undeveloped Lot Multi-Family Units
<i>West:</i>	Shopping Center	Shopping Center	Undeveloped Commercial
<i>Site:</i>	Shopping Center	Shopping Center	Higley Park Commercial

¹Discrepancy between the General Plan designation and Zoning District will be corrected in the next GP update

Data:

<u>Signage Details</u>	<u>Proposed:</u>	<u>Sign Code Regulation - Commercial.</u>
Monument Signs	Multiple Monument Signs proposed for both Single and Multi-Tenant. Increase requested for height from 8 ft to 12 ft and sign area from 60 sq ft 75 sq ft	Monument signs permitted at one per 300 feet of lineal street frontage DRB may approve an increase of 25% for area and 50% for height
Wall Signs	As permitted for each tenant @ 1.87 sq ft /lineal foot of the suite or primary elevation	Wall signs permitted for each tenant @ 1.5 sq ft /lineal ft of frontage Minimum of 32 sq ft DRB may increase sign area by 25%
Directional Signs	Two internal free standing Directional Signs proposed at 2.09 sq ft each and 3 ft in height	Directional signs permitted and do not count towards total center signage area Permitted at 3 ft in height and 3 sq ft
Maximum wall sign area allowed	1.87 sq ft / lineal foot of frontage for buildings > 75 feet from ROW All buildings exceed the 75 foot setback	1 sq. foot/1 foot of frontage for buildings setback < 75 feet, 1.5 sq ft /lineal ft of frontage >75 ft building setback, may request up to 25% additional area for Master Sign Program
Logo/Cabinet	Major Tenants – 12 square feet Minor Tenants – 8 square feet	6 sq ft maximum, DRB may approve Logo/Cabinet signs greater than 6 sq ft as part of a MSP
Maximum sign length proposed	80% of sign band	maximum 80% of sign band
Maximum letter height proposed	80% of sign band	maximum 80% of sign band
Method of Illumination	Internally illuminated wall signs and internally illuminated freestanding monument signs Wall signs facing residential non-illuminated	Illuminated and non-illuminated signs permitted
Sign Placement	Signs proposed on west walls of Buildings 1 & 11 for internal users	In commercial centers in which some tenants have little or no visibility from the street, Wall Signs may be approved on building walls other than the wall of the space occupied by the tenant

DISCUSSION AND ANALYSIS

Signage: The Master Sign Plan for the multi-building commercial center includes both wall signs and multiple monument signs. The project site consists of both individual building pads and multi-user in-line shops. Numerous modifications have been proposed for this change from a Comprehensive Sign Program to a Master Sign Plan,

- A 25% increase in sign area permitted and 50% increase in maximum monument sign height,
- An increase in cabinet/logo signs from the LDC 6 sq. ft. to 12 sq. ft. for major users (over 6,000 sq. ft.) and 8 sq. ft. for minor users;
- External signage on Buildings 1 and 11 for internal suites;

The proposed signage meets code requirements in terms of sign placement, materials, and construction. Increases in sign area and height are permitted with DRB approval of a Master Sign Plan.

Wall Signs: Wall mounted tenant signs will consist of individual, internally illuminated, pan channel letters with plexi-glass faces. Wall mounted tenant signs are proposed and the total number will vary based on the leased storefront area. Wall signs which face residential uses to the east and north are restricted to the LDC standards of, maximum of 16 square feet, 14 feet in height, and non-illuminated.

Wall sign placement is shown on the attached elevations and illustrates the maximum area allowed for sign placement due to the 80% height and width criteria of the sign code. Buildings I and II also include criteria for placing external (oriented towards Higley Road) signage for the internal tenants of both buildings. Staff finds that the proposed wall signs fit well with the building mass and design

Freestanding Monument Signs: Six freestanding monument signs are shown on the Site Plan with four oriented towards Higley Road and two on Ray Road. Five of the monument signs are double faced multi-tenant monuments with internal illumination and corporate colors for the tenant panels. A single monument sign is intended for a single pad user and is located at the western Ray Road entrance labeled Sign "D". Monument signs as shown in the Master Sign Plan labeled "December 2008" meets the LDC sign standards and also incorporate colors/materials and architectural features used in the multi-building center. Exhibit J and I (Signs B and C) indicate a maximum of 75 square feet of sign area for each face but also indicate the new layout shown at 84 01 square feet which exceeds the sign area that the DRB may approve. The approved MSP will be annotated to correct with the 84 01 sq. ft. deleted on the approved documents. Also, the previous CSP approved monument signs at 8 feet in height and the new MSP requests the maximum of 12 feet to the top of sign copy. The existing 8 foot monument signs will remain until the center nears maximum occupancy and demand from internal tenants requires the additional copy area of the new monument signs in the MSP.

Two internal Directional Signs are shown on Exhibit N (Sign F) and are used for directing traffic by listing the suite address. The Direction Signs do not exceed the Sign Code criteria. Staff finds the proposed monument signs conform to the requirements of the Sign Code.

FINDINGS

Staff provides the following findings of fact, subject to the conditions of approval provided below, to substantiate approval of the project:

1. The project is consistent with applicable design guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and the Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development, and
5. The project design provides for safe and efficient provision of public services.

STAFF RECOMMENDATION

Make the findings and **approve** DR08-83S a Master Sign Plan for Higley Park Commercial Center located at the northeast corner of Higley and Ray Roads, subject to the following conditions:

1. The sign package shall conform to exhibits approved by the Design Review Board at the December 11, 2008 public hearing.

Attachments:

1. Vicinity Map
2. Finding of Fact
3. Sign Exhibits (27 pages)

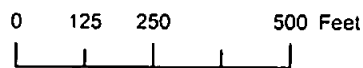
DR08-83 S

Vicinity Map

SITE LOCATION:



 TOWN OF GILBERT



Findings of Fact

DR08-83S Master Sign Plan Higley Park Commercial

1. The project is consistent with applicable design guidelines;
- 2 The project conforms to the General Plan, and specifically to the Land Use, Community Design, and the Environmental Planning Elements;
- 3 The project is consistent with all applicable provisions of the Zoning Code;
- 4 The project is compatible with adjacent and nearby development, and
- 5 The project design provides for safe and efficient provision of public services

Master Sign Plan

HIGLEY PARK COMMERCIAL



December 2008

APPROVED PLANS
Design Review Board
Case # DR08-835
Date 11/11/08
SUBJECT TO CONDITIONS OF APPROVAL

DR08-83 S (2nd) Higley Park Commercial
(Higley Park Commons)



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DUE TO THE VARIETY OF HARDWARE AND SOFTWARE POTENTIALLY AVAILABLE TO VIEW AND PRINT THIS IMAGE, THE COLORS MAY NOT MATCH THE ACTUAL COLORS OF THE FINISHED DISPLAY PLEASE REFER TO THE DETAIL DRAWINGS FOR THE APPROVED COLOR SPECIFIC

Case # DR08-83S
Attachment 3 Sign Exhibits (27 pages)
December 11, 2008

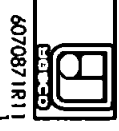
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Sign Standards

Higley Park Commons/Higley Park Commercial Center is a joint development of Champion Partners and Evergreen Devco. Champion Partners is developing professional office facilities known as "Higley Park Commons." Evergreen Devco is developing the retail facilities known as "Higley Park Commercial Center." Unless specifically stated, all procedures and standards herein shall apply to both Higley Park Commons and Higley Park Commercial Center.

All signs at Higley Park Commons/Higley Park Commercial Center shall be legible and compatible with the standards outlined in this section and the associated exhibits. The primary purpose of the sign standards is to ensure all signage shall be consistent and integrated with the center's character and designed in a manner that shall not create a nuisance or diminish the visibility and/or value of other parcels. It is our intention to provide a general outline for signage consistent with a first class commercial retail center.

These guidelines are outlined throughout this sign plan as well as in Exhibits. Conformance shall be strictly enforced, and any installed, nonconforming or unapproved signs shall be brought into conformance at the sole expense of the Owner/Occupant.

General Requirements

All proposed signs to be installed at Higley Park Commons/Higley Park Commercial shall be reviewed by Evergreen Devco, Inc or its Assignee ("Evergreen") for conformance to these center sign standards. All Higley Park Commons/Higley Park Commercial Owners/Occupants shall receive a copy of these center sign standards before designing signs. Plans shall be approved in writing by Champion assignee prior to submittal for sign permits.

For Champion review, send two (2) sets of signage drawings to:
Champion Partners
Julie Kwan
10450 N 74th St. Suite 100
Scottsdale, AZ 85258
P (480) 751-5199
F (480) 922-9213

Champion's approval of such plans shall not constitute a representation or warranty that such plans shall be in compliance with applicable governmental requirements. Compliance with all governmental requirements shall be the sole responsibility of each owner/Occupant. In addition, the Higley Park Commons (Office Tenants) plans shall also be approved in writing by Champion Partners. For Champion Partner's review, send two (2) sets of signage drawings to

Champion Partners
Julie Kwan
10450 N 74th St Suite 100
Scottsdale, AZ 85258
P (480) 751-5199
F (480) 922-9213

Sign Standards and Requirements

Each Owner/Occupant shall submit to Evergreen Devco, two (2) sets of detailed drawings of all signs at least 15 days prior to submitting to the Town of Gilbert for sign permits.

After the proposal is reviewed, Evergreen Devco shall return one (1) set of drawings marked either "Approved", "Approved as Noted" or "Revise and Resubmit."

Approved - Owner/Occupant shall be permitted to proceed with the Town of Gilbert sign permit process and construction/installation

Approved as Noted - Owner/Occupant shall make any revisions noted on drawings before proceeding with the Town of Gilbert sign permit process and construction/installation.

Revise and Resubmit - Owner/Occupant shall make any revisions noted on drawings and resubmit for approval prior to proceeding with the Town of Gilbert sign permit process and construction/installation

Sign content shall be restricted to the identification of business and/or service(s)

located within the Parcel

All signs shall be constructed of durable and long-lasting materials

No exposed neon tubing, ballasts, cross-overs, raceways, cabinets, conduits, conductors or transformers shall be permitted, except signs (which shall be painted to match the canopy)

All hardware including screws, nails and other fasteners shall be made of non-corrosive materials

All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight fashion. Penetrations of the roof of any building shall not be permitted.

Any damage to a building's fascia, canopy, structure, roof or flashing which shall be caused by sign the sign contractor or Owner/Occupant shall be repaired and/or paid for by the sign contractor or Owner/Occupant

Labels shall not be permitted on the exposed surface of signs except those required by local ordinance. Those required shall be applied in an inconspicuous location

All neon illuminated signs shall have Electrobit electrode insulating sleeves and remote transformers

All Light Emitting Diode (LED) illuminated signs shall use only "Sloan" LED's

All electrical signs shall bear the UL label and shall conform to local building code and electrical code

All signs shall conform to local zoning standards except as otherwise approved in this Sign Plan

Prohibited Signs

Signs shall not be painted on the surface of any building or structure. Sign shall not be placed or located on the roof or above the roof line on any building

All signage shall be installed in designated sign band area only

Signs shall not be located or constructed in a manner that materially impairs the visibility of or access to any other Parcel or buildings located thereon without prior written consent of the Owner(s)/Occupant(s) of the adversely effected Parcel(s)

Evergreen Devco shall determine if consent is required through the plan review process

Animated, flashing, blinking, audible, placard, poster, playbill, posting, painting, flag, fixed balloon, rotating light, A-frame, moving or rotating signs shall not be permitted. Exceptions shall be

made for grand openings, special events, etc with written approval from Evergreen Devco, and in accordance with the Zoning Ordinance requirements

Signs may not be installed within the public right-of-way

No sign shall be placed on or attached to any vehicle except for signs painted directly on the surface of the vehicle and meeting all applicable government requirements. The primary use of such vehicles shall be in connection with the operation of a business on a Parcel and not advertising or identifying the business premises

No sign shall be permitted which is structurally unsafe or constitutes a hazard to safety or health

Freestanding Signs

The design of all monument signs and panels placed thereon shall be subject to the review and approval of Evergreen Devco and shall be compatible with the architecture and colors of the center

The following are the different types of monument signs that shall be allowed at the site

Multi-Tenant Monuments:

Multi-tenant monument signs shall be located along Higley Road and Ray Road and shall be used for Major Retailers, Pads, Offices and In-line shops at Evergreen's discretion



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Each multi-tenant sign may also include center identification within the sign

The signs shall not exceed eight square feet (8 s f) in area and five feet (5') in height

the sign envelope allowed for their use See exhibits for sign band locations

straight lines projecting from the outermost edges of a freestanding building or in-line tenant space wall that are perpendicular to a straight line running along the ground level of the front of the measured wall

illumination within Higley Park Commercial Center shall be neon or L E D per the Owner/Occupant's corporate standards, subject to Evergreen Devco's approval.

that shall be applied directly to a window, painted or adhered directly upon the window, or illuminated upon a sign or wall located behind the window. Illumination shall not be by neon For computation of area, window panels separated by muntins or mullions shall be considered as one continuous windowpane

Single-Tenant Monuments: Single-tenant monument signs shall be located along Higley Road and Ray Road and shall be used for Major Retailers, Pads, Offices and In-line shops at Evergreen Devco's discretion

The signs shall be set back a minimum of eight foot six inches (8'-6") from the right of way

No more than fifty percent (50%) of the available sign band for the western elevations of buildings 1 and 11 shall be allocated to interior users. Interior users may have a minimum sign area of sixteen square feet (16 s f) of exterior signage on the western elevations of buildings 1 and 11 A maximum of three (3) interior users may be allocated exterior signage per building 1 and two (2) interior users per building 11 The allocation of space shall initially be approved by Evergreen Devco, Champion, or its Assignee's and shall be in compliance and consistent with the Locational Criteria and the Land Development Code.

Fasteners: All signs, bolts, fasteners, sleeves and clips shall be constructed of hot-dipped galvanized iron, stainless steel, aluminum, brass or bronze.

Trade Marks and Registered "®" Marks shall be painted, flat cut out aluminum mounted flush to wall surface

Style of letters may be in compliance with Owner/Occupant's corporate Identification

Each multi-tenant sign may also include center identification within the sign

Size: The size of signs shall be no greater than fifty square feet (50 s f) in area and seven feet (7') in height

Location: Location shall be approved by the design Review Board as part of a Comprehensive Sign Program or Final Design Review plan

Connection Devices: Exposed connection devices shall not be permitted

Electrical Parts: Exposed electrical devices shall not be permitted

Temporary Signs

Single-Tenant Monuments

Location: Location shall be approved by the design Review Board as part of a Comprehensive Sign Program or Final Design Review plan

Colors: Letter and logo colors within Higley Park Commercial Center shall be per the Owner/Occupant's corporate standards

Letter Style: Letter style shall be per the Owner/Occupant's standards

Window Signs or Graphics

Initial Display of Banners

Each single-tenant sign may also include center identification within the sign

There shall be six (6) total double faced internally illuminated monument signs (see Exhibits I, J, K, L & M)

Each business shall be allowed a minimum wall area of 32 square feet The total amount of square footage allowed for the sign area shall be calculated by 1.87 times the linear front unity occupied of the building the sign shall not be more in length than 80% the length of the unit or occupied space The height of the wall sign shall not exceed 80% of the vertical dimension of the wall space on which the sign shall be placed

Letter Style: Letter style shall be per the Owner/Occupant's standards

Window Signs and graphics include all signs and graphics

Banners and advertising flags for Higley Park Commercial only shall be permitted once during the first year of occupancy, for a period not to exceed one hundred twenty (120) cumulative days and commencing no earlier than ninety (90) days prior to the first day of use Such banners shall be located on the exterior wall of the suite advertised and shall not exceed

The sign panel area on each sign shall not exceed 75 0 square feet and 12' in height

All materials and finishes shall be compatible with Higley Park Commons/Higley Park Commercial Center architecture and shall comply with the design details shown on Exhibits I, J, K, L & M

Building Frontage: Building Frontage is defined as the measurement between two straight lines projecting from

illumination within Higley Park Commercial Center shall be neon or L E D per the Owner/Occupant's corporate standards, subject to Evergreen Devco's approval.

Window signs and graphics include all signs and graphics

Forty (40) square feet for occupants up to five thousand (5,000) square feet.

Directional Signs: Directional signs shall assist in vehicular traffic movement.

Placement: The property manager and/or the Condominium Association

illumination within Higley Park Commercial Center shall be neon or L E D per the Owner/Occupant's corporate standards, subject to Evergreen Devco's approval.

illumination within Higley Park Commercial Center shall be neon or L E D per the Owner/Occupant's corporate standards, subject to Evergreen Devco's approval.

Window signs and graphics include all signs and graphics

Eighty (80) square feet for occupants greater than five thousand (5,000) square feet up to fifteen thousand (15,000) square feet



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Periodic Display of Banner and Advertising Flags

Banners and advertising flags for Higley Park Commercial only shall be permitted for a period not to exceed one hundred eighty (180) only shall be permitted for a period not to exceed one hundred eighty (180) cumulative days per calendar year.

The size and location shall comply with the previously stated standards

Single Tenant Pad Building

The sign allowance for each building elevation located more than seventy five foot setback from the right-of-way shall be (1 87) square foot for each linear foot of building frontage

Each business shall be permitted a minimum wall sign area of thirty two square feet

All wall signs shall be fabricated from individual channel letters and logo's and shall be internally illuminated with neon or L E D

Individual channel letters shall be constructed with aluminum returns

Individual letters and logo's shall be 5" deep and be installed flush to wall surface

Letter faces returns shall be acrylic faced with 3/4"

trimcap

Wall signs for pad tenants shall not exceed 48" in height for one line of copy, with 6" minimum space between double lines of copy and a minimum of 6" high copy for any second line of copy

Note The maximum overall height of two (2) lines of copy shall not exceed 48"

Logos shall be permitted only at Evergreen Devco's discretion, but shall not exceed 50% of the total signage or twelve (12) square feet for tenants six thousand (6,000) square feet or larger All other pad and tenants shall not exceed eight (8) square feet

Logos larger than twelve (12) square feet in one area are allowed under the following conditions

Such sign is approved by the Design Review Board as part of a ~~Comprehensive Sign program~~ *M 30 program*; and

Such sign does not exceed the permitted Wall Sign area, and

Such sign has a

(1) Cabinet that is stylized in shape, rather than rectangular, to reflect the shape of the image printed on the sign face, or

(2) Molded sign face with embossed copy or sign copy or sign copy in relief, or

(3) National registered trademark with color sign copy on a colored background

The overall height of any sign shall not exceed 80% of the building elevation of a tenant's suite. The overall length of any sign may not exceed 80% of the vertical dimension of the sign band

The Sign Band shall be placed on the building wall surface that is free of architectural details

A sign shall be no closer to the top of the wall than one half the vertical height of the tallest character within the sign layout The Design Review Board may approve a placement less than one half of the vertical height of the tallest character within the sign layout if it finds that the placement shall not visually crowd the top of the wall

Higley Park Commercial Signs/Shops Buildings

All wall signs shall be fabricated from individual channel letters and logos and are neon or L E D internally illuminated

Individual channel letters shall be constructed with aluminum returns

Individual letters and logos shall be 5" deep and be installed flush to wall surface.

Letter face returns shall be acrylic faced with 3/4"

trimcap

Logos shall be permitted only at Evergreen Devco's discretion but shall not exceed 50% of the total signage or twelve (12) square feet for tenants six thousand (6,000) square feet or larger All other pad and tenants shall not exceed eight (8) square feet, whichever is less

Logos larger than twelve (12) square feet in area, are allowed under the following conditions

Such sign is approved by the Design Review Board as part of a ~~Comprehensive Sign program~~ *M 30 program*; and

Such sign does not exceed the permitted Wall Sign area, and

Such sign has a

(1) Cabinet that is stylized in shape, rather than rectangular, to reflect the shape of the image printed on the sign face; or

(2) Molded sign face with embossed copy or sign copy or sign copy in relief, or

(3) National registered trademark with color sign copy on a colored background

The overall height of any single letter or logo shall be restricted as follows

Leased area up to 2,000 sq ft 24" maximum letter height for

one line of copy with 4" minimum space between double lines of copy and a minimum 6" high copy for any second line of copy The maximum overall height of two (2) lines of copy is not to exceed 24"

Leased area 2,001 - 6,000 sq. ft

Wall signs for Shop Tenants shall not exceed 36" in height for one line of copy with 6" minimum space between double lines of copy and minimum of copy

The maximum overall height of two (2) lines of copy is not to exceed 36"

Leased Area 6,001 - 9,999 sq ft.

Wall signs for Shop Tenants shall not exceed 48" in height for one line of copy with 6" minimum space between double ones of copy and a minimum of 6" high copy for any second line of copy The maximum overall height of two (2) lines of copy is not to exceed 48"

Minimum Signage Area allowed for any tenant is thirty two (32) sq ft

The overall length of any sign may not exceed 80% of the Building Frontage

Higley Park Commons Signs

Office Buildings

All wall signs shall be individual letters

All letters shall be fabricated aluminum reverse channel or flat cut out aluminum with a black satin finish

Approved logos shall be fabricated 3" deep aluminum channel with first surface decorations or 5" deep acrylic faced pan channel with first surface vinyl decoration

All letter illumination shall be the indirect halo type with the graphics presented at night as a dark silhouette Internally illuminate the graphics with white "Sloan" L.E.D

Logos shall be permitted only at Evergreen Devco and Champion Partners discretion Halo illuminate the logo with white "Sloan" L E D or internally illuminate the acrylic faced logo with white L E D The halo type illuminated graphics shall be presented at night as a dark silhouette The internally illuminated logo shall appear as a multi-color image.

Wall signs shall not exceed 30" in height for one line of copy with 4" minimum space between double lines of copy Note The maximum overall height of two (2) lines of copy shall not exceed 30"

All letters under 6" shall be flat cut out aluminum



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NARRATIVE

TABLE OF EXHIBITS

Office condo buildings adjacent to a major arterial are allowed to utilize the sign standards for Higley Park Commercial signs. This allows for individual channel letters and logo's that are neon or LED internally illuminated to be used for signs only on the side of the office condo building that fronts the major arterial.

Logo's shall not exceed 50% signage or twelve (12) square feet, whichever is less

Logo's larger than twelve (12) square feet are allowed under the following conditions

Such sign is approved by the Design Review Board as part of a *Comprehensive Sign Program*, and *MSP* *MS*

Such sign does not exceed the permitted Wall Sign area, and

Such sign has a

(1) Cabinet that is stylized in shape rather than rectangular, to reflect the shape of the image printed on the sign face or

(2) Molded sign face with embossed copy or sign copy or sign copy in relief, or

(3) National registered trademark with color sign copy on a colored background

TABLE OF EXHIBITS

Addendum... Existing signs to be grand fathered.	Exhibit H.4... Higley Park Commons / Buildings 7 & 8 Elevations / Sign Band Locations
Site Plan - Vicinity Map	Exhibit H.5... Higley Park Commons / Buildings 9 & 10 Elevations / Sign Band Locations
Exhibit A... Higley Park Commercial Center / Entry Graphic Standards Standard's Detail	Exhibit H.6... Higley Park Commons / Building 11 Elevations / Sign Band Locations
Exhibit B... Higley Park Commercial Center / Building Sign Bands	Exhibit I... Monument Sign "A"
Exhibit C... Higley Park Commercial Center / "SHOPS" Bldg. Exterior Sign Detail	Exhibit J... Monument Sign "B"
Exhibit D... Higley Park Commercial Center / "PAD" Bldg. Exterior Sign Detail	Exhibit K... Monument Sign "C"
Exhibit E... Higley Park Commons Building Sign Bands	Exhibit L... Monument Sign "D"
Exhibit F... Higley Park Commons / "OFFICE" Bldg. Exterior Sign Detail	Exhibit M... Monument Sign "E"
Exhibit G... Higley Park Commons / "OFFICE" Bldg. Exterior Logo Detail	Exhibit N... Typical Directional Sign "F"
Exhibit H.1... Higley Park Commons / Buildings 1 & 2 Elevations / Sign Band Locations	Exhibit O... Color Palette
Exhibit H.2... Higley Park Commons / Buildings 3 & 4 Elevations / Sign Band Locations	
Exhibit H.3... Higley Park Commons / Buildings 5 & 6 Elevations / Sign Band Locations	



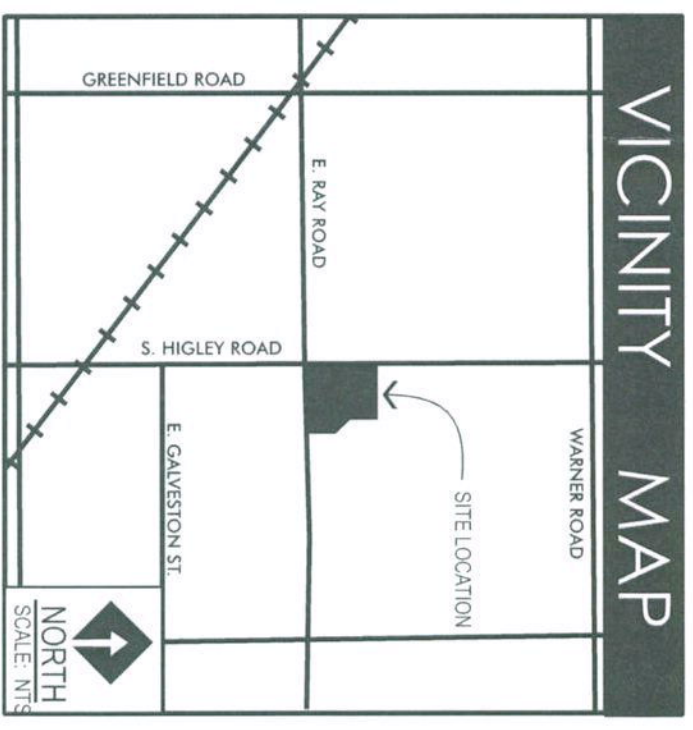
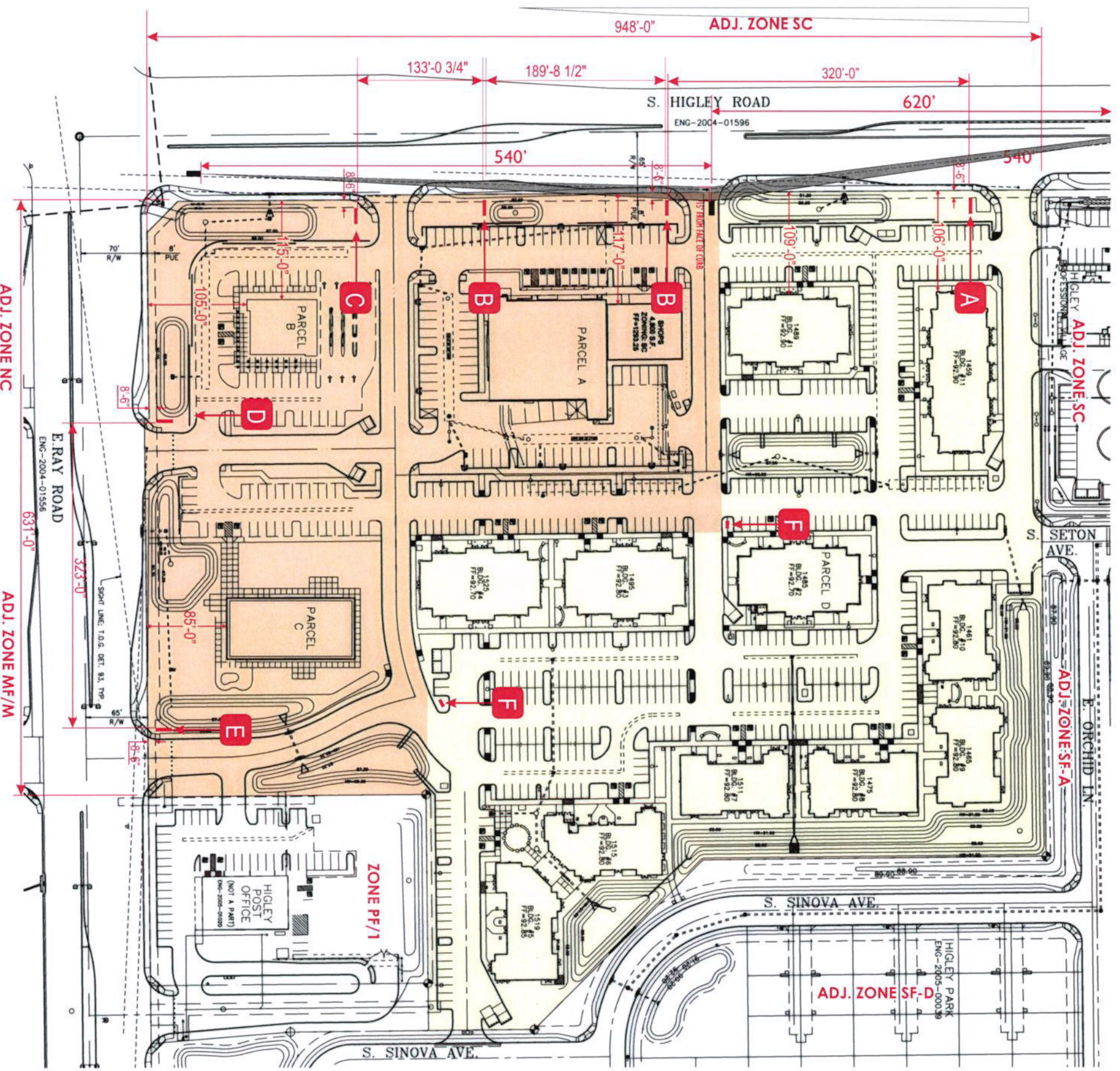
HIGLEY PARK COMMONS / HIGLEY PARK COMMERCIAL CENTER

DUE TO THE VARIETY OF HARDWARE AND SOFTWARE POTENTIALLY AVAILABLE TO VIEW AND PRINT THIS IMAGE, THE COLORS MAY NOT MATCH THE ACTUAL COLORS OF THE FINISHED DISPLAY PLEASE REFER TO THE DETAIL DRAWINGS FOR THE APPROVED COLOR SPECIFICATION



“A Comprehensive Sign Package for Higley Park Commercial was approved by the Town of Gilbert Design Review Board on September 13, 2007.

This Previously approved Comprehensive Sign Package has governed signage regulations for Higley Park Commercial from the conception of the project to present. As such, previous monument and wall signs have been reviewed, approved, and constructed by the developer and tenants. It is not the intent of this submittal for the Master Sign Plan to require the developer or tenants of the project, to resubmit and reconstruct existing monument or wall signs. The existing signs shall be grandfathered based on the previously approved Comprehensive Sign Package DR05-142.



SITE PLAN - SIGN LOCATIONS
 SCALE: 1" = 120' - 0"
 HIGLEY PARK COMMONS
 HIGLEY PARK COMMONS COMMERCIAL CENTER
 GROSS ACRES = 15.6902



NORTH

HIGLEY PARK COMMONS / HIGLEY PARK COMMERCIAL CENTER



DUE TO THE VARIETY OF HARDWARE AND SOFTWARE POTENTIALLY AVAILABLE TO VIEW AND PRINT THIS IMAGE, THE COLORS MAY NOT MATCH THE ACTUAL COLORS OF THE FINISHED DISPLAY. PLEASE REFER TO THE DETAIL DRAWINGS FOR THE APPROVED COLOR SPECIFICATION.



VINYL WINDOW IDENTIFICATION

SIZE AND LOCATION AS INDICATED ON DETAIL. LETTERS ARE NOT TO EXCEED OR BE SMALLER THAN 3" IN HEIGHT

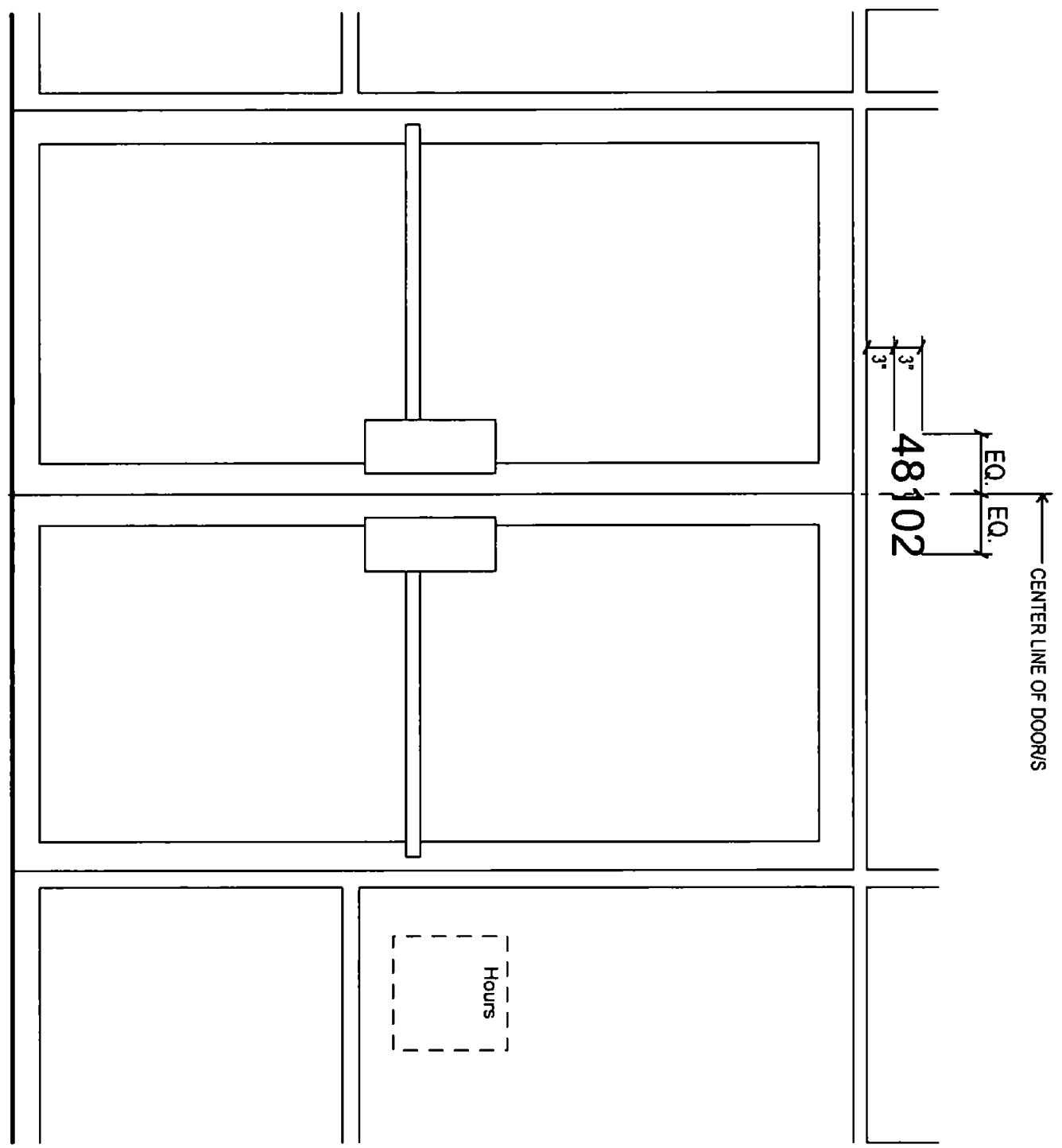
HELVETICA MEDIUM

1 2 3 4 5 6 7 8 9 0

ABCDEFGHIJKLMNO P Q
RSTUVWXYZ &
abcdefghijklmnopqrstu v
wxyz

ALL MATERIALS SHALL BE #220-10 WHITE; REVERSE CUT HIGH PERFORMANCE 3M SCOTCHCAL VINYL, COMPUTER GENERATED

ALL WINDOW VINYL LAYOUTS SHALL BE APPROVED BY THE PROPERTY MANAGER



ENTRANCE ELEVATION... TYPICAL TENANT IDENTIFICATION & HOURS

SCALE 3/4"=1'-0"

HIGLEY PARK COMMERCIAL CENTER
BUILDING SIGN BAND
TYPICAL



TYPICAL BUILDING ELEVATION - SIGN LOCATIONS
SCALE 1"=10'-0"

Sign Band Definition

The sign band shall be the general area a sign shall be located and shall be subject to the maximum area noted for each type of building. All wall signs shall be installed within the signage bands as shown on the exhibits. All signage shall be located within the sign band.

Building Wall Sign Standards

All signs shall be placed within a sign band. Not more than one occupant sign may be placed in each sign band. Wall signs shall be restricted to identifying the person, firm, corporation or the products and/or services offered specifically at this location. All signs shall comply with the following:

1. Sign location for each occupant wall sign shall be limited to sign bands indicated.
2. Property manager to approve sign band for each occupant.
3. All penetrations of the building shall be neatly sealed and kept in a watertight condition. Building penetrations shall be minimized. Upon removal of any sign, the fascia shall be restored to the texture, color and finish of the surrounding wall area at the Occupant's expense.
4. No illuminated signs allowed facing residential zones.
5. The property manager reserves the sole right to interpret, enforce and administer the terms and conditions of the comprehensive sign plan and all related documents and policies.
6. No exposed hardware or fasteners allowed.
7. No exposed conduit or raceways may be used. All conductors and transformers must be concealed.
8. All exterior bolts, fasteners, clips or other hardware shall be of hot-dipped galvanized iron or stainless steel. No black iron materials of any type shall be permitted.
9. All signs installed at the "shops" & "pad" building shall:
 - 1)... Be constructed of aluminum, pan channel, individual letters.
 - 2)... Be internally illuminated with L.E.D.
 - 3)... Have the property managers approval for all acrylic face colors.
 - 4)... Have a maximum of 5" deep letter return.
 - 5)... Have pre-painted bronze letter returns with matching trimcap (see exhibit C - E).

STATE FARM INSURANCE

TM & ® MARKS ARE PAINTED
F.C.O. ALUMINUM FLUSH
MOUNTED TO FASCIA

2'-6" MAXIMUM

12 3/4" MAXIMUM
1 1/2" MINIMUM SPACE BETWEEN TWO LINES OF COPY
12 3/4" MINIMUM

TWO LINE APPLICATION

SCALE: 3/4" = 1'-0"

STATE

2'-6" MAX.

ONE LINE APPLICATION

SCALE: 1/2" = 1'-0"

INTERNAL ILLUMINATED PAN CHANNEL LETTERS.
ACRYLIC FACES AND 5" RETURNS ARE PRE-PAINTED
BRONZE ALUMINUM WITH TRIMCAP TO MATCH THE

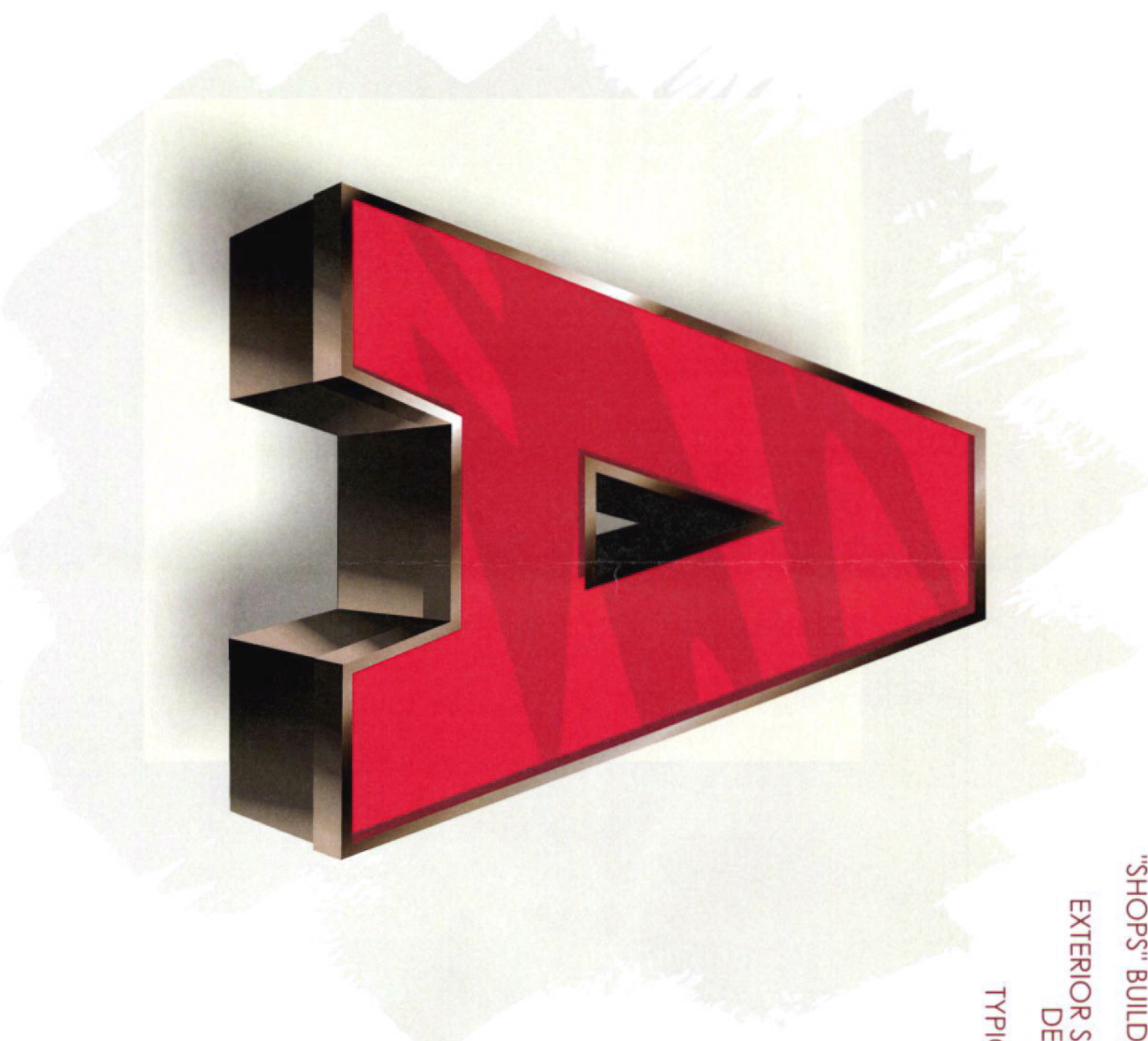
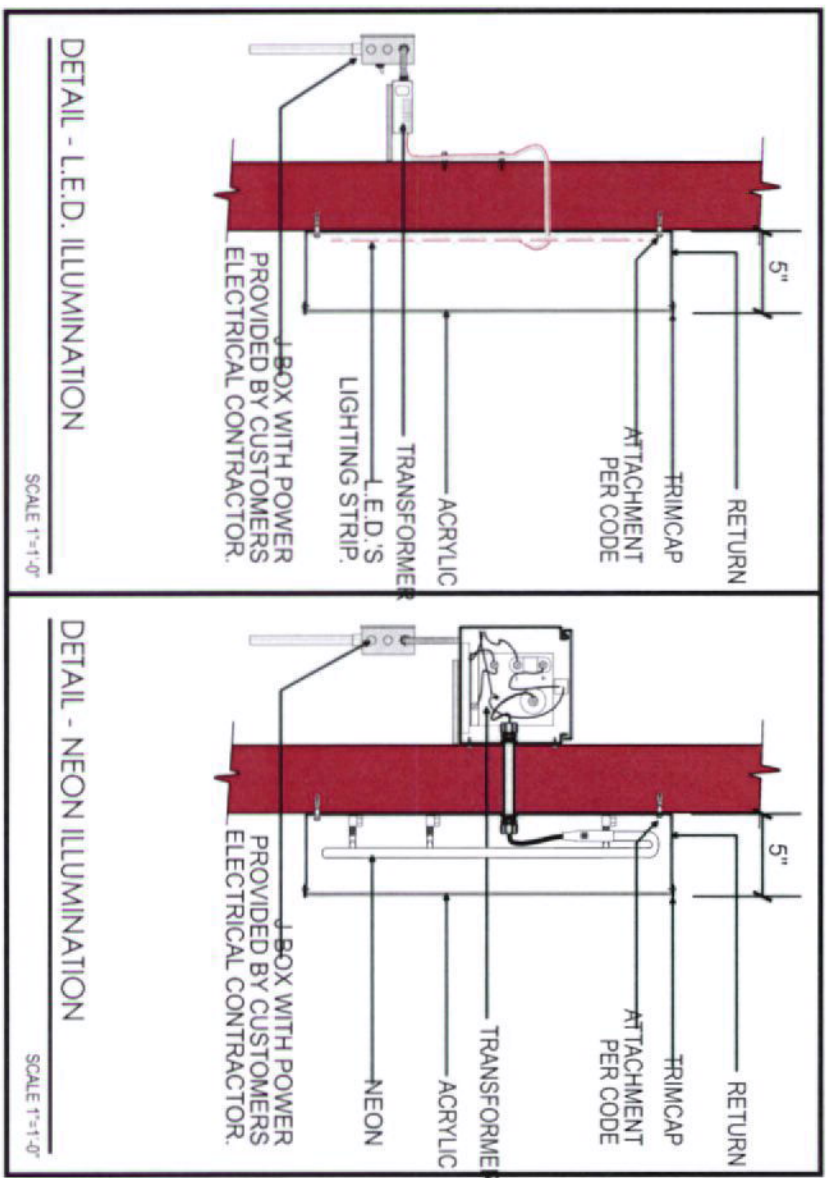
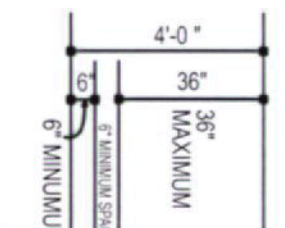


EXHIBIT C
HIGLEY PARK COMMERCIAL CENTER
"SHOPS" BUILDING
EXTERIOR SIGN
DETAIL
TYPICAL

STATE FARM

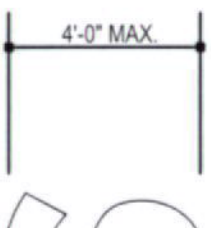
INSURANCE

TM & ® MARKS ARE PAINTED
F.C.O. ALUMINUM FLUSH
MOUNTED TO FASCIA.



TWO LINE APPLICATION

SCALE: 1/4" = 1'-0"



ONE LINE APPLICATION

SCALE: 1/4" = 1'-0"

INTERNAL ILLUMINATED PAN CHANNEL LETTERS.
ACRYLIC FACES AND 5" RETURNS ARE PRE-PAINTED
BRONZE ALUMINUM WITH TRIMCAP TO MATCH THE

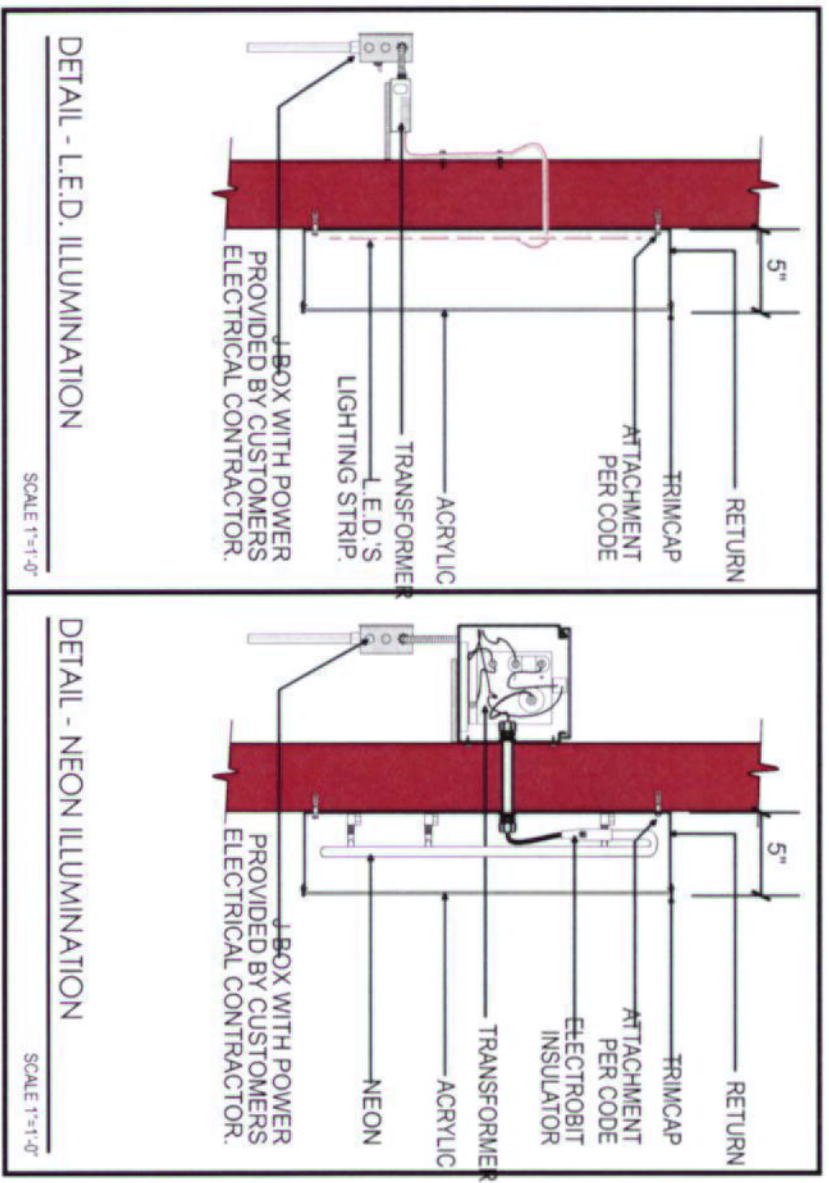


EXHIBIT D
HIGLEY PARK COMMERCIAL CENTER
"PAD" BUILDING
EXTERIOR SIGN
DETAIL
TYPICAL

HIGLEY PARK COMMERCIAL CENTER
"SHOPS" BUILDING

EXTERIOR LOGO
DETAIL
TYPICAL



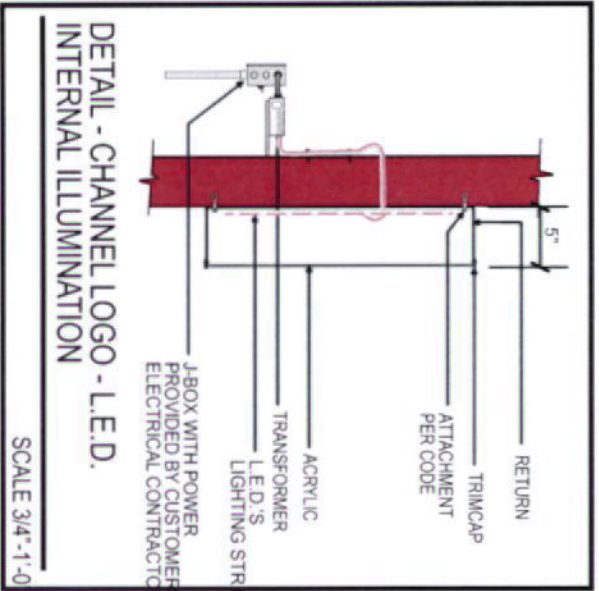
TYPICAL ILLUMINATED LOGO

SCALE: 3/4" = 1'-0"

LOGOS SHALL BE PERMITTED WITH PROPERTY
MANAGER APPROVAL. INTERNAL ILLUMINATED,
CHANNEL WITH AN ACRYLIC FACE.

5" RETURNS ARE PRE-PAINTED BRONZE
ALUMINUM WITH TRIMCAP TO MATCH THE
LETTER FACE.

FLUSH MOUNT THE LOGO TO THE WALL.
50% OF SIGN AREA NOT TO EXCEED TWELVE
(12) SQUARE FEET FOR TENANTS 6000 SQUARE
FEET OR LARGER, OR EIGHT (8) SQUARE FEET
FOR TENANTS LESS THAN 6000 SQUARE FEET.



130'-6"

TYPICAL SIGN BAND

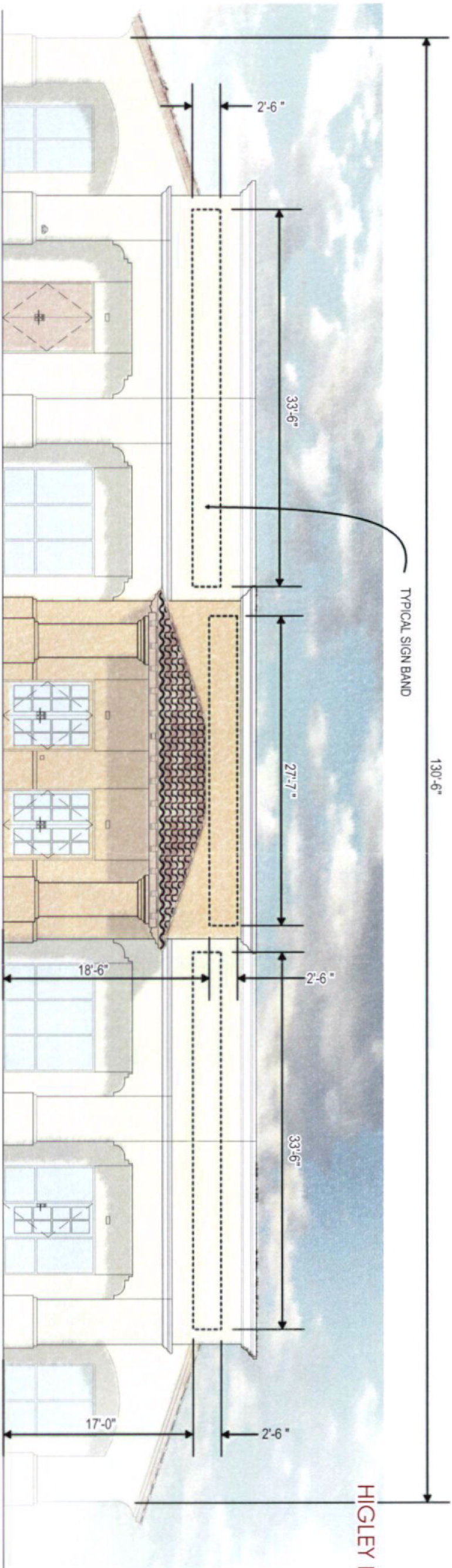


EXHIBIT F
HIGLEY PARK COMMONS
BUILDING
SIGN BAND
TYPICAL

TYPICAL BUILDING ELEVATION - SIGN LOCATIONS

SCALE: 1" = 10' - 0"

Sign Band Definition

The sign band shall be the general area a sign shall be located and shall be subject to the requirements for wall signs, placement, and site

requirements. All wall signs shall be installed within the signage bands as shown on the exhibits. All signage shall be located within the sign band.

Building Wall Sign Standards

All signs shall be placed within a sign band. Wall signs shall be restricted to identifying the person, firm, corporation or the products and/or services offered specifically at this location. All signs shall comply with the following:

1. Sign location for each occupant wall sign shall be limited to sign bands indicated.
2. Property manager to approve sign band for each occupant.
3. All penetrations of the building shall be neatly sealed and kept in a watertight condition. Building penetrations shall be minimized. Upon removal of any sign, the fascia shall be restored to the texture, color and finish of the surrounding wall area at the Occupant's expense.
4. No illuminated signs allowed facing residential zones.
5. The property manager reserves the sole right to interpret, enforce and administer the terms and conditions of the comprehensive

sign plan and all related documents and policies.

6. No exposed hardware or fasteners allowed.

7. No exposed conduit or raceways may be used. All conductors and transformers must be concealed.

8. All exterior bolts, fasteners, clips or other hardware shall be of hot-dipped galvanized iron or stainless steel. No black iron materials of any type shall be permitted.

9. All signs installed at the "Office" buildings shall be one or a combination of the following:

- 1)... constructed of individual letters and logos.

2)... letters fabricated of flat cut out aluminum, halo illuminated aluminum reverse channel and/or non-illuminated aluminum reverse channel.

3)... logo's fabricated of halo illuminated aluminum reverse channel, non-illuminated aluminum reverse channel or internally illuminated, acrylic faced aluminum pan channel.

4)... halo illuminated letters & logo's with L.E.D. and/or neon and 3" returns.

5)... logo's with acrylic faced aluminum channel, L.E.D. internal illumination and 5" returns.

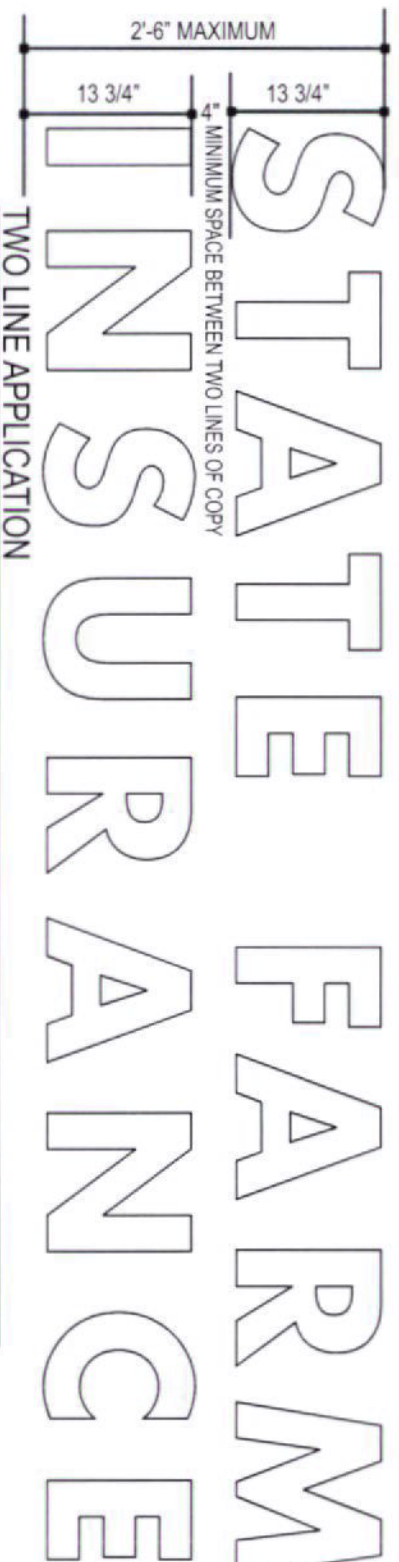
6)... flat cut out or reverse channel letters painted satin black.

7)... logo's fabricated of illuminated or non-illuminated reverse channel shall be painted satin black or have painted satin black returns vinyl decorated faces.

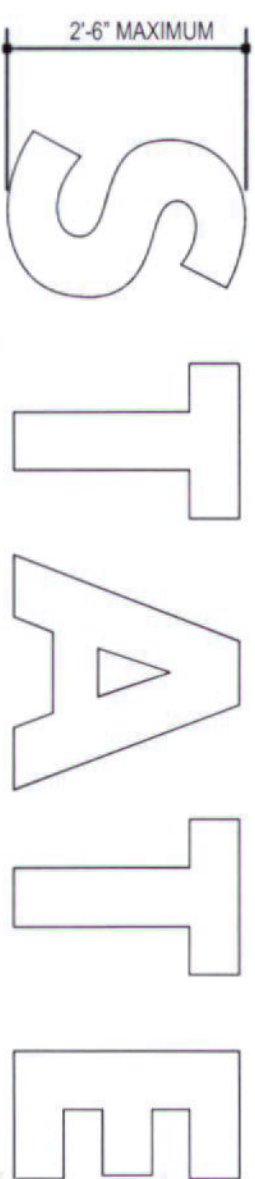
8)... logo's fabricated of internally illuminated, acrylic faced aluminum pan channel shall have satin black painted returns, black trimcap and vinyl decoration on the first surface of the acrylic face.

see EXHIBIT G

TM & ® MARKS ARE PAINTED
F.O. ALUMINUM FLUSH
MOUNTED TO FACE



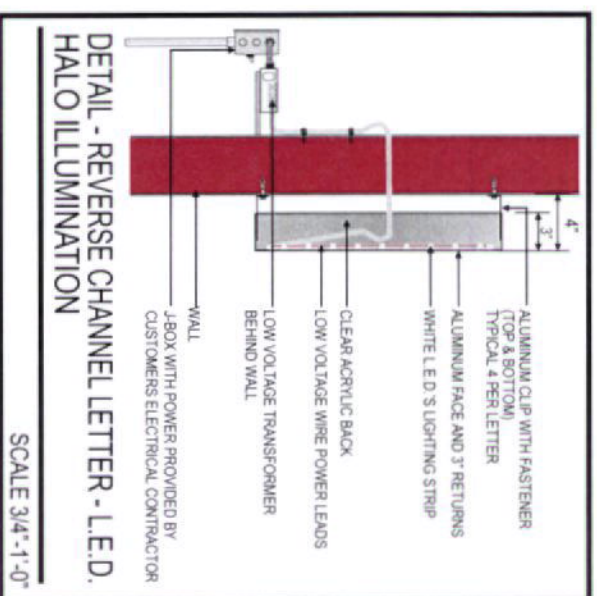
TWO LINE APPLICATION
SCALE: 3/4" = 1'-0"



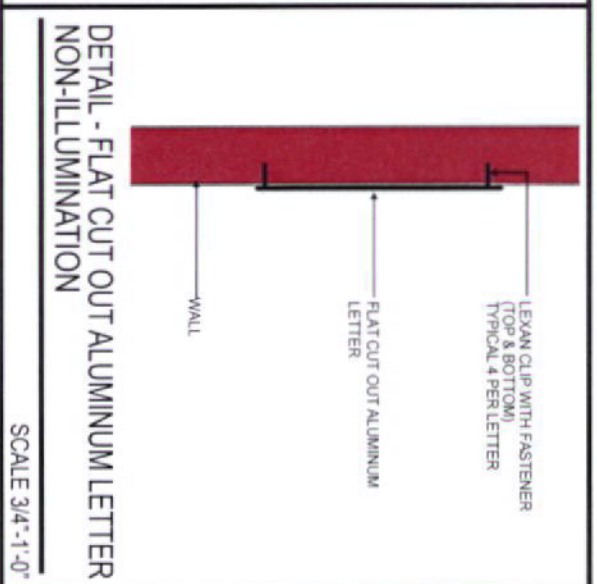
ONE LINE APPLICATION
SCALE: 1/2" = 1'-0"

WALL LETTERS...

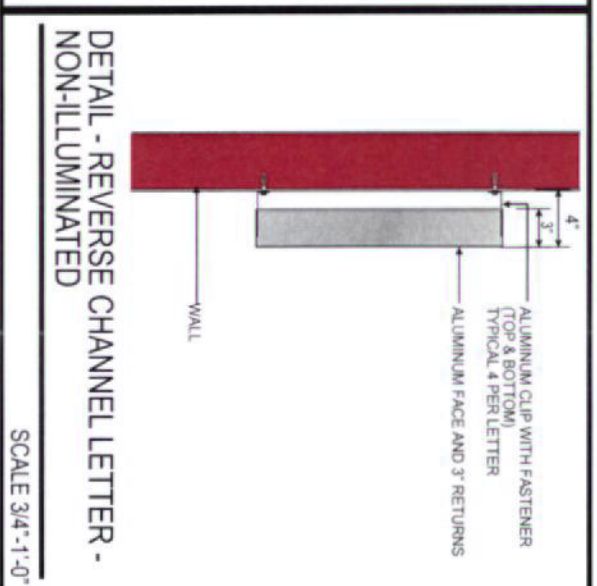
THE LARGE LETTERS ARE REVERSE CHANNEL ALUMINUM WITH HALO INTERNAL ILLUMINATION. LETTERS SMALLER THAN 6" ARE FLAT CUT OUT ALUMINUM WITH NO ILLUMINATION. ALL LETTERS SHALL BE PAINTED BLACK, SATIN FINISH.



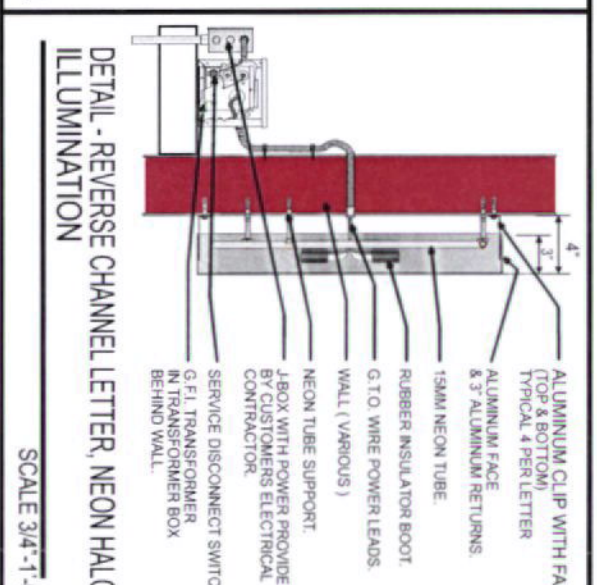
DETAIL - REVERSE CHANNEL LETTER - L.E.D. HALO ILLUMINATION
SCALE 3/4"-1'-0"



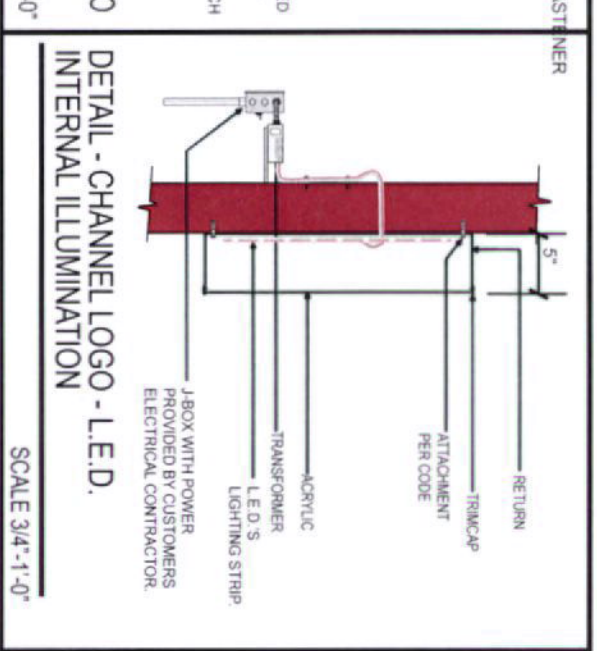
DETAIL - FLAT CUT OUT ALUMINUM LETTER NON-ILLUMINATION
SCALE 3/4"-1'-0"



DETAIL - REVERSE CHANNEL LETTER - NON-ILLUMINATION
SCALE 3/4"-1'-0"



DETAIL - REVERSE CHANNEL LETTER, NEON HALO ILLUMINATION
SCALE 3/4"-1'-0"



DETAIL - CHANNEL LOGO - L.E.D. INTERNAL ILLUMINATION
SCALE 3/4"-1'-0"



FLAT CUT OUT ALUMINUM NON-ILLUMINATED LETTER (FOR COPY OR LESS ONLY)



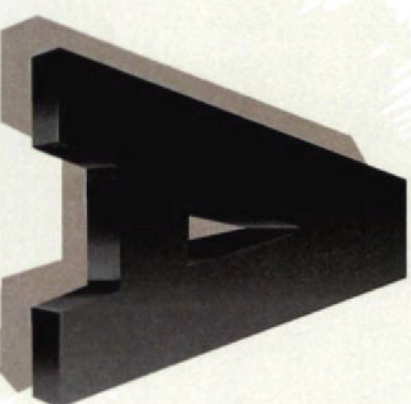
REVERSE CHANNEL LOGO



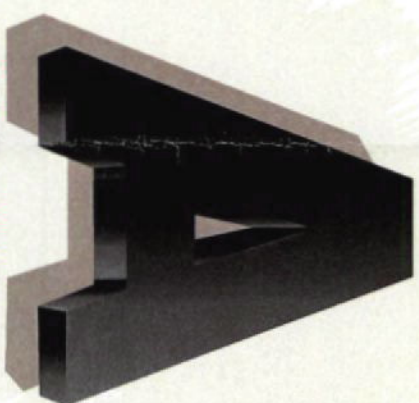
REVERSE CHANNEL LOGO WITH VINYL GRAPHICS



INTERNALLY ILLUMINATED CHANNEL LOGO (SEE EXHIBIT E)



REVERSE CHANNEL HALO ILLUMINATED LETTER

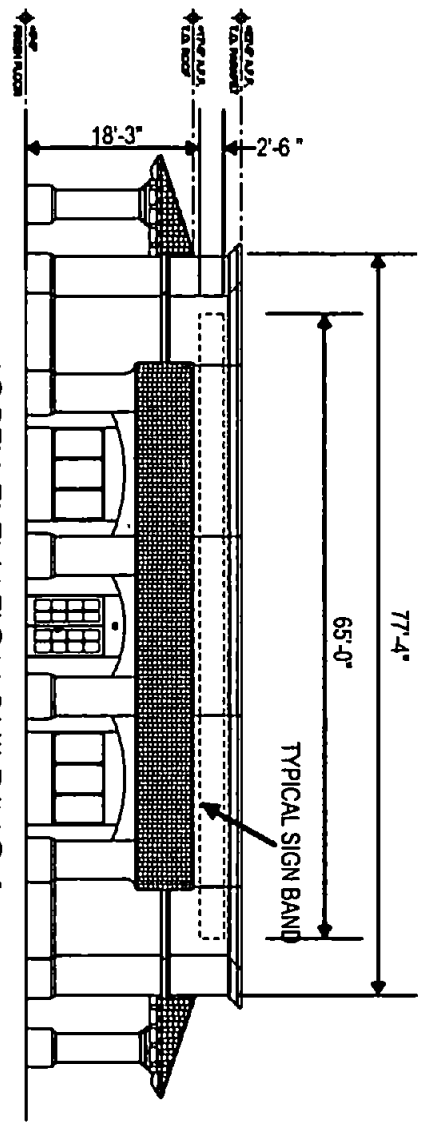


REVERSE CHANNEL NON-ILLUMINATED LETTER

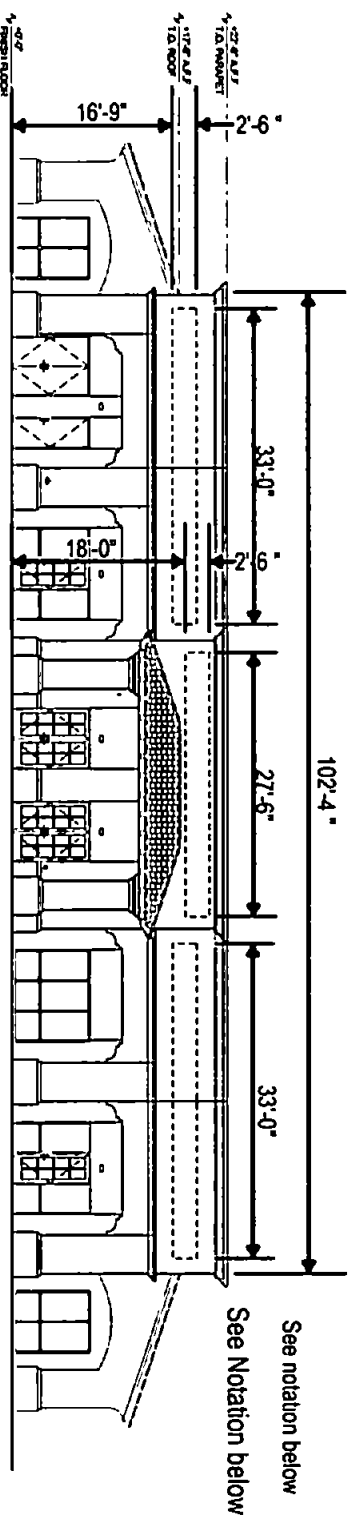
EXHIBIT G
HIGLEY PARK COMMONS
"OFFICE" BUILDING
EXTERIOR SIGN
DETAIL
TYPICAL

EXHIBIT H.1

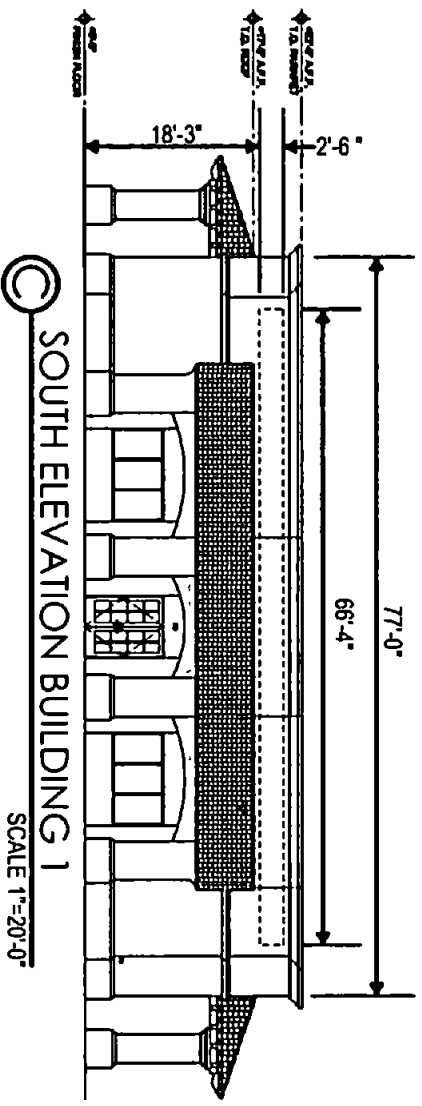
HIGLEY PARK COMMONS OFFICE BUILDINGS 1 & 2 SIGN BAND LOCATIONS



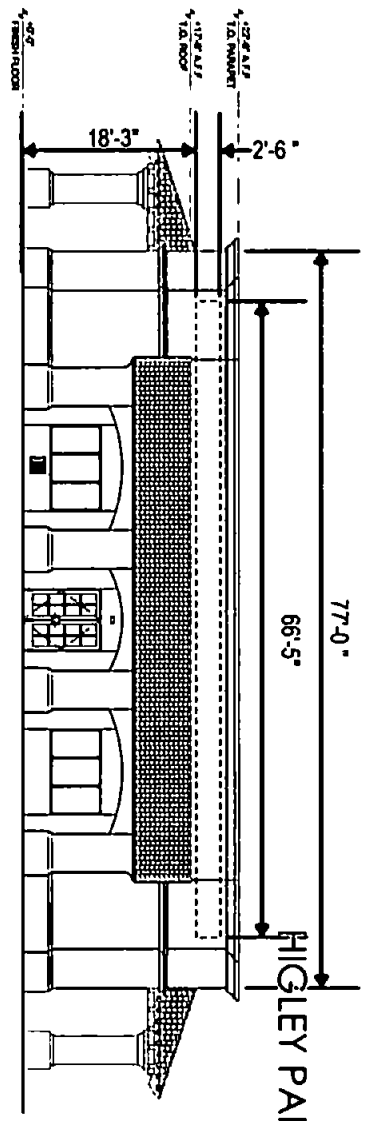
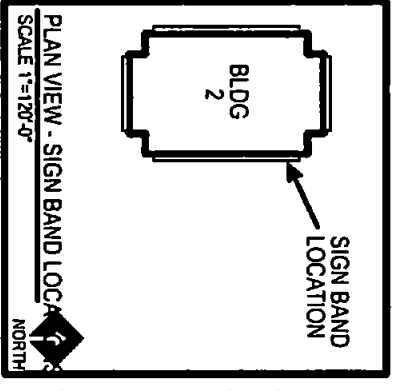
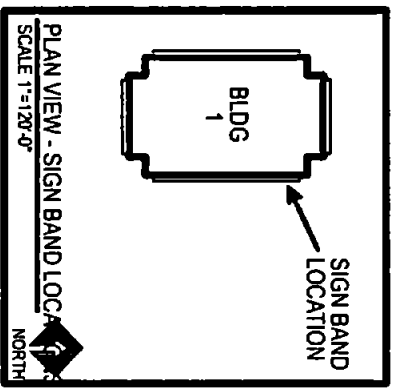
(A) NORTH ELEVATION BUILDING 1
SCALE 1"=20'-0"



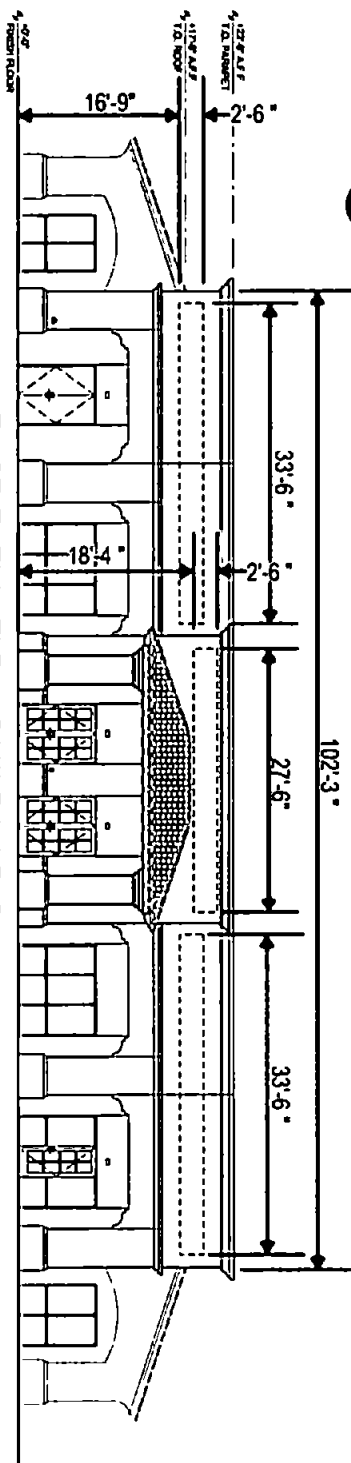
(B) EAST ELEVATION BUILDING 1
SCALE 1"=20'-0"



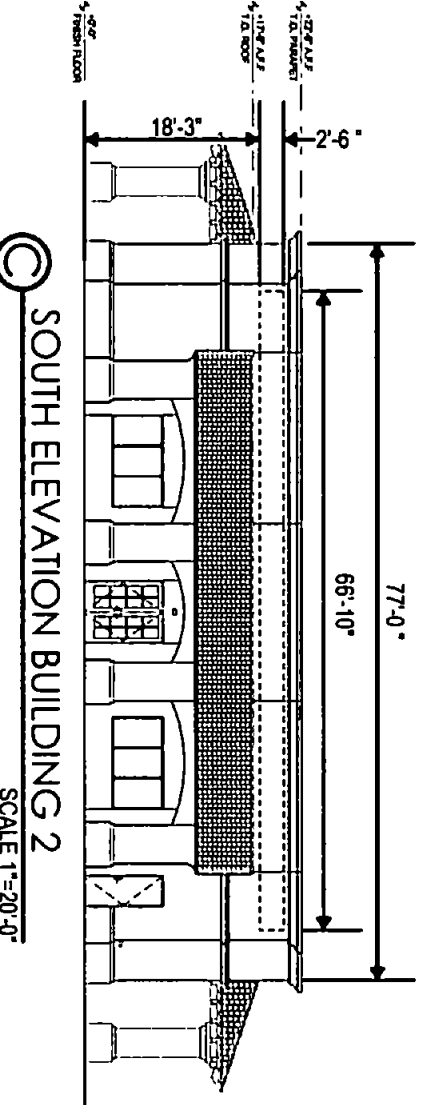
(C) SOUTH ELEVATION BUILDING 1
SCALE 1"=20'-0"



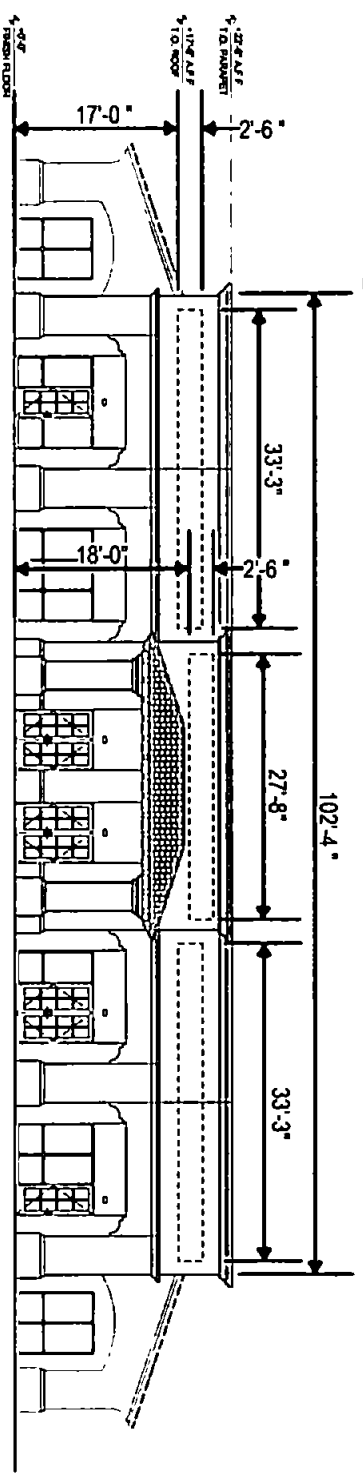
(A) NORTH ELEVATION BUILDING 2
SCALE 1"=20'-0"



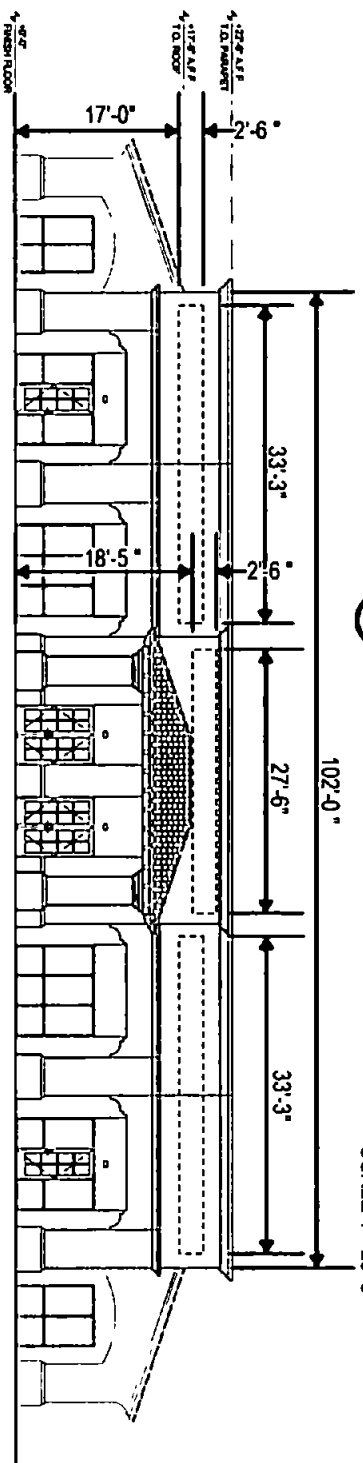
(B) EAST ELEVATION BUILDING 2
SCALE 1"=20'-0"



(C) SOUTH ELEVATION BUILDING 2
SCALE 1"=20'-0"



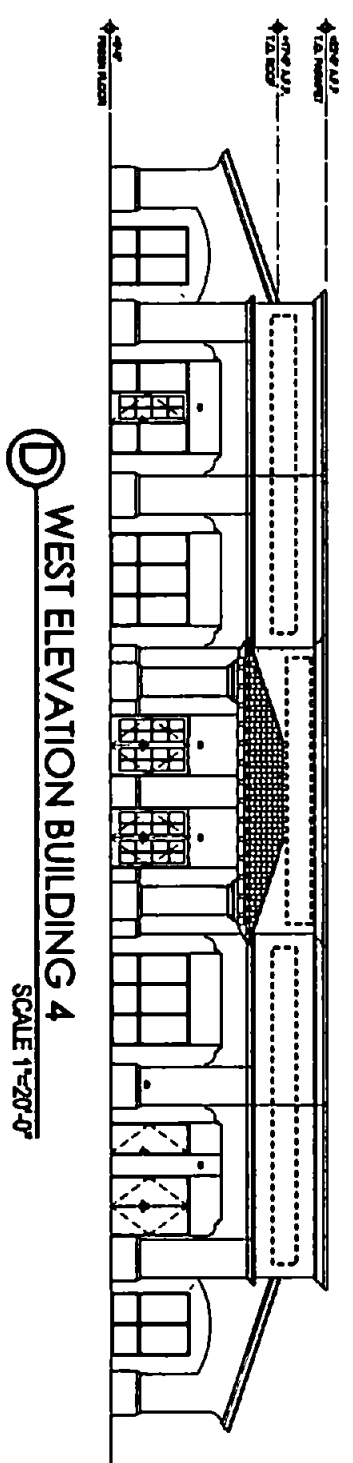
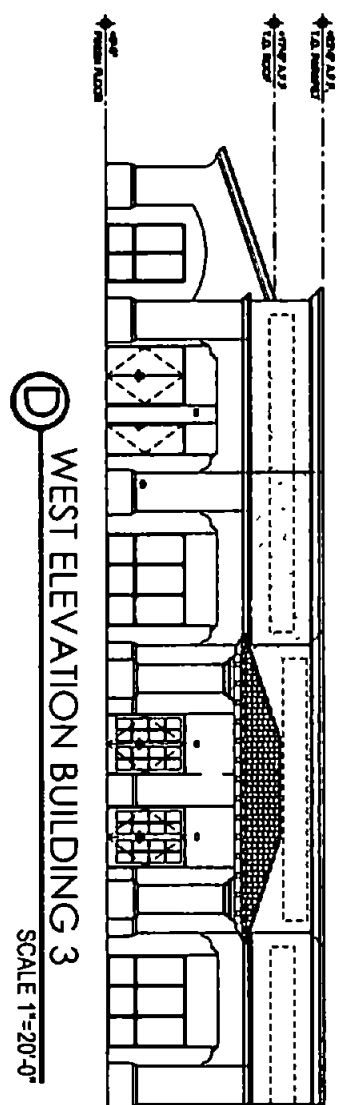
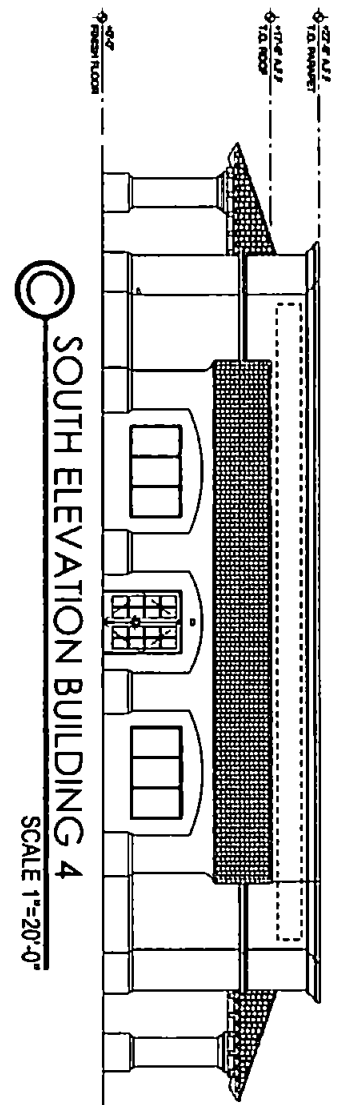
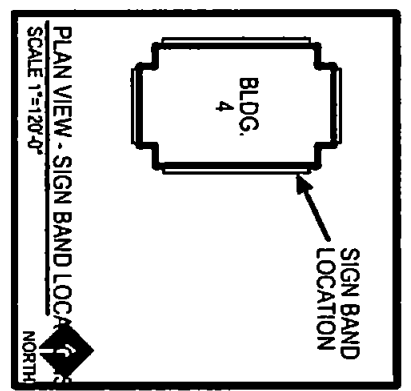
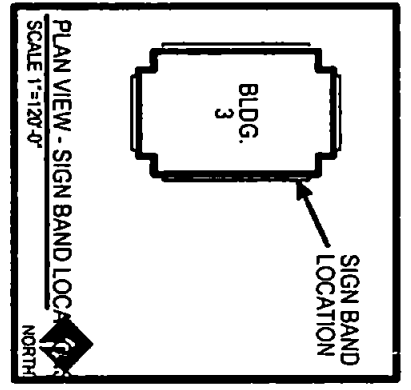
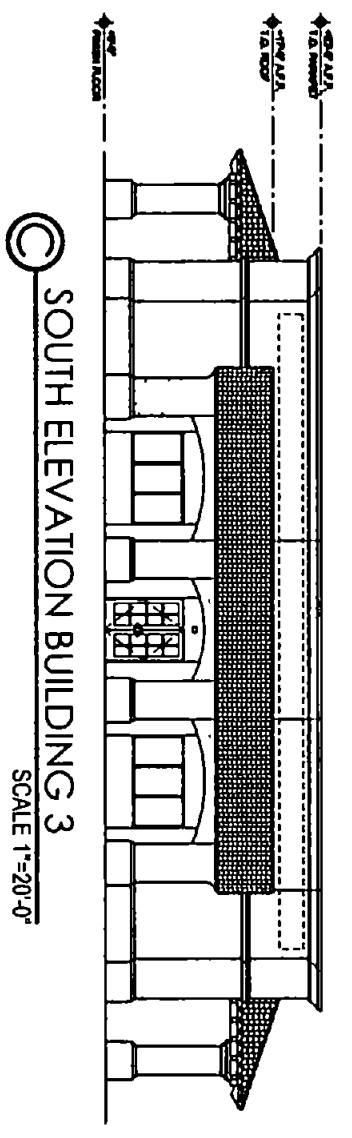
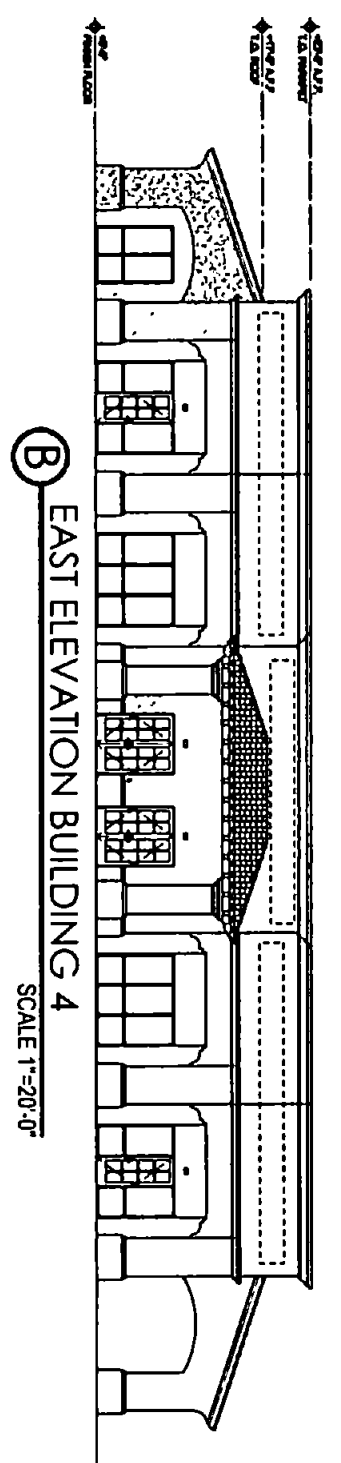
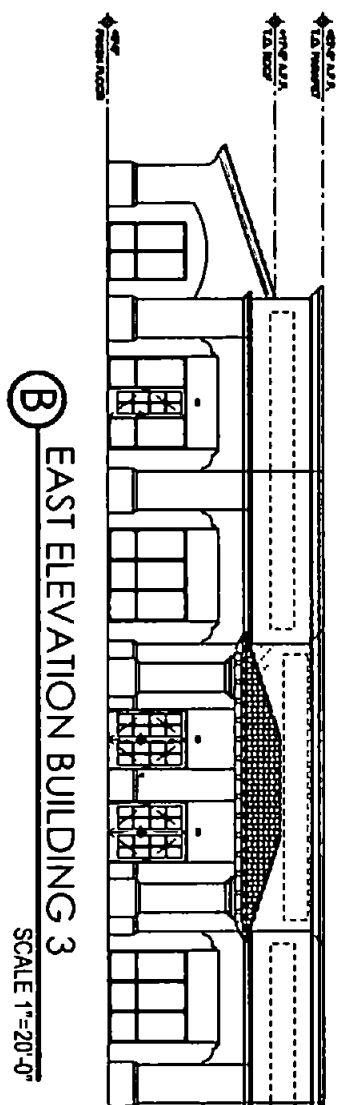
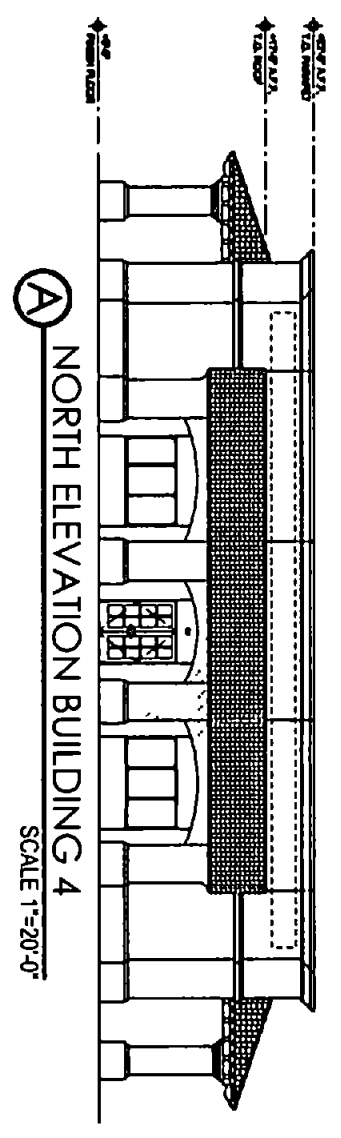
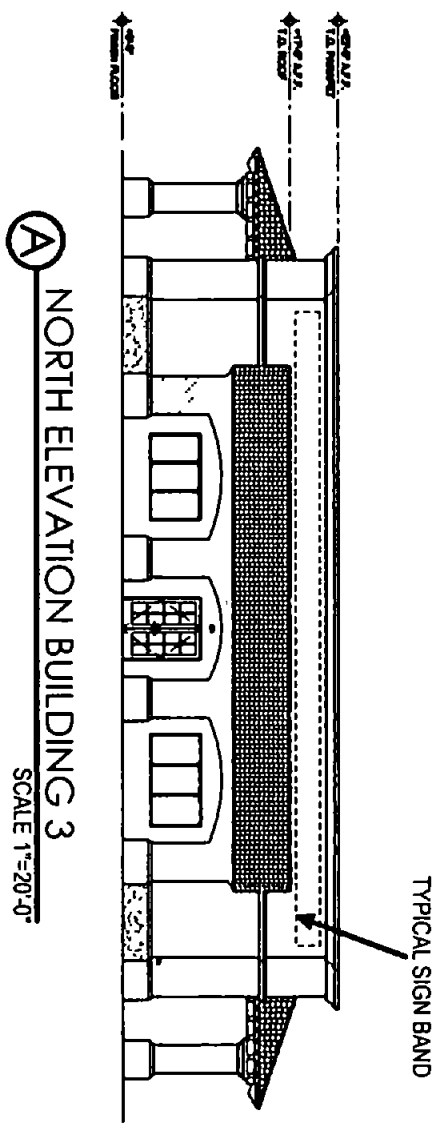
(D) WEST ELEVATION BUILDING 1
SCALE 1"=20'-0"



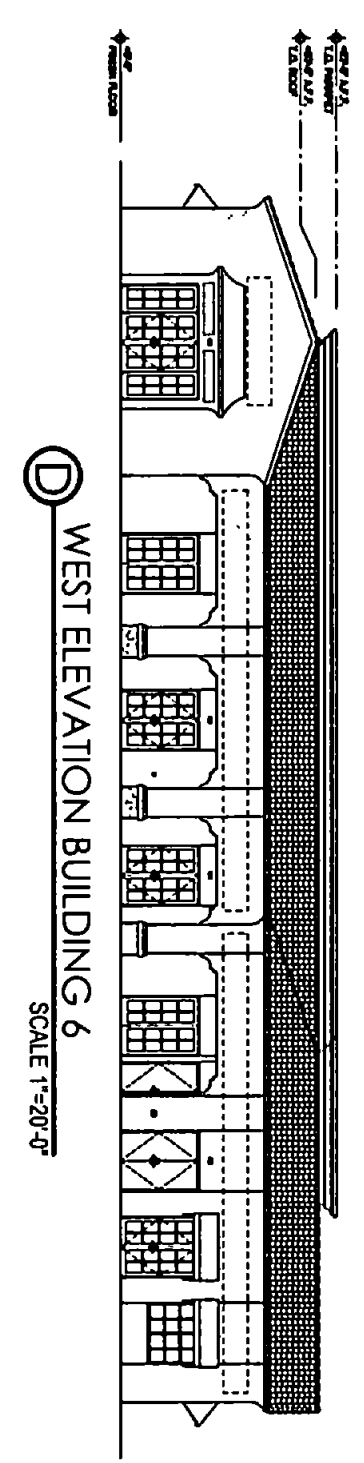
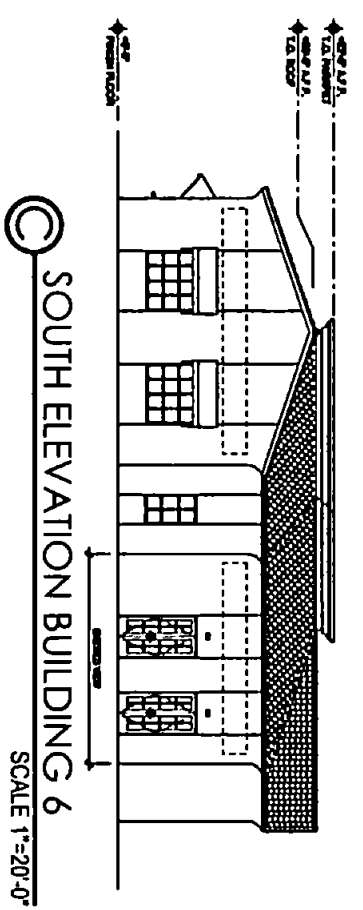
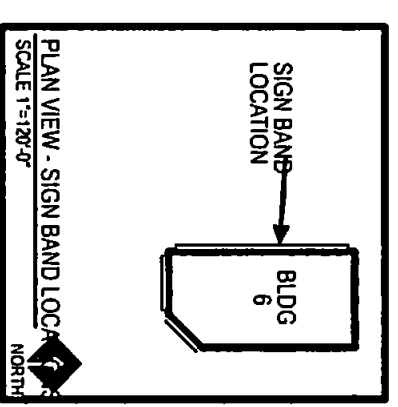
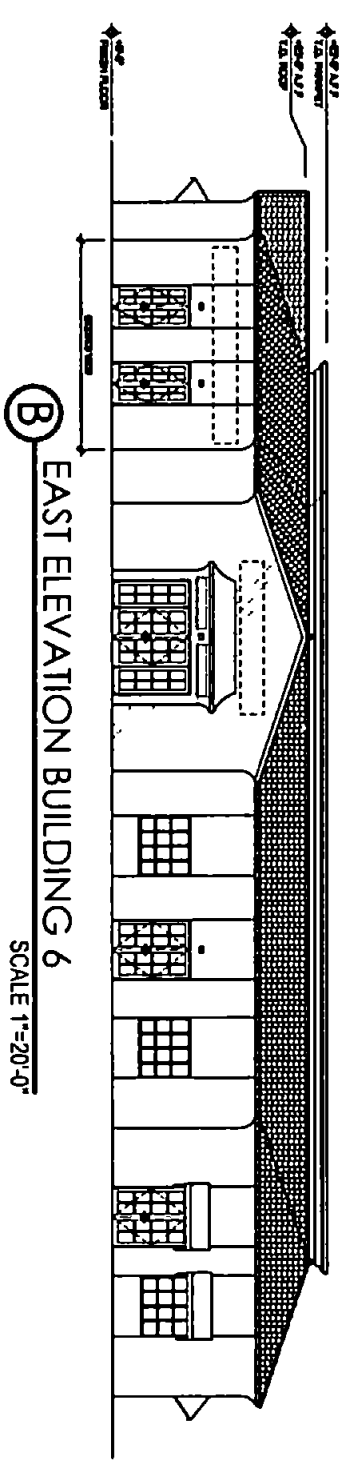
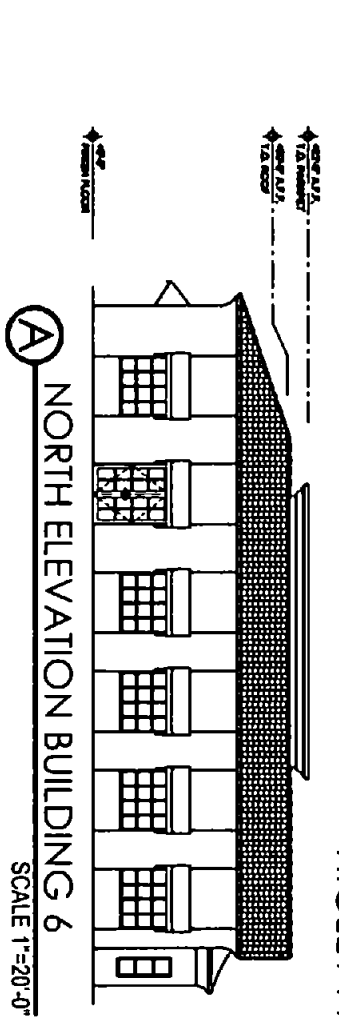
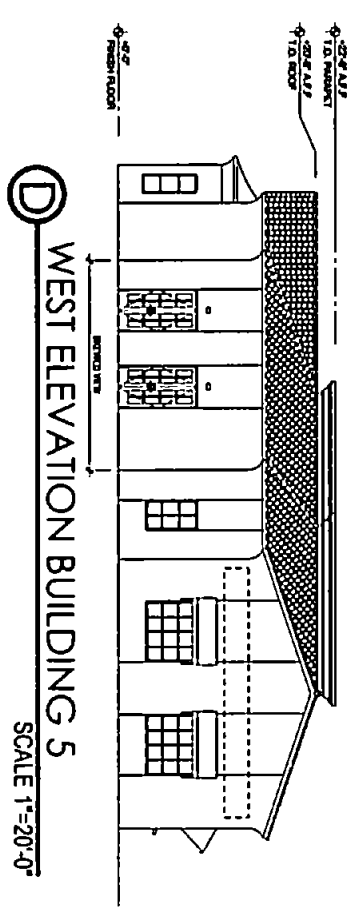
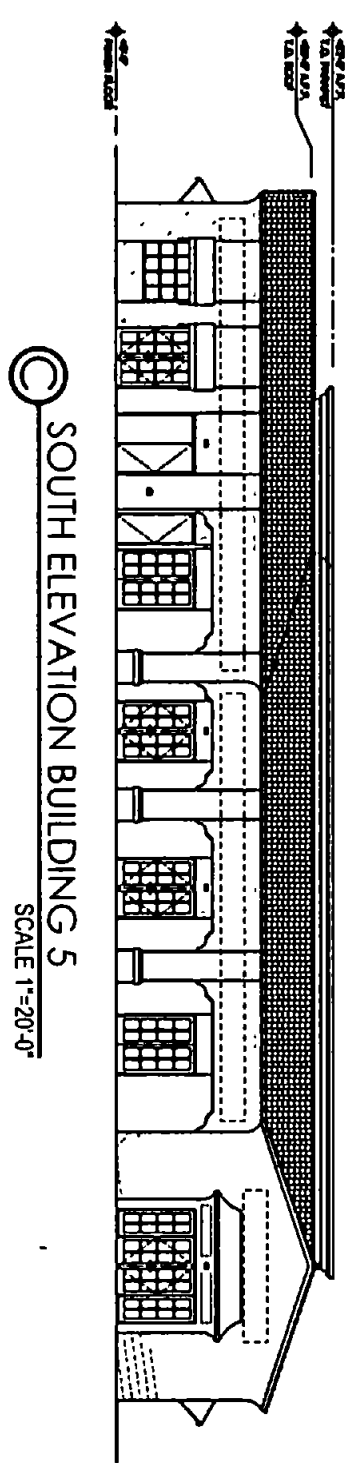
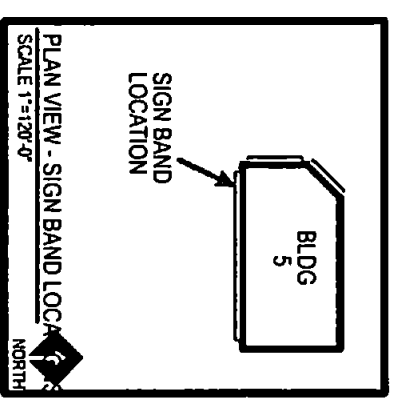
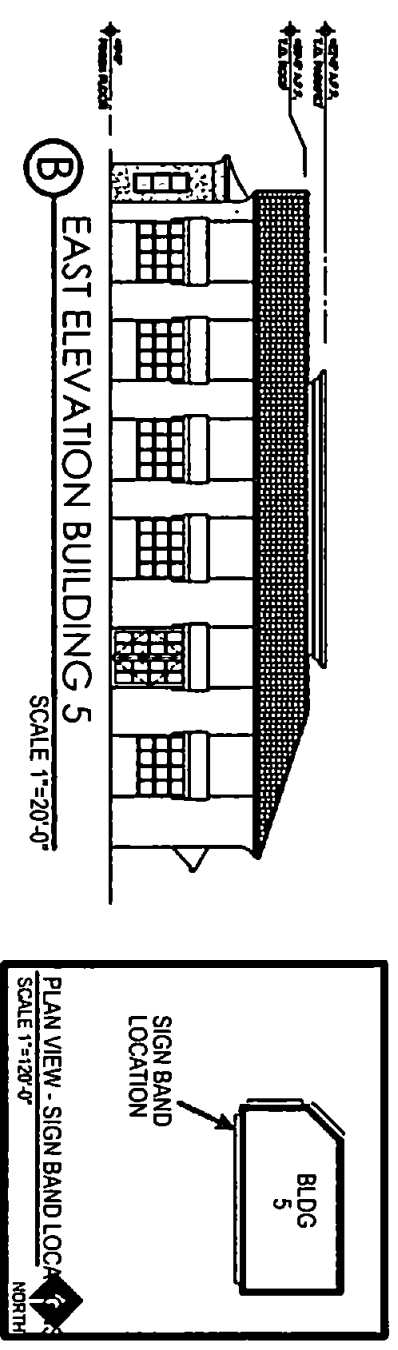
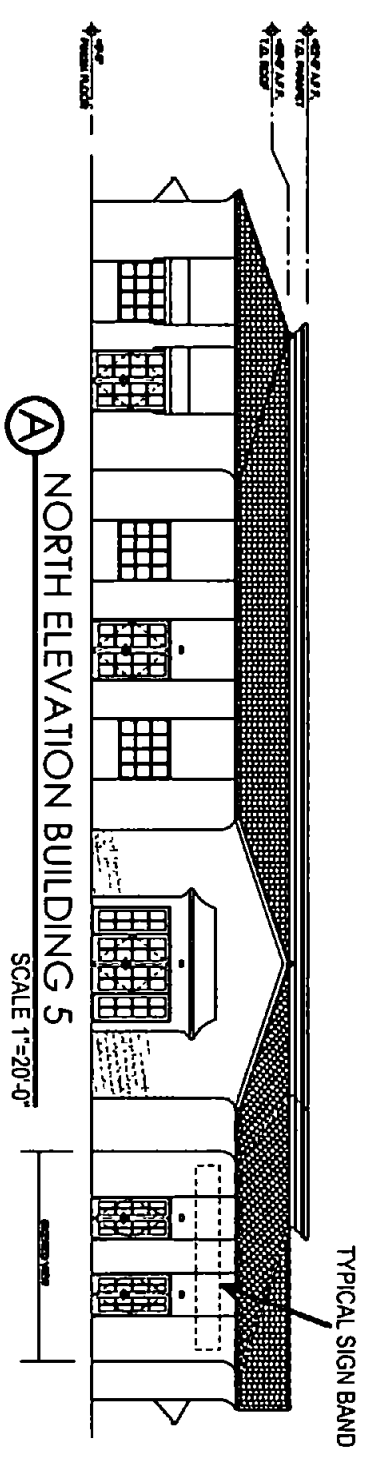
(D) WEST ELEVATION BUILDING 2
SCALE 1"=20'-0"

Notation-Sign envelopes for tenants located on the east side of building 1 may locate a sign in an approved sign envelope on the west elevation of building 1

HIGLEY PARK COMMONS OFFICE BUILDINGS 3 & 4
SIGN BAND LOCATIONS



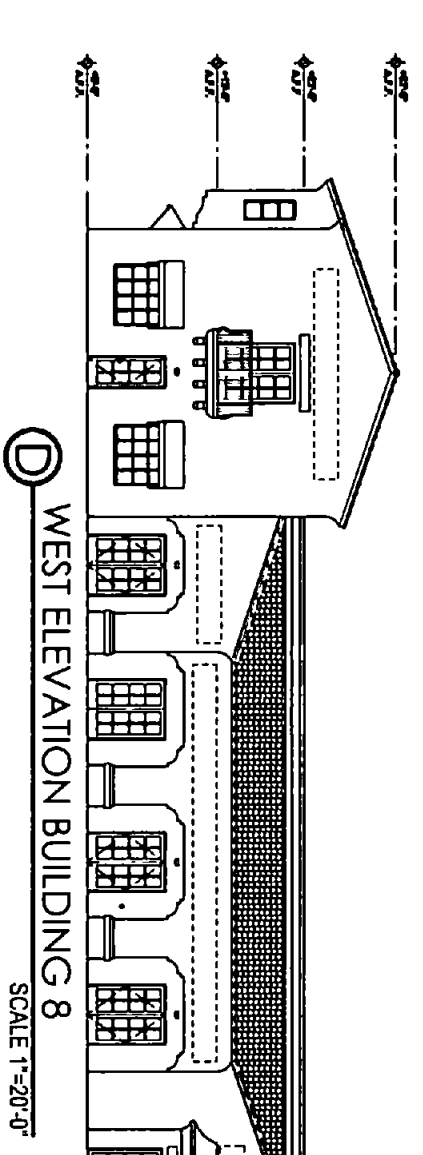
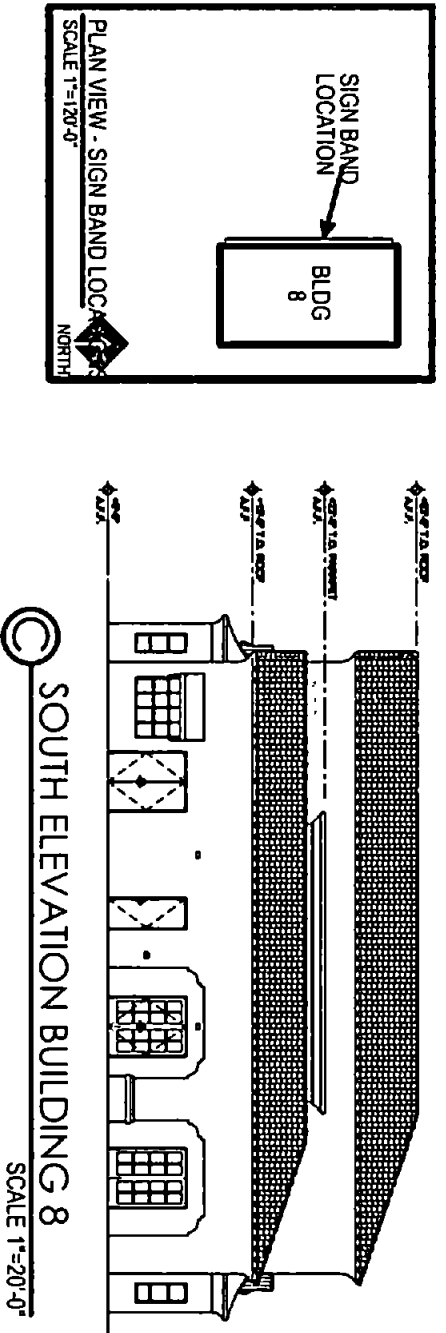
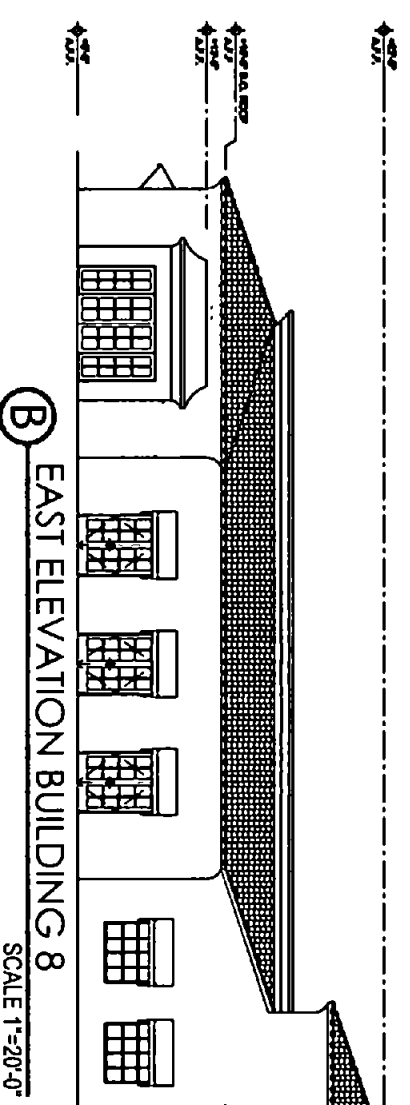
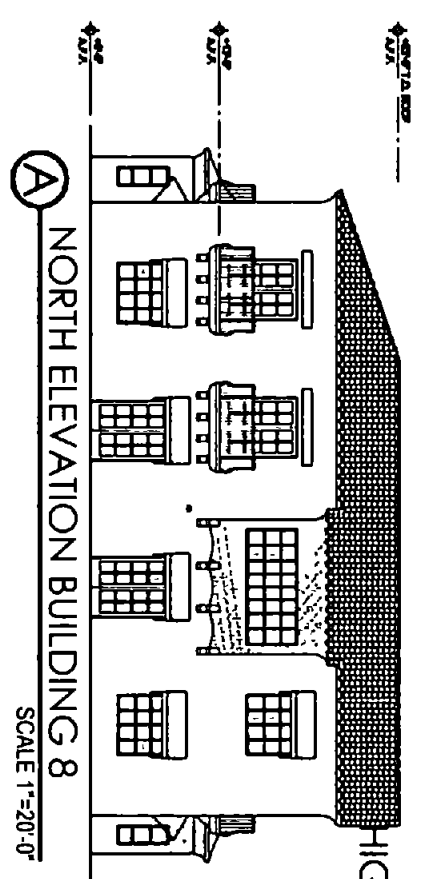
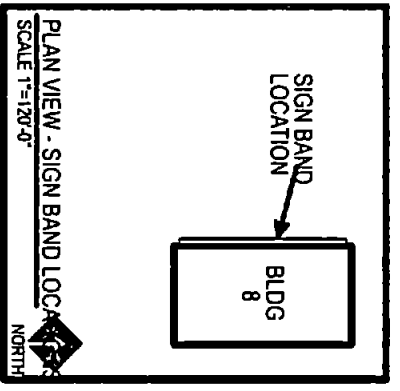
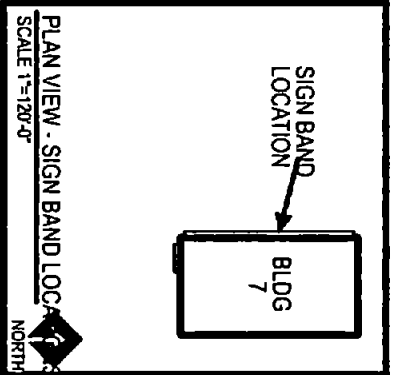
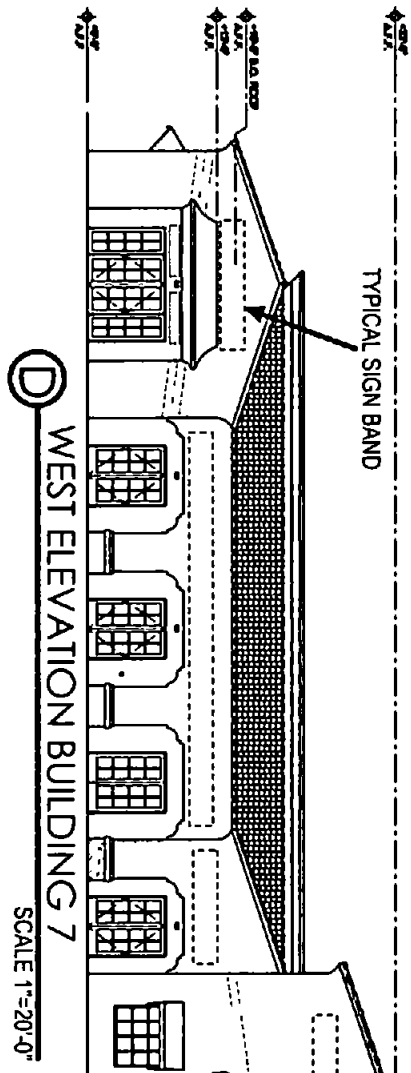
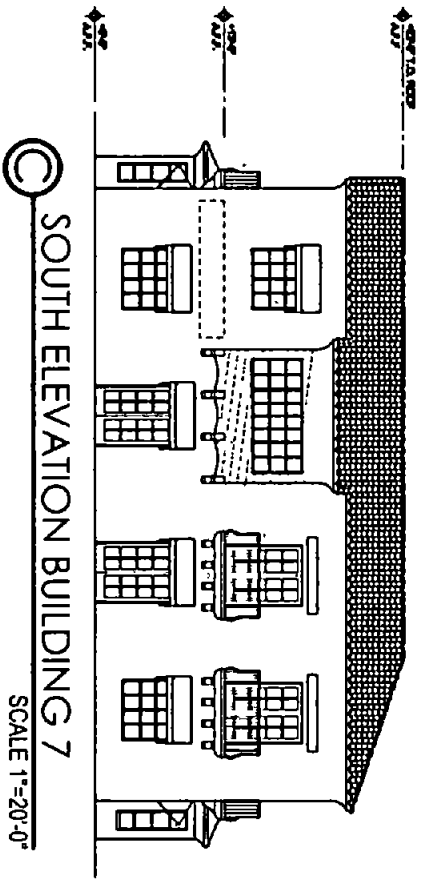
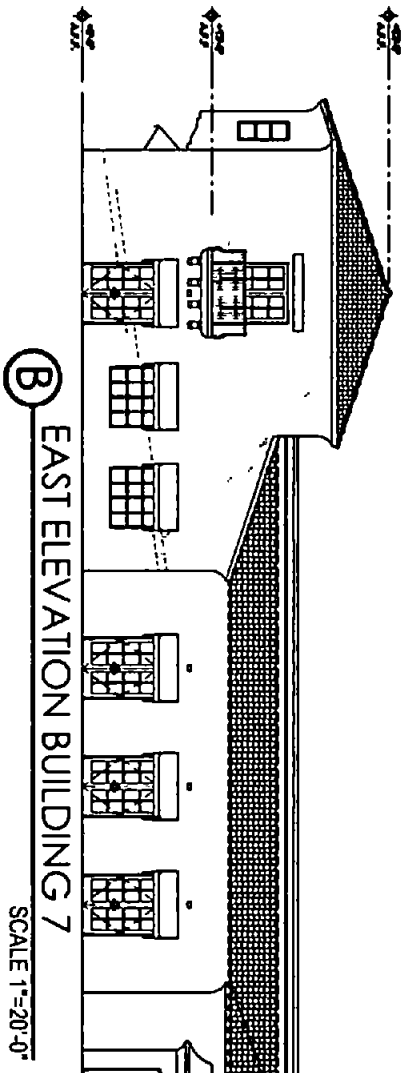
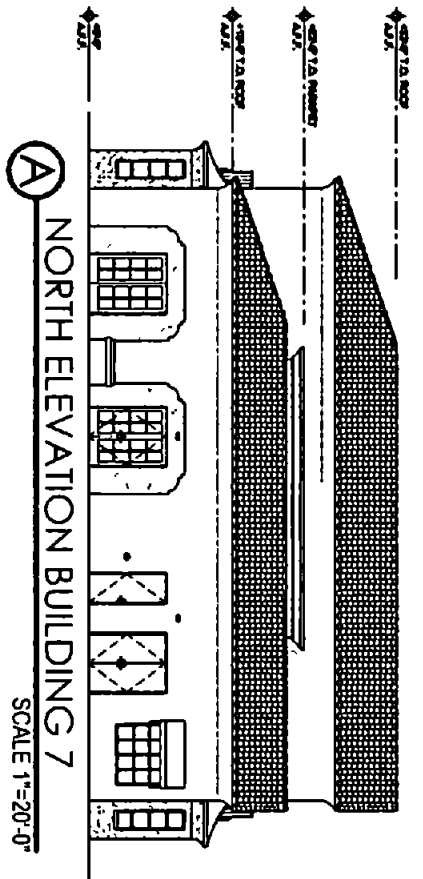
HIGLEY PARK COMMONS OFFICE BUILDINGS 5 & 6
SIGN BAND LOCATIONS



HIGLEY PARK COMMONS / HIGLEY PARK COMMERCIAL CENTER

DUE TO THE VARIETY OF HARDWARE AND SOFTWARE POTENTIALLY AVAILABLE TO VIEW AND PRINT THIS IMAGE, THE COLORS MAY NOT MATCH THE ACTUAL COLORS OF THE FINISHED DISPLAY PLEASE REFER TO THE DETAIL DRAWINGS FOR THE APPROVED COLOR SPECIFICATION

HIGLEY PARK COMMONS OFFICE BUILDINGS 7 & 8
SIGN BAND LOCATIONS

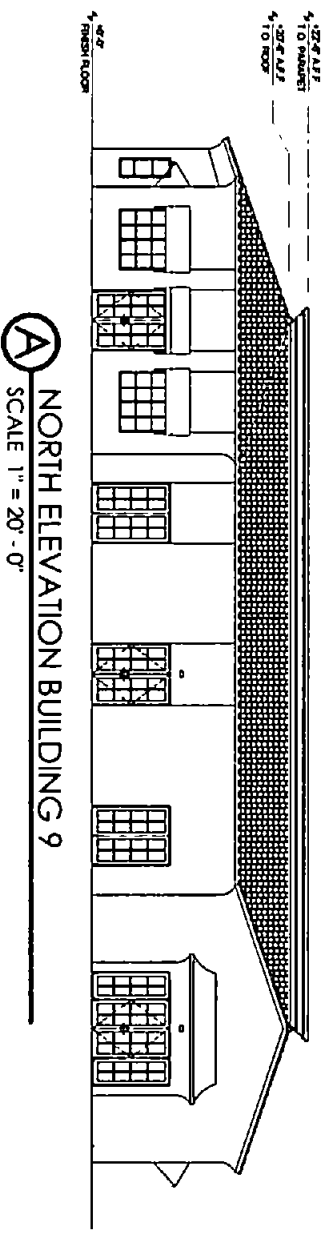


HIGLEY PARK COMMONS / HIGLEY PARK COMMERCIAL CENTER

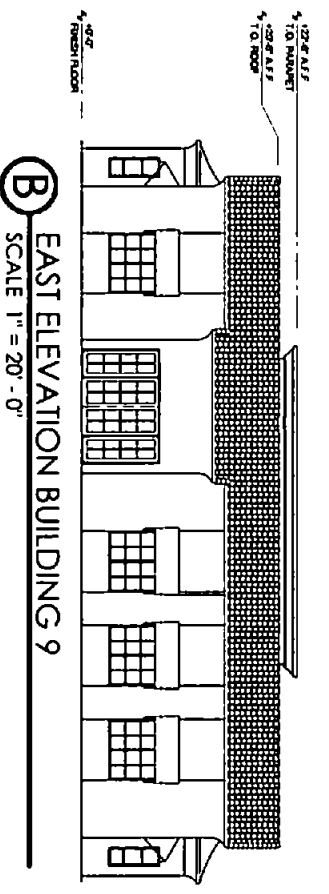
DUE TO THE VARIETY OF HARDWARE AND SOFTWARE POTENTIALLY AVAILABLE TO VIEW AND PRINT THIS IMAGE, THE COLORS MAY NOT MATCH THE ACTUAL COLORS OF THE FINISHED DISPLAY PLEASE REFER TO THE DETAIL DRAWINGS FOR THE APPROVED COLOR SPECIFICATION



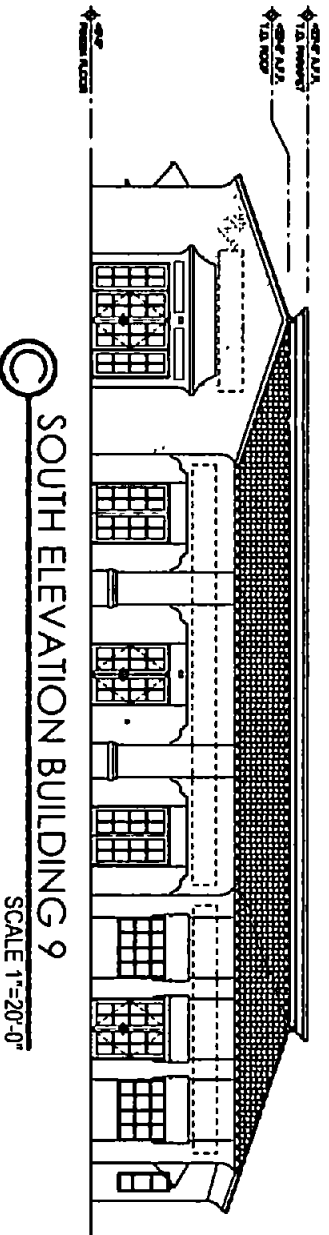
HIGLEY PARK COMMONS OFFICE BUILDINGS 9 & 10 ELEVATIONS
SIGN BAND LOCATIONS



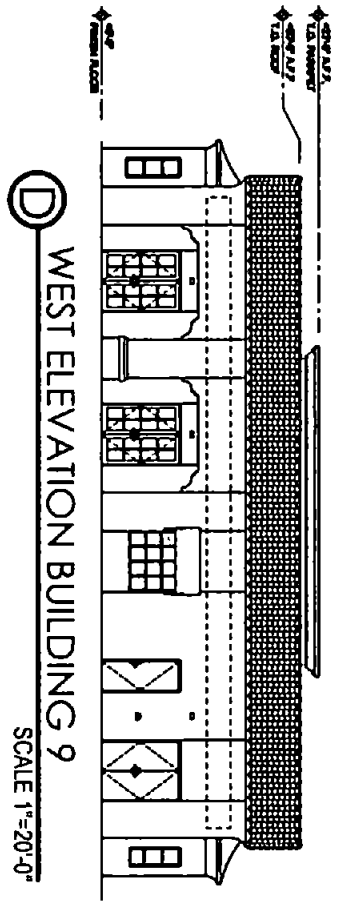
A NORTH ELEVATION BUILDING 9
SCALE 1"=20'-0"



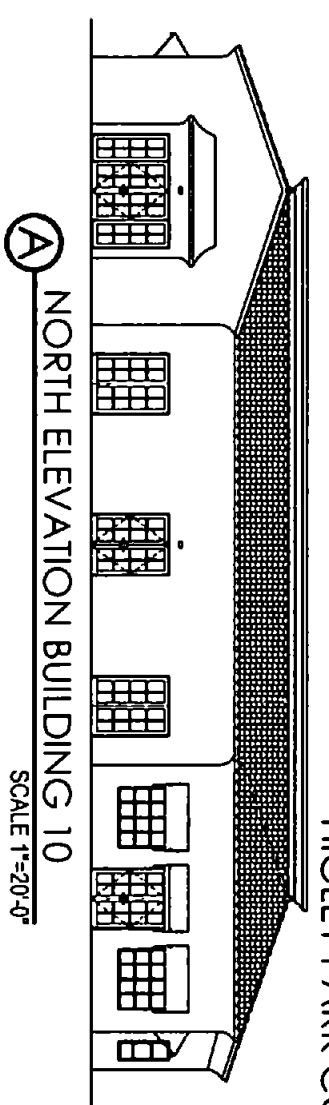
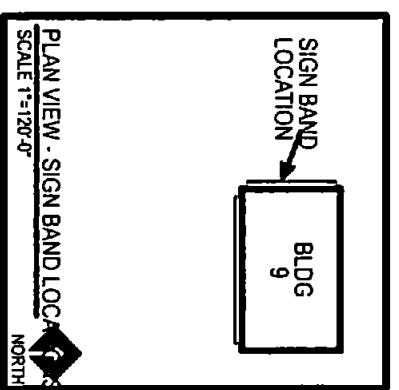
B EAST ELEVATION BUILDING 9
SCALE 1"=20'-0"



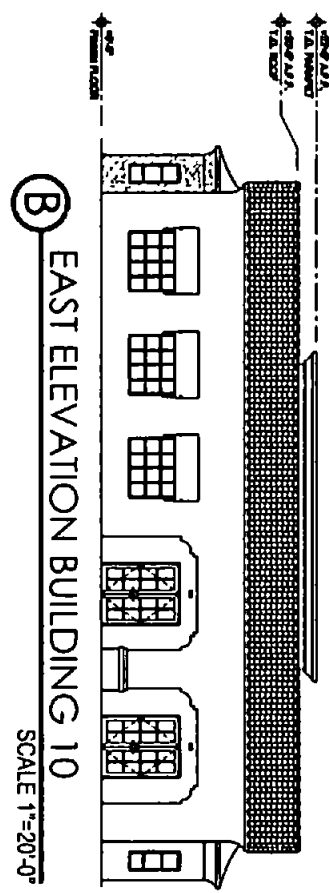
C SOUTH ELEVATION BUILDING 9
SCALE 1"=20'-0"



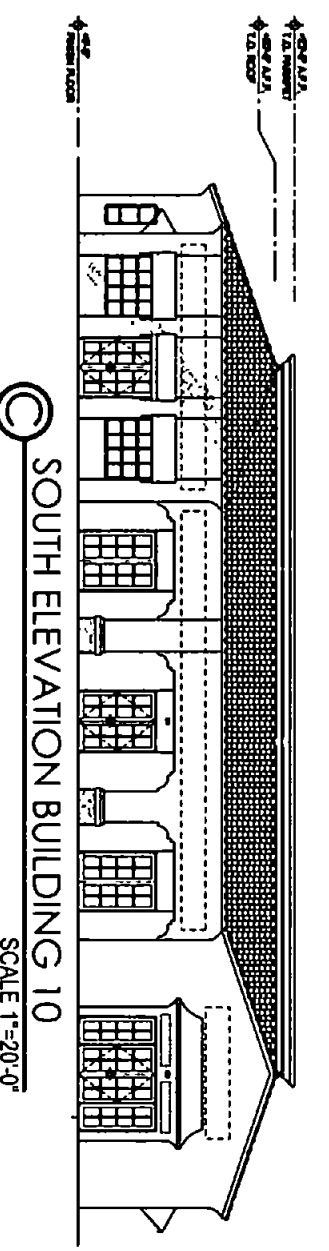
D WEST ELEVATION BUILDING 9
SCALE 1"=20'-0"



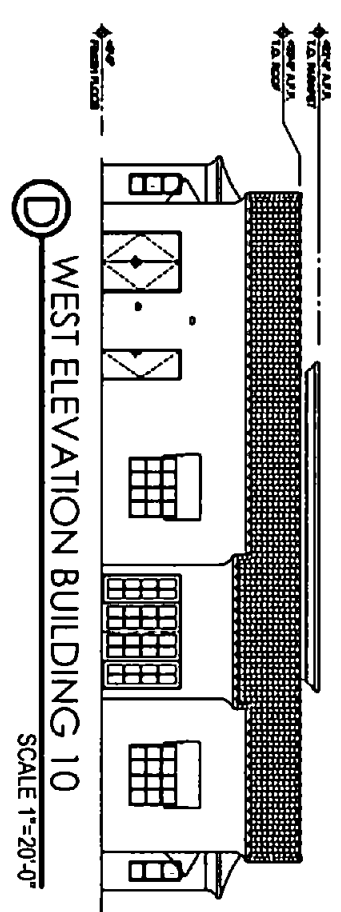
A NORTH ELEVATION BUILDING 10
SCALE 1"=20'-0"



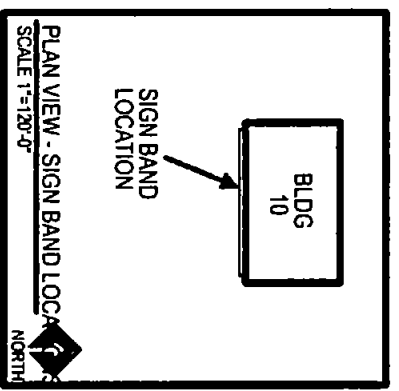
B EAST ELEVATION BUILDING 10
SCALE 1"=20'-0"



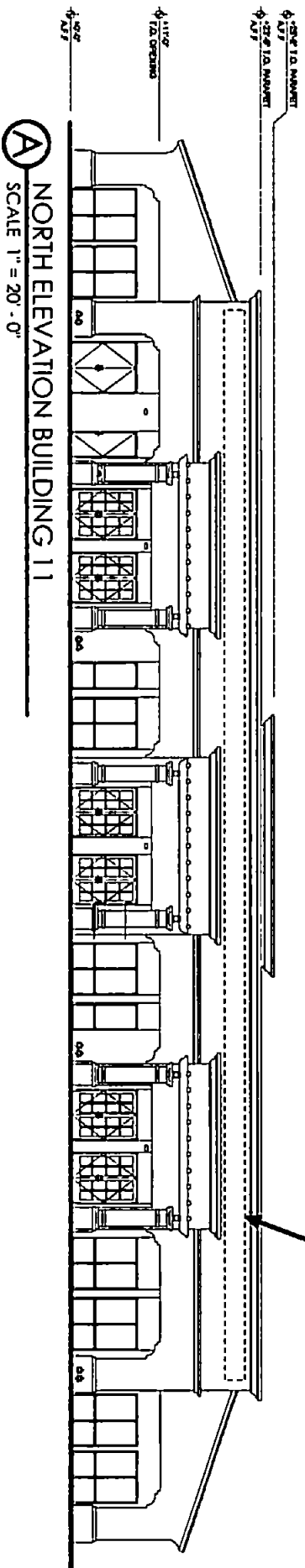
C SOUTH ELEVATION BUILDING 10
SCALE 1"=20'-0"



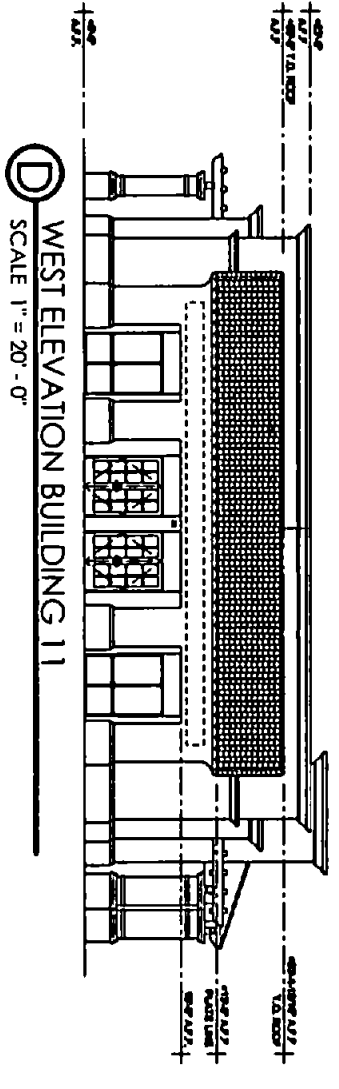
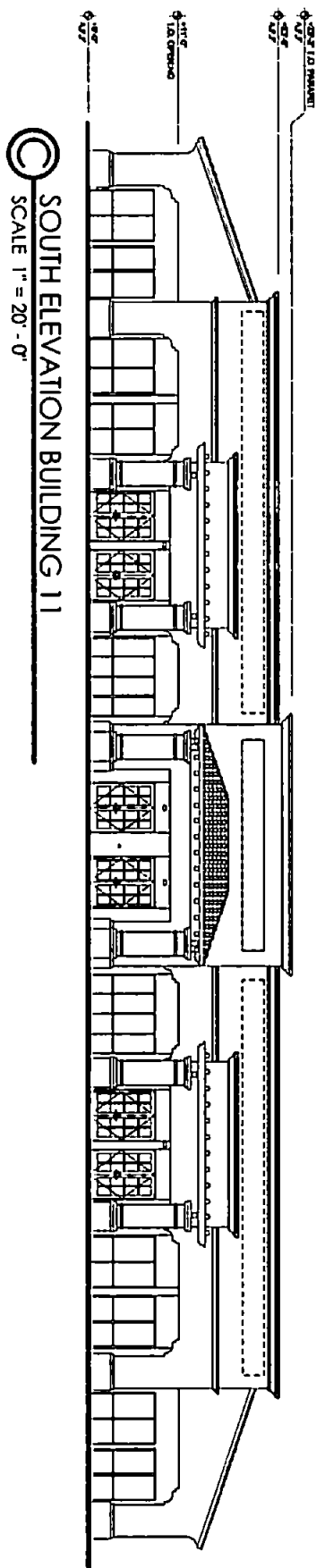
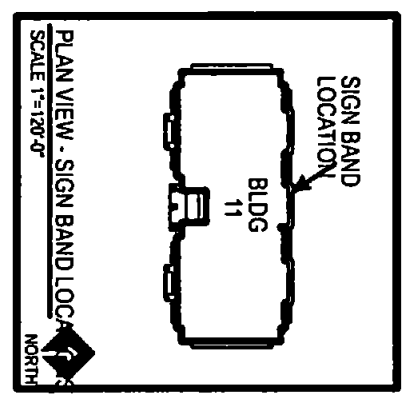
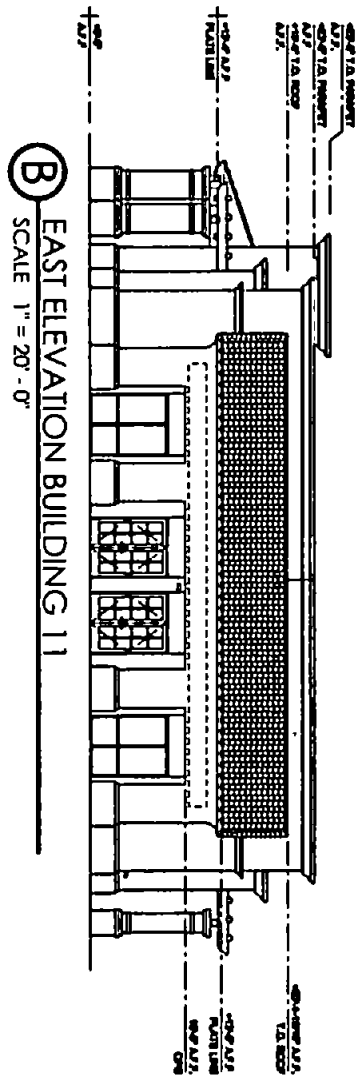
D WEST ELEVATION BUILDING 10
SCALE 1"=20'-0"



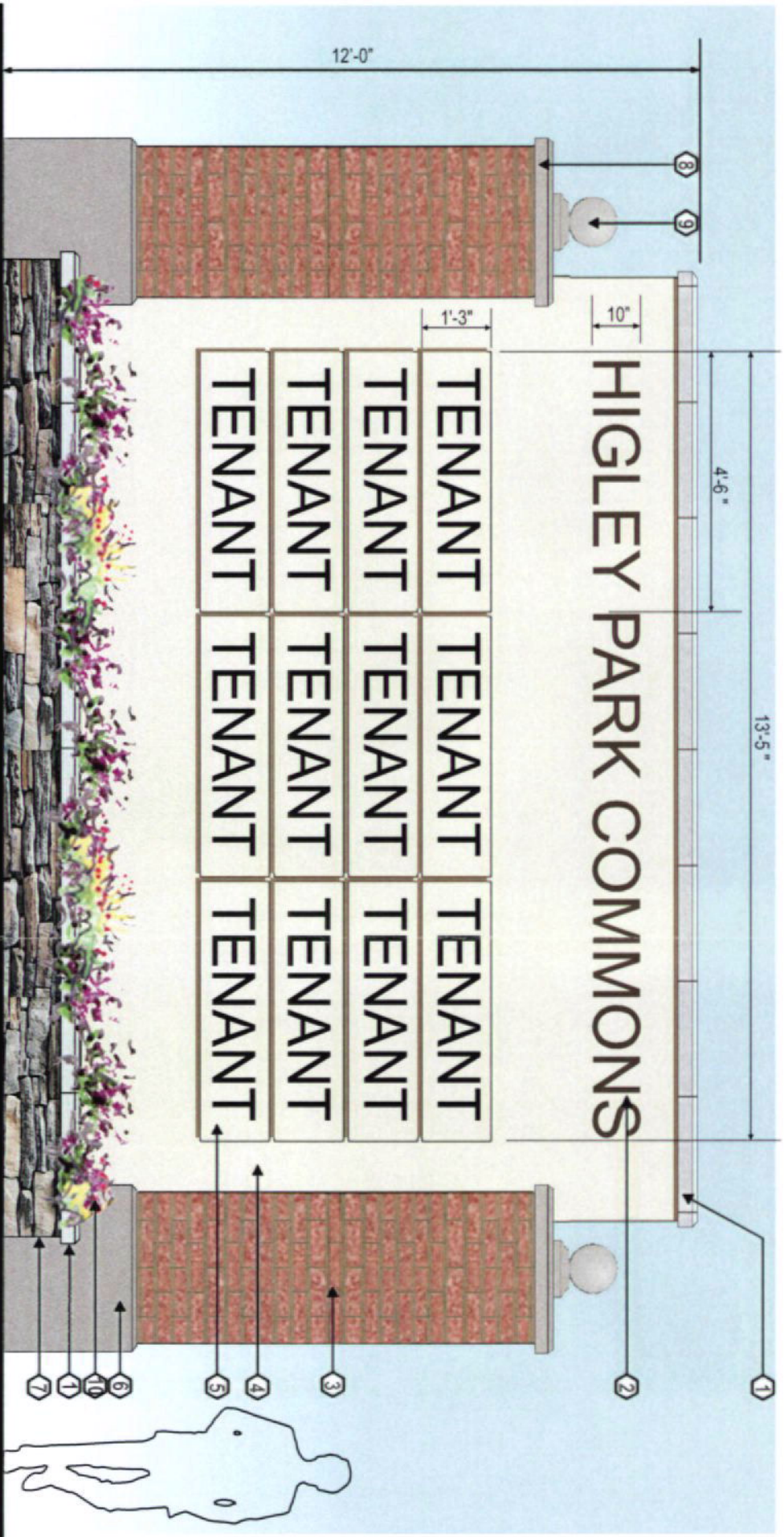
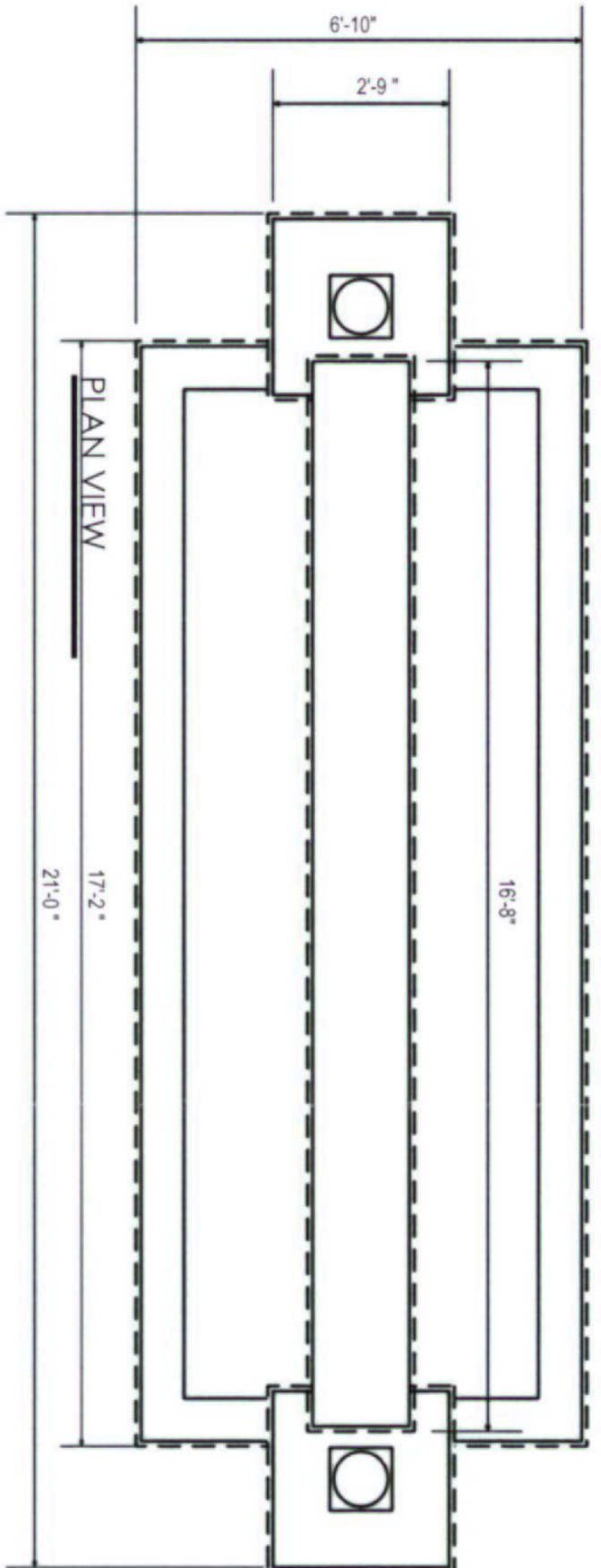
HIGLEY PARK COMMONS OFFICE BUILDING 11 SIGN BAND LOCATIONS



See notation below



Notation-Sign envelopes for tenant(s) located on the east side of building 11 may locate a sign in an approved sign envelope on the west elevation of building 11



Not to exceed
12' in height

A

INTERNAL ILLUMINATED DOUBLE FACED MULTI-TENANT MONUMENT

SCALE: 3/8" = 1'-0"

ALL INTERNAL ILLUMINATION SHALL BE T-12 FLUORESCENT LAMPS.

75.00^{sq}

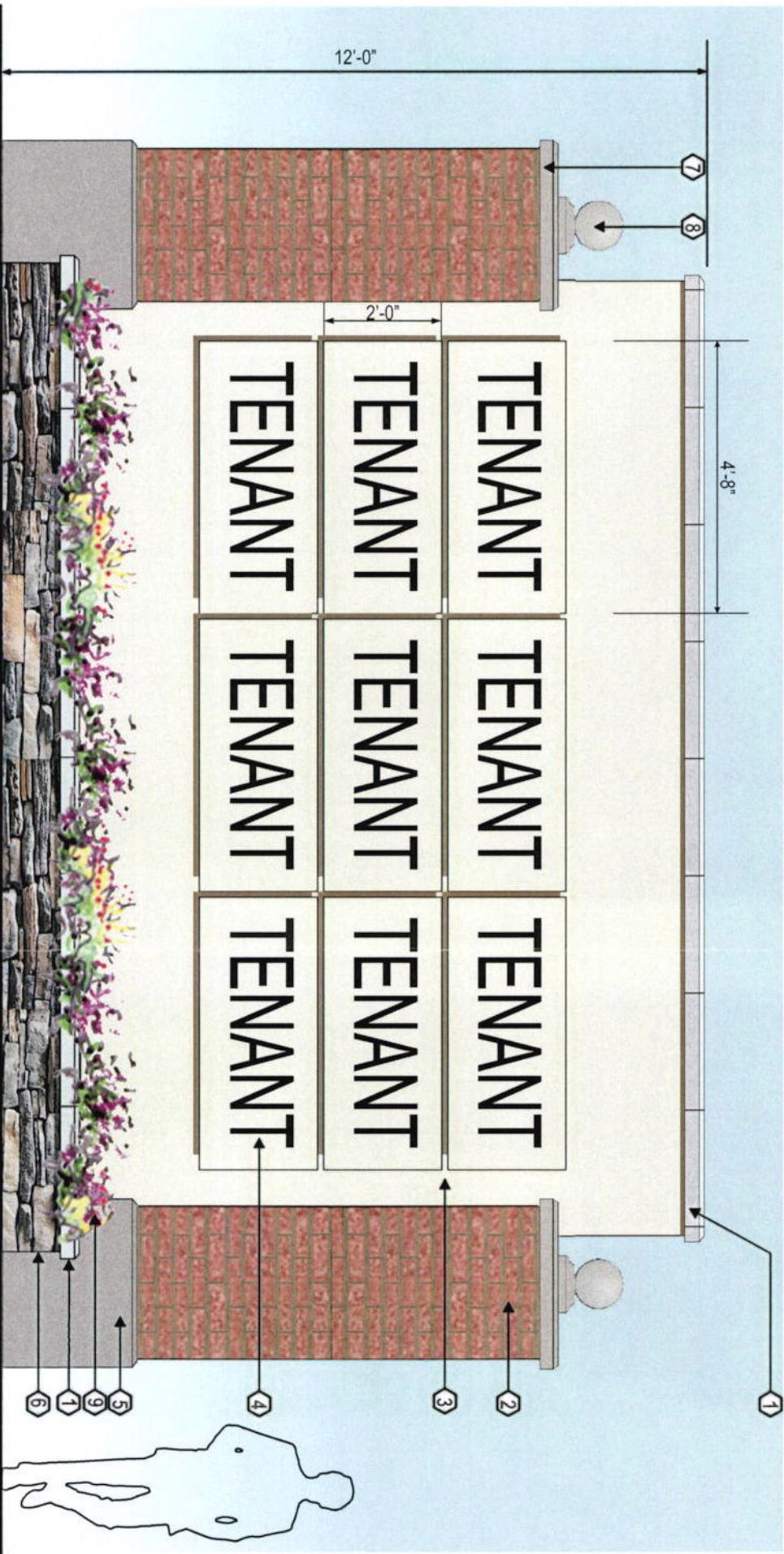
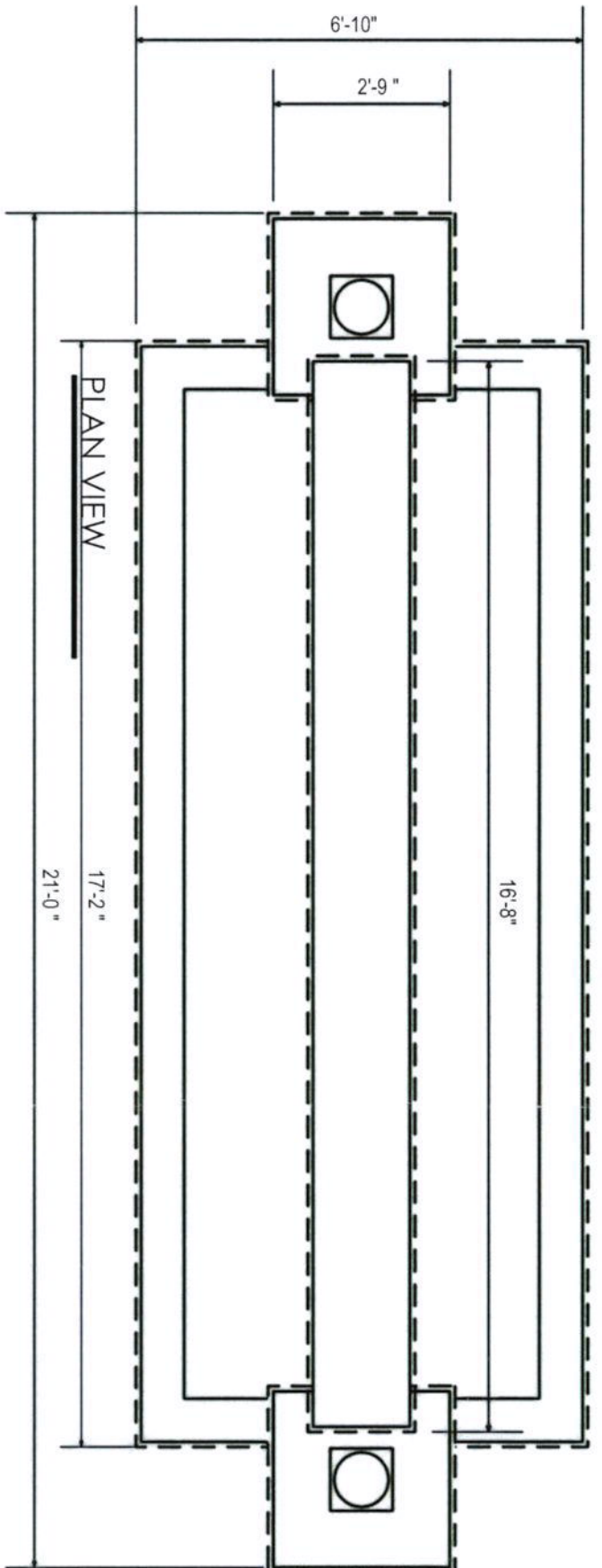
Not to exceed 75 sq. ft in sign area

SPECIFICATION KEY NOTES

- 1 FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "RIZ TIDE" #DE 1044 (DUNN EDWARDS) MATTE #1 (DUNN EDWARDS) MATTE #1 TEXTURED FINISH. PAINT TO MATCH FAUX SEAMS "CHAMBER" #DE 3168 (DUNN EDWARDS) MATTE FINISH.
- 2 1" CLEAR ACRYLIC PUSHED THRU LETTERS OVERLAY WITH F.C.O. ALUMINIUM, PAINTED MATTHEWS 313E BRONZE. INTERNAL ILLUMINATION.
- 3 BRICK WITH MORTAR WASH VENEER.
- 4 SIGN CABINET... PAINT TO MATCH "ADobe" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH.
- 5 TENANT PANEL... 1" INCH DEEP PAN IN PAN TENANT PANELS. PAINT TO MATCH "ADobe" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH. EACH TENANT GRAPHIC LAYOUT SHALL BE ROUTED FROM THE PAN SURFACE AND BACKED UP WITH ACRYLIC. GRAPHIC COLORS SHALL BE OPEN AND MUST BE APPROVED BY THE PROPERTY MANAGER. INTERNAL ILLUMINATION.
- 6 PRECAST BASE... PAINT TO MATCH "SHENANDOAH TAUPe" #AC-36 (BENJAMIN MOORE) MATTE FINISH.
- 7 FOG SOUTHERN LEDGESTONE™ BY CULTURED STONE.
- 8 FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "SHENANDOAH TAUPe" #AC-36 (BENJAMIN MOORE) MATTE FINISH. MATTE #1 TEXTURED
- 9 PLANT MATERIAL IN PLANTER BASE SHALL BE GROUND COVER, ANNUALS, OR LOW ACCENT PLANTS. SPECIFIC PLANT TYPES TO BE APPROVED WITH THE CONSTRUCTION DRAWINGS.

SQUARE FOOTAGE TABULATIONS

"HIGLEY PARK COMMONS"...	8'x 11'-4" = 7.50 SQUARE FEET
TENANT PANELS...	(1'-3"x 4'-6") x 12 = 67.50 SQUARE FEET
TOTAL...	7.50 + 67.50 = 75.00 SQUARE FEET



Not to exceed 12'
in height

B INTERNAL ILLUMINATED DOUBLE FACED MULTI-TENANT MONUMENT
SCALE: 3/8" = 1'-0"

ALL INTERNAL ILLUMINATION SHALL BE T-12
FLUORESCENT LAMPS.

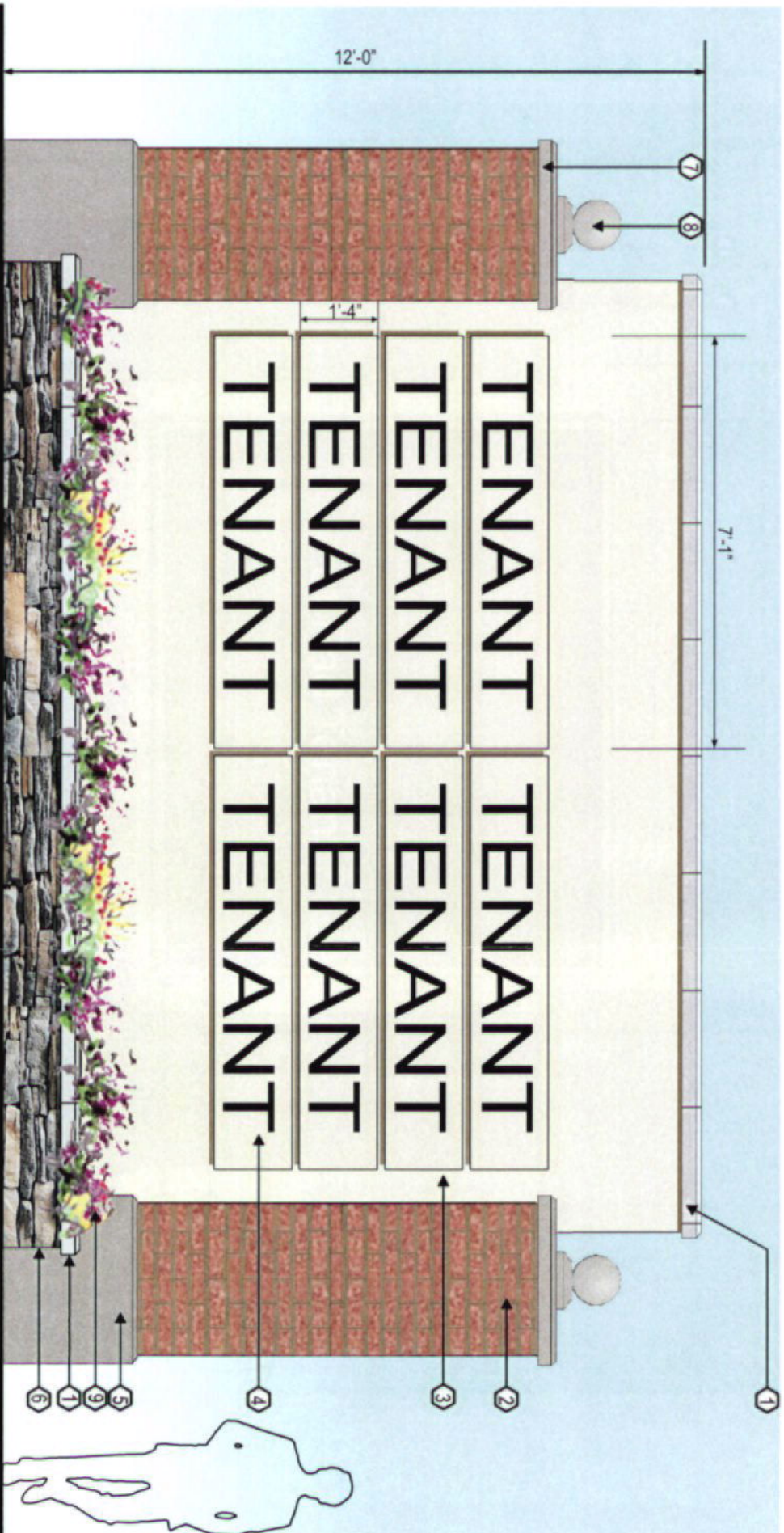
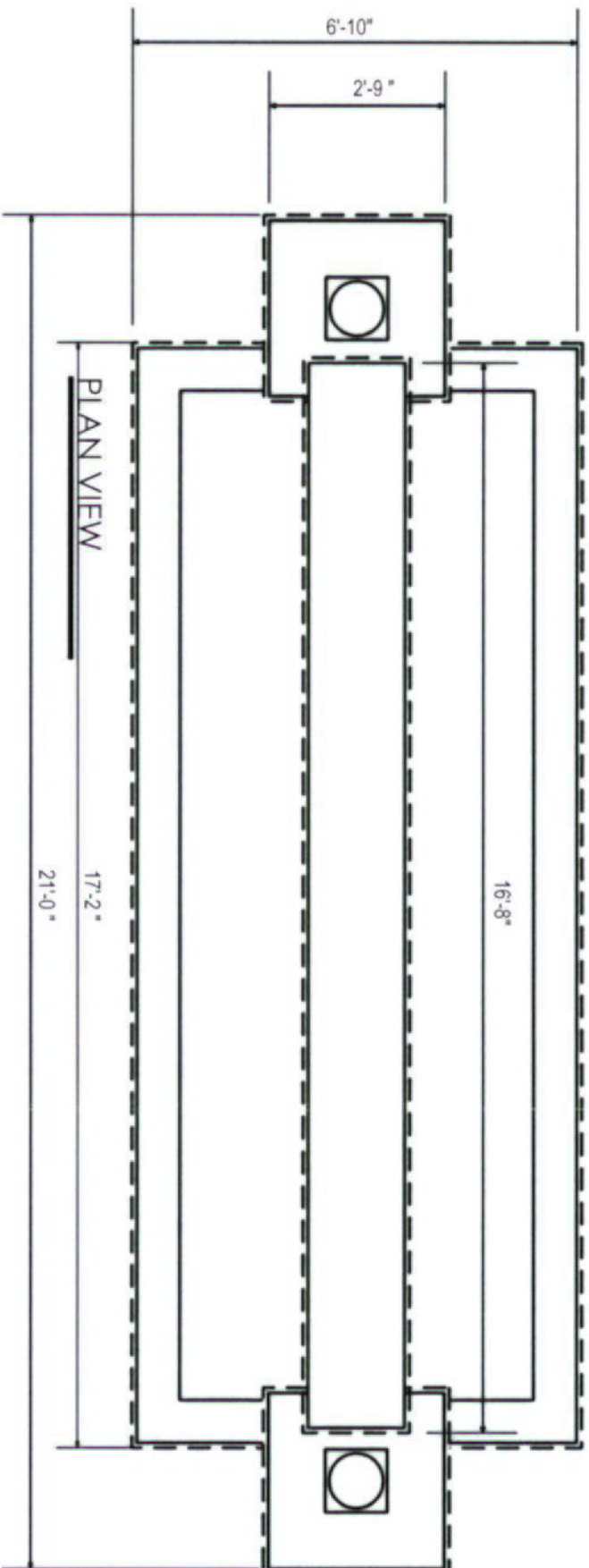
Not to exceed 75 sq. ft. in sign area
NEW LAYOUT IS 84.01 SQ. FT.

SPECIFICATION KEY NOTES

- ① FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "RIZ TIDE" #DE 1044 (DUNN EDWARDS) MATTE #1 TEXTURED FINISH. PAINT TO MATCH FAUX SEAMS "CHAMBER" #DE 3168 (DUNN EDWARDS) MATTE FINISH.
- ② BRICK WITH MORTAR WASH VENEER.
- ③ SIGN CABINET... PAINT TO MATCH "ADOBE" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH.
- ④ TENANT PANEL... 1" INCH DEEP PAN IN PAN TENANT PANELS. PAINT TO MATCH "ADOBE" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH. EACH TENANT GRAPHIC LAYOUT SHALL BE ROUTED FROM THE PAN SURFACE AND BACKED UP WITH ACRYLIC. GRAPHIC COLORS SHALL BE OPEN AND MUST BE APPROVED BY THE PROPERTY MANAGER. INTERNAL ILLUMINATION.
- ⑤ PRECAST BASE... PAINT TO MATCH "SHENANDOAH TAUPE" #AC-36 (BENJAMIN MOORE) MATTE FINISH.
- ⑥ "FOG SOUTHERN LEDGESTONE" BY CULTURED STONE.
- ⑦ FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "SHENANDOAH TAUPE" #AC-36 (BENJAMIN MOORE) MATTE FINISH. MATTE #1 TEXTURED FINISH. FAUX SEAMS PAINT TO MATCH "CHAMBER" #DE 3168 (DUNN EDWARDS) MATTE FINISH.
- ⑧ PLANT MATERIAL IN PLANTER BASE SHALL BE GROUND COVER, ANNUALS, OR LOW ACCENT PLANTS. SPECIFIC PLANT TYPES TO BE APPROVED WITH THE CONSTRUCTION DRAWINGS.

SQUARE FOOTAGE TABULATIONS

TENANT PANELS...
(2'-0" x 4'-8") x 9 = 84.01 SQUARE FEET



Not to exceed 12'
in Height

C INTERNAL ILLUMINATED DOUBLE FACED MULTI-TENANT MONUMENT
SCALE: 3/8" = 1'-0"
ALL INTERNAL ILLUMINATION SHALL BE T-12
FLUORESCENT LAMPS.

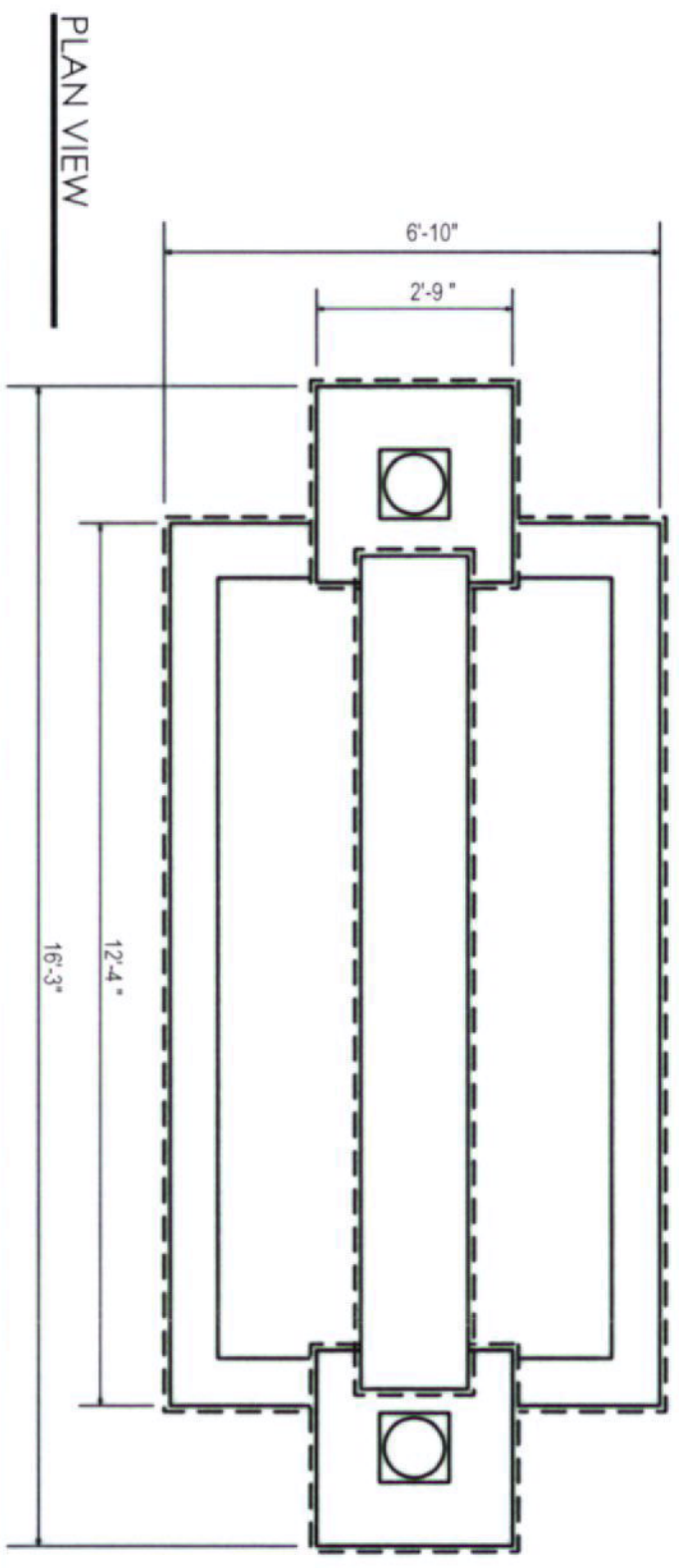
Not to exceed 75 sq. ft. in sign area
NEW LAYOUT IS 83.50 SQ. FT.

SPECIFICATION KEY NOTES

- 1 FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "RIZ TIDE" #DE 1044 (DUNN EDWARDS) MATTE #1 TEXTURED FINISH. PAINT TO MATCH FAUX SEAMS "CHAMBER" #DE 3168 (DUNN EDWARDS) MATTE FINISH.
- 2 BRICK WITH MORTAR WASH VENEER.
- 3 SIGN CABINET... PAINT TO MATCH "ADOBE" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH.
- 4 TENANT PANEL... 1" INCH DEEP PAN IN PAN TENANT PANELS. PAINT TO MATCH "ADOBE" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH. EACH TENANT GRAPHIC LAYOUT SHALL BE ROUTED FROM THE PAN SURFACE AND BACKED UP WITH ACRYLIC. GRAPHIC COLORS SHALL BE OPEN AND MUST BE APPROVED BY THE PROPERTY MANAGER. INTERNAL ILLUMINATION.
- 5 PRECAST BASE... PAINT TO MATCH "SHENANDOAH TAUPE" #AC-36 (BENJAMIN MOORE) MATTE FINISH.
- 6 "FOG SOUTHERN LEDGESTONE" BY CULTURED STONE.
- 7 FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "SHENANDOAH TAUPE" #AC-36 (BENJAMIN MOORE) MATTE FINISH. MATTE #1 TEXTURED FINISH. FAUX SEAMS PAINT TO MATCH "CHAMBER" #DE 3168 (DUNN EDWARDS) MATTE FINISH.
- 8 PLANT MATERIAL IN PLANTER BASE SHALL BE GROUND COVER, ANNUALS, OR LOW ACCENT PLANTS. SPECIFIC PLANT TYPES TO BE APPROVED WITH THE CONSTRUCTION DRAWINGS.

SQUARE FOOTAGE TABULATIONS

TENANT PANELS... (1'-4" x 7'-1") x 8 = 83.50 SQUARE FEET



D INTERNAL ILLUMINATED DOUBLE FACED PAD MONUMENT

SCALE: 3/8" = 1'-0"
ALL INTERNAL ILLUMINATION SHALL BE T-12 FLUORESCENT LAMPS

Not to exceed 75 sq. ft. in sign area

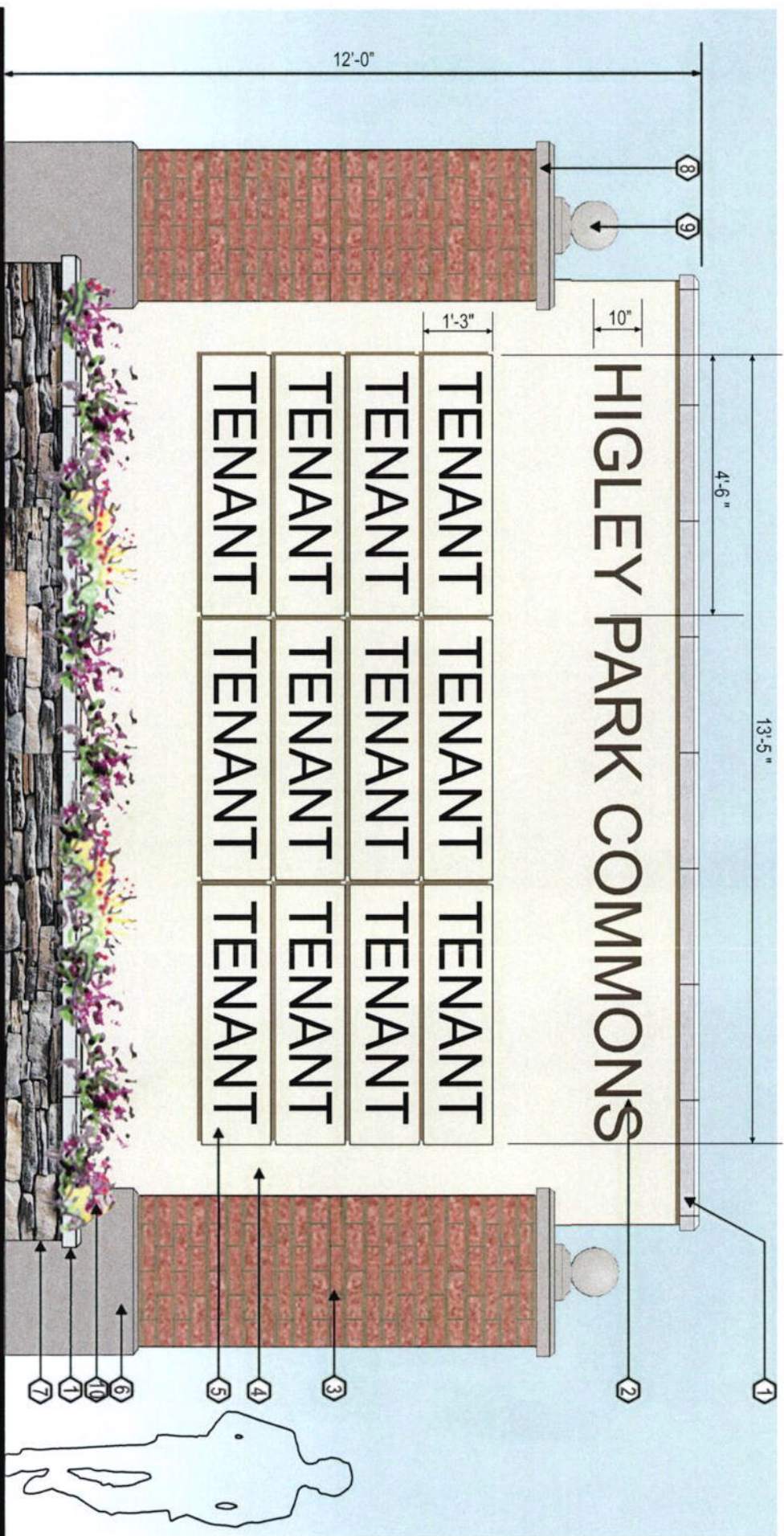
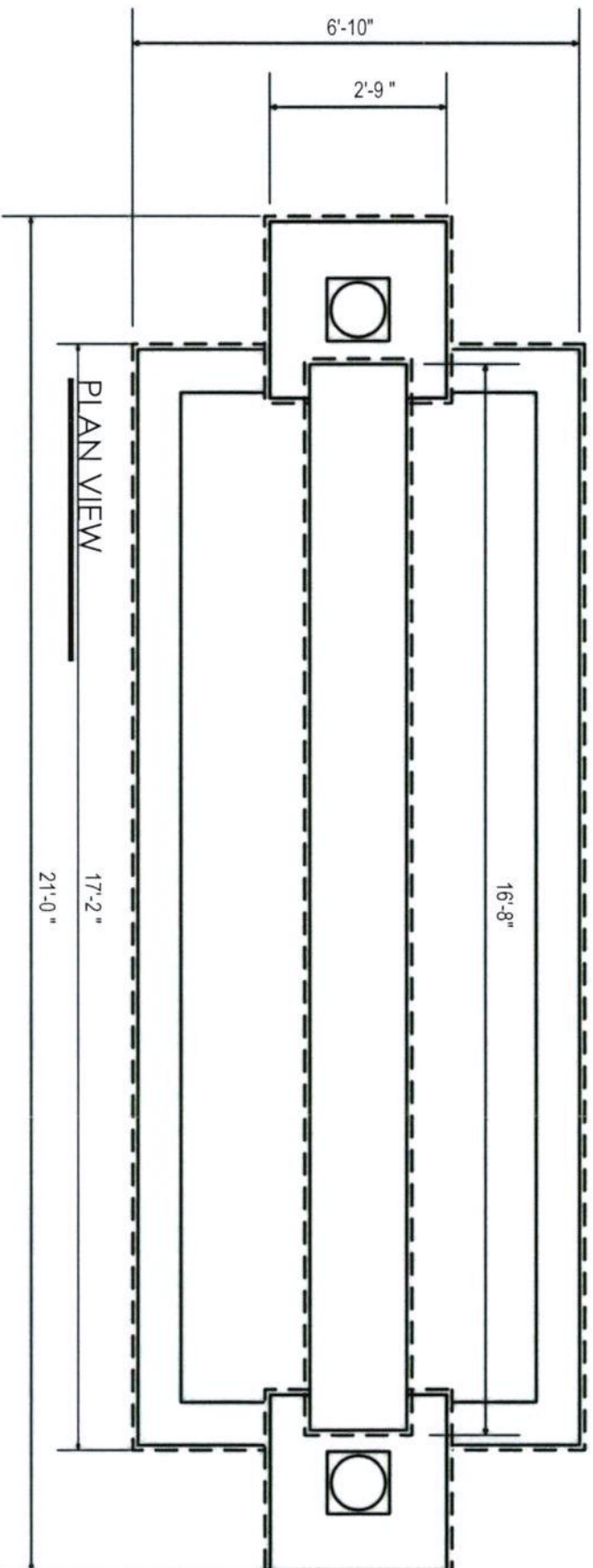
74.41 sq

SPECIFICATION KEY NOTES

- 1 FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "RIZ TIDE" #DE 1044 (DUNN EDWARDS) MATTE #1 TEXTURED FINISH. PAINT TO MATCH FAUX SEAMS "CHAMBER" #DE 3168 (DUNN EDWARDS) MATTE FINISH.
- 2 BRICK WITH MORTAR WASH VENEER.
- 3 SIGN CABINET... PAINT TO MATCH "ADOBE" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH.
- 4 TENANT PANEL... 2" RETAINER WITH A 1" INCH RETURN TO THE SIGN CABINET SURFACE. PAINT TO MATCH "ADOBE" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH. THE PAD TENANT FACE SHALL BE DECORATED POLYCARBONATE. THE PAD TENANT GRAPHIC LAYOUT SHALL BE MODIFIED TO CONFORM TO THE FACE VISUAL OPENING SHOWN. GRAPHIC COLORS SHALL BE OPEN AND MUST BE APPROVED BY THE PROPERTY MANAGER. INTERNAL ILLUMINATION.
- 5 PRECAST BASE... PAINT TO MATCH "SHENANDOAH TAUPE" #AC-36 (BENJAMIN MOORE) MATTE FINISH.
- 6 "FOG SOUTHERN LEDGESTONE" BY CULTURED STONE.
- 7 FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "SHENANDOAH TAUPE" #AC-36 (BENJAMIN MOORE) MATTE FINISH. MATTE #1 TEXTURED FINISH. FAUX SEAMS PAINT TO
- 8 PLANT MATERIAL IN PLANTER BASE SHALL BE GROUND COVER, ANNUALS, OR LOW ACCENT PLANTS. SPECIFIC PLANT TYPES TO BE APPROVED WITH THE CONSTRUCTION DRAWINGS.
- 9

SQUARE FOOTAGE TABULATIONS

TENANT PANELS...
(4'-2" x 9'-6") x 6=39.6 SQUARE FEET



Not to exceed
12' in height

E

INTERNAL ILLUMINATED DOUBLE FACED MULTI-TENANT MONUMENT

SCALE: 3/8" = 1'-0"

ALL INTERNAL ILLUMINATION SHALL BE T-12 FLUORESCENT LAMPS.

75.00^{sq}

Not to exceed 75 sq. ft in sign area

SPECIFICATION KEY NOTES

- 1 FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "RIZ TIDE" #DE 1044 (DUNN EDWARDS) MATTE #1 TEXTURED FINISH. PAINT TO MATCH FAUX SEAMS "CHAMBER" #DE 3168 (DUNN EDWARDS) MATTE FINISH.
- 2 1" CLEAR ACRYLIC PUSHED THRU LETTERS OVERLAY WITH F.C.O. ALUMINUM, PAINTED MATTHEWS 313E BRONZE. INTERNAL ILLUMINATION.
- 3 BRICK WITH MORTAR WASH VENEER.
- 4 SIGN CABINET... PAINT TO MATCH "ADOBE" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH.
- 5 TENANT PANEL... 1" INCH DEEP PAN IN PAN TENANT PANELS. PAINT TO MATCH "ADOBE" SP 41 (DUNN EDWARDS) # 3 TEXTURED FINISH. EACH TENANT GRAPHIC LAYOUT SHALL BE ROUTED FROM THE PAN SURFACE AND BACKED UP WITH ACRYLIC. GRAPHIC COLORS SHALL BE OPEN AND MUST BE APPROVED BY THE PROPERTY MANAGER. INTERNAL ILLUMINATION.
- 6 PRECAST BASE... PAINT TO MATCH "SHENANDOAH TAUPE" #AC-36 (BENJAMIN MOORE) MATTE FINISH.
- 7 "FOG SOUTHERN LEDGESTONE" BY CULTURED STONE.
- 8 FAUX PRECAST CONCRETE CAP... PAINT TO MATCH "SHENANDOAH TAUPE" #AC-36 (BENJAMIN MOORE) MATTE FINISH. MATTE #1 TEXTURED
- 9 PLANT MATERIAL IN PLANTER BASE SHALL BE GROUND COVER, ANNUALS, OR LOW ACCENT PLANTS. SPECIFIC PLANT TYPES TO BE APPROVED WITH THE CONSTRUCTION DRAWINGS.

SQUARE FOOTAGE TABULATIONS

"HIGLEY PARK COMMONS"...	8' x 11'-4" = 7.50 SQUARE FEET
TENANT PANELS...	(1'-3" x 4'-6") x 12 = 67.50 SQUARE FEET
TOTAL...	7.50 + 67.50 = 75.00 SQUARE FEET



1 Metal Accent "Chamber" DE 3168
by Dunn Edwards



2 Metal Accent "Aztec Pony" DE 2920
by Dunn Edwards



3 EIFS Color "Cochise" DE 2560
by Dunn Edwards



4 EIFS Color "Adobe" SP 41
by Dunn Edwards



5 EIFS Color "Brittlebush" SP 2740
by Dunn Edwards



6 EIFS Color "Jackson Tan" HC-46
by Benjamin Moore



7 EIFS Color "Shenandoah Taupe" AC-36
by Benjamin Moore



8 EIFS Color "Riz Tide" DE 1044
by Dunn Edwards



9 EIFS Color "Poised Taupe" SW 6039
by Sherwin Williams



10 EIFS Color "Chelsea Mauve" SW 0002
by Sherwin Williams



11 EIFS Color "Temperate Taupe" SW 6037
by Sherwin Williams



12 Accent Color "Iron Ore" SW 7069
by Sherwin Williams



13 Accent Color "Bohemian Black" SW 6988
by Sherwin Williams



14 Accent Color "Cyberspace" SW 7076
by Sherwin Williams



18 SW 3 134-B
"Weathered Teak"
by Sherwin Williams



19 SW 3 124-B
"Pecan"
by Sherwin Williams

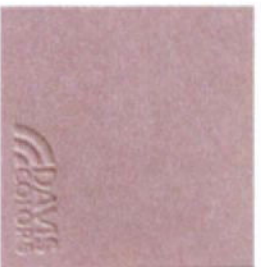
PAINT COLORS

16



"Sierra"
by Davis Colors

17



"Canyon"
by Davis Colors



21 "Quartz Zinc"
by Atas International

26



"Santa Cruz"
SMC8402
w/ random boost
by Eagle Roofing



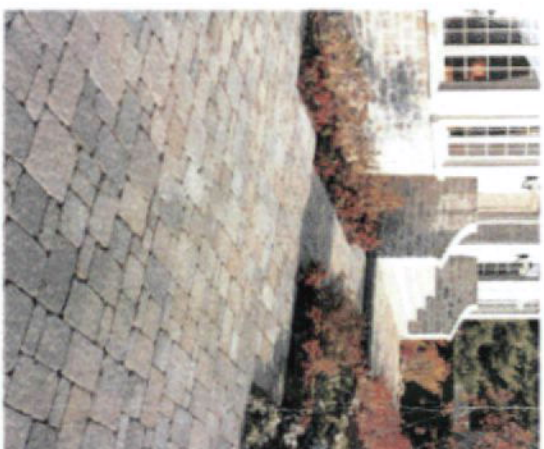
WOOD STAIN

A. Driveways

"Mega-Bergerac"
by Belgard
Color Blend:
Victorian Blend

B. Pedestrian Areas

"Dublin Cobble Modular"
by Belgard
Color Blend: Victorian Blend



22 "Railroad Blend" by Phoenix Brick



24 Chardonway Dressed Fieldstone
by Cultured Stone



23 Brick with Mortar Wash

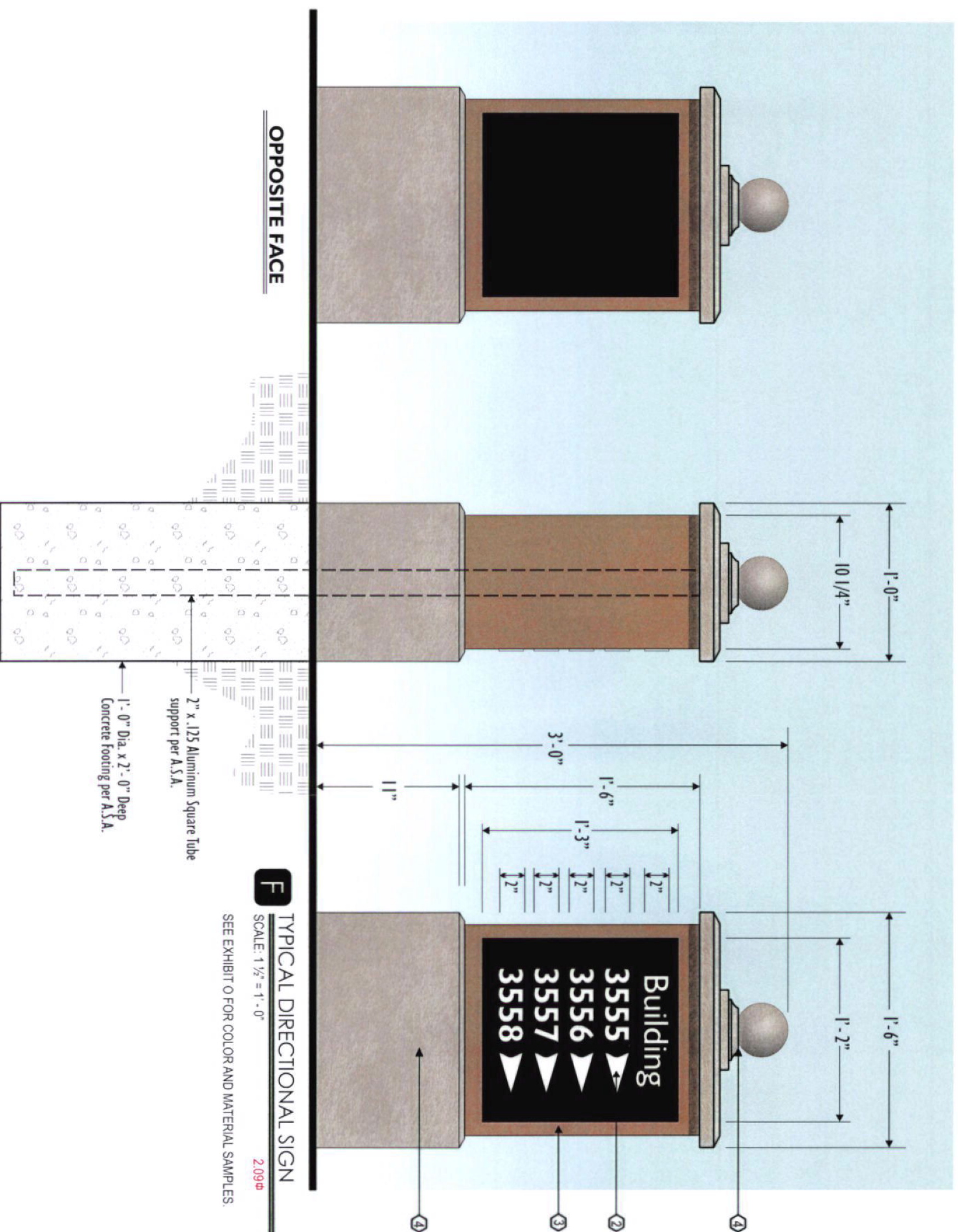


25 Fog Southern Ledgerstone
by Cultured Stone

CONCRETE / PAVERS

STONE / MASONRY

EXHIBIT N
TYPICAL DIRECTIONAL
SIGN "F"



OPPOSITE FACE

F TYPICAL DIRECTIONAL SIGN

SCALE: 1/2" = 1'-0"

2.09

SEE EXHIBIT O FOR COLOR AND MATERIAL SAMPLES.

SPECIFICATION KEY NOTES

- ① MATERIALS AND COLORS TO RESEMBLE EXISTING MAIN ID MONUMENT. TEXTURED SURFACES AS REQUIRED.
 - ② FCO .080 ALUMINUM NUMERALS, TEXT AND ARROWS PAINTED WHITE. (Sprayed with Clear Reflective paint) MOUNTED FLUSH WITH VHB TAPE
 - ③ DISPLAY IS PAINTED SW #6118 "Leatherbound" WITH NUMERALS/TEXT/ARROW BKGD PAINTED SATIN BLACK FINISH.
 - ④ FINIAL (Faux precast concrete), CAP AND BASE ARE PAINTED MATTE TO MATCH BENJAMIN MOORE #AC 36 "Shenandoah Taupe.
- ALL DIRECTIONAL SIGN FACE GRAPHIC DESIGNS ARE OPEN AND SHALL BE APPROVED BY THR PROPERTY MANAGER.