

# Glenwood

---

December 2, 2005

Linda Edwards  
**Town of Gilbert/Acting Planning Director**  
90 East Civic Center Drive  
Gilbert, Arizona

**Re: Higley Marketplace (NWC Baseline & Higley)**

Dear Linda:

I hope you are doing well.

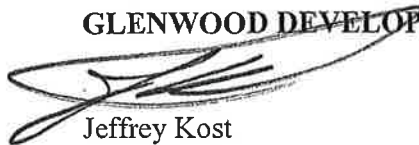
As discussed with Maryanne Redman previously and from a conversation earlier this morning, Glenwood has authorized a revision of a discrepancy located within the Comprehensive Sign Criteria for the Higley Marketplace Shopping Center.

The discrepancy in the sign criteria stated above pertains to the sign envelopes for the building signs located on the site. The sign envelopes on the building elevations require a larger size allowed and the narrative requires a smaller size allowed. Glenwood has authorized that the larger of the two requirements be granted as long as the larger requirement still meets City codes.

Thanks for your assistance in this matter.

Sincerely,

**GLENWOOD DEVELOPMENT COMPANY LLC**



Jeffrey Kost  
Director of Development

*This is acceptable  
L. Edwards*

*Higley Marketplace*

DR04-22

Higley Marketplace Higley/Baseline

**SIGN CRITERIA**

**PART ONE - Introduction and General Requirements**

**I. INTRODUCTION**

The purpose of a comprehensive sign program is to ensure an attractive shopping environment and to protect the interests of the Landlord and Tenants.

**II. GENERAL REQUIREMENTS**

- A. Landlord shall administer and interpret the criteria and shall approve all signs in writing prior to their installation.
- B. Submittal and Compliance:

- 1. All Tenants, including anchor tenant, shall submit or cause to be submitted to Landlord, for approval, detailed shop drawings covering location, size, design, color, materials, lettering and graphics of the proposed wall sign. The Tenant must not submit any sign drawings to the Town of Gilbert without first obtaining the Landlord's approval.
- 2. Landlord shall review the drawings and return them marked "Approved", "Approved as Noted" or "Revise and Re-submit".
  - a. "Approved" drawings will permit Tenant to proceed with permitting, construction and installation of its sign in accordance with the drawings.
  - b. "Approved as Noted" drawings will permit Tenant to proceed with permitting, sign construction and installation, provided that the modifications noted are incorporated into the design. If the Tenant takes exception to the modifications, Tenant shall revise and resubmit.
  - c. "Revise and Re-Submit" drawings require that the Tenant resubmit drawings to the Landlord incorporating all changes as required by the Landlord. No permitting, sign construction or installation shall be commenced until the Tenant has received written approval from the Landlord.

- 3. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the building visible from outside the premises except as specifically approved by the Landlord. Signs that are installed without written approval or are inconsistent with approval drawings, may be subject to removal and reinstatement by Landlord at Tenant's expense.
- 4. The Town of Gilbert requires sign permits for all signs visible from outside the premises. It shall be Tenant's sole responsibility to secure these and any other permits that may be required.
- 5. Landlord's approval of Tenant's plans shall not constitute an implication, representation, or certification by Landlord that said signs are in compliance with applicable statutes, codes, ordinances, or other regulations. Such compliance shall be the sole responsibility of Tenant for all work performed on the premises by or for Tenant.
- 6. Sign contractors performing any sign work at Higley Marketplace must be bonded, insured and licensed by the Arizona State Registrar of Contractors. Sign Contractor must be approved by Landlord prior to construction of sign.

To insure strict compliance with this sign criteria, Landlord suggests that SummitWest Signs provide all tenant signage at Higley Marketplace.

Summit West Signs  
335 E. Baseline Road  
Gilbert, Arizona 85233  
(480) 926-3465

Landlord reserves the right to correct any and all non-compliance with this Master Sign Program criteria at the Tenant's expense.

Landlord may repair or replace any broken or faded sign or any sign deemed to be in disrepair at Tenant's expense.

**I. PROVISION**

- A. There shall be a total of 4 Multi-Tenant Ground ID Signs constructed on the premises of Higley Marketplace. Two Multi-Tenant Ground ID Signs will be located along Baseline Road and two will be located along Higley Road.
- B. Each Multi-Tenant Ground ID Sign shall be erected perpendicular to the street and shall be double faced.
- C. Each Multi-Tenant Ground ID Sign shall have removable Tenant Panels on each side of the sign.
- D. Landlord shall have the right to assign tenant spaces on the Multi-Tenant Ground ID Signs at the landlord's sole discretion.
- E. Tenant panels may be assigned to any combination of tenants at the landlord's sole discretion. Each Multi-Tenant Ground ID Sign may have its own unique combination of tenant panels at the landlord's sole discretion.

**II. DESIGN REQUIREMENTS**

- A. Each Multi-Tenant Ground ID Sign shall be constructed of an internally illuminated aluminum cabinet that is set on a masonry base. The masonry base shall have columns with a cultured stone veneer and a base of split face CMU block to match buildings within the complex. Overall style and colors are to match styles and colors used on the buildings within the complex.
- B. Tenant panels on the Multi-Tenant Ground ID Signs are all to be uniform in color and construction. Each tenant panel has a specified "sign envelope" as indicated on Drawing Page 01-01 and 01-02 of the Sign Identification Program Packet. Sign Envelope is determined as 80% of the length and 80% of the height of each panel. Lettering/Graphics not to exceed this area.
- C. Tenant panels on the Multi-Tenant Ground ID Signs may identify the individual business of Tenant by name or by name and principal service offered, when the name does not identify the principal service offered. Established logos, crests, or insignias may be included as part of the signs, as specified by local ordinance.

**II. CONSTRUCTION REQUIREMENTS**

- A. Tenant panels shall be formed pans fabricated from .125" Aluminum with rounded out copy. Primary tenant panels are to have Push Through Acrylic Letters. Secondary tenant panels are to have a 1.25" white polycarbonate or a 3/16" colored acrylic backup panel so that the balance of the face remains opaque.
- B. Tenant panels shall have a synthetic stucco surface with a smooth sand texture finish and be painted to match property colors.
- C. Tenant panels are to be attached in such a way as to provide easy removal for change-out. Tenant panels are to be secured with removable hardware. Tenant panels are not to be glued or welded on to the sign structure. Any hardware must be painted to match the background color and should be installed in an inconspicuous manner.
- D. All Tenant panels are to be attached in such a way as to prevent any light leaks around the perimeter of the panels.



**MASTER SIGN PROGRAM**  
JULY 28, 2004



**SUMMITWEST SIGNS**  
335 E. Baseline Road  
Gilbert, AZ 85233  
480.926.3465  
Site: @summitwestsigns.com

DRAWING: 07/01/04	1.5
REVISION: 07/02/04	.5
REVISION: 07/28/04	1
REVISION: -	-
REVISION: -	-
REVISION: -	-
SHOP DWG: -	-
SCALE:	

AS NOTED  
REVISION:  
Brian Hinkle  
SWS SALES REP:  
Dana Durcan

All specified materials and finishes are subject to change due to the availability of materials and/or changes in the method of fabrication. Sign Contractor will do their best to maintain the design intent of these drawings and drawings. It is the responsibility of the owner's representative visible to receive detail drawings on any or all changes during the fabrication process. SummitWest Signs must be advised in writing prior to the start of fabrication.

**Page 13-01**

Job Number  
**21791**



338 E. Baseline Road  
Gilbert, AZ 85233  
480.529.3485  
shlvs@summitwestsigns.com

338 E. Baseline Road  
Gilbert, AZ 85233  
480.529.3485  
shlvs@summitwestsigns.com



DRAWING:	07/01/04	1.5
REVISIONS:	07/02/04	5
REVISIONS:	07/28/04	1
REVISION:	-	-
REVISION:	-	-
REVISION:	-	-
SHOP DWG.:	-	-
SOURCE:	-	-
AS NOTED	-	-
DESIGNER:	Brian Hinkle	-
SWS SALES REP:	Debra Durcan	-

All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. Sign shall be design fabricated to these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on any or all changes during the sign fabrication process, the sign must be advanced in writing prior to the start of fabrication.

Page 13-02  
Job Number  
**21791**

- All sign bolts, fastenings, sleeves and clips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
- No labels shall be permitted on the exposed surfaces of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
- All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- Sign contractor and/or Pad User shall pay for any damage to the fascia, canopy, structure, roof, or flashing caused by sign installation.
- Wall signs shall be centered vertically and horizontally on the sign band.
- All electrical signs shall adhere to U.S. standards.
- All signs shall conform to the Uniform Building Code Standards.
- All electrical signs shall conform to National Electrical Code Standards.
- Electrical service to signs shall be on the Pad User's meter.
- PK housings are not allowed, 7/8 inch hole maximum. Low voltage drivers are encouraged.
- Times and/or photocells are to be installed with the sign.

**II. RETAIL AND PAD TENANT IDENTIFICATION WALL SIGNS**

**A. DESIGN REQUIREMENTS**

- Retail and Pad Tenant(s) shall be permitted to have wall signage on fascia storefront. As per city code, signage allowances are as follows:
  - Retail A, Retail B, Retail C and Pad E shall not exceed 1.5 square feet of signage for each front foot of storefront and shall be located in the designated sign band area.
  - Pad A, Pad B, and Pad D shall not exceed 1 square foot of signage for each front foot of storefront and shall be located in the designated sign band area.
  - In all instances, sign shall be limited to overall length of eighty percent (80%) of store front footage as measured along and parallel to the storefront.
  - Retail and Pad Tenant wall signs shall be limited to a maximum of two lines of copy. Individual letters shall have a minimum height of twelve (12) inches and a maximum height of thirty six (36) inches.
  - Regardless of size requirements stated above, each tenant space has a specified sign "envelope" area that may further restrict the size permitted per tenant space. Refer to building elevation drawings for sign "envelope" specs.
  - This criteria shall apply only to building Retail A, B & C and Pads A, B, C and D.

- The Retail and Pad Tenant Identification Wall Signs may identify the individual business of Tenant by name or by name and principal service offered, when the name does not identify the principal service offered. Established logos, crests, or insignias may be included as part of the signs, as specified by local ordinance.
  - Internally illuminated pan channel letters. No external raceways shall be permitted.
  - Half-bit reverse pan channel letters.
  - Internally illuminated logo "cabinets" of irregular shape. No square or rectangular cabinet signs will be allowed.
- illumination: All illumination shall be internal. Exposed neon shall not be permitted. Spot lights or flood lights shall not be permitted.



**SIGN CRITERIA**

**PART THREE - Tenant Identification Wall Signs**

**I. PLAZA ANCHOR TENANT IDENTIFICATION WALL SIGNS**

**A. DESIGN REQUIREMENTS**

- Plaza Anchor Tenant shall be permitted to have wall signage on the east facade of the storefront. Size requirements are as follows:
  - Plaza Anchor Tenant signage shall not exceed 1.5 square feet of signage for each front foot of storefront and shall be located in the designated sign band area.
  - Plaza Anchor Tenant signage shall be limited to overall length of eighty percent (80%) of store front footage as measured along and parallel to the storefront.
  - Plaza Anchor Tenant wall signs shall be limited to a maximum of two lines of copy. Individual letters shall have a minimum height of twelve (12) inches and a maximum height of thirty six (36) inches.
  - Regardless of size requirements stated above, each available sign band has a specified sign "envelope" area that may further restrict the size permitted per tenant space. Refer to building elevation drawings for sign "envelope" specs.
  - This criteria shall apply to Plaza Anchor Tenant only.

The Plaza Anchor Tenant Identification Wall Signs may identify the individual business of Tenant by name or by name and principal service offered, when the name does not identify the principal service offered. Established logos, crests, or insignias may be included as part of the signs, as specified by local ordinance.

- The Plaza Anchor Tenant Identification Wall Signs shall be any one or a combination of the following:
  - Internally illuminated pan channel letters. No external raceways shall be permitted.
  - Half-bit reverse pan channel letters.
  - Internally illuminated logo "cabinets" of irregular shape. No square or rectangular cabinet signs will be allowed.
- illumination: All illumination shall be internal. Exposed neon shall not be permitted. Spot lights or flood lights shall not be permitted.
- Sign colors:
  - Tenant may choose colors. Colors must be approved by landlord.
  - Rebarn of letters and logos must be duranodic bronze.
  - The color of the internal neon will be red or white, unless otherwise approved by Landlord.
  - Trim capping on the faces of pan channel letters is to be 3/4 inch shall be duranodic bronze with matching screws.
  - The color of any cabinets shall be duranodic bronze.
- Flashing, surface-painted, blinking, rotating, moving or audible signs are not permitted.
- Landlord shall have the right to modify the design requirements for any Tenant.

**B. CONSTRUCTION REQUIREMENTS**

- All face illuminated pan channel letters and logos of Retail Tenant Identification Wall Signs shall have backs and returns fabricated from aluminum or paint-blok steel and shall be finished with an automotive grade acrylic polyurethane. Sheen may be satin or gloss. Faces shall be fabricated from 1/8" or 3/16" thick colored acrylic.
- All half-bit reverse pan channel letters and logos of Retail Tenant Identification Wall Signs may be fabricated from aluminum, paint-blok steel, stainless steel, copper or brass. Aluminum and paint-blok steel shall be finished with an automotive grade acrylic polyurethane paint or an automotive grade clear coat over a properly applied faux finish. Copper and brass shall have a polished finish with an automotive grade clear coat on faces, returns and headers. Stainless steel shall not require a topcoat finish.



**SIGN CRITERIA**



BASELINE & HOLEY TOURS  
GILBERT, AZ  
**MASTER SIGN PROGRAM**  
JULY 28, 2004



**SUMMITWEST SIGNS**  
333 E. Baseline Road  
Gilbert, AZ 85233  
480-926-5493  
Sales@summitwestsigns.com

DRAWINGS:	07/01/04	1, 5
REVISION:	07/02/04	5
REVISION:	07/28/04	1
REVISION:	-	-
REVISION:	-	-
REVISION:	-	-
SHOP DWG.:	-	-
SCALE:	-	-
AS NOTED	-	-
DESIGNER:	-	-
BY:	Brian Hinkle	-
SWS SALES REP:	Dana Duncan	-

All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. Sign locations and sizes listed on these drawings are at least of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on any or all changes during the project, they must be ordered in writing prior to the start of fabrication.

**Page 13-03**  
Job Number  
**21791**

**PART FOUR - Window Signs**

**I. PLAZA ANCHOR TENANT WINDOW SIGNS**

**A. DESIGN REQUIREMENTS**

1. Plaza Anchor Tenant will be permitted to place upon the entrance of its premises up to 144 square inches of white vinyl lettering (not to exceed two inches in height) indicating hours of business, an emergency telephone number, etc.
2. All other window signage must comply with local ordinance, i.e., window signage may cover no more than twenty-five percent (25%) of window area and the area of said sign shall be included in the total allowed sign area.
3. Window signage may consist of computer cut adhesive vinyl graphics or professionally printed poster signs, painted window splashes, or neon window signs.
4. Landlord shall have the right to modify the design requirements for any Tenant.

**B. CONSTRUCTION REQUIREMENTS**

1. Vinyl graphics must be computer cut only. No hand cut vinyl graphics will be permitted.
2. Graphics may be applied to the glass area only. No graphics will be permitted to be applied to window frames or mullions. (Vinyl cannot "flow" from one pane of glass to another).
3. Vinyl graphics may be applied to either the inside or the outside of the glass.
4. Poster signs may be tastefully hung on the inside of the window only.
5. Neon window signs must be hung inside the glass. No neon window signs will be permitted on the outside of the glass.

**II. RETAIL AND PAD TENANT WINDOW SIGNS**

**A. DESIGN REQUIREMENTS**

1. Retail and Pad Tenants will be permitted to place upon the entrance of its premises up to 144 square inches of white vinyl lettering (not to exceed two inches in height) indicating hours of business, an emergency telephone number, etc.
2. All other window signage must comply with local ordinance, i.e., window signage may cover no more than twenty-five percent (25%) of window area and the area of said sign shall be included in the total allowed sign area.
3. Window signage may consist of computer cut adhesive vinyl graphics or professionally printed poster signs, painted window splashes, or neon window signs.
4. Landlord shall have the right to modify the design requirements for any Tenant.

**B. CONSTRUCTION REQUIREMENTS**

1. Vinyl graphics must be computer cut only. No hand cut vinyl graphics will be permitted.
2. Graphics may be applied to the glass area only. No graphics will be permitted to be applied to window frames or mullions. (Vinyl cannot "flow" from one pane of glass to another).
3. Vinyl graphics may be applied to either the inside or the outside of the glass.
4. Poster signs may be tastefully hung on the inside of the window only.
5. Neon window signs must be hung inside the glass. No neon window signs will be permitted on the outside of the glass.

End of Criteria

5. Sign colors:

- a. Tenant may choose colors. Colors must be approved by landlord.
  - b. Returns of letters and logos must be duranodic bronze.
  - c. The color of the internal neon will be red, white or green, unless otherwise approved by Landlord.
  - d. Trim capping on the face of pan channel letters is to be 3/4 inch shall be duranodic bronze with matching screws.
  - e. The color of any cabinets shall be duranodic bronze.
6. Flashing, surface-painted, blinking, rotating, moving or audible signs are not permitted.
7. Landlord shall have the right to modify the design requirements for any Tenant.

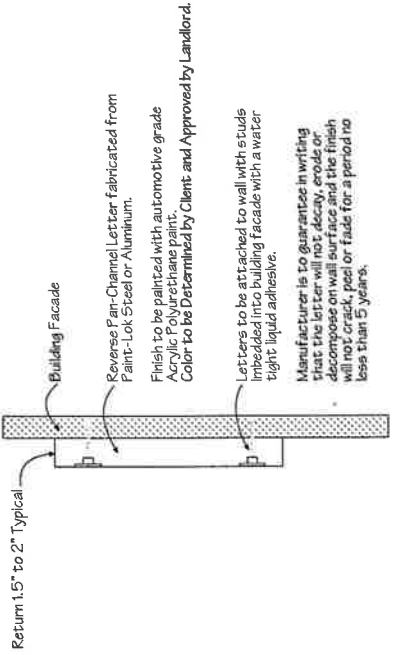
**5. CONSTRUCTION REQUIREMENTS**

1. All face illuminated pan channel letters and logos of Retail Tenant Identification Wall Signs shall have backs and returns fabricated from aluminum or pain-look steel and shall be finished with an automotive grade acrylic polyurethane. Street may be satin or gloss. Faces shall be fabricated from 1/8" or 3/16" thick colored acrylic.
2. All halo-lic reverse pan channel letters and logos of Retail Tenant Identification Wall Signs may be fabricated from aluminum, paint-look steel, stainless steel, copper or brass. Aluminum and paint-look steel shall be finished with an automotive grade acrylic polyurethane paint or an automotive grade clear coat over a properly applied faux finish. Copper and brass shall have a polished finish with an automotive grade clear coat on faces, returns and insides. Stainless steel shall not require a topcoat finish.
3. All sign bolts, fastenings, sleeves and clips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
4. No labels shall be permitted on the exposed surfaces of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
5. All penetrations of the building structure required for sign installation shall be neatly sealed in a water-tight condition.
6. Sign contractor and/or Pad User shall pay for any damage to the fascia, canopy, structure, roof, or flashing caused by sign installation.
7. Wall signs shall be centered vertically and horizontally on the sign band.
8. All electrical signs shall adhere to UL standards.
9. All signs shall conform to the Uniform Building Code Standards.
10. All electrical signs shall conform to National Electrical Code Standards.
11. Electrical service to signs shall be on the Pad User's meter.
12. PK housings are not allowed, 7/8 inch hole maximum. Low voltage drivers are encouraged.
13. Times and/or photocalls are to be installed with the sign.

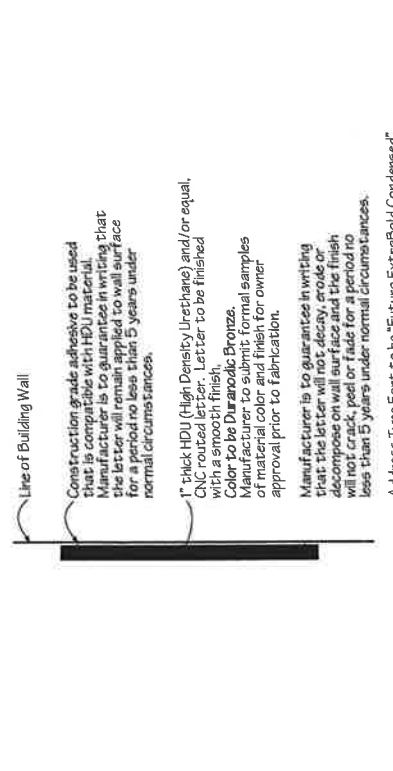
**SUMMITWEST SIGNS**  
 335 E. Baseline Road  
 Gilbert, AZ 85233  
 480.926.3465  
 Sales: @summitwestsigns.com

DRAWING:	11/12/03	.25
REVISION:	03/02/04	.25
REVISION:	07/08/04	.5
REVISION:	09/16/04	.5
REVISION:	-	-
REVISION:	-	-
SHOP DWG.:	-	-
SCALE:	AS NOTED	
DESIGNER:	Brian Hinkle	
SWS SALES REP:	Brian Hinkle	

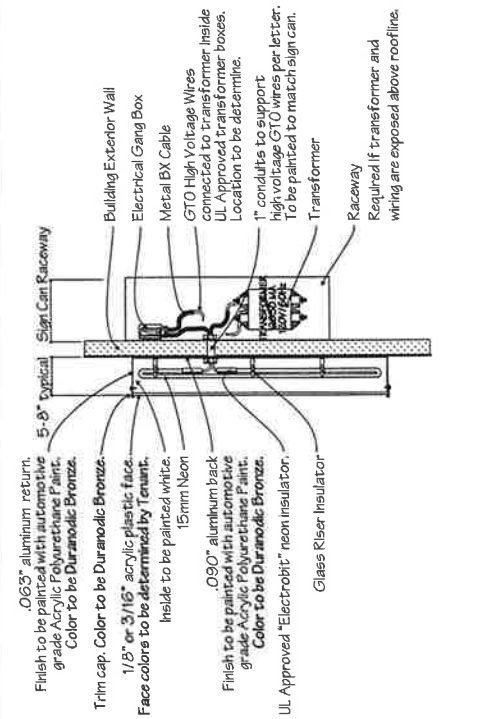
All specified details on these drawings are subject to change due to the availability of materials and the current state of the fabrication. Sign Contractor will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on any or all items, they must be requested in writing prior to the start of fabrication.



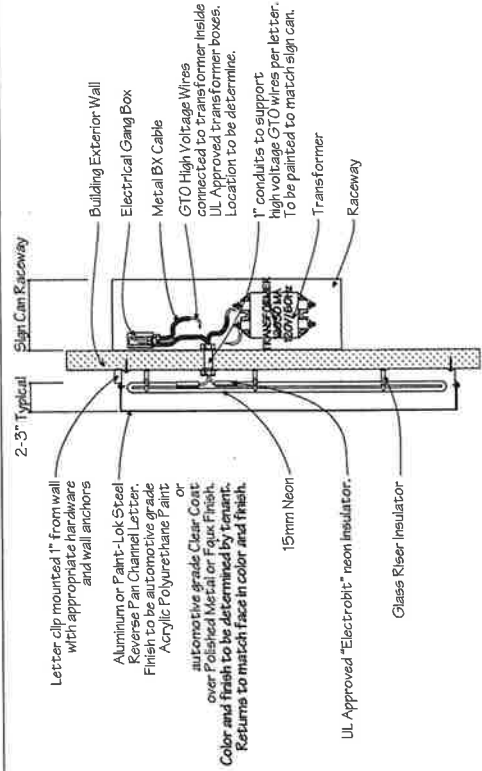
**B** NON-ILLUMINATED REVERSE PAN CHANNEL LETTER - SECTION DETAIL  
 Scale: 1/4" = 1"



**A** FLAT CUT OUT HDU LETTER - SECTION DETAIL  
 Scale: 1/4" = 1"



**D** FACE ILLUMINATED CHANNEL LETTER - SECTION DETAIL  
 Scale: 1/8" = 1"



**C** HALO-ILLUMINATED REVERSE PAN CHANNEL LETTER - SECTION DETAIL  
 Scale: 1/4" = 1"



# DESIGN REVIEW BOARD STAFF REPORT

AGENDA #

8

**TO:** DESIGN REVIEW BOARD

**FROM:** JIM CRONK, SENIOR PLANNER

**THROUGH:** MARIA S. CADAVID, AICP, PLANNING MANAGER *MC*  
*LE*

**MEETING DATE:** DECEMBER 9, 2004

**SUBJECT:** DR04-22 – HIGLEY MARKETPLACE, SIGN PLAN, LOCATED ON THE NORTHWEST CORNER OF HIGLEY AND BASELINE ROADS

## REQUEST

Approval of sign plan for Higley Marketplace zoned PSC-2 Planned Shopping Center with a PAD Overlay.

## RECOMMENDED MOTION

Move to approve DR04-22, Sign Plan, with conditions.

## APPLICANT/OWNER

Pew & Lake, PLC  
 10 W. Main St.  
 Mesa, AZ 85201  
 Phone: 480-461-4670  
 FAX: 480-461-4676  
 E-mail: [michelle.dahlke@pewandlake.com](mailto:michelle.dahlke@pewandlake.com)

Glenwood Dev. Co. LLC  
 3651 E. Baseline Rd. #E-204  
 Gilbert, AZ 85234  
 Phone: 480-775-4650  
 FAX: 480-775-4646  
 e-mail: [jwkost@glenwooddevco.com](mailto:jwkost@glenwooddevco.com)

## HISTORY

*May 25, 1982:* Town Council adopted Ord. #320 approving PSC-2 (Planned Shopping Center) for 130 acres including the subject site.

*July 15, 2004:* The Design Review Board reviewed this case in work session.

August 12, 2004:

The Design Review Board approved the site plan, landscaping, lighting and elevations for Higley Marketplace.

**PROJECT FACTS**

Surrounding Area	General Plan	Zoning	Use
North	Regional Comm. (RC)	Planned Shopping Center (PSC-2 PAD)	Vacant
South	Shopping Center (SC)	C-2 General Comm.	Commercial Center
East	Regional Comm. (RC)	Planned Shopping Center (PSC-2 PAD)	Commercial Uses
West	Residential 14-25	Multi-family (R-3 PAD)	Vacant
Site	Regional Comm.	Planned Shopping Center (PSC-2 PAD)	Vacant

**Data:**

Net Site Area	14.21 acres	
Zoning	PSC-2	
Building Area	90,786 sq. ft.	
Building Height	Req. 30'	Proposed 30'
Parking Spaces	Req. 419	Proposed 569

**ANALYSIS**

**BACKGROUND:**

This site, located north west of Baseline and Higley Roads, serves as a gateway entrance to Gilbert from the Superstition Freeway. This center will be the first of several large scale developments in this quadrant. When the Design Review Board approved the site plan, Pads C, D & E were excluded from the application and thus the approval. Any approval of sign location may not include these buildings until they are specifically reviewed by the Board. There are no development standard deviations for this development, so the sign code applies.

**BUILDING SIGNS:**

The applicant is proposing three types of building signs. (Type A sign is not used.)

B) Non-illuminated Reverse Pan Channel Letter – These 1.5” – 2” thick signs will be built of paint-lok steel or aluminum. The finish will be painted in acrylic polyurethane in a color to be determined by the ultimate tenant.

C) Halo-Illuminated Reverse Pan Channel Letter – These 2”-3” thick signs will be built of aluminum or paint-lok steel. Their finish will be acrylic polyurethane or clear coat in a color to be determined when the actual tenant is known.

D) Face Illuminated Channel Letter – These 5”-8” thick signs will be built of an acrylic plastic face painted white on the inside with neon lighting behind. The aluminum returns will be painted Duranodic Bronze. The sign face color will be determined with the ultimate tenant’s sign application.

The location of these various signs are shown on the site plan and the building elevations. The area for the signs is a location envelope only. The actual size of the sign permitted within these envelopes will be dependant on the store frontage of the individual tenants at the time of permit application but will be a minimum of 32 sq. ft. If the building is less than 75’ from the road, the sign size may be 1 sq. ft. for each linear feet of building frontage. If the building is more than 75’ from the road, the sign may be 1.5 sq. ft. for each linear feet of frontage. Any sign may only cover 80% of the building area on which it is erected.

Staff is supportive of the sign types and locations with the following changes:

- When the use permit for the Discount Tire Center going in Pad A was approved, the applicant agreed there would not be any signage on their west elevation facing the residentially zoned land to the west. Therefore, the sign being requested for the west elevation needs to be removed.
- The sign locations for Pads D & E need to be removed as it may not be approved until the site plans for those pads are reviewed by the Design Review Board.

**MONUMENT SIGNS:**

The applicant is proposing two versions of their monument sign. It will be eight feet high with a synthetic stucco face with sand textured finish in Bleached Sand color. There will be a split faced CMU block base with Mojave Country Ledge stone veneer columns on either side. The sign panels will be of a synthetic stucco face with sand textured finish in Autumn Wheat color. The D type sign can accommodate six tenant signs with the top two being slightly larger while the E type signs accommodate six tenant signs that are all the same size.

There are proposed to be two signs along Higley Road and along Baseline Road. The sign code allows one monument sign for each 300’ of road frontage. In both cases, Higley Marketplace has over 600’ of frontage. The code also allows these signs to be placed at least 100’ apart. The applicant’s locations along Higley Road maintain 238’ of separation while the signs along Baseline Road maintain 241’ of separation.

The height, number and location of these monument signs meets the sign code requirements. The sign panels are limited to 32 sq. ft. in total sign area. The materials and colors proposed match the colors of the approved architecture for the buildings.

**STAFF RECOMMENDATION**

Approval of the Sign Plan for Higley Marketplace (DR04-22) subject to the following conditions:

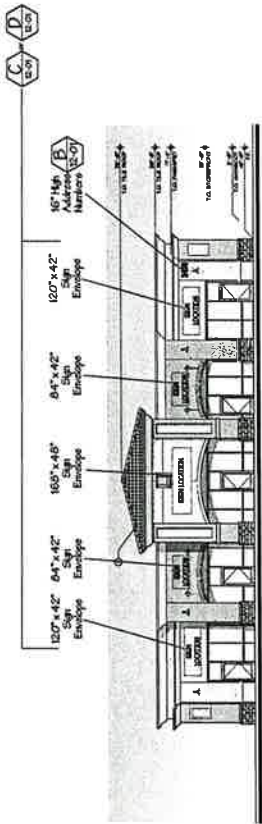


1. Construction of the signs shall conform to the exhibits approved by the Design Review Board at the December 9, 2004 public hearing.
2. No sign shall be located on the west elevation of the Discount Tire Center.
3. Building signs illustrated on Pads D & E shall be removed.
4. Monument signs shall show a maximum sign size of 32 sq. ft.

**Attachments:**

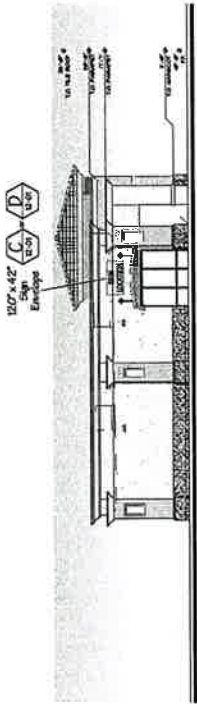
1. Signage Site Plan
2. Building Sign Types
3. Elevations (3)
4. Monument Sign Types

**SIGN TYPE 4 RETAIL C-TENANT IDENTIFICATION WALL SIGNS**



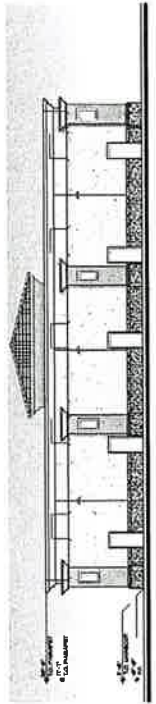
**SOUTH ELEVATION (Front)**

Scale: 1" = 12'-0"



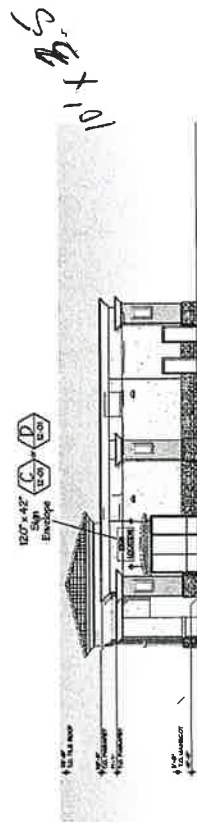
**WEST ELEVATION (Left)**

Scale: 1" = 12'-0"



**NORTH ELEVATION - (Back)**

Scale: 1" = 12'-0"



**EAST ELEVATION - (Right)**

Scale: 1" = 12'-0"

*Disregard top sign envelope*

**COLOR & MATERIALS**

- ① FIELD COLOR #
- ② ACENT COLOR #
- ③ ACENT COLOR #
- ④ ACENT COLOR #
- ⑤ STORE FRONT
- ⑥ GLAZING
- ⑦ CONCRETE ROOF TILE
- ⑧ CONCRETE ROOF TILE

NOTE: CONTRACTOR TO SPECIFY ONE (1) PAINTED METAL PANEL FOR SIGNTYPE 4.

**SIGN TYPE 4**

Retail Sign Area not to exceed 1.5 sq. ft. of sign per 1 linear ft. of frontage.  
Sign construction may be either:  
Style C - Halo Illuminated Reverse P an Channel Letters  
or  
Style D - Face Illuminated Channel Letters

\*See Sheet 12-01 for specification drawings.

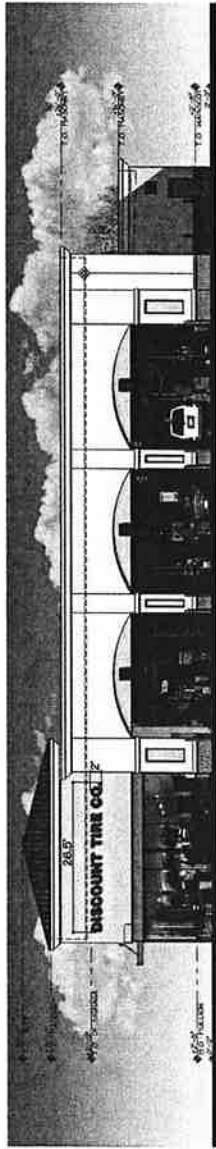
Represents Maximum Sign Envelope.  
No part of sign is to extend beyond this envelope area.  
\*NOTE: Sign envelope does not constitute the size of sign applied. Square footage/Linear Footage rule still applies. Sign envelope is provided for the purpose of defining the outer most boundaries for a sign location.

**WALL:** Allowed 1.5 sq ft per linear feet of Building Frontage facing a Street.  
**WINDOW:** 25% of Area  
**DIRECTIONALS:** 6 sq ft or less

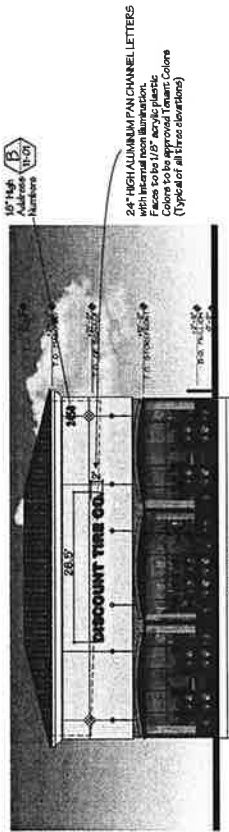
DRAWING:	07/29/04	1
REVISION:	9/16/04	1.5
REVISION:	-	-
REVISION:	-	-
REVISION:	-	-
REVISION:	-	-
SHOP DWG:--	-	-
SCALE:	AS NOTED	-
DESIGNER:	Brian Hinkle	-
SWS SALES REP:	Brian Hinkle	-

All specified details on these drawings are to be installed due to the availability of materials and/or changes in the method of fabrication. Sign Contractor will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative requires any alternative detail drawings on any or all changes during the fabrication process, SummitWest Signs must be advised in writing prior to the start of fabrication.

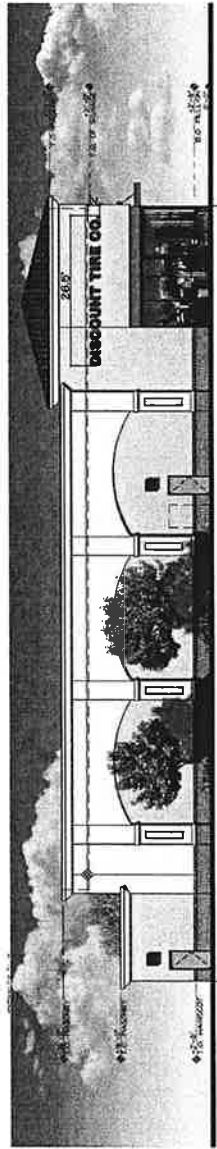
**SIGN TYPE 5** PAD A IDENTIFICATION WALL SIGNS



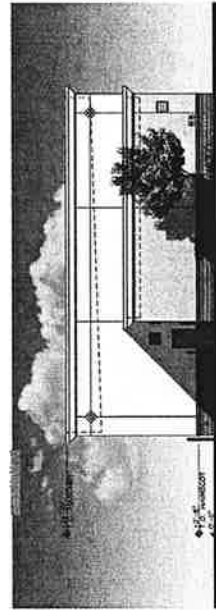
**EAST ELEVATION (Right)**  
Scale: 1/8" = 1'-0"



**SOUTH ELEVATION (Front)**  
Scale: 1/8" = 1'-0"



**WEST ELEVATION (Left)**  
Scale: 1/8" = 1'-0"



**NORTH ELEVATION (REAR)**  
Scale: 1/8" = 1'-0"

SQUARE FTG	
RIGHT (E)	52.0
FRONT (S)	52.0
LEFT (W)	52.0
REAR (N)	0
<b>TOTAL</b>	<b>156.0</b>

**WALL:** Allowed 1 sq ft per lineal feet of Building Frontage facing a Street.

**WINDOW:** 25% of Area

**DIRECTIONALS:** 6 sq ft or less

**Higley Marketplace**  
BUSINESS & HIGHWAY ROUTES  
GILBERT, AZ

**MASTER SIGN PROGRAM**  
SEPTEMBER 20, 2004

**Glenwood**  
Development Company LLC  
3345 E. Baseline Road  
Gilbert, AZ 85233  
PH: 480.926.3465

**BCA**  
Baltiger + Caldwell Architects, Inc.  
10000 N. 19th Avenue, Suite 100  
Phoenix, AZ 85022  
PH: 480.926.3465

**SummitWest SIGNS**  
335 E Baseline Road  
Gilbert, AZ 85233  
480.926.3465  
Sales@summitwestsigns.com

**DRAWING:** 03/02/04 **2**

**REVISION:** 07/28/04 **.5**

**REVISION:** 9/16/04 **1**

**REVISION:** -

**REVISION:** -

**REVISION:** -

**SHOP DWG:-**

**SCALE:** As Noted

**DESIGNER:** Brian Hinkle

**SWS SALES REP:** Brian Hinkle



**Elevations and Specifications Provided by:**

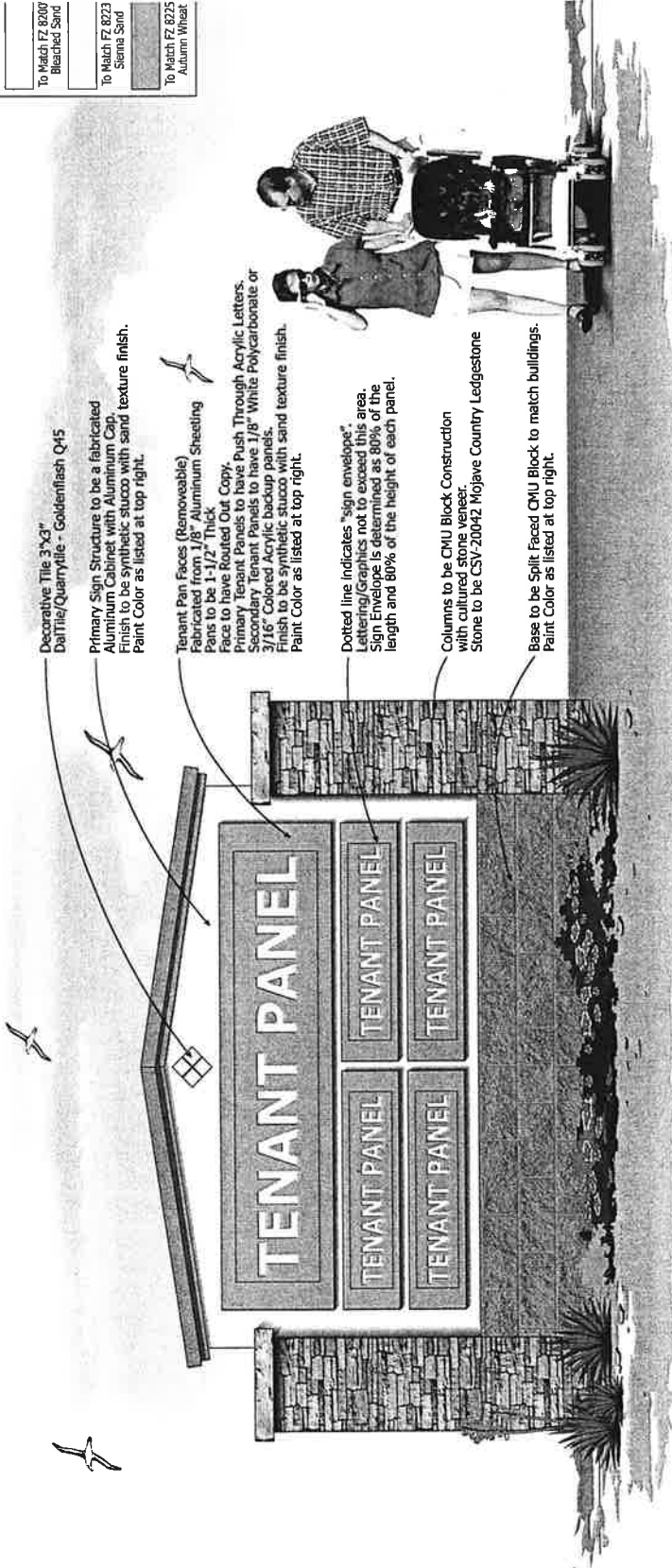
KEY	NAME	MANUFACTURER	SPECIFIED COLOR
A	FIELD COLOR #1	BALAUJNE MOORE	4C-38 "MIDNIGHT BUFF"
B	ACCENT COLOR #1	BALAUJNE MOORE	216-40 "GOLDEN PIST"
C	ACCENT COLOR #2	BALAUJNE MOORE	241-39 "DARK PASTEL PINK"
D	ACCENT COLOR #3	BALAUJNE MOORE	243-20 "MILITARY GREEN"
E	PARK STONE VINYL CULTURED STONE	LEGGESTONE	8C2V-204Q
F	STONE FRONT	-	DARK ANODIZED BRONZE
G	TILE ACCENT	DALTILE OR EQUAL	25C GLASSY TILE GOLDEN FLASH_05

All specified details on these drawings are subject to change without notice. The contractor shall be responsible for any changes in the method of fabrication. Sign Contractor will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive changes during the fabrication process, SummitWest Signs must be advised in writing prior to the start of fabrication.

**Page 05-01**  
Job Number  
**21791**

**SIGN TYPE 1** GROUND ID MONUMENT SIGN

COLORS	
To Match FZ 8166 Hawthorne Valley	
To Match FZ 8200 Bleached Sand	
To Match FZ 8223 Sierra Sand	
To Match FZ 8225 Autumn Rhoad	



Decorative Tile 3"x3"  
Dart/Quarrytile - Goldenflash Q45

Primary Sign Structure to be a fabricated  
Aluminum Cabinet with Aluminum Cap.  
Finish to be synthetic stucco with sand texture finish.  
Paint Color as listed at top right.

Tenant Pan Faces (Removable)  
Fabricated from 1/8" Aluminum Sheeting  
Pan to be 1-1/2" Thick  
Face to have Routed Out Copy.

Primary Tenant Panels to have Push Through Acrylic Letters.  
Secondary Tenant Panels to have 1/8" White Polycarbonate or  
3/16" Colored Acrylic backup panels.  
Finish to be synthetic stucco with sand texture finish.  
Paint Color as listed at top right.

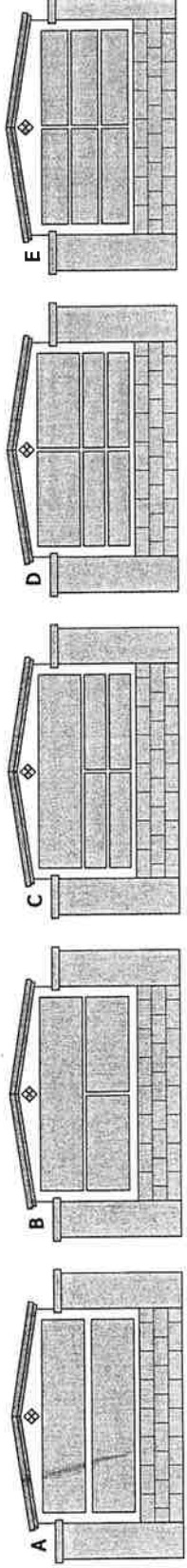
Dotted line indicates "sign envelope".  
Lettering/Graphics not to exceed this area.  
Sign Envelope is determined as 80% of the  
length and 80% of the height of each panel.

Columns to be CMU Block Construction  
with cultured stone veneer.  
Stone to be CSV-20042 Mojave Country Ledgestone

Base to be Split Faced CMU Block to match buildings.  
Paint Color as listed at top right.

GROUND ID MONUMENT SIGN (2 sided) - Face Elevation

Scale: 1" = 12"



POTENTIAL TENANT PANEL CONFIGURATIONS

Scale: NTS

COLORS & MATERIALS	
TO MATCH FZ 8166 Hawthorne Valley	
TO MATCH FZ 8200 Bleached Sand	
TO MATCH FZ 8223 Sierra Sand	
TO MATCH FZ 8225 Autumn Rhoad	

A B C D E F

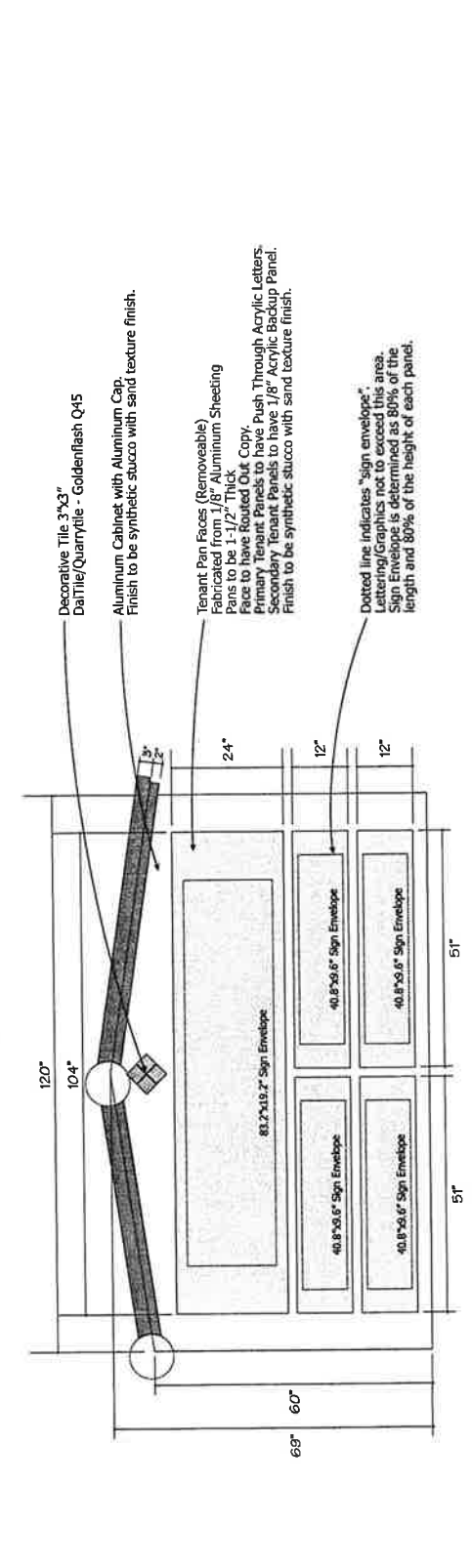
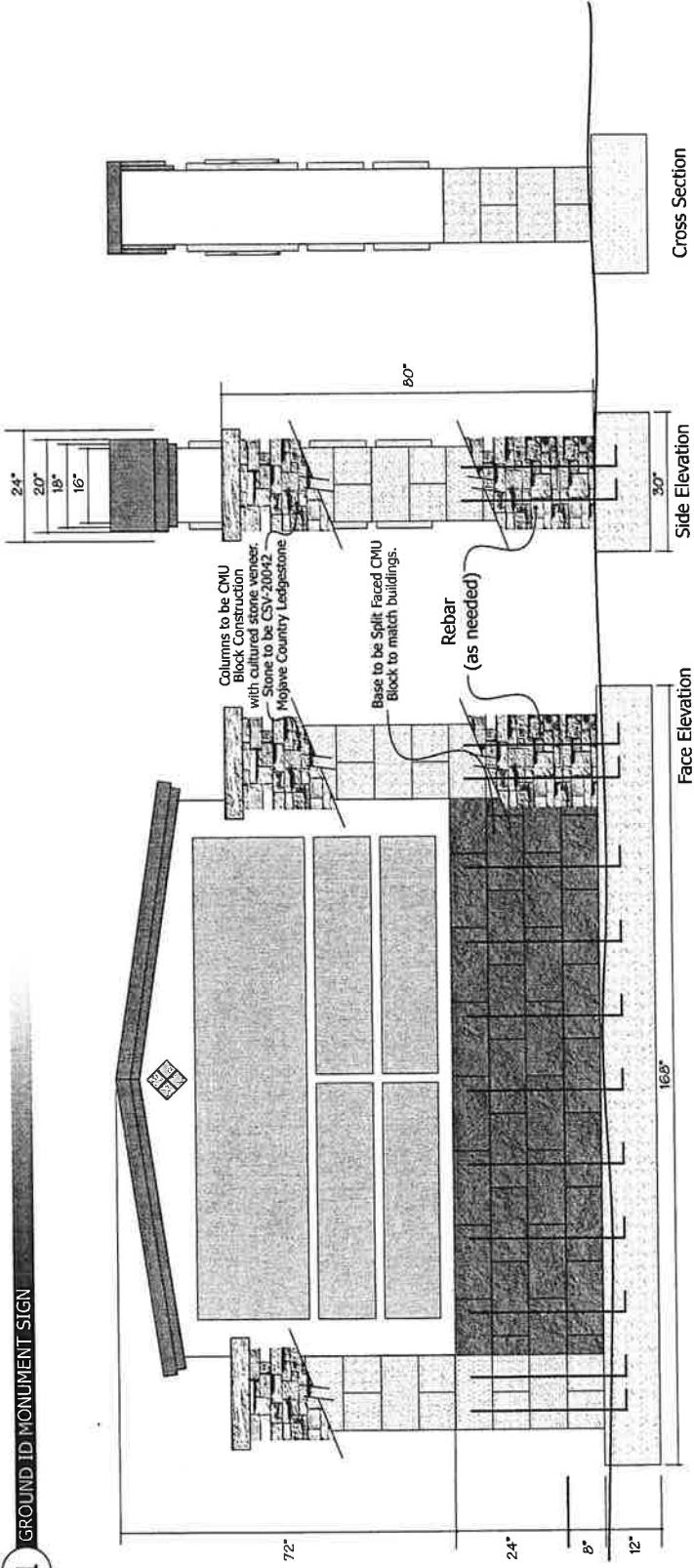


**SIGN TYPE 1** GROUND ID MONUMENT SIGN

DRAWING:	11/18/03	3
REVISION:	03/02/04	1
REVISION:	03/03/04	1.5
REVISION:	07/28/04	1
REVISION:	09/16/04	1.5
REVISION:	-	-
SHOP DWG:	-	-

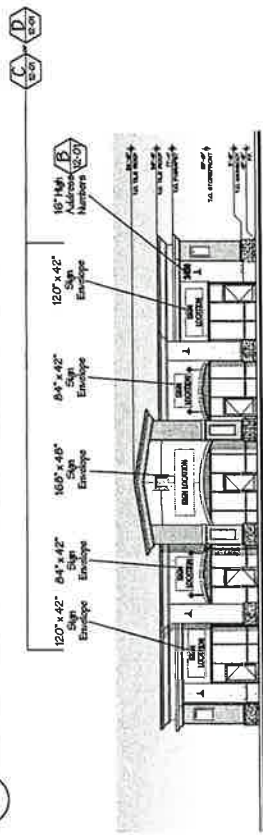
SCALE:  
 As Noted  
 DESIGNER:  
 Brian Hinkle  
 SWS SALES REP:  
 Brian Hinkle

All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. Sign Contractor will do their best to maintain the design intent of the drawing at all times. If the owner or owner's representative wishes to receive detail drawings on any or all changes during the fabrication process, SummitWest Signs must be advised in writing prior to the start of fabrication.

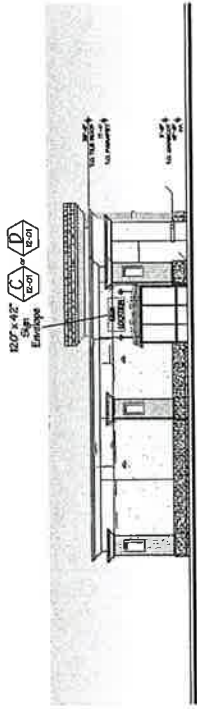




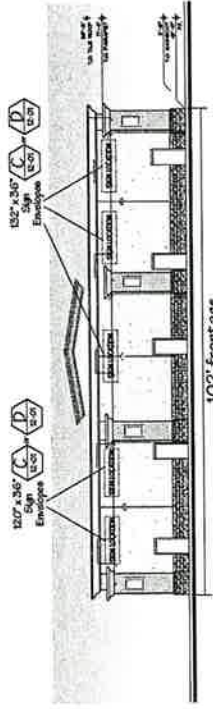
**SIGN TYPE 6** PAD B IDENTIFICATION WALL SIGNS



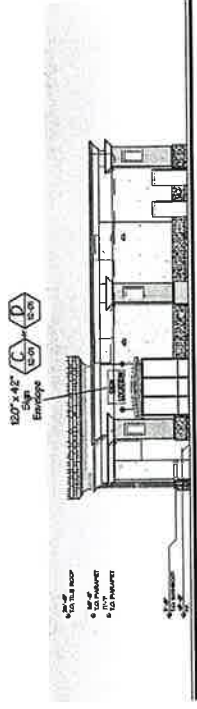
**NORTH ELEVATION (Front)**  
Scale: 1" = 12'-0"



**EAST ELEVATION (Left)**  
Scale: 1" = 12'-0"



**SOUTH ELEVATION - (Back)**  
Scale: 1" = 12'-0"



**WEST ELEVATION - (Right)**  
Scale: 1" = 12'-0"

*Handwritten in red:*  
Dressed  
Summitwest

**COLOR & MATERIALS**

FIELD COLOR #	BLANCHED SAND 7800W
ACCENT COLOR #1	BLACK 6030
ACCENT COLOR #2	WINDY SANDS 1830M
ACCENT COLOR #3	AUTUMN WHEAT 1830W
ACCENT COLOR #4	HARTFORD VALLEY 7180M
STORE FRONT	HARTFORD VALLEY 7180M
BLAZING	BLAZING 7180M
CONCRETE ROOF TILE	MALIBU BLEND 3840D
CONCRETE ROOF TILE	PUEBLO DR. BR. BLAND
	SECRET

NOTE: CONSULTOR TO INQUIRE ONE (1) FINISHED TEST PANEL FOR ARCHITECT AND OWNER REVIEW AND APPROVAL.

**SIGN TYPE 6**

Retail Sign Area not to exceed 1 sq. ft. of sign per 1 linear ft. of frontage

Sign construction may be either:

Style C\* - Halo Illuminated Reverse Fan Channel Letters

or

Style D\* - Face Illuminated Channel Letters

\*See Sheet 12-01 for specification drawings.

Represents Maximum Sign Envelope. No part of sign is to extend beyond this envelope area.

\*NOTE: Sign envelope does not constitute the size of sign allowed. Square Footage/Linear Footage rule still applies. Sign envelope is provided for the purpose of defining the outer most boundaries for a sign location.

**WALL:** Allowed 1 sq ft per linear feet of Building Frontage facing a Street.

**WINDOW:** 25% of Area

**DIRECTIONALS:** 6 sq ft or less

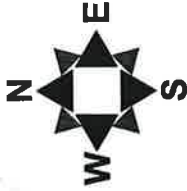
DRAWING:	07/28/04	2
REVISION:	09/16/04	1
REVISION:	-	-
REVISION:	-	-
REVISION:	-	-
REVISION:	-	-
SHOP DWG.:	-	-
SCALE:	As Noted	
DESIGNER:	Brian Hinke	
SWS SALES REP:	Brian Hinke	

All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. Sign Contractor will do their best to maintain the design intent of the drawings at all times. If the owner or owner's representative wishes to receive detail drawings on any or all changes during the fabrication process, Summitwest Signs must be advised in writing prior to the start of fabrication.

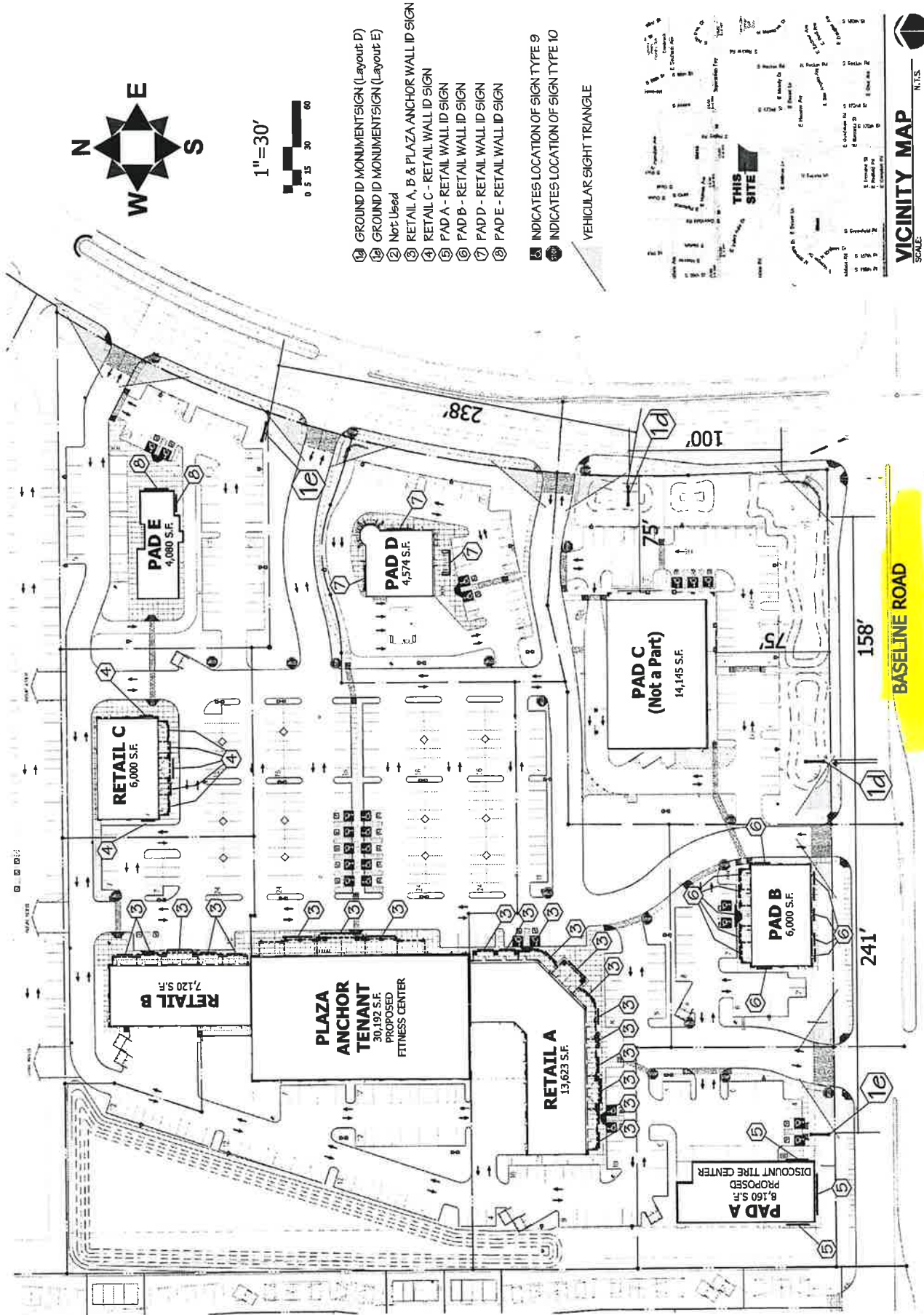
DRAWING:	11/12/03	1
REVISION:	11/18/03	3
REVISION:	12/08/03	1
REVISION:	03/03/04	2
REVISION:	07/08/04	2
REVISION:	07/28/04	1
REVISION:	9/16/04	1.5

SCALE:  
 AS NOTED  
 DESIGNER:  
 Brian Hinkle  
 SWS SALES REP:  
 Brian Hinkle

All specified details on these drawings are subject to change due to the availability of stock or changes in the design. Contractor will do their best to maintain the design intent of these drawings at all times. If the owner or owner's representative wishes to receive detail drawings on any or all changes during the fabrication process, SummitWest Signs must be advised in writing prior to the start of fabrication.



1" = 30'



- ① GROUND ID MONUMENT SIGN (Layout D)
- ② GROUND ID MONUMENT SIGN (Layout E)
- ③ Not Used
- ④ RETAIL A, B & PLAZA ANCHOR WALL ID SIGN
- ⑤ PAD A - RETAIL WALL ID SIGN
- ⑥ PAD B - RETAIL WALL ID SIGN
- ⑦ PAD D - RETAIL WALL ID SIGN
- ⑧ PAD E - RETAIL WALL ID SIGN
- ⑨ INDICATES LOCATION OF SIGN TYPE 9
- ⑩ INDICATES LOCATION OF SIGN TYPE 10

VEHICULAR SIGHT TRIANGLE



**VICINITY MAP**  
 SCALE: N.T.S.









Decorative  
DalTile/C

Primary S  
Aluminum  
Finish to  
Paint Col

Tenant P  
Fabricate  
Pans to b  
Face to h  
Primary  
Secondary  
3/16" Co  
Finish to  
Paint Col

Dotted li  
Lettering  
Sign Env  
length ar

Columns  
with cult  
Stone to

Base to b  
Paint Col

Decorative Tile 3"x3"  
DaTile/Quarrytile - Goldenflash Q45

Primary Sign Structure to be a fabricated Aluminum Cabinet with Aluminum Cap. Finish to be synthetic stucco with sand texture finish. Paint Color as listed at top right.

Tenant Pan Faces (Removeable)  
Fabricated from 1/8" Aluminum Sheeting  
Pans to be 1-1/2" Thick



Face to have Routed Out Copy.

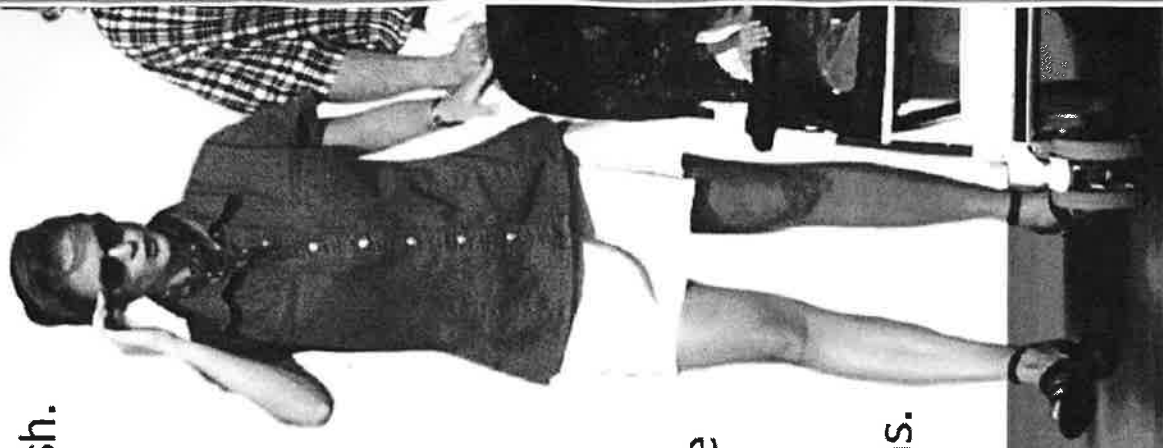
Primary Tenant Panels to have Push Through Acrylic Letters.  
Secondary Tenant Panels to have 1/8" White Polycarbonate or 3/16" Colored Acrylic backup panels.

Finish to be synthetic stucco with sand texture finish.  
Paint Color as listed at top right.

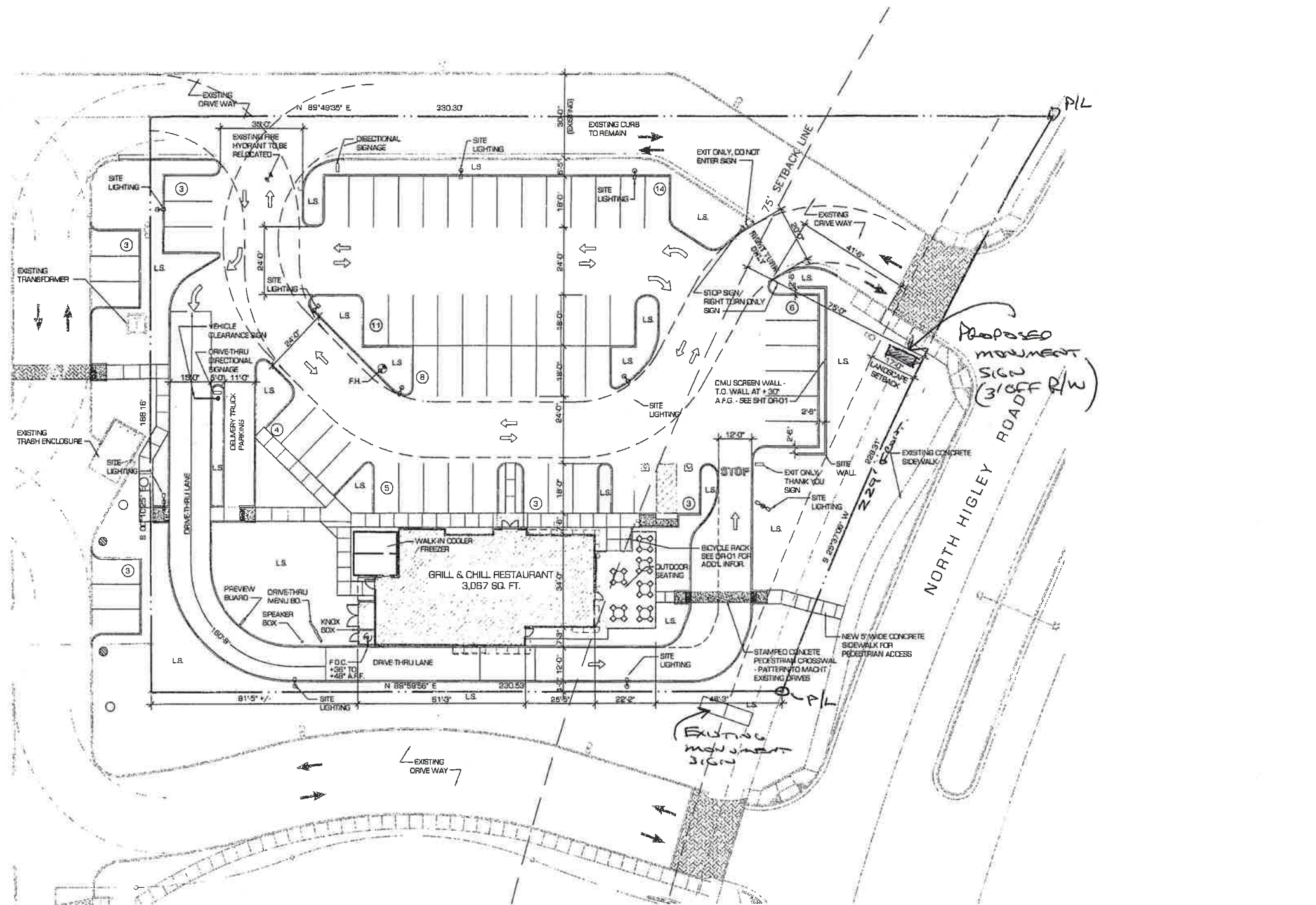
Dotted line indicates "sign envelope".  
Lettering/Graphics not to exceed this area.  
Sign Envelope is determined as 80% of the length and 80% of the height of each panel.

Columns to be CMU Block Construction  
with cultured stone veneer.  
Stone to be CSV-20042 Mojave Country LedgeStone

Base to be Split Faced CMU Block to match buildings.  
Paint Color as listed at top right.







**GENERAL FIRE ALARM SYSTEM CODE NOTES**

- PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE ALARM SYSTEM DESIGN.
- ALARM INITIATING DEVICES, ALARM SIGNALING DEVICES AND OTHER FIRE ALARM SYSTEM COMPONENTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH IFC SECTION 907.
- WHEN NOT DETECTORS, REQUIRED BY IMC 806 OR NFIC AND IBC SECTION 906, ARE CONCEALED FROM VIEW OR INSTALLED MORE THAN 10 FEET ABOVE FINISHED FLOOR OR IN ARRANGEMENTS WHERE THE DETECTOR'S ALARM INDICATOR IS NOT READILY VISIBLE TO RESPONDING PERSONNEL, AN LED SHALL BE PROVIDED THROUGH THE CEILING LEVEL OR SIGHT OBSTRUCTION AT EACH DETECTOR. ALL DETECTOR DEVICES PROVIDED SHALL BE MONITORED FOR INTERMITTENT BY THE FIRE ALARM SYSTEM WHERE A FIRE ALARM IS INSTALLED.

**FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION OF BUILDING**

- DURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE AND MAINTAIN AN ALL WEATHER ROAD DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING UP TO 85,000 POUNDS. SITES SHALL HAVE TWO (2) POINTS OF ACCESS OR AS INDICATED AT PLAN REVIEW OR BY THE FIRE INSPECTOR. UNPAVED SURFACES SHALL HAVE MINIMUM 6" ABC COMPACTED TO 96% AND 20' WIDE. NO VEHICLE PARKING OR BUILDING MATERIAL OFFLOADING ALLOWED ON THE EMERGENCY ACCESS ROAD. FIRE LANES ARE REQUIRED TO BE POSTED ALONG THE ROAD.
- A SIGN SHALL BE POSTED AT THE MAIN STREET ENTRANCE EMERGENCY VEHICLE ENTRANCE, THE PROJECT NAME, THE PROJECT ADDRESS AND AN EMERGENCY CONTACT NUMBER OF A COMPANY REPRESENTATIVE. THE SIGN SHALL BE A MINIMUM OF 24" HIGH x 36" WIDE WITH WHITE REFLECTIVE BACKGROUND AND RED REFLECTIVE LETTERS.  
 IN ADDITION ALL OFF-SITE WORK SHALL HAVE A SIGN POSTED AT THE MAIN STREET ENTRANCE THAT IS REFLECTIVE OF THE GEOGRAPHICAL LOCATION TO THE PROJECT. THE SIGN SHALL INCLUDE THE PROJECT NAME FOLLOWED BY THE CAPTION "OFF-SITE" AND THE GEOGRAPHICAL LOCATION.  
 EXAMPLE -  
 GILBERT GATEWAY  
 238 N. GILBERT RD.  
 OFF-SITE  
 N.E.
- ALL SITE HYDRANTS SHALL BE INSTALLED AND ACCEPTED BY THE TOWN ENGINEERING DEPARTMENT PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE CONSTRUCTION SITE.
- TEMPORARY, DEAD END FIRE APPARATUS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND.
- FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE LOCATED ALONG FIRE APPARATUS ACCESS ROADWAY.
- FIRE HYDRANTS PROVIDED DURING CONSTRUCTION SHALL BE PROTECTED FROM VEHICULAR DAMAGE.

**SITE INFORMATION**

PROJECT ADDRESS:	1696 NORTH HIGLEY ROAD GILBERT, ARIZONA 85206
ASSESSORS PARCEL NUMBER:	14068-008
CASE NO.:	
ZONING DISTRICT:	RC
SURROUNDING ZONING DISTRICTS:	NORTH: RC SOUTH: RC EAST: RC WEST: RC
SETBACKS:	BUILDINGS:
SIDE - NORTH:	20'
SIDE - SOUTH:	0'
REAR - WEST:	0'
FRONT - EAST:	75'
PARKING ANALYSIS:	
REQUIRED:	
RESTAURANT	
INDOOR SEATING	1 SPACE PER 75 SF = 3,067 SF / 75 = 40.8 OR 41 SPACES
OUTDOOR SEATING	1 SPACE PER 400 SF = 684 SF / 400 = 1.7 OR 2 SPACES
TOTAL REQUIRED SPACES	43 SPACES
TOTAL SPACES PROVIDED	63 SPACES
ACCESSIBLE SPACES REQUIRED	2 SPACES
ACCESSIBLE SPACES PROVIDED	2 SPACES (1 VAN SPACE)
BICYCLE PARKING (1 PER EVERY 10 SPACES REQUIRED)	
REQUIRED	43 / 10 = 4 SPACES REQUIRED
PROVIDED	5 SPACES

**FIRE DEPARTMENT NOTES**

- CONSTRUCTION WITHIN THE TOWN OF GILBERT SHALL COMPLY WITH THE 2003 INTERNATIONAL FIRE CODE (IFC), AS AMENDED BY THE TOWN CONSTRUCTION ORDINANCE SECTION 10-35.
- THE APPLICANT IS RESPONSIBLE FOR IDENTIFYING AND COORDINATING DEFERRED SUBMITTALS.
- FIRE SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA STANDARDS AND TOWN OF GILBERT SPRINKLER ORDINANCE.
- THE FIRE SPRINKLER RISER SHALL BE LOCATED INSIDE THE BUILDING WITH DIRECT ACCESS. ALL OCCUPANCIES ARE REQUIRED TO PROVIDE EXTERIOR ACCESS TO A FIRE RISER ROOM DESIGNED FOR FIRE SYSTEMS ONLY.
- FIRE DEPARTMENT INLET CONNECTIONS (FIC) SHALL BE LOCATED ON THE WALL OF THE ADDRESS SIDE OR NATURAL APPROACH OF THE BUILDING IT SERVES AND SHALL IDENTIFY THE BUILDING(S) SERVED WITH PERMANENT SIGNAGE.
- ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ADDITIONALLY MONITORED WHERE THE NUMBER OF SPRINKLER HEADS EXCEEDS NINETEEN (19), IBC SECTION 903.4.
- IN ADDITION TO THE EXTERIOR BELL OR HORN, AN APPROVED AUDIBLE/VISUAL FIRE SPRINKLER FLOW ALARM SHALL BE PROVIDED IN THE INTERIOR OF ALL BUILDINGS IN A NORMALLY OCCUPIED LOCATION. THE A/V DEVICE SHALL BE A MINIMUM OF 75 CD LUMENS AND 15 DB ABOVE THE AMBIENT SOUND LEVEL. IFC SECTION 907.10 AND ADAMAS SECTION 4.8.
- A FIRE HYDRANT SHALL BE LOCATED WITHIN 150' OF THE FIRE DEPARTMENT CONNECTION (FIC). THE ROUTE IS TO BE MEASURED AS THE FIRE HOSE WOULD BE LAID OUT AND IS NOT MEASURED IN A CIRCLE AROUND THE FIRE HYDRANT, AND DOES NOT GO THROUGH WATER RETENTION BASINS, OVER WALLS OR SIMILAR OBSTRUCTIONS.
- THE MINIMUM NUMBER OF FIRE HYDRANTS SHALL NOT BE LESS THAN REQUIRED PER 2004 IFC APPENDIX B.5.C. THE MINIMUM REQUIRED FIRE FLOW IS 1500 (GPM) AT 20 (PSI) RESIDUAL PRESSURE.
- PLANS AND SPECIFICATIONS FOR FIRE SPRINKLER SYSTEMS EXCEEDING NINETEEN (19) HEADS SUBMITTED FOR REVIEW SHALL BE SEALED BY A QUALIFIED ARIZONA REGISTRANT IN FIRE SPRINKLER DESIGN. THE INSTALLING CONTRACTOR'S NAME, ADDRESS AND PHONE NUMBER ARE TO BE INCLUDED ON THE DRAWINGS AND CALCULATIONS SUBMITTED FOR REVIEW AND APPROVAL. "AS-BUILT" DRAWINGS WILL BE REQUIRED WHERE FIELD CHANGES ARE MADE TO THE DESIGNED DRAWINGS.
- FIRE SPRINKLERS SHALL BE INSTALLED IN ALL CONCEALED SPACES ENCLOSED WHOLLY OR PARTLY BY EXPOSED COMBUSTIBLE CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING, OR PORTION OF A BUILDING HEREFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THE IFC AND SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND EXTERIOR OF THE BUILDING OR FACILITY. THE ROUTE IS TO BE MEASURED AROUND THE BUILDINGS AS THE FIRE HOSE WOULD BE LAID OUT AND IS NOT MEASURED THROUGH INTERIOR OR COVERED WALKWAYS OR WATER RETENTION BASINS. THE ROUTE OF THE FIRE APPARATUS ACCESS ROAD SHALL BE APPROVED BY THE FIRE DEPARTMENT.
  - APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20 FEET (FC).
  - A MINIMUM VERTICAL CLEARANCE OF 15 FEET SHALL BE PROVIDED FOR THE APPARATUS ACCESS ROADS.
  - CONFIRM FIRE APPARATUS TURNING RADIUS OF 35 FEET INSIDE AND 55 FEET OUTSIDE (FC).
- FIRE LANES SHALL BE MARKED BY SIGNS PER T.O.G. DETAILS M63, AND/OR CURB PAINTED RED AND LABELED "FIRE LANE NO PARKING" PLACED NOT GREATER THAN 75' APART AT THE BEGINNING AND END OF DESIGNATED FIRE LANE.
- DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS OF TURNING THE APPARATUS AROUND.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE A MAXIMUM GRADE OF:
  - 0-6% GRADE, MIN 8" ABC AT 95% COMPACTION
  - 6-12% GRADE, MINIMUM 4" THK CONCRETE OR ASPHALT
  - THE MAXIMUM ANGLE OF APPROACH SHALL NOT EXCEED 8 DEGREES.
- AN APPROACH KEY BOX IS REQUIRED ON ALL COMMERCIAL STRUCTURES THAT CONTAIN OFF-SITE MONITORED FIRE SPRINKLERS. A FIRE ALARM SYSTEM OR WHEN ACCESS IS DIFFICULT AND WHERE IMMEDIATE ACCESS IS REQUIRED FOR LIFE-SAVING OR FIRE-FIGHTING PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS, AUTOMATIC FIRE EXTINGUISHING SYSTEMS, STANDPIPES AND THEIR APPURTENANCES SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.

**Revised Conditions Per DESIGN REVIEW BOARD**

7/11/09  
 Hearing Date  
 aw

DR04-22A  
 (DR09-23)  
 DR-02

**SITE PLAN - GRILL & CHILL RESTAURANT**



SCALE: 1"=20'-0"

03.11.04 MASTER SITE PLAN APPROVED UNDER DR04-22  
 08.18.06 DESIGN DEV. #DR06-96 1ST. SUBMITTAL

**GRILL & CHILL RESTAURANT**

HIGLEY MARKETPLACE, PAD 'E'  
 1696 N. HIGLEY ROAD  
 GILBERT, ARIZONA 85206

PROJECT #: 2006-014

SKD: r  
 104 N. 74th St.  
 Suite 100  
 Scottsdale, AZ 85258



Prepared For:  
**AQUILA ASSETS MANAGEMENT CORP.**

PH: 480-948-8053  
 FAX: 480-948-9227  
 www.skdc.com



**1 D/F MASONRY MONUMENT WITH EMC DISPLAY**

SCALE: 1/2"=1'

Description:

1 D/F (double face) masonry constructed monument with an EMC (electronic message center), with red illumination.  
 Monument to match existing materials and colors of existing monument signs. Illuminated DQ logo per required specs.

**CONCEPTUAL DRAWING**  
**NOT FOR PRODUCTION!**  
 SPECIFICATIONS MAY CHANGE!  
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**SUMMITWEST SIGNS** | 335 E. BASELINE ROAD GILBERT, AZ 85233 | phone. 480.926.3465 | facsimile. 480.926.7350 | james@summitwestsigns.com | File: 723665PRE01DairyQueenEMCV04.ai

COMPANY: CSI Dairy Queen

CLIENT: Wayne Call

SP: James Paddison

INSTALL INFO: -

PROOF OK AS IS  PROCEED WITH CHANGES AS MARKED  NEW PROOF REQUIRED

DATE: \_\_\_\_\_

Your signature acknowledges full approval of design layout and content, releasing SummitWest Signs from responsibility in regard to incorrect information and design. All colors, sizes, positions and specifications shown on this page are artistic concepts only and may vary as needed to facilitate fabrication and installation. Final colors will be matched as close as possible. Slight color variances are inevitable due to materials used. All designs are the sole property of SummitWest Signs, are ©copyright 2006 and may not be reproduced or used in any way without the written permission and consent of the copyright holder. Violators will be prosecuted.

DESIGNER	START DT	JOB NUMBER
KAT MAD	06/08/09 06/25/09	<b>723665</b>



Existing



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

Existing



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

New  
3' x 3'  
logo



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

Existing

SIGNAGE SHOWN AS CONCEPTUAL ONLY  
REQUIRES SEPARATE REVIEW AND APPROVAL

03.11.04 MASTER SITE PLAN APPROVED UNDER DR04-22  
08.18.06 DESIGN DEV. 1ST. SUBMITTAL

# GRILL & CHILL RESTAURANT

HIGLEY MARKETPLACE, PAD 'E'  
1696 N. HIGLEY ROAD  
GILBERT, ARIZONA 85206

ELEVATIONS  
APPROVED  
2/15/07  
DCB

Prepared For:  
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PROJECT #: 2006-014

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