

TOWN OF GILBERT

DESIGN REVIEW BOARD STAFF REPORT

AGENDA # 5

TO: DESIGN REVIEW BOARD
FROM: DAVID MARSH, PLANNER *DM*
DATE: JUNE 15, 2000
SUBJECT: DR00-67 GREENFIELD MEDICAL DENTAL COMPLEX- SIGN PACKAGE

PROJECT

DR00-67: Greenfield Medical / Dental Complex – Sign Package
NEC Guadalupe and Greenfield Roads
C-1: Light Commercial

APPLICANT/OWNER

Russell Weymiller
Deardorff, Pang & Weymiller Architects
3201 North 3rd Street
Phoenix, Arizona 85012
Fax: (602) 230-9100 Phone: (602) 230-7300

Steve Linnerson
Gilbert Medical Dental LLC
4667 S Lakeshore Drive
Tempe, AZ 85282
Phone: (480) 820-6657

REQUEST

Approval of a sign package for the Greenfield Medical Dental Complex proposed at the northeast corner of Guadalupe and Gilbert Roads.

HISTORY

- March 8, 1988:* The property was annexed to the Town.
- May 24, 1994:* The current General Plan was adopted. The Land Use Map designates the subject property as Low Residential, 0-3 dwelling units per acre.
- May 6, 1998:* The Planning & Zoning Commission recommended approval of GP98-1, the proposed General Plan Amendment to change the land use designation of the 13-acre property, located at the northeast corner of Guadalupe and Greenfield Roads, from Low Residential to Community Commercial.
- May 6, 1998:* The Planning & Zoning Commission recommended approval of (Z98-1), the proposal to rezone the 13-acre property from R1-43 (Rural) to C-1 (Neighborhood Commercial) and (SP422), the proposed Preliminary Site Plan.
- June 9, 1998:* The Town Council approved Resolution No. 1923 amending the Land Use Map of the General Plan per GP 98-1.

- June 9, 1998:* The Town Council approved Z98-1 & SP422, subject to conditions.
- September 15, 1998:* The Town Council approved SP480, Final Site Plan for Greenfield Medical / Dental Office Complex, subject to conditions.
- May 3, 2000:* The Planning & Zoning Commission recommended approval of SP644, the Final Site Plan for Greenfield Medical Dental Center Phase II, Lot 2, subject to conditions.
- May 11, 2000:* The Design Review Board approved DR00-55, the site plan, landscaping, lighting, preliminary grading and drainage, and building elevations for the Greenfield Medical Dental Center Phase II, Lot 2.
- June 6, 2000:* The Town Council approved SP644, the Final Site Plan for Greenfield Medical Dental Center Phase II, Lot 2, subject to conditions.

SITE DATA

PHASE I:

Net Lot Acreage:	5.27	Acres (229,659 Sq. Ft.)
Total Building Area:	32,684	Sq. Ft.
Lot Coverage	14.23%	
Parking:		
Required	217	Spaces
Provided	225	Spaces
Landscaping:		
Required	20,600	Sq. Ft. (10% of site)
Provided	63,320	Sq. Ft. (30% of site)

PHASE II:

Net Lot Acreage:	3.11	Acres (135,608 Sq. Ft.)
Total Building Area:	27,341	Sq. Ft.
Lot Coverage	20.16%	
Parking:		
Required	149	Spaces
Provided	157	Spaces
Landscaping:		
Required	13,561	Sq. Ft. (10% of site)
Provided	33,170	Sq. Ft. (24% of site)

PHASE III:

Net Lot Acreage: 4.69 Acres (204,154 Sq. Ft.)
 No development has been submitted for review on Phase III of this project at this time.

BACKGROUND / DISCUSSION

Phase I of the Greenfield Medical / Dental Complex is currently under development, and Phase II has recently been reviewed and approved by the Town Council and the Design Review Board. No development has been submitted for review on Phase III of this project at this time; however, the applicant has indicated to Staff that they will be developing the site as medical / dental offices, and will be submitting for development review in the near future.

As part of the review for the Design Review Board submittal for Phase II of this project, Staff requested that a comprehensive sign package be submitted for the entire site, which would permit

a more coordinated development of the project. In response, the applicant has submitted for Design Review Board's review and approval a sign package illustrating the entry monument signage for Phases I & II, and the directory and tenant signage for Phase II. Phase III signage will be submitted concurrently with the proposed architecture.

Entry Monument Signage:

The applicant has proposed entry monument signage for Phases I & II which integrates with the architectural elements and materials used on the buildings. The entry monument signage for Phase I will be integrated into the screening wall along Guadalupe Road, and utilizes the same curved metallic green roofing element utilized in the principle structure. The Phase II entry monument sign will feature the same linear elements as the main structure, and will be located on Greenfield Road. Both entry monument signs will utilize "canyon blend" founders block, and a split-face gray CMU cap, and will be illuminated by upward directed 28 Watt compact fluorescent lighting. Both signs have less than the maximum 40 square foot of signage permitted by the ULDC. A location for the entry monument sign for Phase III has been proposed; however, the applicant has indicated that they will bring forth the proposal for this sign concurrent with the architecture for Phase III.

Directory Signage:

Two directory signs have been proposed for Phase II of the complex, each possessing 23 square feet of signage. The signs, to be located on the south and north sides of the building, will feature a gray CMU face, a split-face gray CMU cap, stainless steel panel with 3/4" returns, and will be illuminated by upward directed 28 Watt compact fluorescent lighting.

Phase II Tenant Signage:

The applicant has also proposed tenant signage for Phase II of the complex as part of this sign package. Each of the individual office tenants would have approximately five square feet of text signage, consisting of 6" high black numbering and applied vinyl text on 3/4" returns, mounted on a brushed stainless steel panel. A single 16 square foot sign has been proposed for one tenant on the south side of Building A. The sign will feature 'patina green' individual pan channel letters with a translucent acrylic face, and neon internal illumination. The applicant's exhibit indicates that a variance will be required for the placement of this sign; however, per interpretations of the ULDC sign requirements issued by the Planning Director (October 21, 1998 and November 8, 1999), signage for tenants that do not front onto a public street shall each be allowed 0.5 square feet of signage per-linear foot of the building elevation facing the street; hence, a variance is not required.

STAFF RECOMMENDATION

Staff recommends approval of DR00-67, the Greenfield Medical Dental Complex Sign Package, subject to the following stipulations:

1. There shall be a minimum distance of 300' between monument signs.
2. All entry monument, directory, and tenant signage proposed for any future phase shall be submitted for review and approval by the Design Review Board.
3. Internally illuminated signs shall not be permitted on the north elevation of Phases I & II.

Attachments:

- Exhibit A: Site Plan and Monument Sign Location
- Exhibit B: Monument Sign for Phase I

- Exhibit C: Monument Sign for Phase II**
- Exhibit D: Directory Signs for Phase II**
- Exhibit E: Tenant Identification Sign Locations – Phase II**
- Exhibit F: Tenant Identification Signs – Phase II**
- Exhibit F: Lighting Cut-Sheets and Lighting Placement**

**GREENFIELD & GUADALUPE
MEDICAL/ DENTAL COMPLEX**

ZONING C-1

SITE AREAS:

- PARCEL A: 2.74 AC/184,684 SQ. FT. GROSS
3.04 AC/182,422 SQ. FT. NET
- PARCEL B: 5.27 AC/229,659 SQ. FT. GROSS
4.75 AC/208,778 SQ. FT. NET
- PARCEL C: 3.27 AC/185,829 SQ. FT. GROSS
3.11 AC/185,009 SQ. FT. NET

PARCEL A: FUTURE MEDICAL BUILDING 27,500 SQ. FT. NET.
PARKING REQUIRED @ 1175'-157 SPACES
PARKING PROVIDED @ 1175'-157 SPACES

PARCEL B: EXISTING MEDICAL BUILDING AREA: 22,000 SQ. FT.
PARKING PROVIDED @ 11142'-225 SPACES

PARCEL C: FUTURE MEDICAL BUILDINGS 28,140 SQ. FT. NET
PARKING REQUIRED @ 11818'-188 SPACES
PARKING PROVIDED @ 11818'-188 SPACES

TOTAL PARKING REQUIRED FOR PARCELS A, B & C = 488
TOTAL PARKING PROVIDED FOR PARCELS A, B & C = 540

LANDSCAPE ON SITE:

PARCEL A: REQUIRED 10% = 13,242 SQ. FT.
PROVIDED 24% = 31,400 SQ. FT.

PARCEL B: REQUIRED 10% = 20,800 SQ. FT.
PROVIDED 30% = 68,320 SQ. FT.

PARCEL C: REQUIRED 10% = 13,981 SQ. FT.
PROVIDED 28% = 31,770 SQ. FT.

TOTAL LANDSCAPE REQUIRED ON SITE = 47,403 SQ. FT.
TOTAL LANDSCAPE AREA PROVIDED ON SITE = 132,490 SQ. FT.

**Pang
Deardorff &
Weymille**
ARCHITECTS INC.

Job No: 9911

Date: 2-29-2000

Drawn By: J.D.M.

Checked By: S.P.

PRELIMINARY
NOT FOR
CONSTRUCTION
OR RECORDING

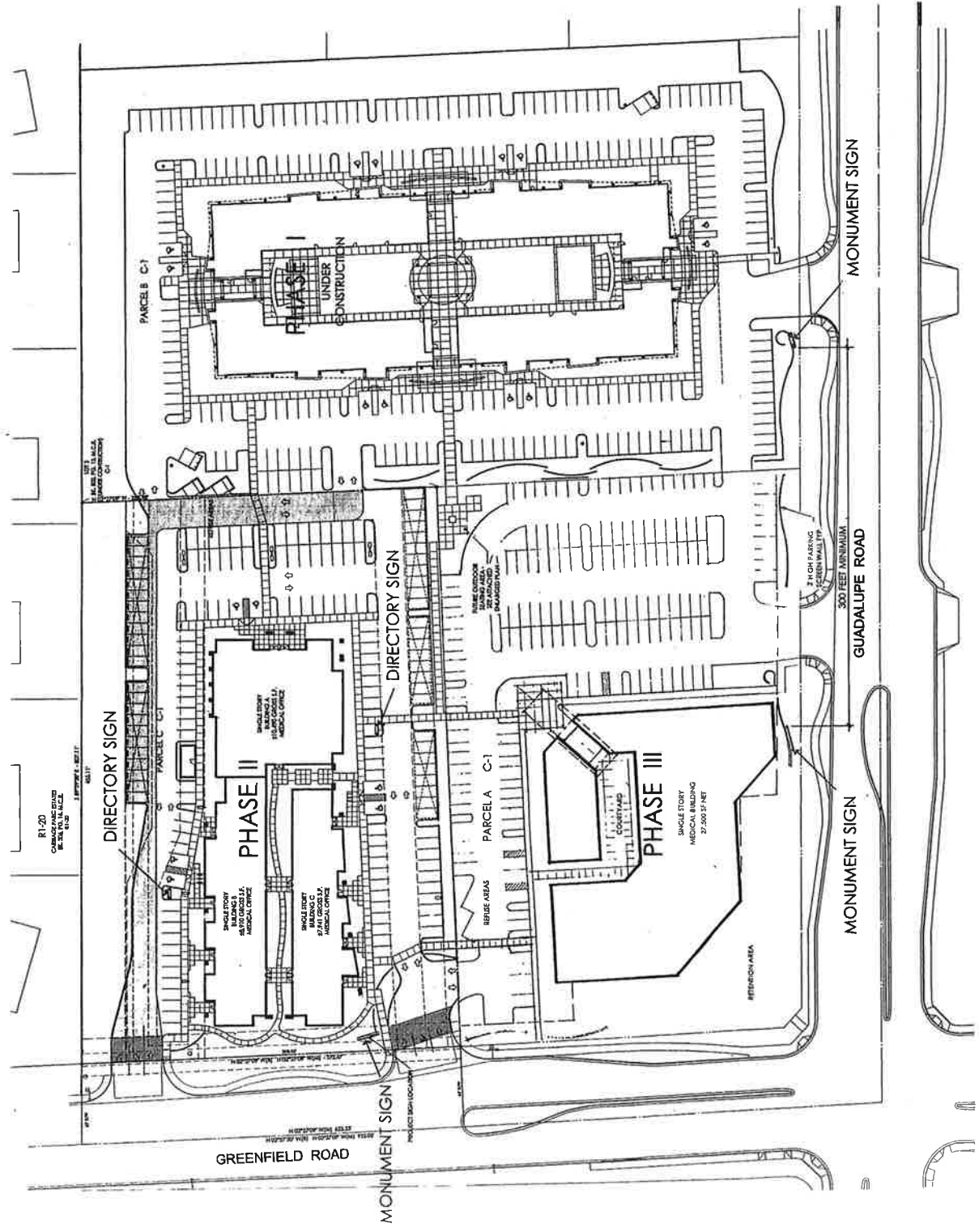


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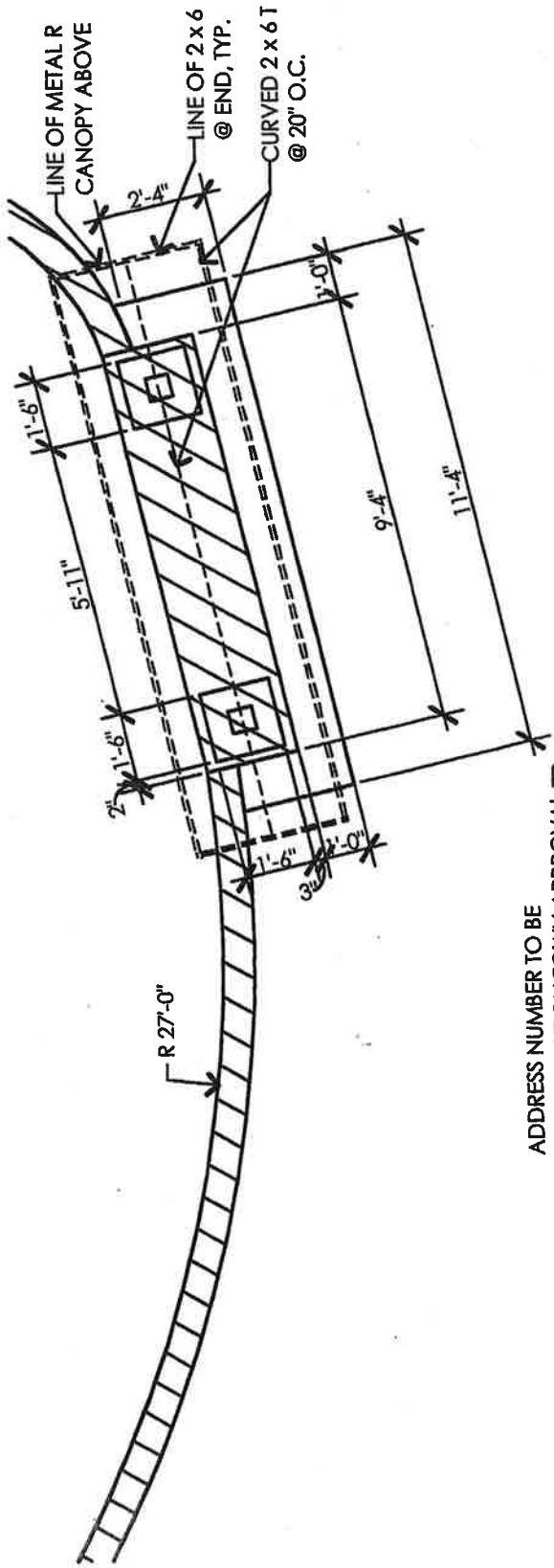
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Phoenix, AZ 85012 (602) 255-7500



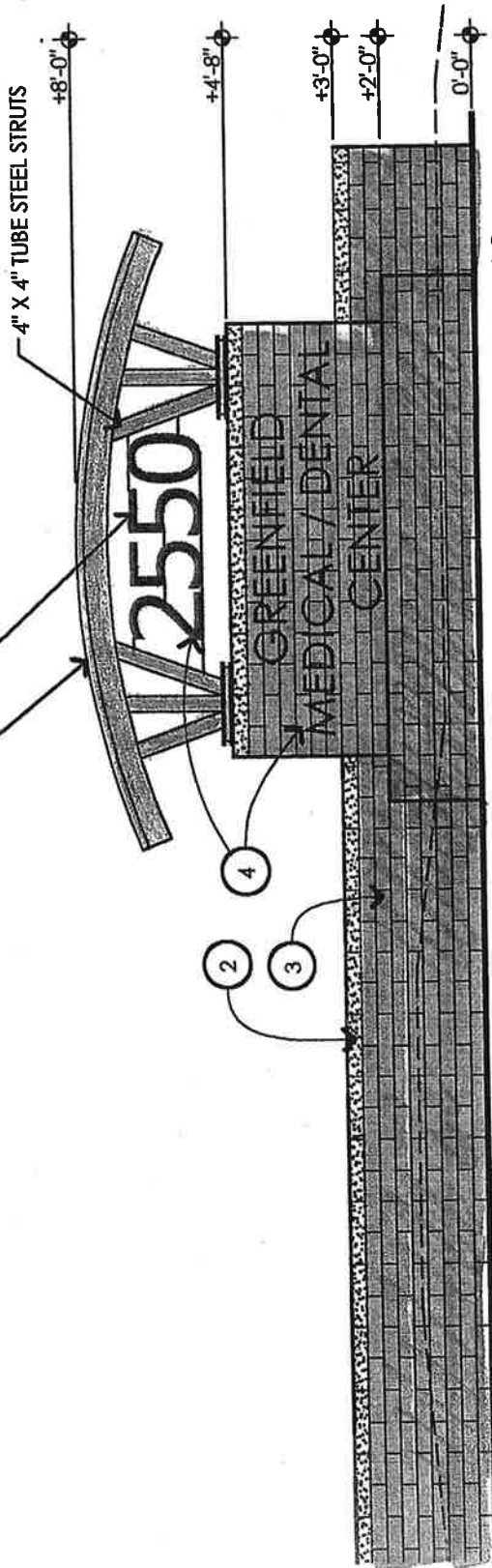
OVERALL SITE PLAN
SHEET 1 OF 2

DR00-67 TO DR 6/15/00



ADDRESS NUMBER TO BE
ASSIGNED UPON TOWN APPROVAL

METAL ROOF PANEL SYSTEM



MATERIALS

- 1 REGULAR GREY CMU
- 2 SPLIT-FACE GREY CMU CAP
- 3 FOUNDERS BLOCK "CANYON BLEND"
- 4 DIMENSIONAL LETTERS (BLACK)
- 5 No. 4 STAINLESS STEEL SIGN PANEL WITH 3/4" RETURNS

MONUMENT SIGN TEXT FONT: AVANT GARDE MEDIUM
SCALE: 1/4" = 1'-0"

PHASE I

Pang Deardorff & Weymille
ARCHITECTS INC

Job No: 9911
Date: 4-11-00
Drawn By: R.S.F.
Checked By: S.P.

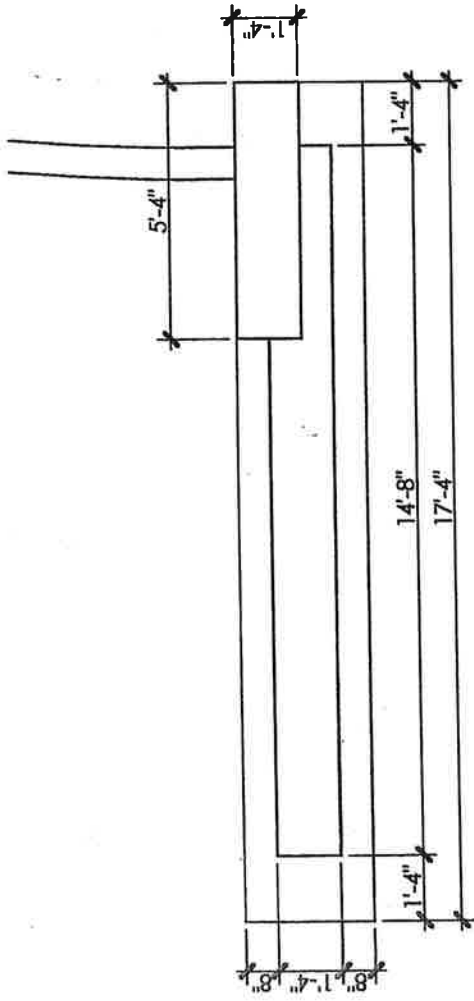
CONTRACTOR: PANG DEARDORFF & WEYMILLE, INC.
ADDRESS: 1000 N. GARDEN AVENUE, SUITE 100, GARDEN CITY, ARIZONA 85012
PHONE: (602) 250-7300
FAX: (602) 250-7300
WWW.PANGDEARDORFF.COM

Revisions: Sheet

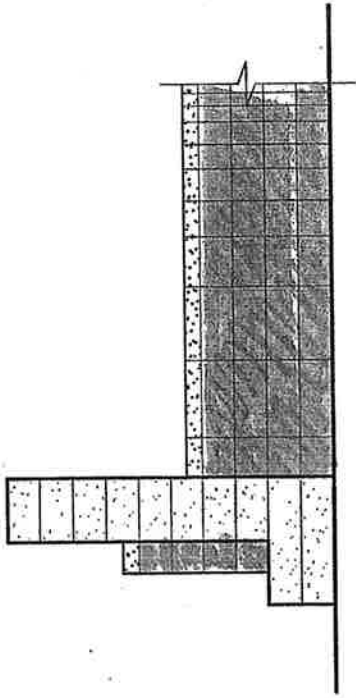
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Phoenix, AZ 85012 (602) 250-7300

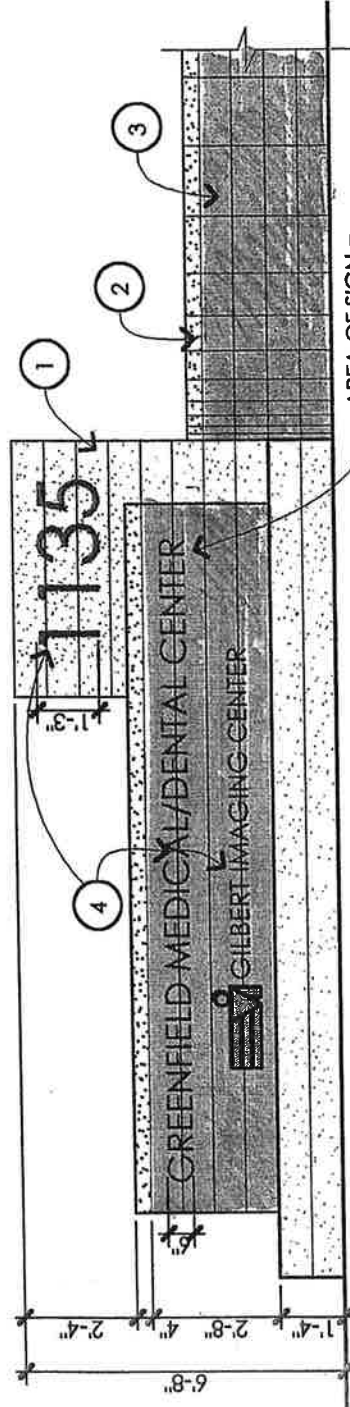
DR00-67 TO DR 6/15/00



PLAN VIEW



SIDE ELEVATION



FRONT ELEVATION

MONUMENT SIGN TEXT FONT: AVANT GARDE MEDIUM
SCALE: 1/4" = 1'-0"

MATERIALS

- 1 REGULAR GREY CMU
- 2 SPLIT-FACE GREY CMU CAP
- 3 FOUNDERS BLOCK "CANYON BLEND"
- 4 DIMENSIONAL LETTERS AND NUMERALS COLOR: TO MATCH BERRIDGE "PATINA GREEN"

PHASE II

Pang
Deardorff & Weymiller

ARCHITECTS INC.

Job No: 9911

Date: 4-11-00

Drawn By: R.S.F.

Checked By: S.P.

CONTRACT FOR MASONRY FROM A RETAILER, INC.
MASONRY AND FOUNDATIONS AN INSTRUMENT OF SERVICE HAS BEEN
ISSUED TO THE CLIENT BY THE ARCHITECTS INC. ON BEHALF OF THE
PROFESSIONAL MASONRY CONTRACTORS ASSOCIATION. THIS CONTRACT IS
FOR THE MASONRY WORK ONLY AND DOES NOT INCLUDE THE COST OF
FOUNDATION MATERIALS OR OTHER MATERIALS NOT LISTED IN THE
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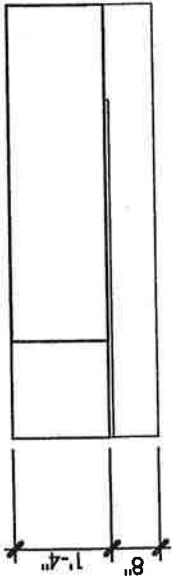
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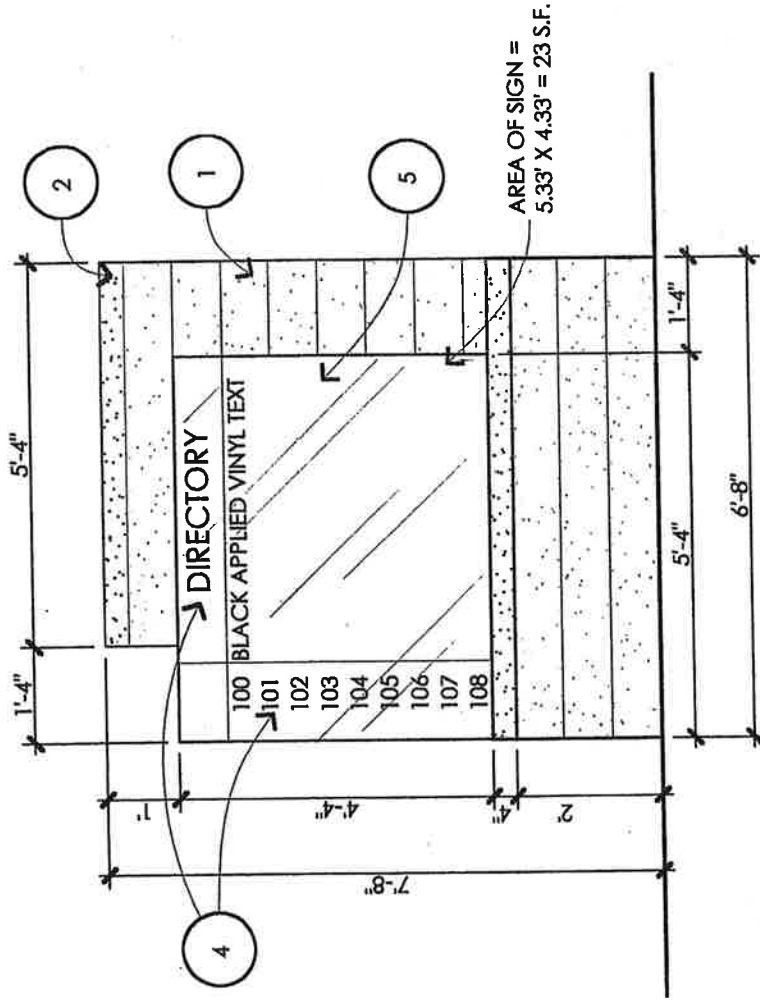
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Phoenix, AZ 85012 (602) 231-7300

DR00-67 TO DR 6/15/00



PLAN VIEW



FRONT ELEVATION

DIRECTORY SIGN (TYPICAL OF 2) TEXT FONT: AVANT GARDE MEDIUM
 SCALE: 3/8" = 1'-0"

PHASE II

MATERIALS

- 1 REGULAR GREY CMU
- 2 SPLIT-FACE GREY CMU CAP
- 3 FOUNDERS BLOCK "CANYON BLEND"
- 4 DIMENSIONAL LETTERS (BLACK)
- 5 No. 4 STAINLESS STEEL SIGN PANEL WITH 3/4" RETURNS

Pang
Deardorff & Weymiller
 ARCHITECTS INC

Job No: 9911

Date: 4-6-00

Drawn By: R.S.F.

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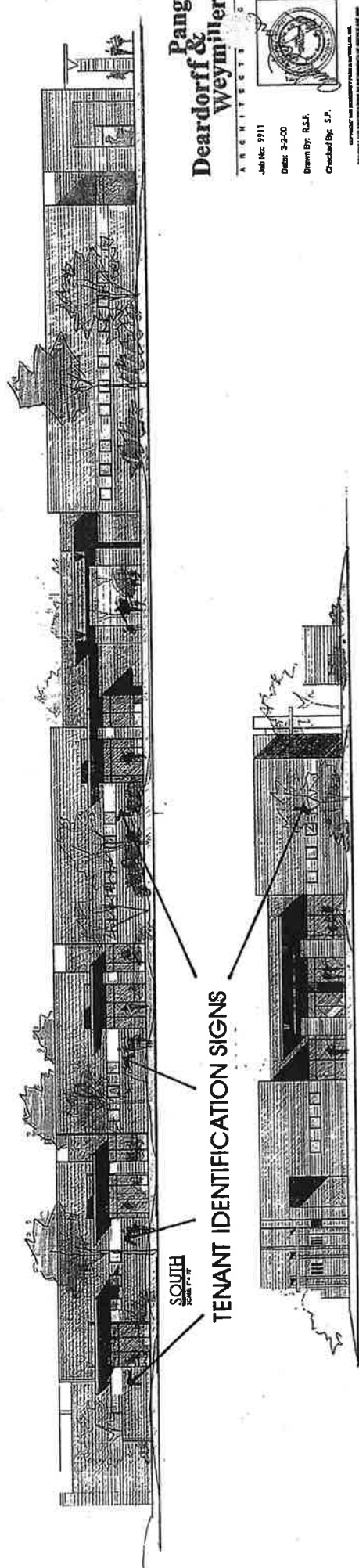
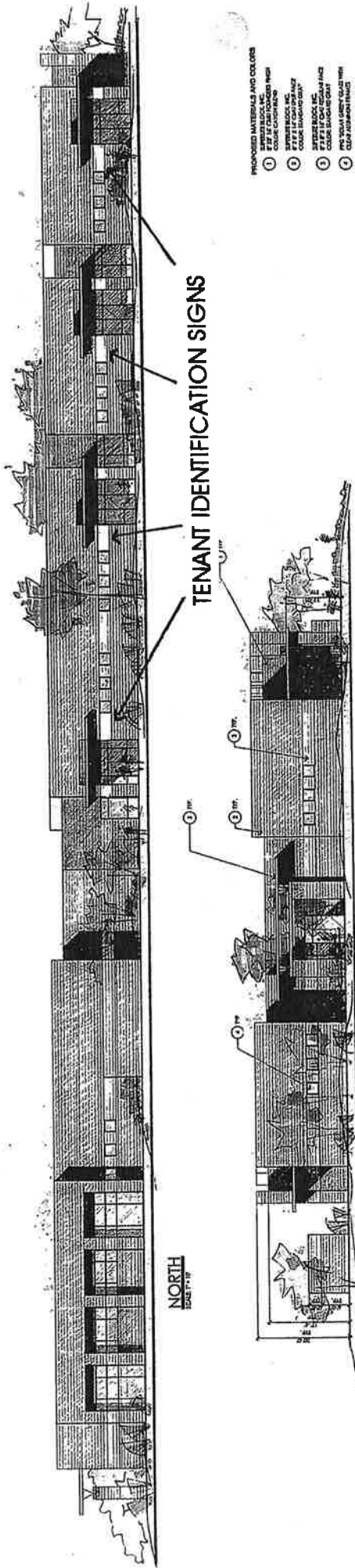
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File Name:

GREENFIELD
MEDICAL/DENTAL CENTER
PHASE II



Pang
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Weymiller
ARCHITECTS

Job No: 9911
Date: 3-2-00
Drawn By: R.S.P.
Checked By: S.P.

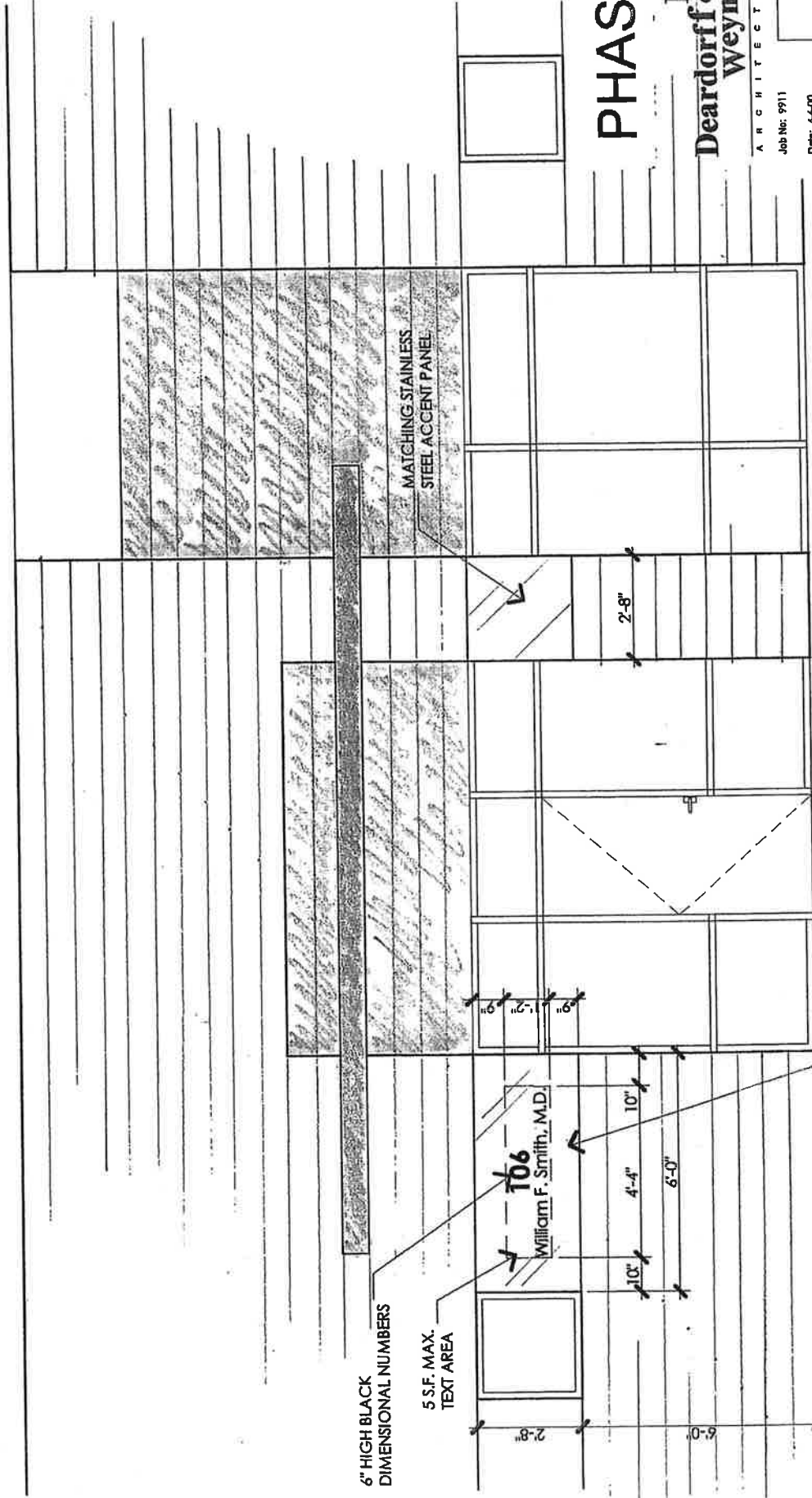


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Revisions:

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File Name:
Project:
Address: 3201 North 3rd Street
Phone: (602) 258-7300



PHASE II

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Job No: 9911
 Date: 4-4-00
 Drawn By: R.S.F.
 Checked By: S.P.

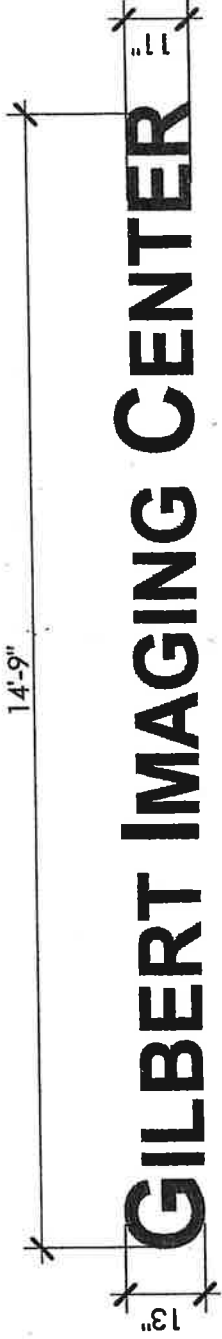
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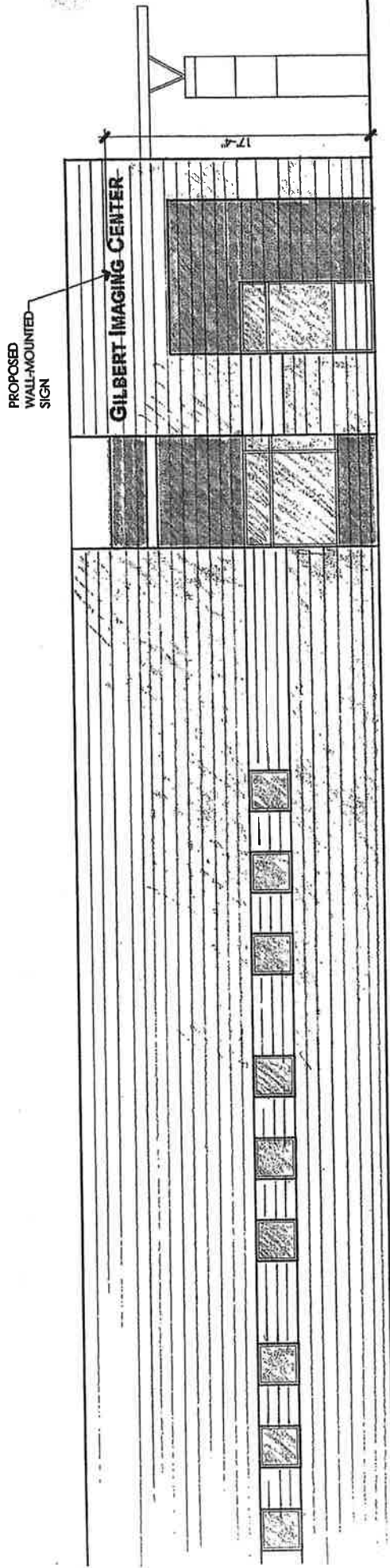
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 3701 north 3rd street
 phoenix, az 85012 (602) 230-7390

TENANT IDENTIFICATION SIGNAGE - TYPICAL

SCALE: 1/4" = 1'-0"



WALL MOUNTED SIGN
N.T.S.



BUILDING A SOUTH ELEVATION
SCALE: 1" = 10'-0"

ALLOWABLE AREA PER FRONTAGE: ±120 FT. X .5 = 60 S.F.
MAX. ALLOWABLE PER ORDINANCE: 16 S.F.
AREA PROPOSED: 16 S.F.

SIGN SPECIFICATIONS: INDIVIDUAL PAN CHANNEL LETTERS OF BRUSHED STAINLESS STEEL, WITH TRANSLUCENT ACRYLIC FACES TO MATCH BERRIDGE "PATINA GREEN", NEON INTERNAL ILLUMINATION, FONT: "FRITZ".

NOTE: VARIANCE REQUIRED FOR SIGN LOCATION.

Pang
Deardorff & Weymille
ARCHITECTS INC.

Job No: 9911
Date: 4-11-00
Drawn By: R.S.F.
Checked By: S.P.

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