

GREENFIELD COMMONS

COMPREHENSIVE SIGN PLAN

April 26, 2006

Banfield Properties, LTD.

975 Willagillespie Rd., Suite 201

Eugene Oregon 97401

Michael Ryan



YESCO.

YOUNG ELECTRIC SIGN COMPANY
PHOENIX DIVISION

APPROVED PLANS
ADMINISTRATIVE DESIGN REVIEW

Dec. 11, 2006

B

STANDARDS

All signs at Greenfield Commons must be legible and compatible with the standards outlined in this section and the associated exhibits. The primary purpose of the sign standards is to ensure all signage is consistent and integrated with the center architectural character and designed in a manner that will not create a nuisance or diminish the visibility or value of other Parcels. These guidelines are outlined throughout this sign plan as well as in Exhibits. Conformance will be strictly enforced, and any installed, nonconforming or unapproved signs will be brought into conformance at the sole expense of the tenant.

GENERAL REQUIREMENTS

The Town of Gilbert to review all signs that shall be intended to be installed at Greenfield Commons for conformance of sign standards. The landlord must review all signs that shall be intended to be installed at Greenfield Commons for conformance of sign standards. All tenants at Greenfield Commons will receive a copy of these sign standards before designing signs. Plans must be approved in writing by Town of Gilbert and the landlord prior to the commencement of installation.

GREENFIELD COMMONS



SIGN STANDARDS & REQUIREMENTS

*... Each tenant must submit to the landlord to (2) sets of detailed drawings of all signs at least 15 days prior to submitting for the Town of Gilbert sign permits.

*... After reviewing the drawings, the landlord will return one (1) set of the drawings marked either, "Approved", "Approved as Noted" or "Revise and Resubmit".

*... **Approved** : The tenant shall be approved by the landlord to proceed with Town of Gilbert sign permit process and construction / installation. The tenant shall be responsible for compliance with Town of Gilbert permit approval.

*... **Approved as Noted** : The tenant must make any revisions noted on drawings before proceeding with Town of Gilbert sign permit process and construction / installation.

*... **Revise and Resubmit** : The tenant must make any revisions noted on drawings and resubmit two corrected sets of corrected drawings to the landlord for approval. Upon landlord's final approval, the tenant shall proceed with Town of Gilbert sign permit process and construction / installation.

*... Sign content shall be restricted to the identification of business or services located within Parcel.

*... All signs shall be constructed of durable and long lasting materials.

*... All hardware, including screws nails and other fasteners shall be made of non-corrosive materials.

PROHIBITED SIGNS

- *... No signs shall be painted on the surface of any building or structure.
- *... No signs shall be placed or located on the roof or above the roof line of any building.
- *... Signage to be installed in designated sign band area only.
- *... Animated, flashing, blinking, audible, placard, poster, playbill, posting, painting, change-panel, flag, fixed balloon, rotating light, A-frame, moving or rotating signs shall not be permitted.
- *... Signs shall not be placed on or attached to any vehicle except for signs painted directly on the surface of the vehicle and meeting all applicable government requirements. The primary use of such vehicles shall be in connection with the operation of a business on a parcel and not advertising or identifying the business premises.

FREESTANDING SIGN

- *... One (1) Multi-tenant, double Faced, internally illuminated monument sign is provided for entire Greenfield Commons Development .
- *... Each tenant panel is flush mounted with routed-out graphics and backed-up with Acrylic.
- *... Tenant panel quantity, location and design to be approved by the Landlord.

WALL SIGNS

The design of all wall signs shall be subject to the review & approval of the landlord and the Town of Gilbert.

*... All wall signs must be non-illuminated.

*... Wall signs are to be constructed of individual, reverse pan channel letters unless size of graphics are too small and then .125 alum. Flat-cut-out letters will be permitted.

*... Individual, reverse pan channel letter returns must be 3" deep with letter faces and returns to be painted satin black.

*... Trade Marks and Registered "®" Marks shall be painted, flat cut out aluminum with first surface vinyl decoration. Mount flush to the wall surface.

*... Wall signs shall not exceed 24" in height for one line of copy, with 4" minimum space between double lines of copy, and minimum of 6" high copy for any second line of copy. Note: The maximum overall height of (2) two lines of copy shall not to exceed 24".

*... All wall signs shall be installed within the signage bands as shown on exhibits.

*... The overall size of the sign is not to exceed 80% of the horizontal and vertical dimensions of the sign band or wall space as provided for signage.

*... Sign area not to exceed 1 sq. Ft. Per each business front foot, unless building is set back at least 75' from the Right-of-way. Then sign area not to exceed 1.5 sq. Ft. Per each business front foot. Tenants may have a minimum of 32 SF of sign area, permitted that signs fit within their respective sign bands.

GREENFIELD COMMONS



BUILDING ADDRESS IDENTIFICATION

Each building shall have addressing as determined by the Town of Gilbert Fire Marshal.

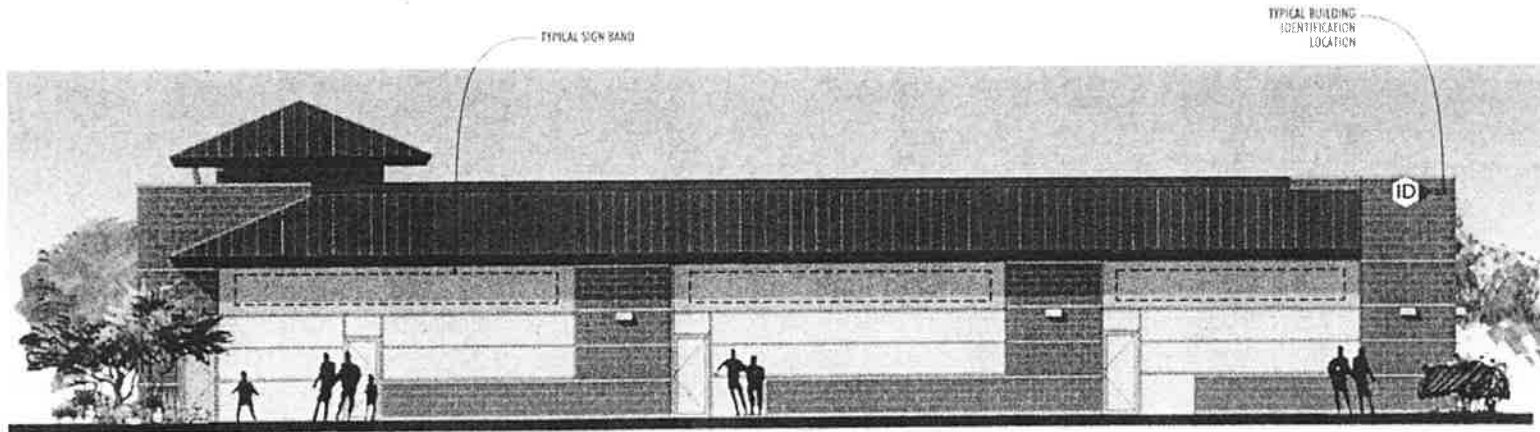
- *... All building address letters/numerals shall be fabricated of reverse pan channel aluminum with 1" deep returns.
- *... All address letters/numerals shall be painted black, satin finish.
- *... All address letters/numerals shall mount flush to the wall surface.

WINDOW SIGNS OR GRAPHICS

Glass areas of business fronts and offices may contain graphics indicating business name, address, or suite number, hours of operation, emergency phone numbers, logos, etc. (see Exhibit) Subject to the following:

- *... Total copy area must not exceed the 25% of total window area or 144 square inches for each tenant.
- *... Such information shall be white vinyl and installed on the first surface of one window panel only.
- *... Style of letters may be in compliance with established tenant corporate Identification.
- *... Lettering shall be subject to approval by the landlord.

EXHIBIT A
BUILDING SIGN BAND
TYPICAL



TYPICAL BUILDING ELEVATION - SIGN LOCATIONS

SIGN BAND DEFINITION

THE SIGN BAND IS THE FLAT RECTANGULAR WALL SPACE UNOBSTRUCTED BY DIMENSIONAL ARCHITECTURAL FEATURES (SEE TYPICAL ELEVATION ABOVE). ALL SIGNAGE SHALL BE LOCATED WITHIN THE SIGN BAND. ALL TENANT SIGNAGE PHYSICAL AREA DIMENSIONS SHALL BE 20% LESS (VERTICAL AND HORIZONTAL) THAN THE SIGN BAND.

BUILDING IDENTIFICATION

ALL BUILDINGS SHALL HAVE ONE BUILDING IDENTIFICATION PER BUILDING. EACH ADDRESS CHARACTER SHALL BE 1" DEEP REVERSE CHANNEL ALUMINUM PAINTED BLACK, SATIN FINISH THE CHARACTER HEIGHT SHALL BE 6" (SEE EXHIBIT H).

BUILDING WALL SIGN STANDARDS

ALL SIGNS SHALL BE PLACED WITHIN A SIGN BAND. NOT MORE THAN ONE OCCUPANT SIGN MAY BE PLACED IN EACH SIGN BAND. WALL SIGNS SHALL BE RESTRICTED TO IDENTIFYING THE PERSON, FIRM, CORPORATION OR THE PRODUCTS AND/OR SERVICES OFFERED SPECIFICALLY AT THIS LOCATION. ALL SIGNS SHALL COMPLY WITH THE FOLLOWING:

1. SIGN AREA FOR EACH OCCUPANT WALL SIGN SHALL BE LIMITED TO A MAXIMUM OF THE SIGN BAND SHOWN.
2. OCCUPANT MAY OCCUPY A MAXIMUM OF 3 SIGN BANDS, SUBJECT TO PROPERTY MANAGER APPROVAL.
3. PROPERTY MANAGER TO APPROVE SIGN BAND FOR EACH OCCUPANT.
4. OCCUPANT OCCUPYING A CORNER LOCATION MAY BE GRANTED A SECOND SIGN SPACE SUBJECT TO PROPERTY MANAGER APPROVAL.
5. ALL SIGNS TO BE NON-ILLUMINATED.

6. SIGNS CONSTRUCTED OF ALUMINUM. FLAT CUT OUT 1/2" ALUMINUM INDIVIDUAL LETTERS (SEE EXHIBIT G) AS APPROVED BY PROPERTY MANAGER.

7. LETTERS SHALL BE STUD MOUNTED FLUSH TO THE WALL.

8. NO EXPOSED HARDWARE OR FASTENERS ALLOWED.

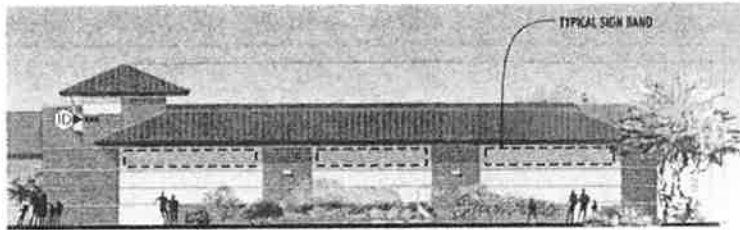
9. ALL EXTERIOR BOLTS, FASTENERS, CLIPS OR OTHER HARDWARE SHALL BE OF HOT-DIPPED GALVANIZED IRON OR STAINLESS STEEL. NO BLACK IRON MATERIALS OF ANY TYPE SHALL BE PERMITTED.

10. LETTER COLOR SHALL BE BLACK, SATIN FINISH.

11. ALL PENETRATIONS OF THE BUILDING SHALL BE NEATLY SEALED AND KEPT IN A WATERTIGHT CONDITION. BUILDING PENETRATIONS SHALL BE MINIMIZED. UPON REMOVAL OF ANY SIGN, THE FASCIA SHALL BE RESTORED TO THE TEXTURE, COLOR AND FINISH OF THE SURROUNDING WALL AREA AT THE OCCUPANT'S EXPENSE.

12. THE PROPERTY MANAGER RESERVES THE SOLE RIGHT TO INTERPRET, ENFORCE AND ADMINISTER THE TERMS AND CONDITIONS OF THE COMPREHENSIVE SIGN PLAN AND ALL RELATED DOCUMENTS AND POLICIES.

EXHIBIT B
BUILDING A
SIGN BAND
LOCATIONS



BUILDING "A" - EAST ELEVATION



BUILDING "A" - WEST ELEVATION



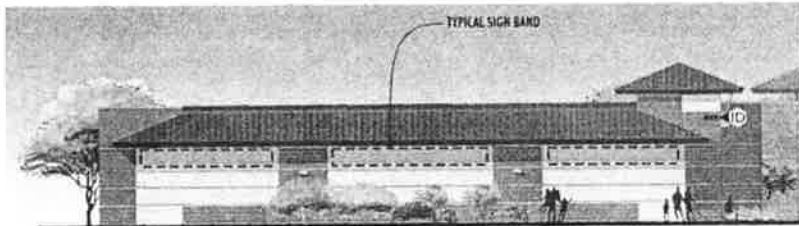
BUILDING "A" - NORTH ELEVATION



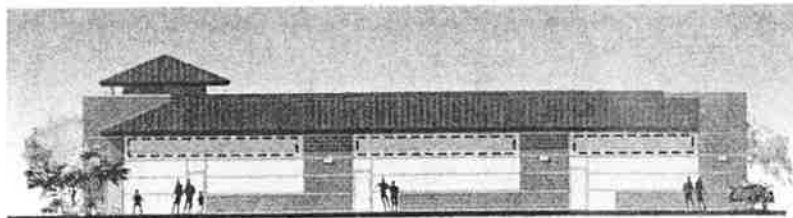
BUILDING "A" - SOUTH ELEVATION

GREENFIELD COMMONS

EXHIBIT C
BUILDING B
SIGN BAND
LOCATIONS



BUILDING "B" - EAST ELEVATION



BUILDING "B" - WEST ELEVATION



BUILDING "B" - NORTH ELEVATION



BUILDING "B" - SOUTH ELEVATION



NOTICE OF DECISION

December 11, 2006

Mr. Josh Goins
3725 W. Chicago St.
Chandler, AZ 85226

RE: Administrative Design Review (DR02-23/PDA-2006-00069) Administrative Amendment to the Comprehensive Sign Package for Greenfield Commons

Dear Mr. Goins:

Staff has reviewed your application for Administrative Design Review for the amendment to the existing sign package for the Greenfield Commons office project that includes a CVS drugstore. The sign plan narrative and exhibits adequately depict the proposed signage and meet sign code requirements as outlined in Section 4.4 of the Land Development Code. Staff has made the following findings when reviewing this request:

1. The project is consistent with applicable design guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provision of public services.

Based on these findings, staff has approved your request with the following condition:

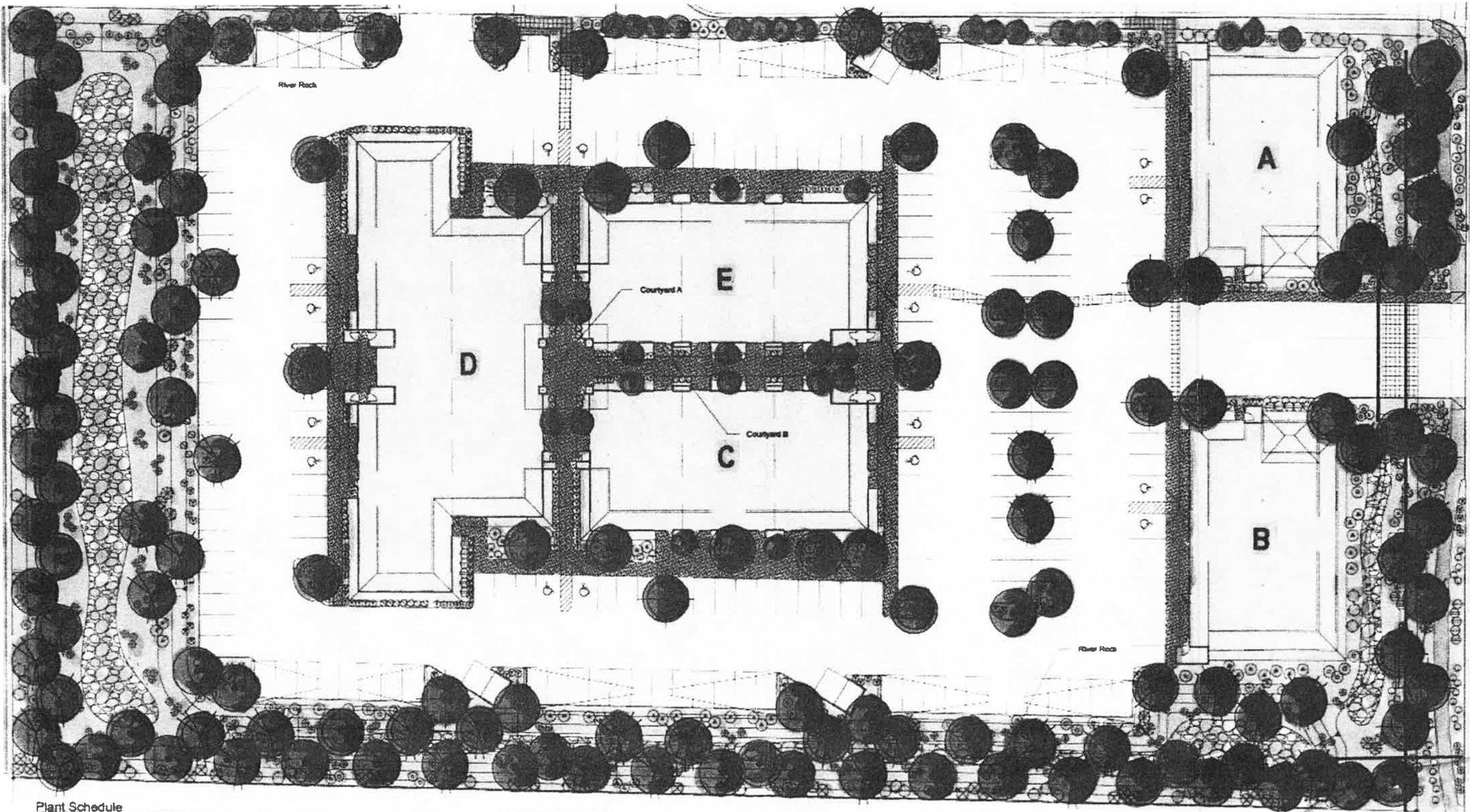
1. Construction of the project signage shall conform with the exhibits submitted for this request and dated December 11, 2006.

If you have any questions regarding these findings or require additional information please contact me at (602) 326-0581.

Sincerely,

A handwritten signature in black ink that reads "Jason Sanks". The signature is written in a cursive, flowing style.

Jason Sanks
Contract Planner
Town of Gilbert



Plant Schedule

Symbol	Botanical Name	Common Name	Size	Quantity	Location	Planting Notes

12/11 25

APPROVED PLANS
ADMINISTRATIVE DESIGN REVIEW

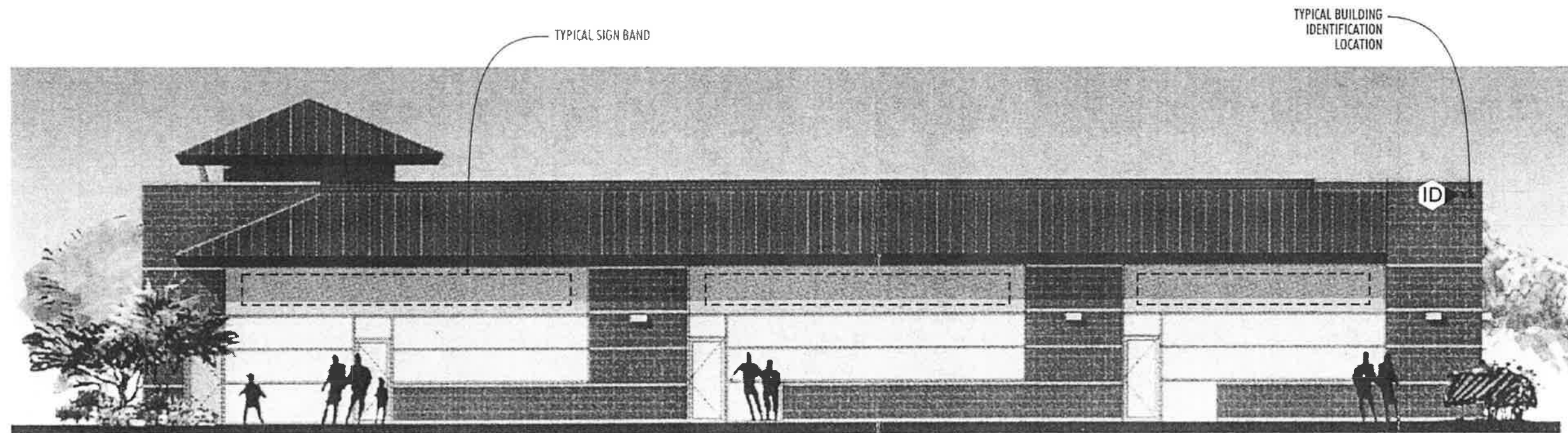
SITE PLAN - SIGN LOCATIONS



SCALE: NTS

DR02-23 / DR03-65 (9/8/06) Sign

GREENFIELD COMMONS



TYPICAL BUILDING ELEVATION - SIGN LOCATIONS

SCALE 1" = 10'-0"

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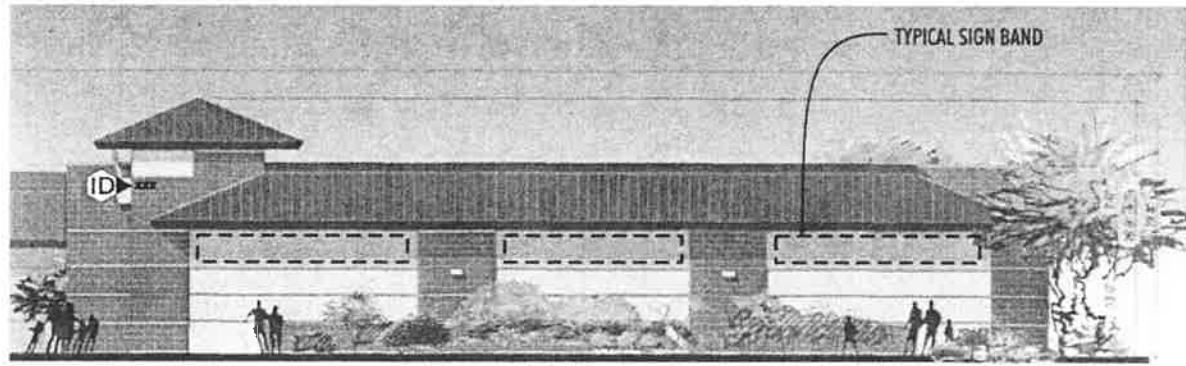
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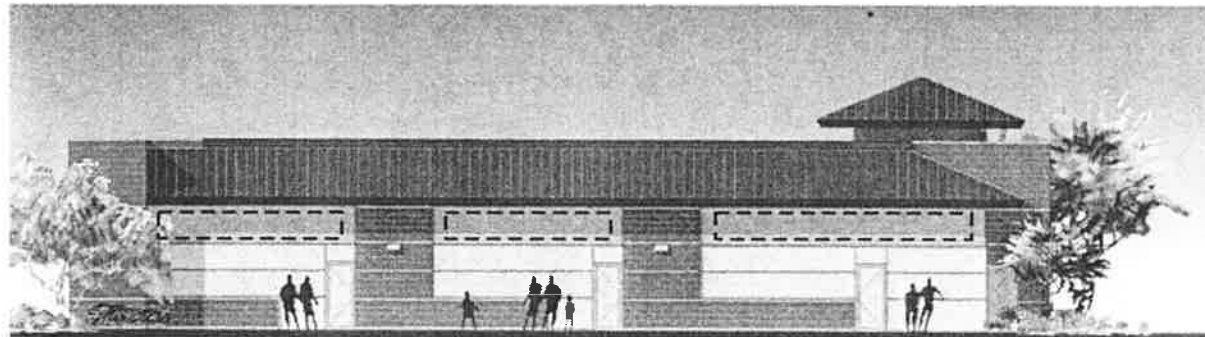
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6. SIGNS CONSTRUCTED OF ALUMINUM, FLAT CUT OUT .125 ALUMINUM INDIVIDUAL LETTERS (SEE EXHIBIT G) AS APPROVED BY PROPERTY MANAGER.
7. LETTERS SHALL BE STUD MOUNTED FLUSH TO THE WALL.
8. NO EXPOSED HARDWARE OR FASTENERS ALLOWED.
9. ALL EXTERIOR BOLTS, FASTENERS, CLIPS OR OTHER HARDWARE SHALL BE OF HOT-DIPPED GALVANIZED IRON OR STAINLESS STEEL. NO BLACK IRON MATERIALS OF ANY TYPE SHALL BE PERMITTED.
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BUILDING "A" - EAST ELEVATION

SCALE 1" = 20'-0"



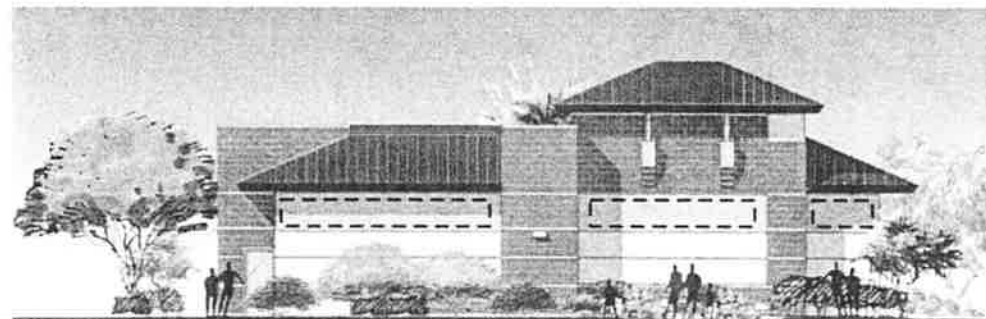
BUILDING "A" - WEST ELEVATION

SCALE 1" = 20'-0"



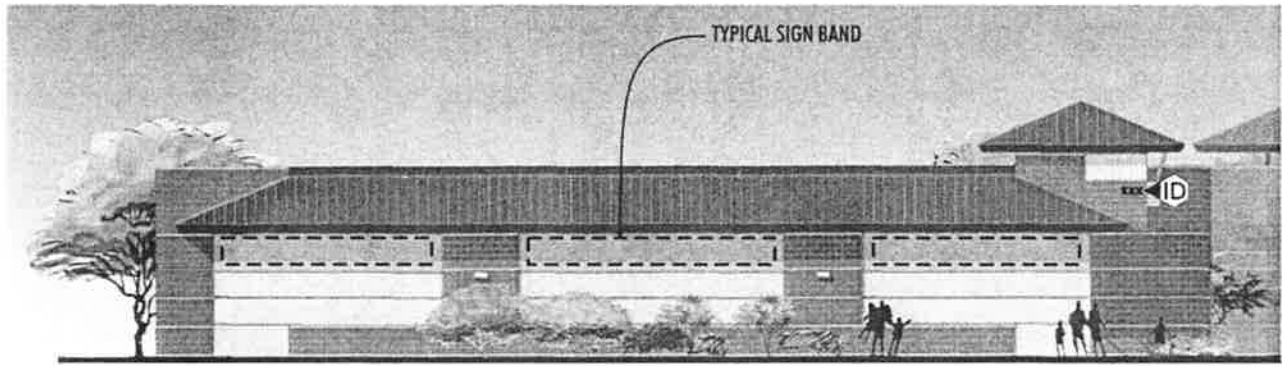
BUILDING "A" - NORTH ELEVATION

SCALE 1" = 20'-0"

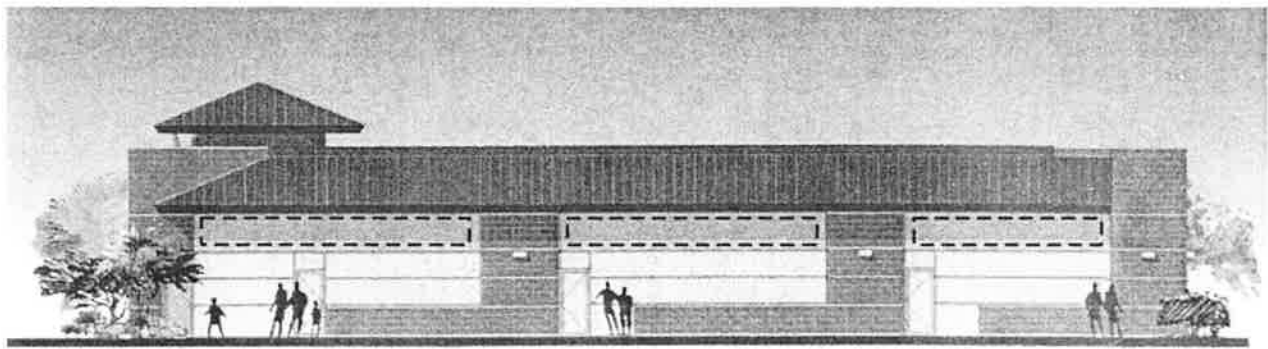


BUILDING "A" - SOUTH ELEVATION

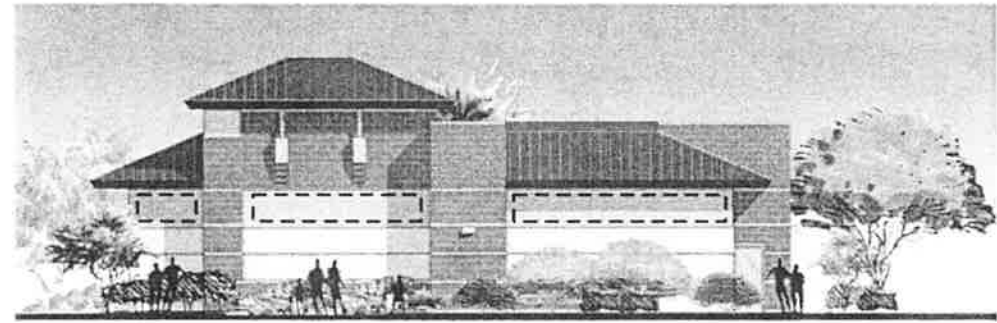
SCALE 1" = 20'-0"



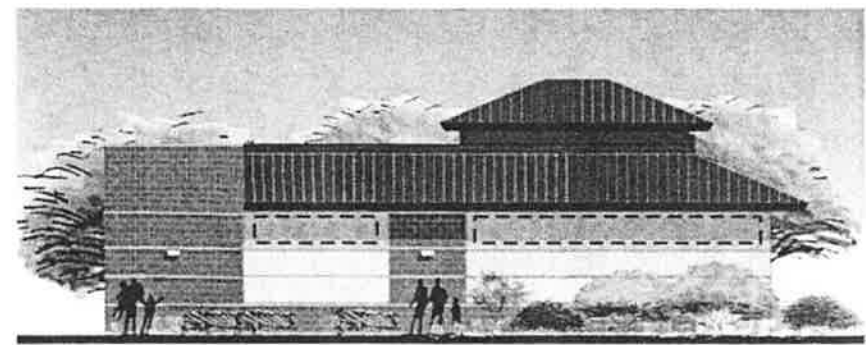
BUILDING "B" - EAST ELEVATION
SCALE 1" = 20'-0"



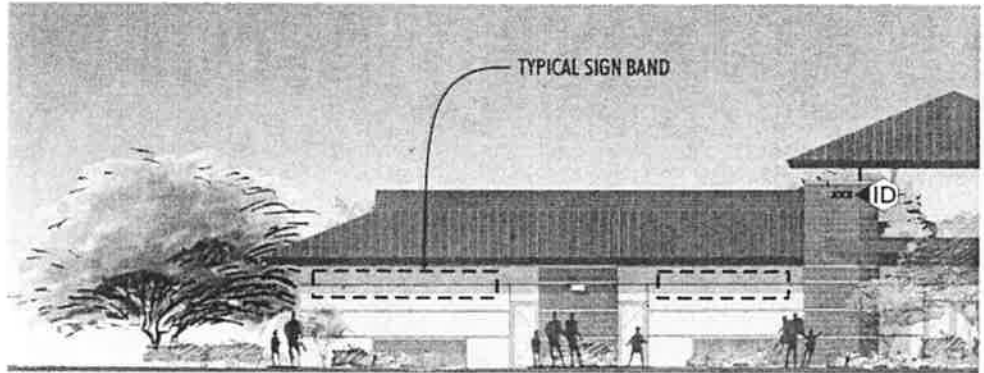
BUILDING "B" - WEST ELEVATION
SCALE 1" = 20'-0"



BUILDING "B" - NORTH ELEVATION
SCALE 1" = 20'-0"

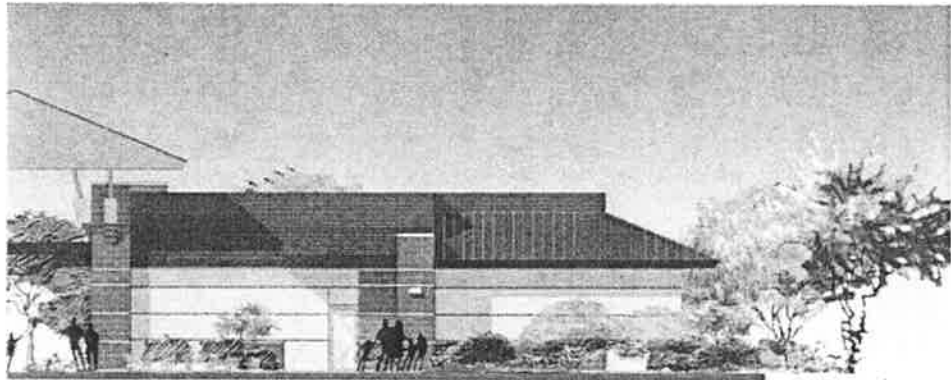


BUILDING "B" - SOUTH ELEVATION
SCALE 1" = 20'-0"



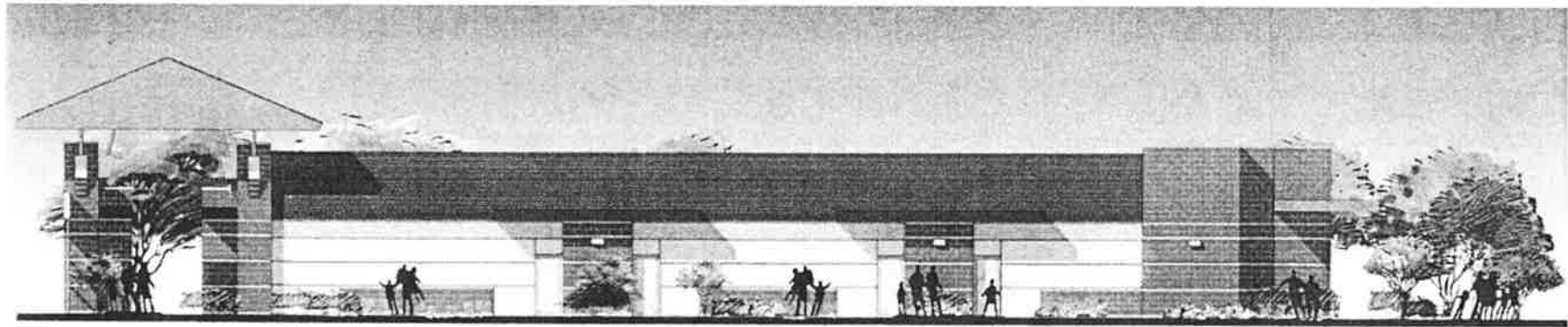
BUILDING "C" - EAST ELEVATION

SCALE 1" = 20'-0"



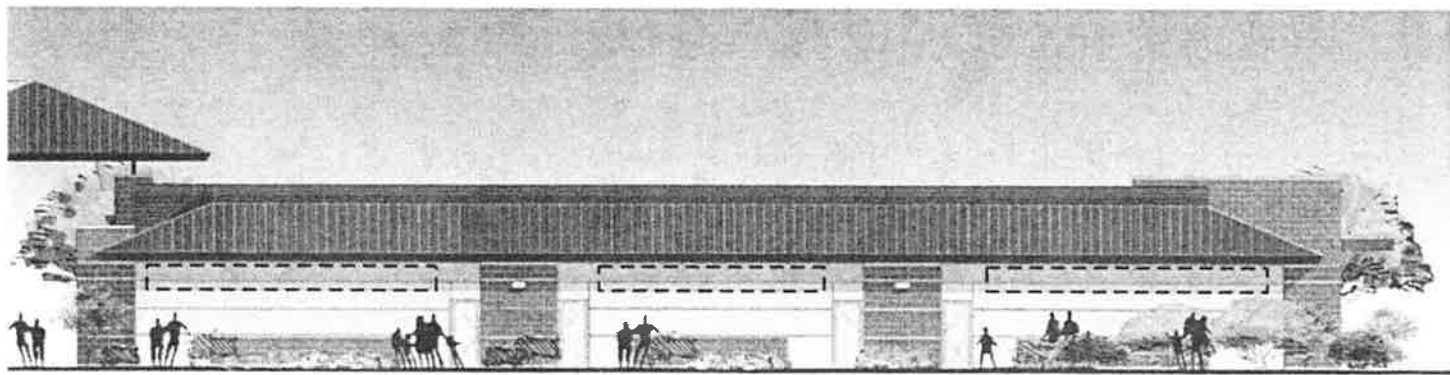
BUILDING "C" - WEST ELEVATION

SCALE 1" = 20'-0"



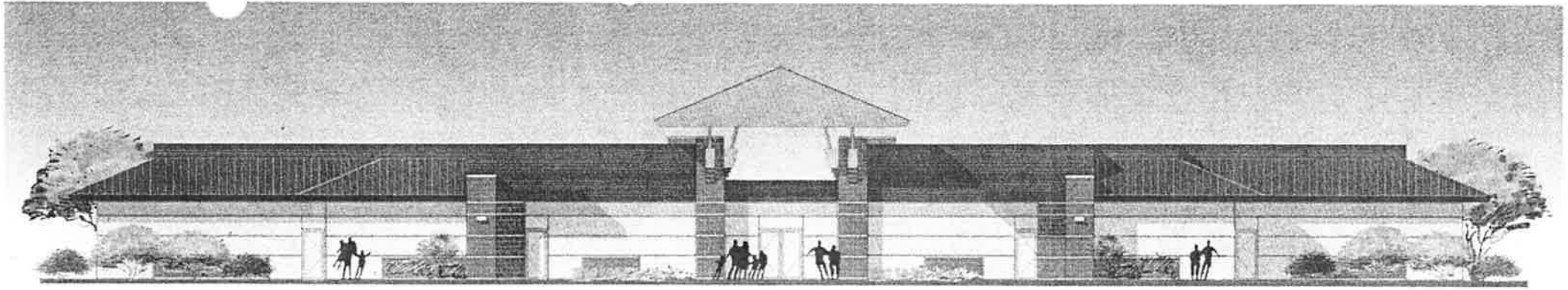
BUILDING "C" - NORTH ELEVATION

SCALE 1" = 20'-0"



BUILDING "C" - SOUTH ELEVATION

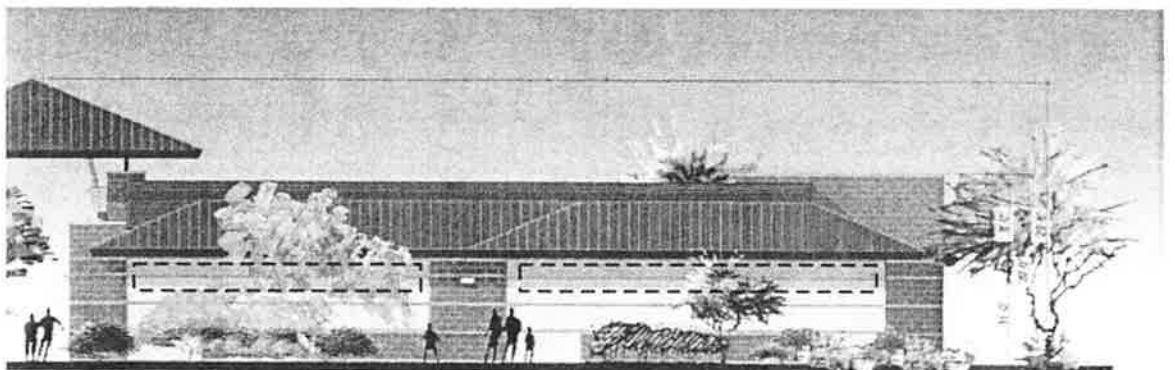
SCALE 1" = 20'-0"



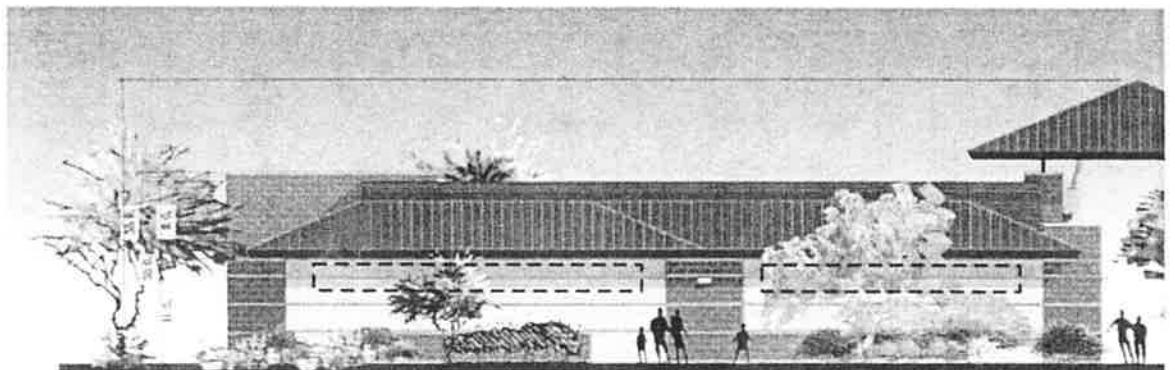
BUILDING "D" - EAST ELEVATION
SCALE 1' = 20'-0"



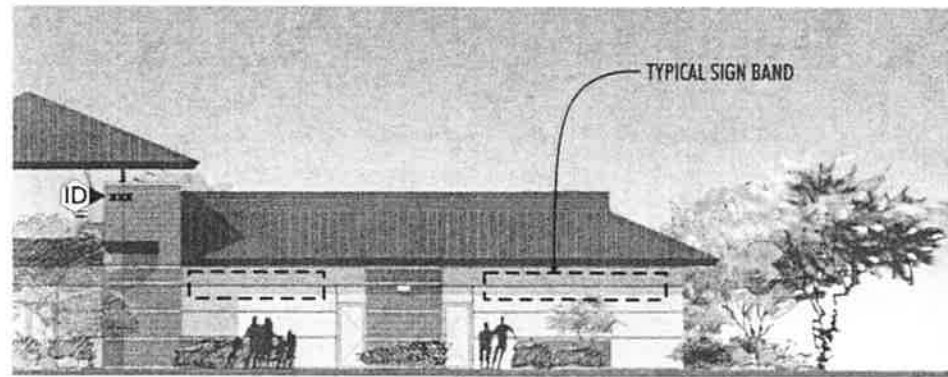
BUILDING "D" - WEST ELEVATION
SCALE 1' = 20'-0"



BUILDING "D" - NORTH ELEVATION
SCALE 1' = 20'-0"

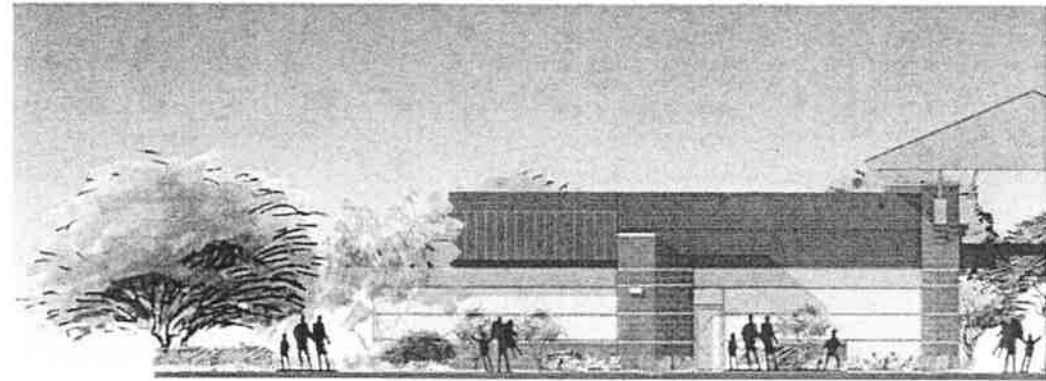


BUILDING "D" - SOUTH ELEVATION
SCALE 1' = 20'-0"



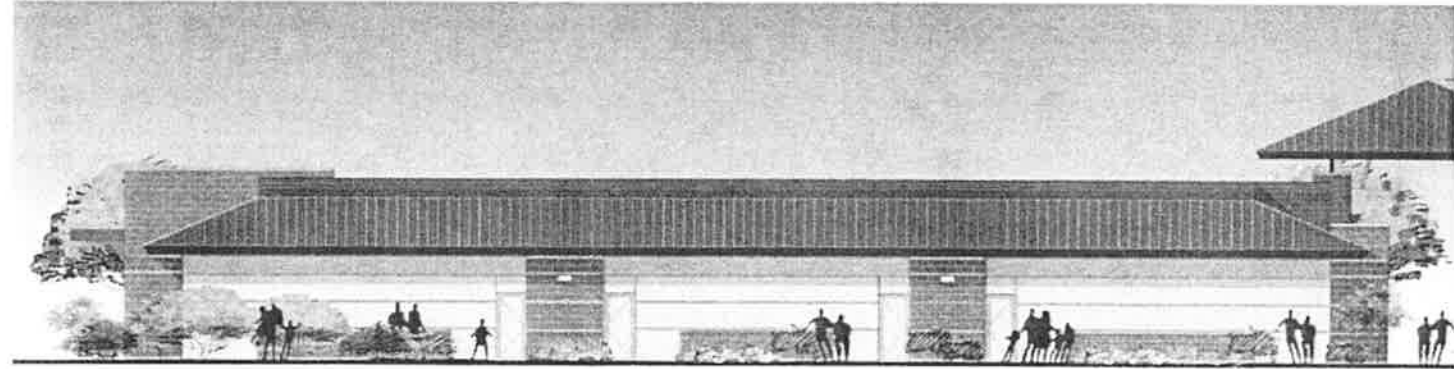
BUILDING "E" - EAST ELEVATION

SCALE 1" = 20'-0"



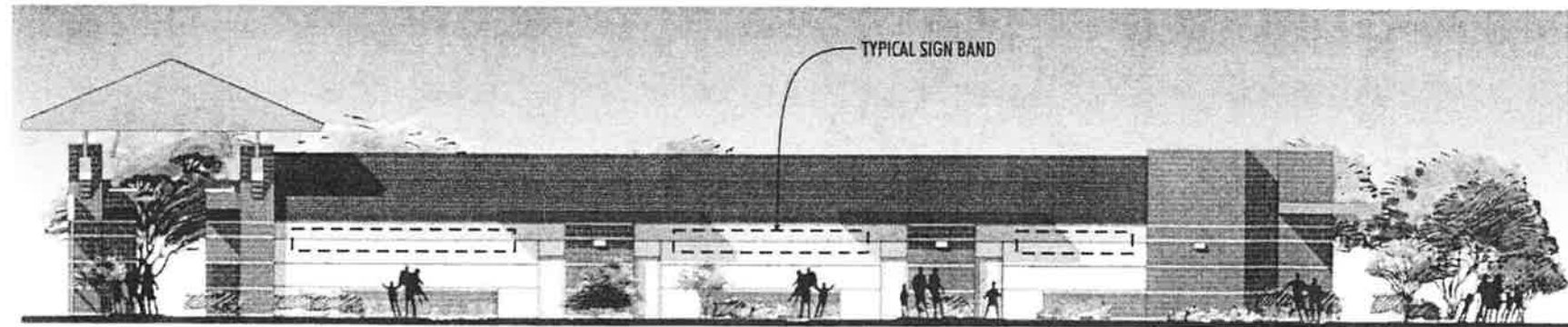
BUILDING "E" - WEST ELEVATION

SCALE 1" = 20'-0"



BUILDING "E" - NORTH ELEVATION

SCALE 1" = 20'-0"



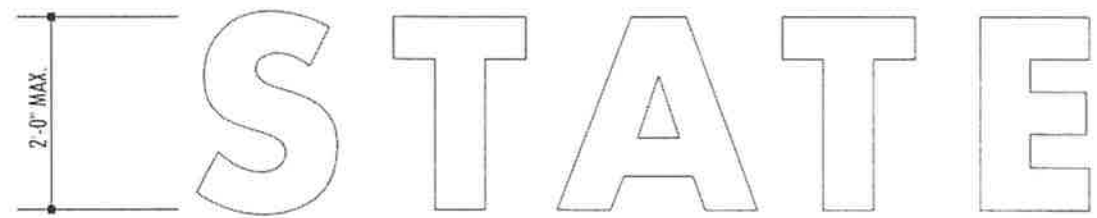
BUILDING "E" - SOUTH ELEVATION

SCALE 1" = 20'-0"



TWO LINE APPLICATION

SCALE: 3/4" = 1'-0"



ONE LINE APPLICATION

SCALE: 1/2" = 1'-0"

NON-ILLUMINATED FLAT CUT OUT LETTERS, PAINTED BLACK SATIN FINISH.

