



## NOTICE OF ADMINISTRATIVE DECISION

December 9, 2021

Emily J. Staples  
Fastsigns  
7205 E. Southern Ave Suite 111  
Mesa, AZ 85209  
*Sent via email: [Emily.staples@fastsigns.com](mailto:Emily.staples@fastsigns.com)*

RE: DR00-64-B (PDR-2021-000140): GILBERT PROFESSIONAL PLAZA PHASE II- CSP AMENDMENT

Dear Ms. Staples:

Staff has reviewed the request received for a Minor Administrative Design Review regarding Gilbert Professional Plaza Phase II Comprehensive Sign Program (CSP) Amendment located at the 538 S. Gilbert Road in the General Commercial (CC) zoning district. Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:

1. Construction shall conform to the exhibits submitted for this request, consisting of the following sheets: Narrative, Comprehensive Sign Program Package. All exhibits are stamped administratively approved December 9, 2021.
2. The Comprehensive Sign Plan has been amended to delete Section G, items 1 and 2 to allow tenants to choose face colors and returns.
3. Signage is not included in this approval and requires a separate permit.

If you have any questions regarding the above, please contact me at (480) 503-6713 or [tanya.castro@gilbertaz.gov](mailto:tanya.castro@gilbertaz.gov).

Sincerely,



**APPROVED**

Minor Administrative Design Review

Case # DR00-64-B (PDR-2021-00140)

Date 12/09/21

To Whom It May Concern:

Gilbert Professional Plaza Phase II would like to amend it's existing sign program. Gilbert Professional Plaza Phase II would like to update Section G: Colors to the following:

G. Colors:

1. Tenant may choose any acrylic face color and or utilize printed graphics on vinyl on channel letter faces.
2. Returns on the sign pans shall be any color.

Sincerely,

Emily J Staples, Owner  
FASTSIGNS of Gilbert

*Tanya Castro*

Tanya Castro  
Planning Specialist

**Attachments:**

1. Narrative
2. CSP Package



## NOTICE OF DECISION

April 21, 2016

**RE: DR00-64-A (DA16-22) Gilbert Professional Plaza Phase II CSP Amendment**

Dear Applicant:

Staff has reviewed the revised drawings received for Administrative Design Review regarding Gilbert Professional Plaza Phase II CSP. Staff has made the following findings:

- The project is consistent with the LDC and applicable design guidelines;
- The project is compatible with adjacent and nearby development; and
- The project design provides for safe and efficient provision of public services.

Based on the above, staff has approved this Administrative Design Review with the following attached information and conditions:

1. The existing monument sign is revised per sign "Detail A" as a tenant panel and electronic reader.
2. Sign Detail A has a total sign area of 60 sf. (message cabinet 26.04 sf. and the tenant panels 33.6 sf.)
3. The new double sided LED reader board shall be wrapped, textured and painted to match the existing sign base. (Dunn-Edwards Cream Puff -DE 5357, Dunn-Edwards Emerald Pool- DE 5699)
4. The electronic reader shall be static message, no animation, flashing or video. The minimum display time is 8 second with an instant transition method. The brightness shall not exceed .3 candle foot above ambient conditions.

If you have any questions regarding the above, please contact me at 480-503-6742.

Sincerely,

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Tanya Castro  
Planning Specialist

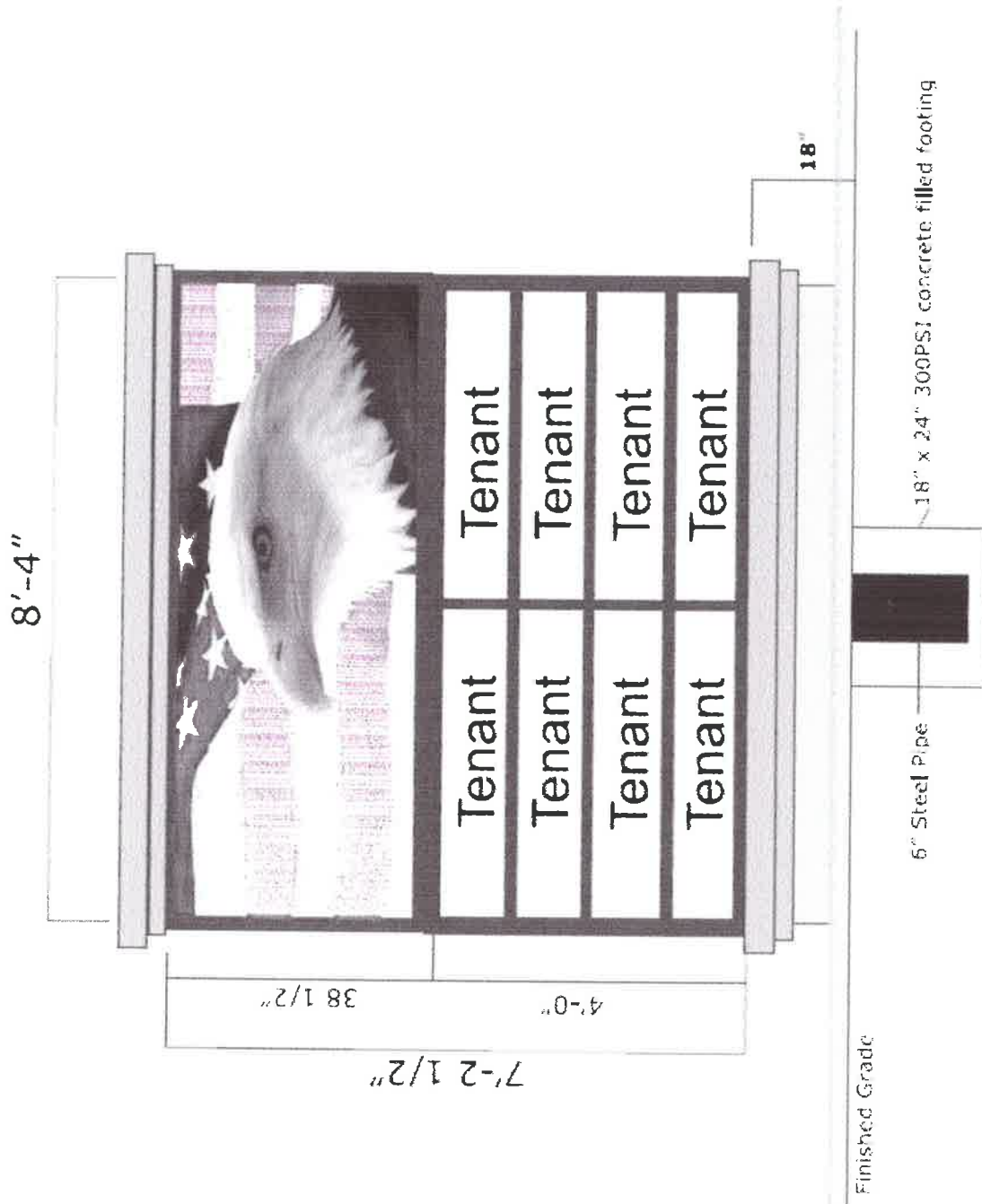
Attachments:

Approved Sign Exhibits (Stamped approved 4/21/16)

DR00-64-AT101

Cabinet/Reveal: 9000 Black Pole: 9000 Black

Total Signage: 7'-2 1/2" x 8'-4" = 60sq ft



**APPROVED**  
 Administrative Design Review  
 Case Planner Initials: DC  
 Case # DA116-22 / DR00-64-A  
 Date: 4/21/16

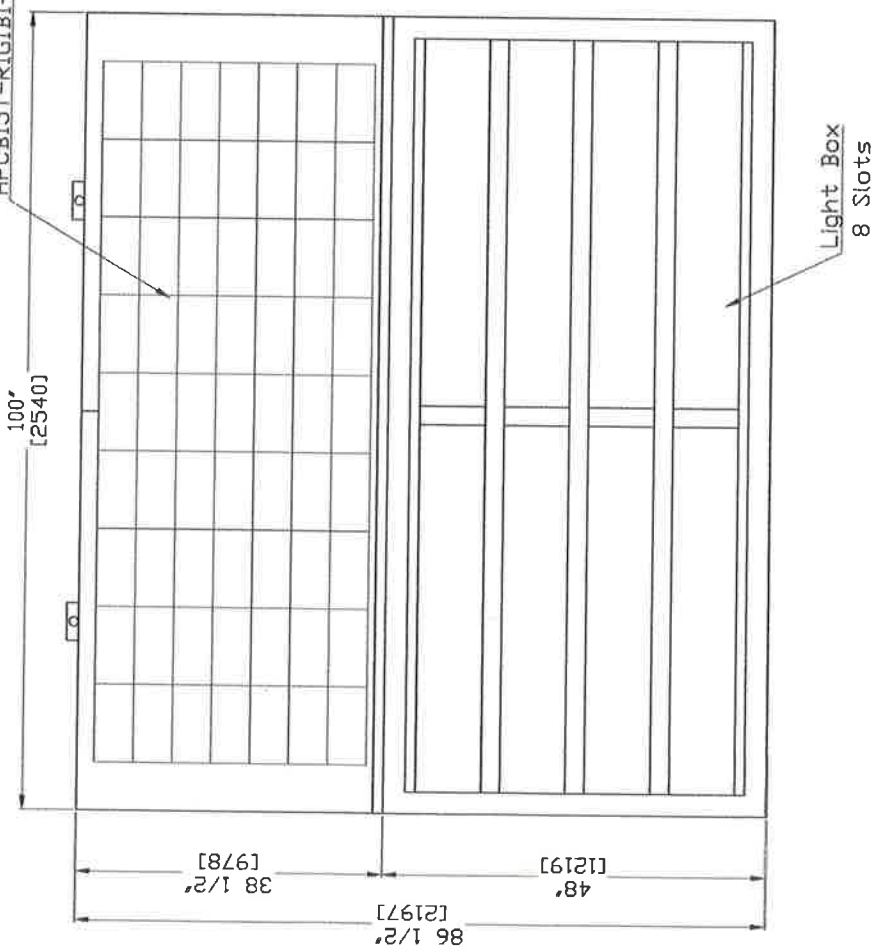
Existing Sign system with 8 tenant slots adding Hyoco LED

Note: All dimensions were verified on site. We have provided a general note to be filled by the contractor.

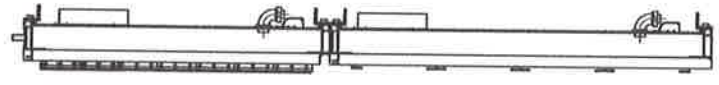
DETAIL A

FINAL ASSEMBLY

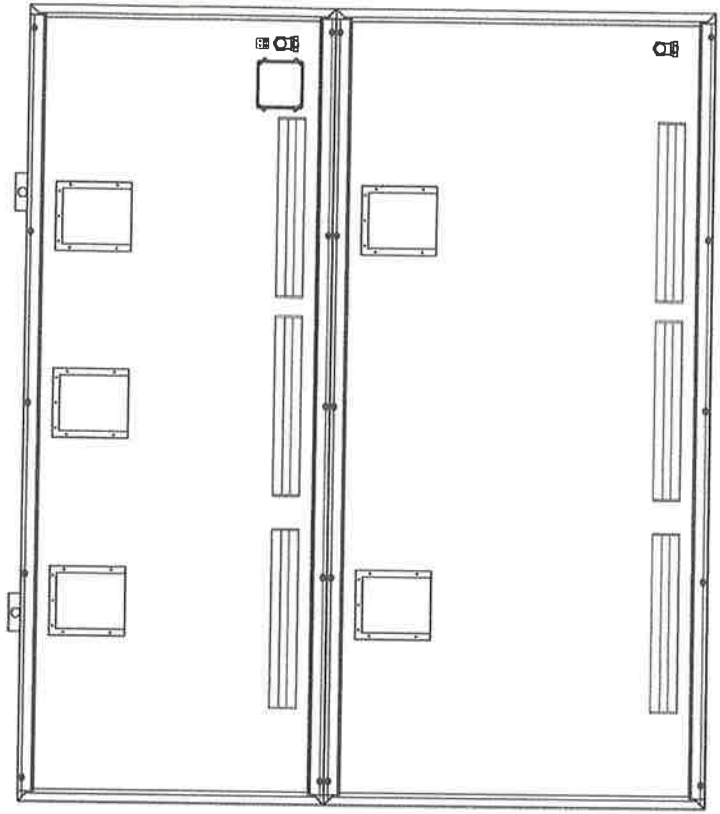
HPCBIST-R1G1B1-M-56x144



FRONT VIEW



SIDE VIEW



BACK VIEW

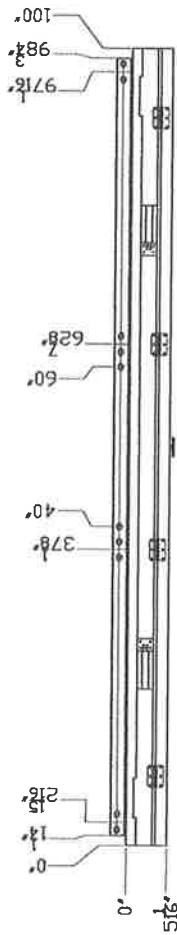
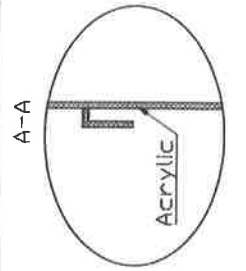
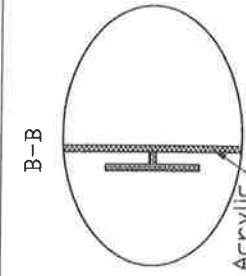
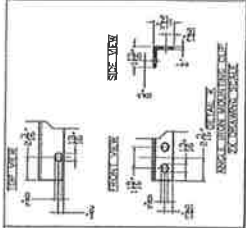
**APPROVED**  
 Administrative Design Review  
 Case Planner Initials: *AC*  
 Case # D200-64-000-1000  
 Date: 4/21/16

D200-64-A(15)

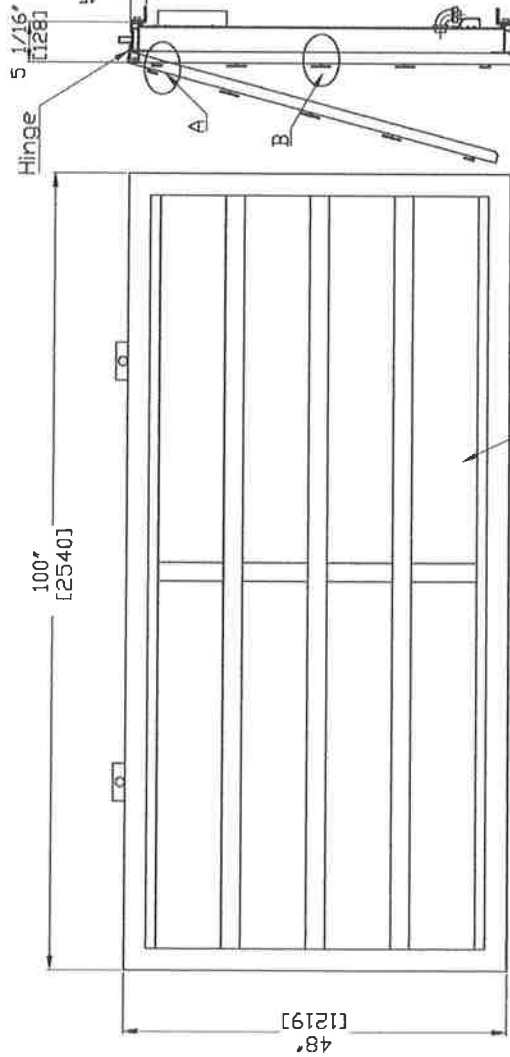
UNITS	[MKS/ES/CM]	INCHES	MM
TOLERANCE	±.04"		
SHEET SIZE	B4		
PAGE	1 OF 2		
SCALE	1:1		
DATE	2015-12-09		
DESIGNED BY	TEC		
DRAWN BY	TEC		

Suzhou Heston Electronics Co.,LTD.	
DISPLAY MODEL	Lightbox-M
DRAWING NUMBER	Lightbox-M-1000 (8 Slots)
MO# [REF#]	REF # 20151209-1
REVISION	V 1.0

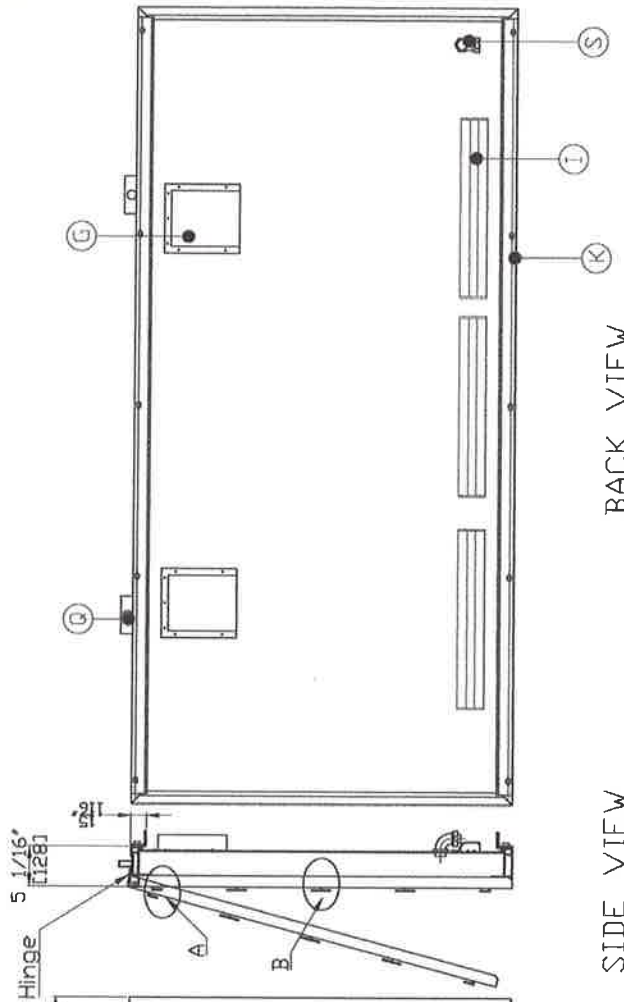
*PROPOSED*



TOP VIEW



FRONT VIEW



BACK VIEW

ITEM	DESCRIPTION	APPROXIMATE WEIGHTS PER FACE
G	VENTILATION EXHAUST	240 lbs.
I	VENTILATION INTAKE	
K	ANGLE IRON MOUNTING CLIP - SEE DETAIL K	
S	1" ANGLE CONDUIT - SEE DETAIL L	
Q	LIFTING BRACKETS - SEE DETAIL Q	

**APPROVED**  
 Administrative Design Review  
 Case Planner Initials: *DC*  
 Case # *DALU. 02 / DR00-101-A*  
 Date: *4/21/14*

UNITS	INCHES(mm)	DESIGNED BY	TEC
TOLERANCE	$\pm .005$	TEC	TEC
SHEET SIZE	34		
PAGE	2 OF 2		
SCALE	1:1		
DATE	2015-12-09		
DRAWING NUMBER	Lightbox-M-1000 (8 Slots)		
MB# (REF#)	REF # 20151209-1		
REVISION			

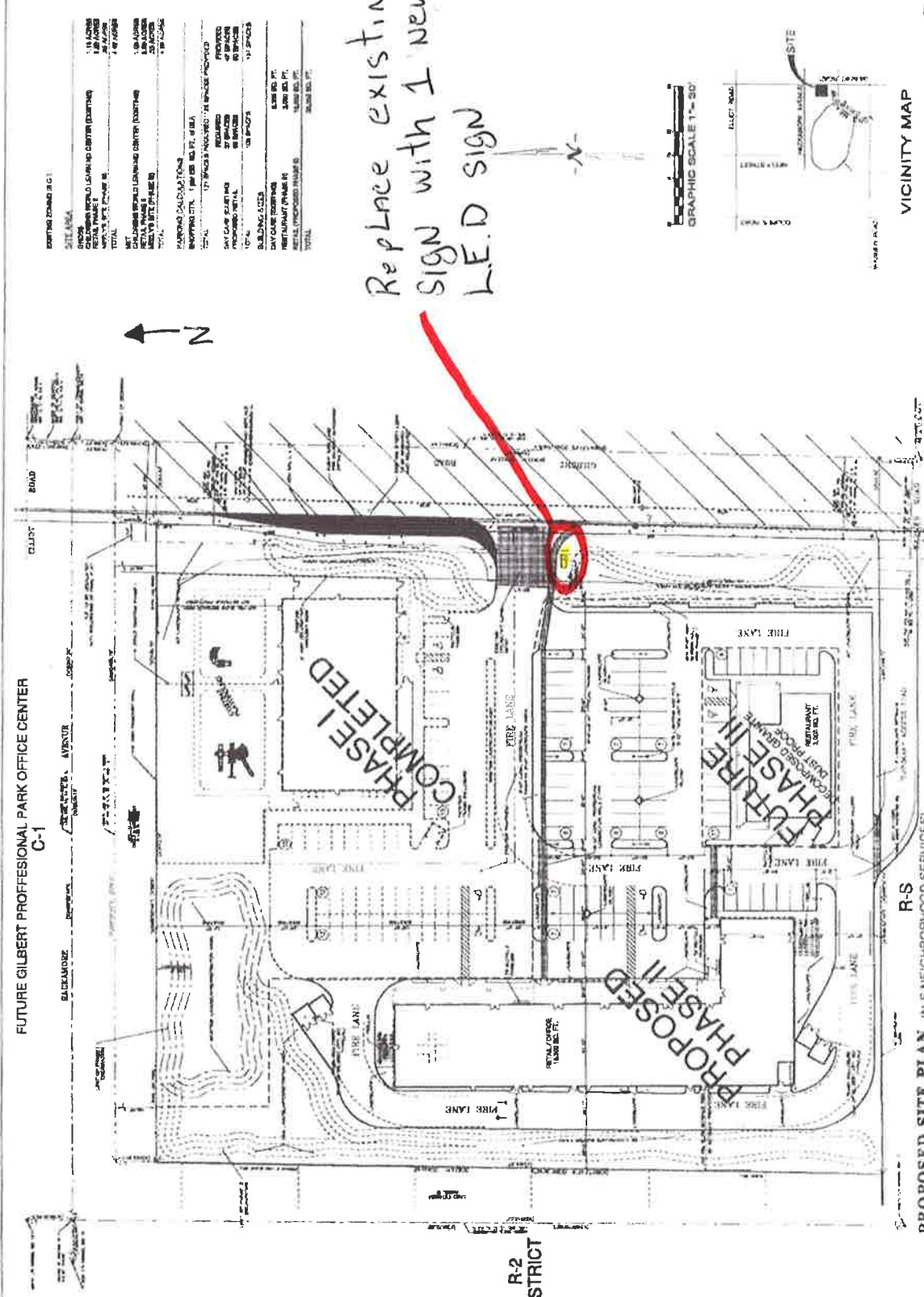
Suzhou Heston Electronics Co., LTD.  
 Lightbox-M

*PROPOSED*

*DR00-101-A (SR)*

538 S Gilbert Rd.  
Parcel # 302-35-327A

Exhibit D  
DR00-64 TO DRB ON 6/15/00



SCHEDULE 2000	
1.00	1.00
2.00	2.00
3.00	3.00
4.00	4.00
5.00	5.00
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89.00	89.00
90.00	90.00
91.00	91.00
92.00	92.00
93.00	93.00
94.00	94.00
95.00	95.00
96.00	96.00
97.00	97.00
98.00	98.00
99.00	99.00
100.00	100.00

Replace existing  
SIGN with 1 new  
L.E.D SIGN

GRAPHIC SCALE 1"=20'



VICINITY MAP

DR00-64



**Parady and Reddell Architects, Inc.**  
Architecture Interiors Land Planning  
2401 North Hayden Road, Scottsdale, Arizona 85257 (480) 946-0242

**The River Group Inc.**  
11204 South Stapley Drive, Mesa, Arizona 85204 (480) 633-3721

**Gilbert Professional Center  
Phase II**  
N of NWC Long Meadow & Gilbert Rd.  
Gilbert, Arizona

**APPROVED**  
Administrative Design Review  
Case Planner Initials: *DC*  
Case # DA16-22 / DR00-64-A  
Date: 4/21/16



To Whom It May Concern,

Gilbert Professional Plaza Phase 2 is planning to amend its existing sign program. Gilbert Professional Plaza is going to upgrade the internally lit fluorescent tube cabinets to internally illuminated white LED strip cabinets to increase longevity and efficiency.

The existing monument sign faces will be replaced by front serviceable, routed aluminum faces backed with slide in plexiglass, same color as building signs. Eight (8) panels for tenants available on each side, each panel 11.5" x 50" including the addition of a double sided HPCB15T-R1G1B1-M-56 x 144 electronic message board.

The electronic message board is fully compliant with all electronic message board regulations including 100 levels of customizable automatic dimming and is fully programmable to hold messages for any length of time.

This sign program amendment will use the existing monument with 18" x 24" concrete filled footing and 6" pole. The modified sign will be no taller than 10 feet and include no more than 60 square foot total per side. The aluminum extrusions for all sign cabinets will be black in color.

Sincerely,

Mathew Bryant

VisibleClarity LED Sign Solutions

**APPROVED**  
Administrative Design Review  
Case Planner Initials: *DR*  
Case # DALV-22-DEED-64-A  
Date: APR 16

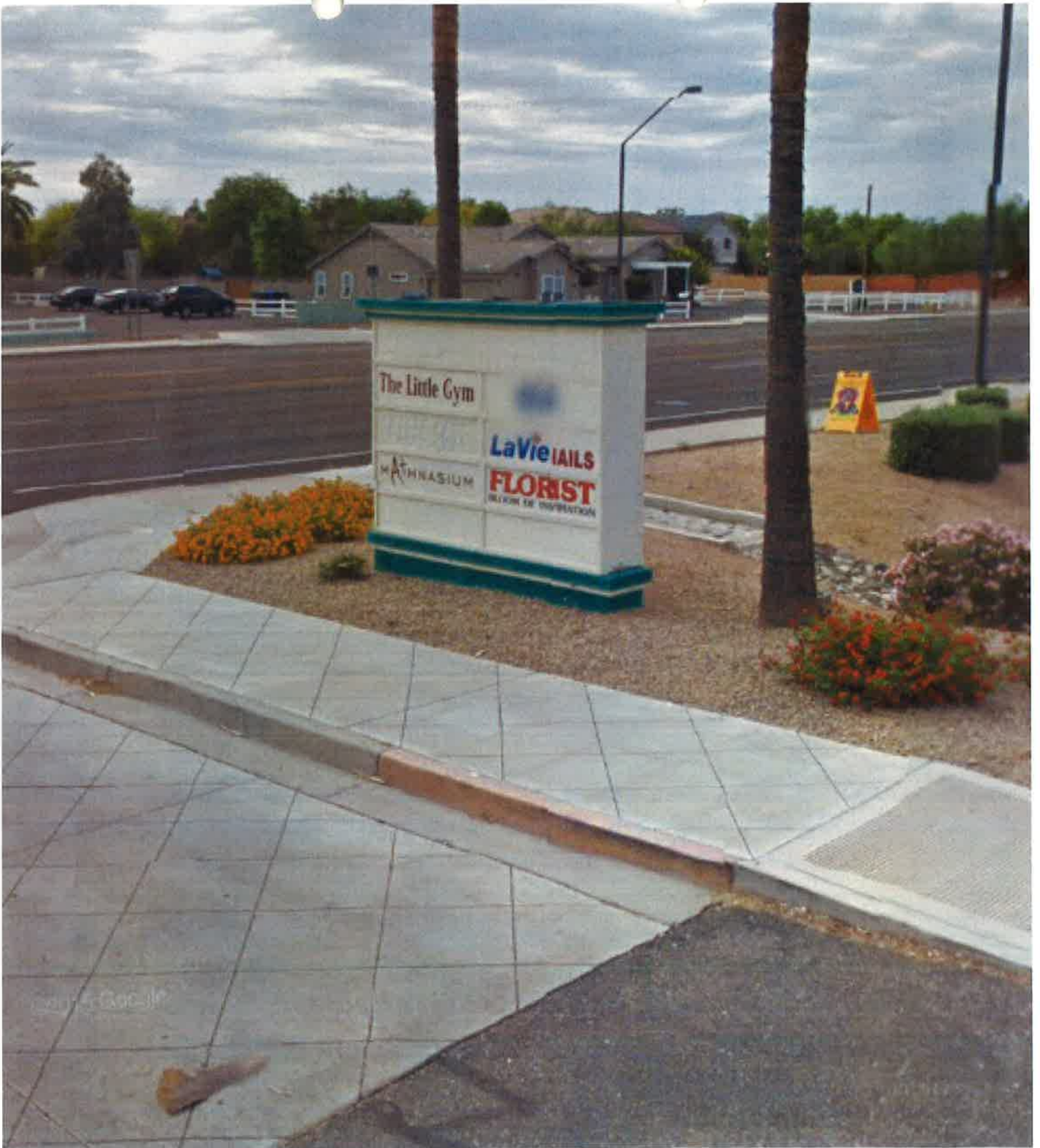
DE5357  
Cream Puff



DUNN - EDWARDS  
DE 5357  
CREAM PUFF  
SPARTA SHIELD EX FLAT

DUNN - EDWARDS  
DE 5699  
EMERALD POOL  
SPARTA SHIELD EX FLAT  
0200-64-A (ISH)

**APPROVED**  
Administrative Design Review  
Case Planner Initials: PC  
Case # DALL-22-1800-04-A  
Date: 11/21/16



COLOR Exhibit

**APPROVED**  
Administrative Design Review  
Case Planner Initials: DC  
Case # DALLE 27 / D1200-64-A  
Date: 1/21/16

D1200-64-A(153)

## SIGN CRITERIA

# GILBERT PROFESSIONAL PLAZA Phase II

### I. INTRODUCTION

The purpose of a sign control program is to ensure an attractive shopping environment and to protect the interests of the Landlord and Tenant.

### II. GENERAL REQUIREMENTS

- A. Landlord shall administer and interpret the criteria and shall approve all signs in writing prior to their installation.
- B. Submittal and Compliance:
  - 1. Tenant shall submit or cause to be submitted to Landlord, for approval, detailed shop drawings covering location, size, design, color, materials, lettering and graphics of the proposed wall sign. The Tenant must not submit any sign drawings to the City of Gilbert without first obtaining the Landlord's approval.
  - 2. Landlord shall review the drawings and return them marked "Approved", "Approved as Noted" or "Revise and Resubmit".
    - a. "Approved" drawings will permit Tenant to proceed with permitting, construction and installation of its sign in accordance with the drawings.
    - b. "Approved as Noted" drawings will permit Tenant to proceed with permitting, sign construction and installation, provided that the modifications noted are incorporated into the design. If the Tenant takes exception to the modifications, Tenant shall revise and resubmit.
  - 3. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the building visible from outside the premises except

as specifically approved by Landlord. Signs that are installed without written approval or are inconsistent with approved drawings, may be subject to removal and reinstallation by Landlord at Tenant's expense.

4. The City of Gilbert, Development Services Department, requires sign permits for all signs. It shall be Tenant's sole responsibility to secure these and any other permits that may be required.
  5. Landlord's approval of Tenant's plans shall not constitute an implication, representation, or certification by Landlord that said items are in compliance with applicable statutes, codes, ordinances, or other regulations. Said compliance shall be the sole responsibility of Tenant for all work performed on the premises by or for Tenant.
  6. Sign contractors performing any sign work at Gilbert Professional Center, Phase II must be licensed by the Arizona State Registrar of Contractors, bonded and insured.
- C. To insure strict compliance with this sign criteria, Landlord suggests that Sign World, Inc. provide all tenant signage and has designated Sign World, Inc. the sign contractor to furnish and install all signage at Gilbert Professional Plaza Phase II.  
Sign World, Inc. (480) 982-6696.

Non-compliance with this sign criteria will be corrected by Landlord at the tenant's expense.

- D. Landlord may repair or replace any broken or faded sign at Tenant's expense.

### III. DESIGN REQUIREMENTS

- A. Flashing, painted, blinking, rotating, moving or audible signs are not permitted.
- B. The wall sign may identify the individual business of Tenant by name or by name and principal service offered, when the name does not identify the principal service offered. Established logos, crests, or insignias may be included as part of the signs.

3. The color of the internal neon will be red, white or green, unless otherwise approved.
  4. Trim capping on the faces of the sign is to be  $\frac{3}{4}$  inch gold with gold screws or it may be the same color as otherwise approved returns.
- I. Landlord shall have the right to modify the design requirements for any Tenant.

#### **IV. MONUMENT SIGNS**

There will be one multi-tenant monument sign for Gilbert Professional Plaza Phase II located as described on the plot plan.

#### **V. CONSTRUCTION REQUIREMENTS**

- A. All sign bolts, fastenings, sleeves and clips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted. Minimum of four (4) screws per letter.
- B. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. Sign contractor and/or Tenant shall pay for any damage to the fascia, canopy, structure, roof, or flashing caused by sign installation.
- E. No exposed tubing will be permitted, except as halo or accent.
- F. Wall signs shall be centered horizontally on the sign band.
- G. All electrical signs shall adhere to UL standards.
- H. All signs shall conform to the Uniform Building Code Standards.
- I. All electrical signs shall conform to National Electrical Code Standards.

- J. Electrical service to signs shall be on the Tenant's meter.
- K. PK housings are not allowed, 7/8 inch hole maximum. Low voltage drivers are encouraged.
- L. Timers are to be installed with the sign.

For further information and assistance with your signage, code compliance, drawings, etc., contact:

Gil Verley  
Sign World, Inc.  
**480-982-6696**

fax: 480-982-6774

**MONUMENT COLORS TO MATCH BUILDING**

DUNN - EDWARDS - YUCCA PALM  
(DC 1046) Main cabinet, Masonary Base

DUNN - EDWARDS - ENVY GREEN  
(DE 348) Accent

RETURN COLOR  
FOR SIGN PANS  
#313 BRONZE

TRIMCAP  
3/4" GOLD



**ACRYLIC FACE COLORS**



WHITE #015

BLUE #607

RED #211

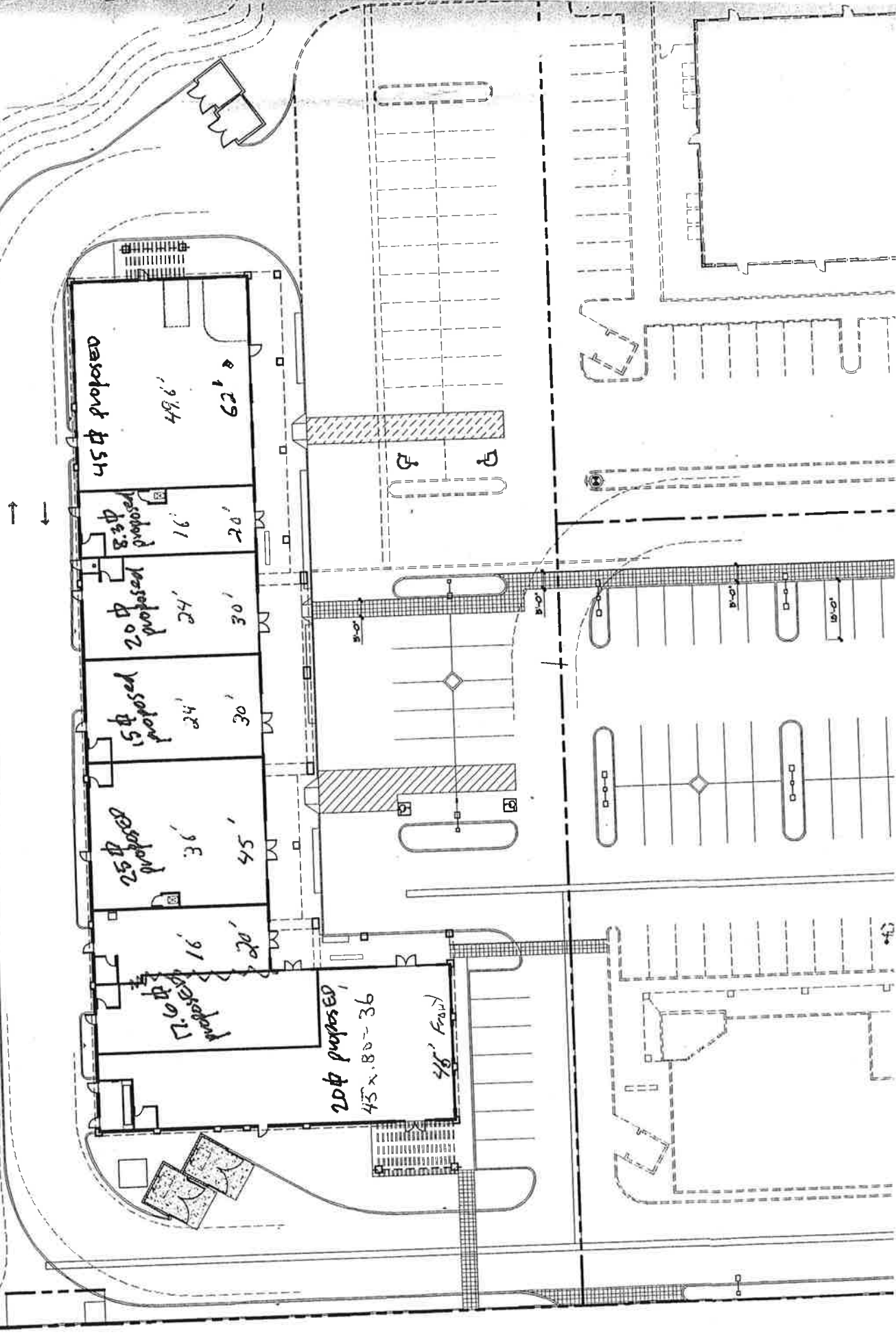
YELLOW #407

GREEN #506

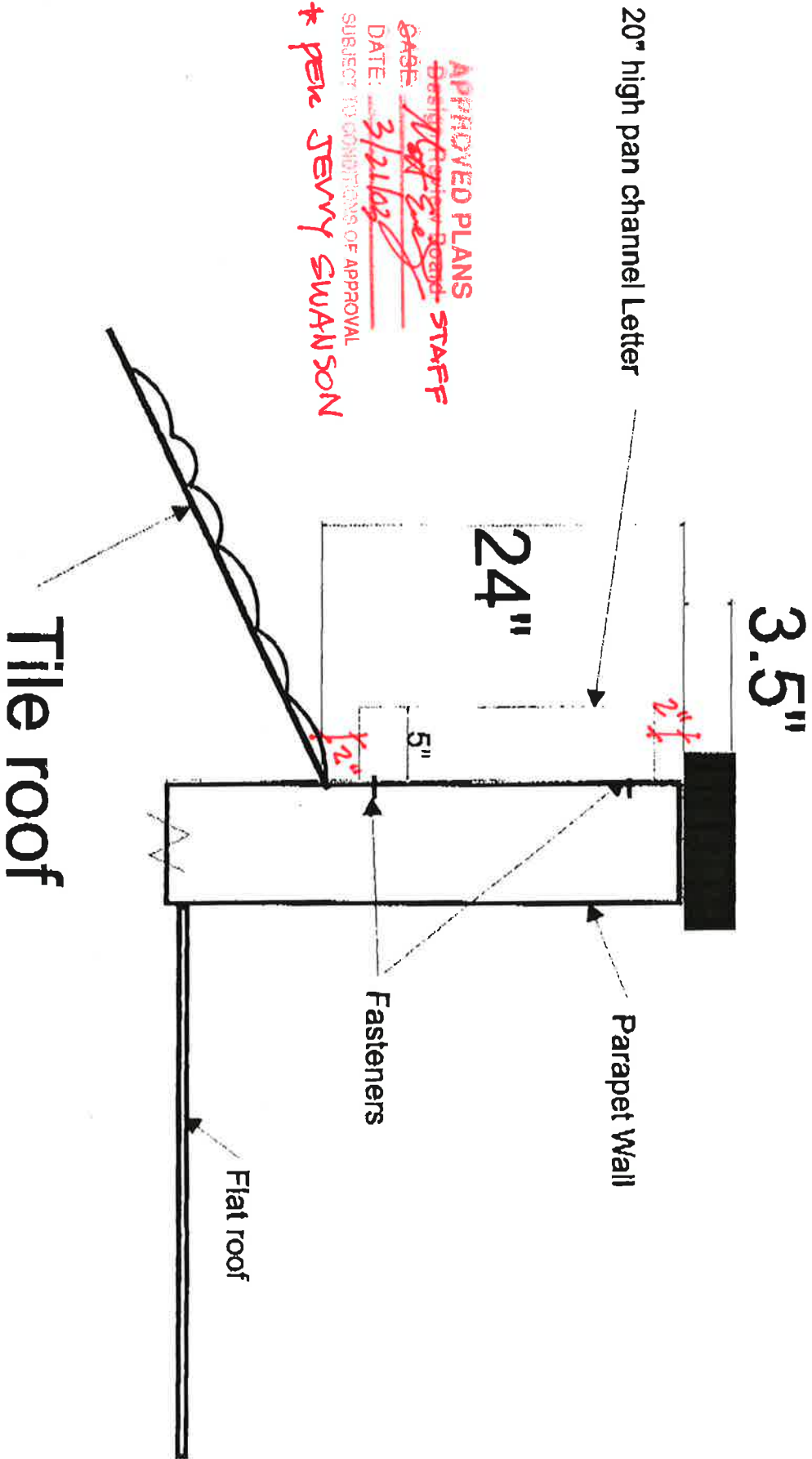


1" = 40'

Frontage  
80% of frontage



# Pan Channel Letter Installation Detail Gilbert Professional Center Phase II



**APPROVED PLANS**  
 Design: *Jeffrey Boyd* STAFF  
 DATE: *3/21/03*  
 SUBJECT TO CONDITIONS OF APPROVAL  
 \* per **JERRY SWANSON**

1881 West Apache Trail  
Apache Junction, AZ 85220  
Phone: 480-982-6696  
Fax: 480-982-6774  
[www.signworldinc.com](http://www.signworldinc.com)  
[sales@signworldinc.com](mailto:sales@signworldinc.com)

A black rectangular box containing the text "SIGN WORLD" in white, bold, sans-serif capital letters.

# Fax

<b>To:</b> Town Of Gilbert	<b>From:</b> Mark Simiriglia
<b>Attn:</b> Matt Everling, Planner II	<b>Date:</b> March 21, 2003
<b>Re:</b> Sign Elevation	<b>Pages:</b> 2
<b>Phone:</b> 503-6746	<b>Fax:</b> 497-4923

Urgent    For Review    Please Comment    Please Reply    Please Recycle.

**Matt,**

Attached is the detail of the parapet wall detail for the signs at 538 S. Gilbert Rd. DR00 – 64, Gilbert Professional Center.

Please contact Angela Wilson at 503-9217 to confirm receipt.

Thank You,

Mark Simiriglia

Sign World Inc.

- C. Lettering: The letters on all signs shall be either script or individual block type. Minimum stroke shall be two inches (2"). Logo cans are allowed but must be of an irregular design.
- D. Each Tenant will be permitted to place upon the entrance of its premises up to 144 square inches of gold leaf or decal application lettering (not to exceed two inches in height) indicating hours of business, an emergency telephone number, etc. All other window signage must comply with the ordinances of the City of Gilbert, i.e., window signage may cover no more than twenty-five percent (25%) of window area and said area used is deducted from the sign allowance set forth in Paragraph F.2. below.
- E. Illumination: All illuminated signs on the sign band are to be internally illuminated with no light source visible. No signs will be allowed with intermittent illumination (flashing). No exposed neon, except as halo or accent (not as outline). No fluorescent and/or incandescent tubing or lamps shall be permitted.
- F. Tenant shall have one wall sign on each fascia of Tenant's leased frontage. Signs shall be individual interior illuminated letters flush mounted. Wall signs shall be limited in overall length to eighty percent (80%) of the business front footage of the leased premises. Business front footage is measured along and parallel to the storefront.
  - 1. Wall sign characters shall not exceed 20 inches in height, except as approved by Landlord.
  - 2. The computed area of wall signs shall not exceed one and one-half (1.5) square feet per building front foot of the leased space. Building front foot refers to the maximum width of the leased premises measured along a straight line.

~~G. Colors:~~

- ~~1. Tenant may choose the color of the acrylic faces for the sign from the list of colors below:
 
  - ~~White #015~~
  - ~~Blue #607~~
  - ~~Red #211~~
  - ~~Yellow #407~~
  - ~~Green #506~~~~
- ~~2. Returns on the sign pans will be #313 bronze, unless otherwise approved.~~

**APPROVED**  
 Minor Administrative Design Review  
 Case # DR00-64-B (PDR-2021-00140)  
 Date 12/09/21



## NOTICE OF DECISION

April 21, 2016

**RE: DR00-64-A (DA16-22) Gilbert Professional Plaza Phase II CSP Amendment**

Dear Applicant:

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- The project design provides for safe and efficient provision of public services.

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2. Sign Detail A has a total sign area of 60 sf. (message cabinet 26.04 sf. and the tenant panels 33.6 sf.)
3. The new double sided LED reader board shall be wrapped, textured and painted to match the existing sign base. (Dunn-Edwards Cream Puff -DE 5357, Dunn-Edwards Emerald Pool- DE 5699)
4. The electronic reader shall be static message, no animation, flashing or video. The minimum display time is 8 second with an instant transition method. The brightness shall not exceed .3 candle foot above ambient conditions.

If you have any questions regarding the above, please contact me at 480-503-6742.

Sincerely,

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Tanya Castro  
Planning Specialist

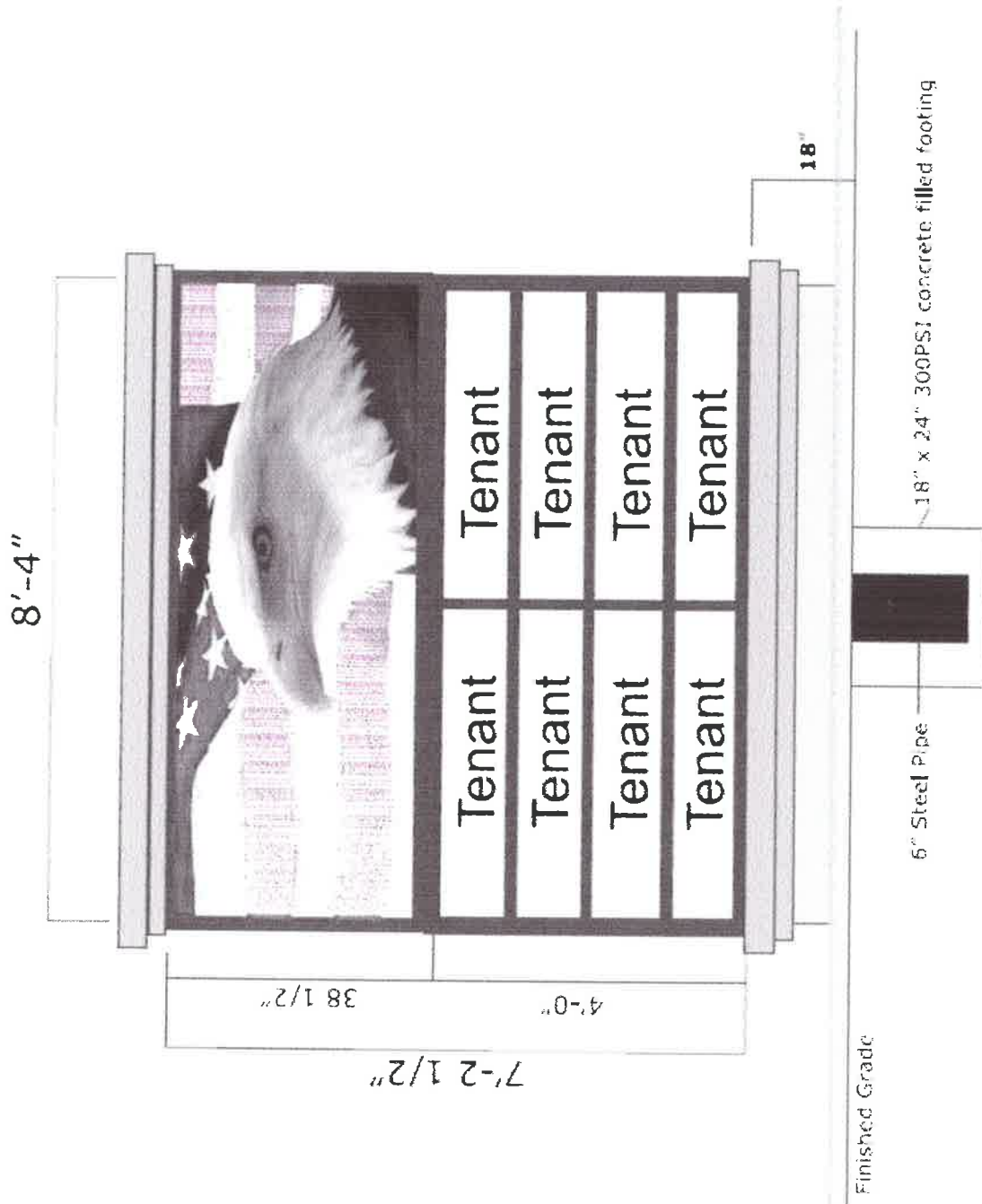
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Approved Sign Exhibits (Stamped approved 4/21/16)

DR00-64-AT101

Cabinet/Reveal: 9000 Black Pole: 9000 Black

Total Signage: 7'-2 1/2" x 8'-4" = 60sq ft



**APPROVED**  
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 Case Planner Initials: DC  
 Case # DA116-22 / DR00-64-A  
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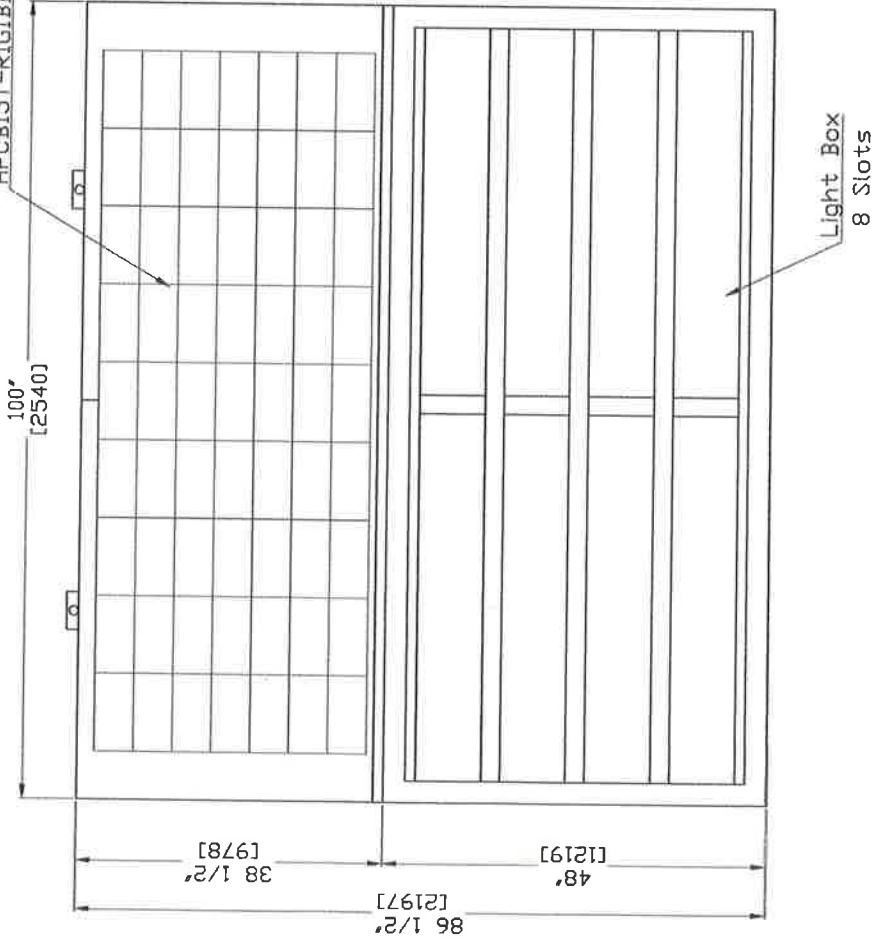
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Note: All dimensions were verified on site. We have provided a general note to be filled by the contractor.

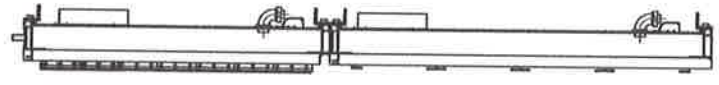
DETAIL A

FINAL ASSEMBLY

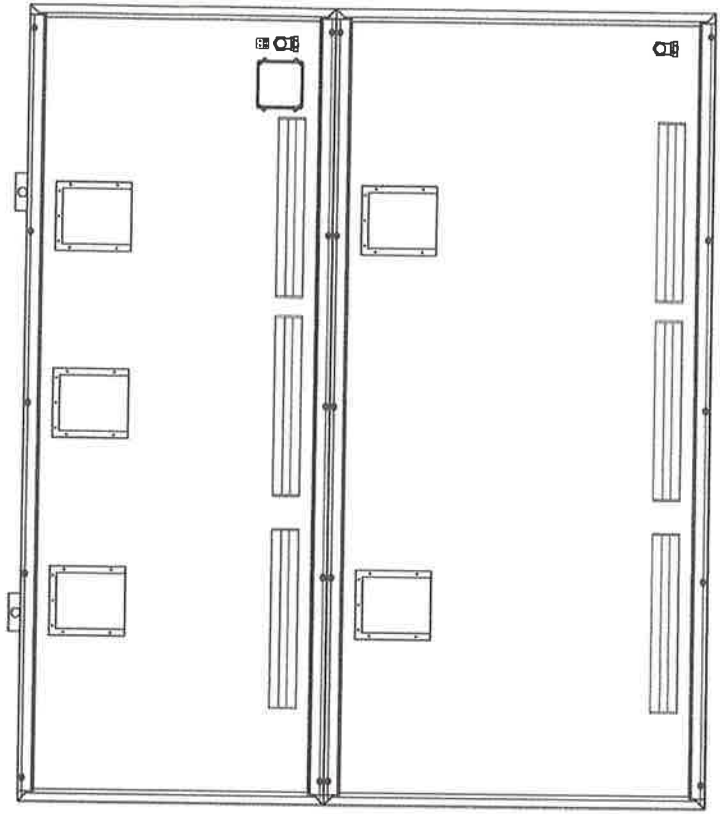
HPCBIST-R1G1B1-M-56x144



FRONT VIEW



SIDE VIEW



BACK VIEW

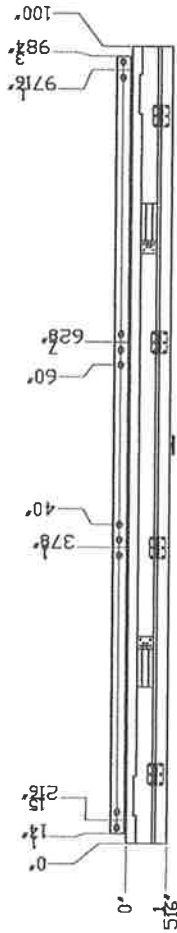
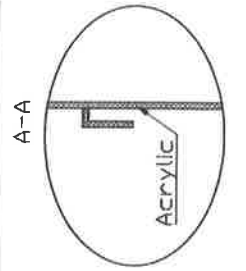
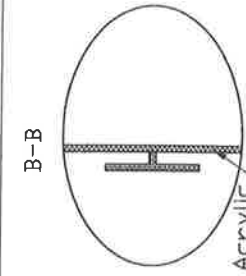
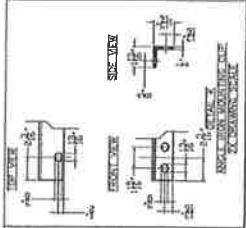
**APPROVED**  
 Administrative Design Review  
 Case Planner Initials: *AC*  
 Case # D200-64-000-1000  
 Date: 4/21/16

D200-64-A(15)

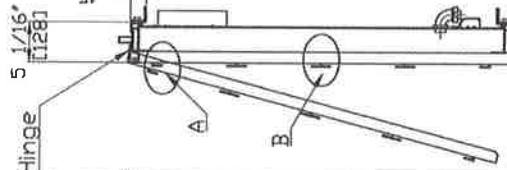
UNITS	[MKS/ES/CM]	INCHES	MM
TOLERANCE	±.04"		
SHEET SIZE	B4		
PAGE	1 OF 2		
SCALE	1:1		
DATE	2015-12-09		
DESIGNED BY	TEC		
DRAWN BY	TEC		

Suzhou Heston Electronics Co.,LTD.	
DISPLAY MODEL	Lightbox-M
DRAWING NUMBER	Lightbox-M-1000 (8 Slots)
MO# [REF#]	REF # 20151209-1
REVISION	V 1.0

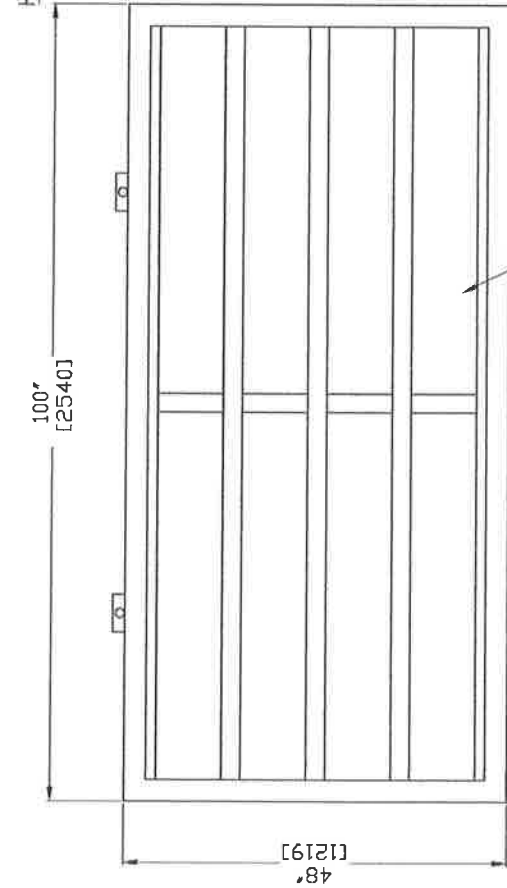
*PROPOSED*



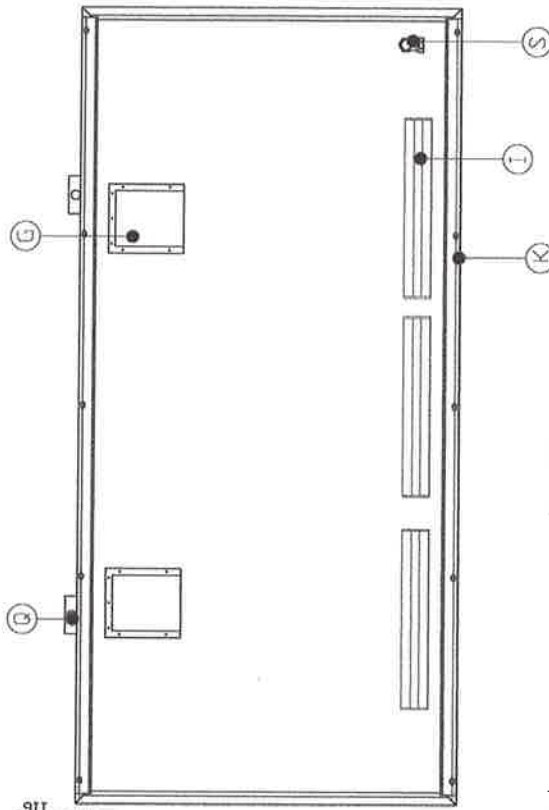
TOP VIEW



SIDE VIEW



FRONT VIEW



BACK VIEW

ITEM	DESCRIPTION	APPROXIMATE WEIGHTS PER FACE
G	VENTILATION EXHAUST	240 lbs.
I	VENTILATION INTAKE	
K	ANGLE IRON MOUNTING CLIP - SEE DETAIL K	
S	1" ANGLE CONDUIT - SEE DETAIL L	
Q	LIFTING BRACKETS - SEE DETAIL Q	

**APPROVED**  
 Administrative Design Review  
 Case Planner Initials: *DC*  
 Case # DALU-22/DR00-101-A  
 Date: 4/21/14

UNITS	INCHES(mm)	TOLERANCE	SHEET SIZE	PAGE	SCALE	DATE	DESIGNED BY	DRAWN BY
		$\pm .005$	34	2 OF 2	1:1	2015-12-09	TEC	TEC

Suzhou Heston Electronics Co.,LTD.	
DISPLAY MODEL	Lightbox-M
DRAWING NUMBER	Lightbox-M-1000 (8 Slots)
MB# (REF#)	REF # 20151209-1
REVISION	V 1.0

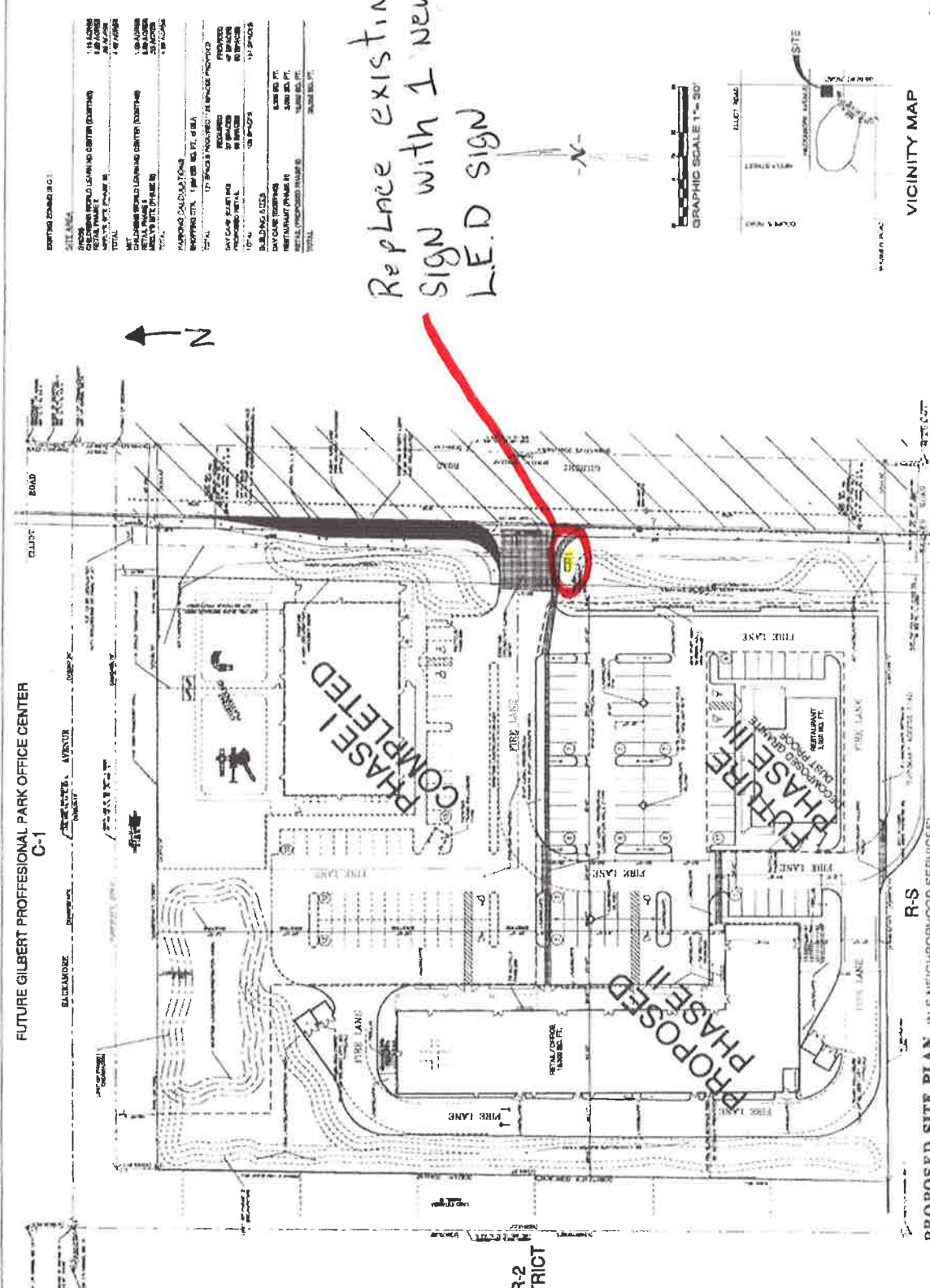
*PROPOSED*

*DR00-64-A(SR)*



538 S Gilbert Rd.  
Parcel # 302-35-327A

Exhibit D  
DR00-64 TO DRB ON 6/15/00



SCHEDULE 2000	
1.00	1.00
2.00	2.00
3.00	3.00
4.00	4.00
5.00	5.00
6.00	6.00
7.00	7.00
8.00	8.00
9.00	9.00
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12.00	12.00
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88.00	88.00
89.00	89.00
90.00	90.00
91.00	91.00
92.00	92.00
93.00	93.00
94.00	94.00
95.00	95.00
96.00	96.00
97.00	97.00
98.00	98.00
99.00	99.00
100.00	100.00

Replace existing  
SIGN with 1 new  
L.E.D SIGN

GRAPHIC SCALE 1"=50'



VICINITY MAP

DR00-64



**Parady and Reddell Architects, Inc.**  
Architecture Interiors Land Planning  
2401 North Hayden Road, Scottsdale, Arizona 85257 (480) 946-0242

**The River Group Inc.**  
11204 South Stapley Drive, Mesa, Arizona 85204 (480) 633-3721

**Gilbert Professional Center  
Phase II**  
N of NWC Long Meadow & Gilbert Rd.  
Gilbert, Arizona

**APPROVED**  
Administrative Design Review  
Case Planner Initials: DC  
Case # DA16-22 / DR00-64-A  
Date: 4/21/16

To Whom It May Concern,

Gilbert Professional Plaza Phase 2 is planning to amend its existing sign program. Gilbert Professional Plaza is going to upgrade the internally lit fluorescent tube cabinets to internally illuminated white LED strip cabinets to increase longevity and efficiency.

The existing monument sign faces will be replaced by front serviceable, routed aluminum faces backed with slide in plexiglass, same color as building signs. Eight (8) panels for tenants available on each side, each panel 11.5" x 50" including the addition of a double sided HPCB15T-R1G1B1-M-56 x 144 electronic message board.

The electronic message board is fully compliant with all electronic message board regulations including 100 levels of customizable automatic dimming and is fully programmable to hold messages for any length of time.

This sign program amendment will use the existing monument with 18" x 24" concrete filled footing and 6" pole. The modified sign will be no taller than 10 feet and include no more than 60 square foot total per side. The aluminum extrusions for all sign cabinets will be black in color.

Sincerely,

Mathew Bryant

VisibleClarity LED Sign Solutions

**APPROVED**  
Administrative Design Review  
Case Planner Initials: DR  
Case # DALV-22-DEED-64-A  
Date: Apr 16

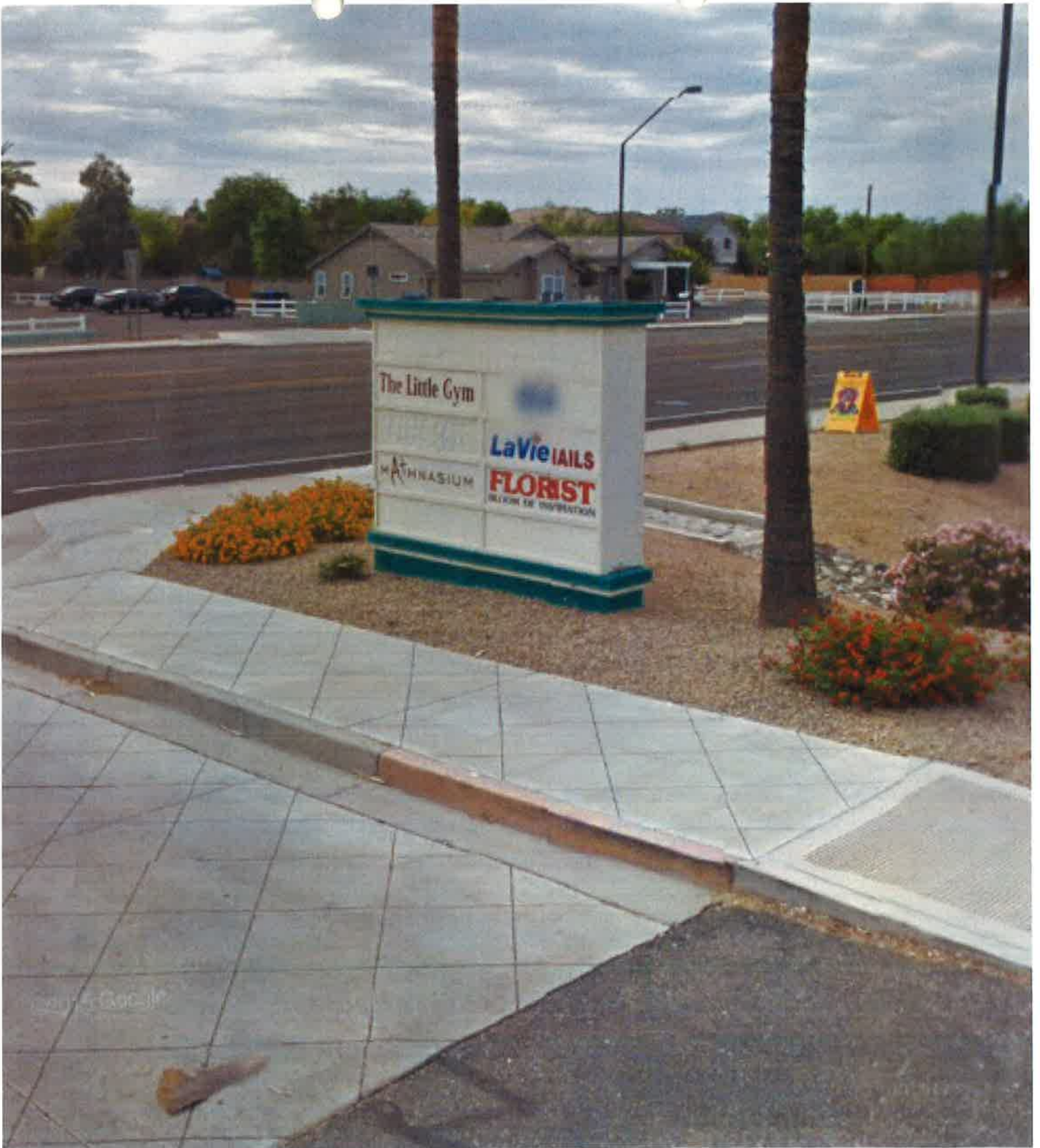
DE5357  
Cream Puff



DUNN - EDWARDS  
DE 5357  
CREAM PUFF  
SPARTA SHIELD EX FLAT

DUNN - EDWARDS  
DE 5699  
EMERALD POOL  
SPARTA SHIELD EX FLAT  
0200-64-A (ISH)

**APPROVED**  
Administrative Design Review  
Case Planner Initials: PC  
Case # DALL-22-1800-04-A  
Date: 11/21/16



COLOR Exhibit

**APPROVED**  
Administrative Design Review  
Case Planner Initials: DC  
Case # DALLE 27 / D1200-64-A  
Date: 1/21/16

D1200-64-A(153)

## SIGN CRITERIA

# GILBERT PROFESSIONAL PLAZA Phase II

### I. INTRODUCTION

The purpose of a sign control program is to ensure an attractive shopping environment and to protect the interests of the Landlord and Tenant.

### II. GENERAL REQUIREMENTS

- A. Landlord shall administer and interpret the criteria and shall approve all signs in writing prior to their installation.
- B. Submittal and Compliance:
  - 1. Tenant shall submit or cause to be submitted to Landlord, for approval, detailed shop drawings covering location, size, design, color, materials, lettering and graphics of the proposed wall sign. The Tenant must not submit any sign drawings to the City of Gilbert without first obtaining the Landlord's approval.
  - 2. Landlord shall review the drawings and return them marked "Approved", "Approved as Noted" or "Revise and Resubmit".
    - a. "Approved" drawings will permit Tenant to proceed with permitting, construction and installation of its sign in accordance with the drawings.
    - b. "Approved as Noted" drawings will permit Tenant to proceed with permitting, sign construction and installation, provided that the modifications noted are incorporated into the design. If the Tenant takes exception to the modifications, Tenant shall revise and resubmit.
  - 3. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the building visible from outside the premises except

as specifically approved by Landlord. Signs that are installed without written approval or are inconsistent with approved drawings, may be subject to removal and reinstallation by Landlord at Tenant's expense.

4. The City of Gilbert, Development Services Department, requires sign permits for all signs. It shall be Tenant's sole responsibility to secure these and any other permits that may be required.
  5. Landlord's approval of Tenant's plans shall not constitute an implication, representation, or certification by Landlord that said items are in compliance with applicable statutes, codes, ordinances, or other regulations. Said compliance shall be the sole responsibility of Tenant for all work performed on the premises by or for Tenant.
  6. Sign contractors performing any sign work at Gilbert Professional Center, Phase II must be licensed by the Arizona State Registrar of Contractors, bonded and insured.
- C. To insure strict compliance with this sign criteria, Landlord suggests that Sign World, Inc. provide all tenant signage and has designated Sign World, Inc. the sign contractor to furnish and install all signage at Gilbert Professional Plaza Phase II.  
Sign World, Inc. (480) 982-6696.

Non-compliance with this sign criteria will be corrected by Landlord at the tenant's expense.

- D. Landlord may repair or replace any broken or faded sign at Tenant's expense.

### III. DESIGN REQUIREMENTS

- A. Flashing, painted, blinking, rotating, moving or audible signs are not permitted.
- B. The wall sign may identify the individual business of Tenant by name or by name and principal service offered, when the name does not identify the principal service offered. Established logos, crests, or insignias may be included as part of the signs.

3. The color of the internal neon will be red, white or green, unless otherwise approved.
  4. Trim capping on the faces of the sign is to be  $\frac{3}{4}$  inch gold with gold screws or it may be the same color as otherwise approved returns.
- I. Landlord shall have the right to modify the design requirements for any Tenant.

#### **IV. MONUMENT SIGNS**

There will be one multi-tenant monument sign for Gilbert Professional Plaza Phase II located as described on the plot plan.

#### **V. CONSTRUCTION REQUIREMENTS**

- A. All sign bolts, fastenings, sleeves and clips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted. Minimum of four (4) screws per letter.
- B. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. Sign contractor and/or Tenant shall pay for any damage to the fascia, canopy, structure, roof, or flashing caused by sign installation.
- E. No exposed tubing will be permitted, except as halo or accent.
- F. Wall signs shall be centered horizontally on the sign band.
- G. All electrical signs shall adhere to UL standards.
- H. All signs shall conform to the Uniform Building Code Standards.
- I. All electrical signs shall conform to National Electrical Code Standards.

- J. Electrical service to signs shall be on the Tenant's meter.
- K. PK housings are not allowed, 7/8 inch hole maximum. Low voltage drivers are encouraged.
- L. Timers are to be installed with the sign.

For further information and assistance with your signage, code compliance, drawings, etc., contact:

Gil Verley  
Sign World, Inc.  
**480-982-6696**

fax: 480-982-6774



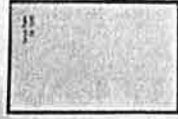
**MONUMENT COLORS TO MATCH BUILDING**

DUNN - EDWARDS - YUCCA PALM  
(DC 1046) Main cabinet, Masonry Base

DUNN - EDWARDS - ENVY GREEN  
(DE 348) Accent

RETURN COLOR  
FOR SIGN PANS  
#313 BRONZE

TRIMCAP  
3/4" GOLD



**ACRYLIC FACE COLORS**



WHITE #015

BLUE #607

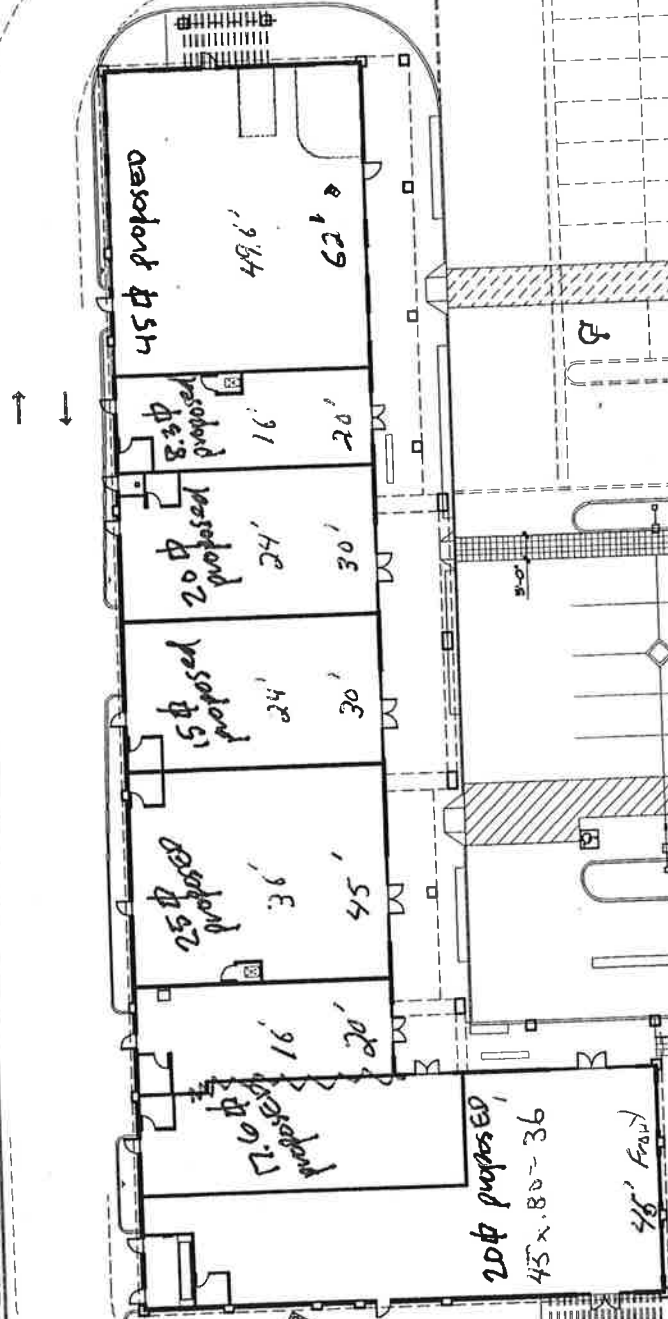
RED #211

YELLOW #407

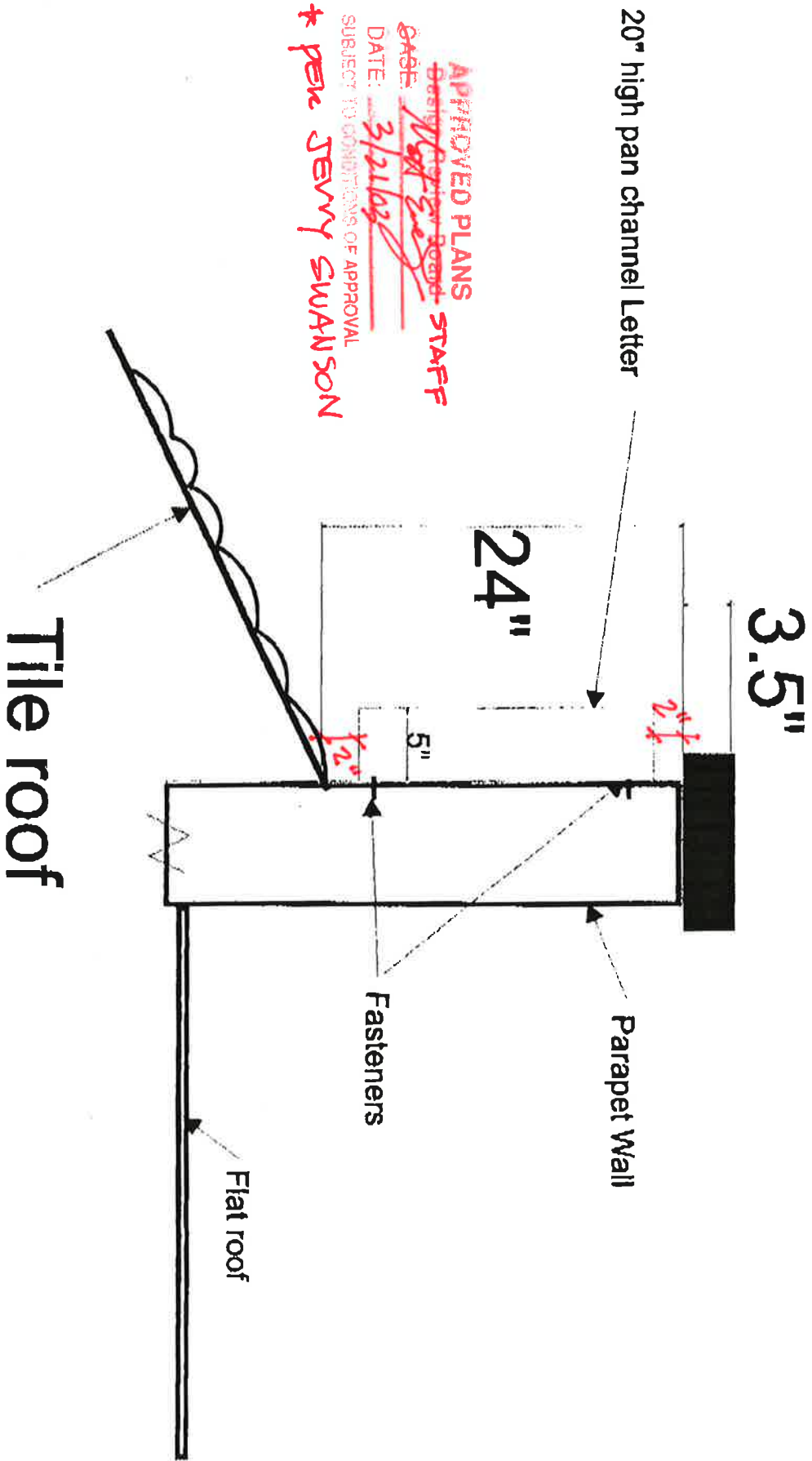
GREEN #506

1" = 40'

Frontage  
80% of frontage



# Pan Channel Letter Installation Detail Gilbert Professional Center Phase II



**APPROVED PLANS**  
 Design: *Jeffrey Boyd* STAFF  
 DATE: *3/21/03*  
 SUBJECT TO CONDITIONS OF APPROVAL  
 \* per **JEVY SWANSON**

1881 West Apache Trail  
Apache Junction, AZ 85220  
Phone: 480-982-6696  
Fax: 480-982-6774  
[www.signworldinc.com](http://www.signworldinc.com)  
[sales@signworldinc.com](mailto:sales@signworldinc.com)

A black rectangular box containing the text "SIGN WORLD" in white, bold, sans-serif capital letters.

# Fax

<b>To:</b> Town Of Gilbert	<b>From:</b> Mark Simiriglia
<b>Attn:</b> Matt Everling, Planner II	<b>Date:</b> March 21, 2003
<b>Re:</b> Sign Elevation	<b>Pages:</b> 2
<b>Phone:</b> 503-6746	<b>Fax:</b> 497-4923

Urgent    For Review    Please Comment    Please Reply    Please Recycle.

**Matt,**

Attached is the detail of the parapet wall detail for the signs at 538 S. Gilbert Rd. DR00 – 64, Gilbert Professional Center.

Please contact Angela Wilson at 503-9217 to confirm receipt.

Thank You,

Mark Simiriglia

Sign World Inc.

- C. Lettering: The letters on all signs shall be either script or individual block type. Minimum stroke shall be two inches (2"). Logo cans are allowed but must be of an irregular design.
- D. Each Tenant will be permitted to place upon the entrance of its premises up to 144 square inches of gold leaf or decal application lettering (not to exceed two inches in height) indicating hours of business, an emergency telephone number, etc. All other window signage must comply with the ordinances of the City of Gilbert, i.e., window signage may cover no more than twenty-five percent (25%) of window area and said area used is deducted from the sign allowance set forth in Paragraph F.2. below.
- E. Illumination: All illuminated signs on the sign band are to be internally illuminated with no light source visible. No signs will be allowed with intermittent illumination (flashing). No exposed neon, except as halo or accent (not as outline). No fluorescent and/or incandescent tubing or lamps shall be permitted.
- F. Tenant shall have one wall sign on each fascia of Tenant's leased frontage. Signs shall be individual interior illuminated letters flush mounted. Wall signs shall be limited in overall length to eighty percent (80%) of the business front footage of the leased premises. Business front footage is measured along and parallel to the storefront.
1. Wall sign characters shall not exceed 20 inches in height, except as approved by Landlord.
  2. The computed area of wall signs shall not exceed one and one-half (1.5) square feet per building front foot of the leased space. Building front foot refers to the maximum width of the leased premises measured along a straight line.
- G. Colors:
1. Tenant may choose the color of the acrylic faces for the sign from the list of colors below:
    - White #015
    - Blue #607
    - Red #211
    - Yellow #407
    - Green #506
  2. Returns on the sign pans will be #313 bronze, unless otherwise approved.