

# **Gilbert Gateway Towne Center General Requirements Building Signage**

These criteria have been established for the purpose of maintaining a continuity of quality and aesthetics throughout Gilbert Gateway Towne Center for the mutual benefit of all tenants, and to comply with the approved Comprehensive Sign Plan for the shopping center, regulations of the Town of Gilbert sign ordinance, building and electrical codes of any governmental authority having jurisdiction. Conformance will be strictly enforced, and any non-compliant sign(s) installed by a Tenant shall be brought into conformance at the sole cost and expense of the Tenant. This criteria is subject to final approval by the Town of Gilbert as part of a Comprehensive Sign Plan submittal. If a conflict is found to exist between these criteria and the final criteria approved by the city, the latter shall prevail.

## **I. GENERAL REQUIREMENTS**

- A. Tenant shall submit or cause to be submitted to Landlord, for approval, prior to fabrication, four (4) copies of detailed drawings indicating the location, size, layout, design color, illumination materials and method of attachment.
- B. Tenant or Tenant's representative shall obtain all permits for signs and their installation.
- C. All signs shall be constructed and installed at Tenant's sole expense.
- D. Tenant shall be responsible for the fulfillment of all requirements and specifications, including those of the local municipality.
- E. All signs shall be reviewed for conformance with these criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetics of design shall remain the sole and exclusive right of Landlord or Landlord's authorized representative.

- F. Tenant shall be responsible for the installation and maintenance of Tenant's sign. Should Tenant's sign require maintenance or repair, Landlord shall give Tenant thirty (30) days written notice to effect said maintenance or repair. Should Tenant fail to do the same, Landlord may undertake repairs and Tenant shall reimburse Landlord within ten (10) days from receipt of Landlord's invoice.
- G. Advertising devices such as attraction boards, posters, banners and flags shall be permitted in accordance to Sections 3.72A and 3.72B of the Town of Gilbert Sign ordinance. Tenant shall obtain Landlord's approval in addition to any permit(s) required by the Town of Gilbert. **(Revised 2/28/2005)**

## II. SPECIFICATIONS - TENANT SIGNS

- A. General Specifications
  - 1. No animated, flashing or audible signs shall be permitted.
  - 2. All signs and their installation shall comply with all local building and electrical codes.
  - 3. No exposed raceways, crossovers or conduit shall be permitted.
  - 4. All electrical enclosures, conductors, transformers and other equipment shall be concealed.
  - 5. Painted lettering shall not be permitted except as approved by the Landlord and the Town of Gilbert.
  - 6. Any damage to the sign band face or roof deck resulting from Tenant's sign installation shall be repaired at Tenant's sole cost.
  - 7. Upon removal of any sign by Tenant, any damage to the sign band face shall be repaired by Tenant or by Landlord at Tenant's cost.

B. Location of Signs

1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Landlord.

### III. DESIGN REQUIREMENTS

Individual illuminated letters and logos may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or any combination thereof. The letters are to be flush mounted onto the building fascia. Electrical connections shall be concealed to remote transformers. All signage shall be installed in compliance to Town of Gilbert electrical code and UL 2161 / UL 48 specifications. Any sign installation determined to be non-compliant shall be repaired immediately by the Tenant at Tenant's sole expense.

A. Sign Area

1. The maximum aggregate sign area per building elevation for each tenant shall be calculated by multiplying one and one-half (1.5) times the length of the storefront(s) and/or elevation(s) occupied by the tenant. Each tenant shall be permitted a minimum of forty (40 SF) square feet of sign area.

B. Letter Height and Placement Restrictions

1. Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan in location designated by the Landlord and/or Landlord's agents.
2. Tenants occupying less than 14999 SF shall be limited to a maximum letter height of thirty-six (36") inches. Tenants occupying 15000 SF through 50000 SF shall be limited to a maximum letter height of sixty (60") inches. All tenants, with the exception of Major "J", occupying greater than 50000 SF shall be limited to a maximum letter height of seventy-two (72") inches. All major tenants shall be permitted to utilize their standard corporate identification program subject to sign area

limitations contained in the approved Comprehensive Sign Plan. All signage shall be reviewed by the developer and shall be approved based upon the findings that the signage complements the surrounding building features and thematic design of the Gilbert Gateway Towne Center project.

3. Length of Sign on Wall Surface: In no event shall any sign exceed eighty (80%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the sign band shall regulate letter height. **(Revised 2/28/2005)**
4. Shop tenant signage shall not exceed eighty (80%) percent of Tenant's leased storefront length. **(Revised 2/28/2005)**

C. Letter Style or Logo Restrictions

1. Copy and/or logos utilized shall be Tenant's choice, subject to the approval of Landlord and/or Landlord's agents and the Town of Gilbert.

D. Illumination

1. Tenant building signage may be internally illuminated, backlit to create a silhouette, ~~exposed neon~~ and/or combination of lighting methods mentioned herein.

*Not allowed Per Town Code*

E. Under Canopy Sign

1. The Tenant shall provide a double-faced non-illuminated under canopy sign for each shop space in accordance to specifications provided by the Landlord.
2. Copy shall be surface applied vinyl. The Landlord and/or Landlord's Agents shall approve all copy and layout.
3. The sign shall be suspended using a mechanism consistent with other under canopy signs throughout the Gilbert Gateway Towne Center and subject to Landlord's approval.

#### **IV. GENERAL CONSTRUCTION REQUIREMENTS**

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All signs shall be fabricated using full welded construction.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Tenant shall be fully responsible for the operations of Tenant's sign contractors and shall indemnify, defend and hold Landlord harmless for, from and against damages or liabilities on account thereof.

DR02-105  
File Copy



## **Comprehensive Sign Plan**

**N.W.C. Power Road and Ray Road at the  
San Tan Freeway**

### **Design Review Board Submittal**

**OWNER:**

***Vestar Development Co.***

Contacts: David Larcher, Craig Esslinger  
2425 East Camelback Road, Suite 750  
Phoenix, Arizona 85016  
(602) 866-0900 Phone  
(602) 955-2298 Fax

**SIGNAGE CONSULTANT:**

***Bleier Industries, Ltd.***

Contact: Paul Bleier  
2030 West Desert Cove  
Phoenix, Arizona 85028  
(602) 944-3117 Phone  
(602) 395-0753 Fax

**ARCHITECT:**

***Butler Design Group***

Contacts: Richard Butler, Clay Chiappini  
3020 E. Camelback Road, Suite 215  
Phoenix, Arizona 85016  
(602) 957-1800 Phone  
(602) 957-7722 Fax

**V2.0 – March, 2003**

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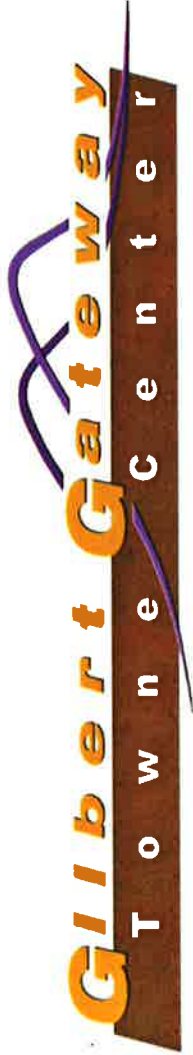
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## **Site Signage**



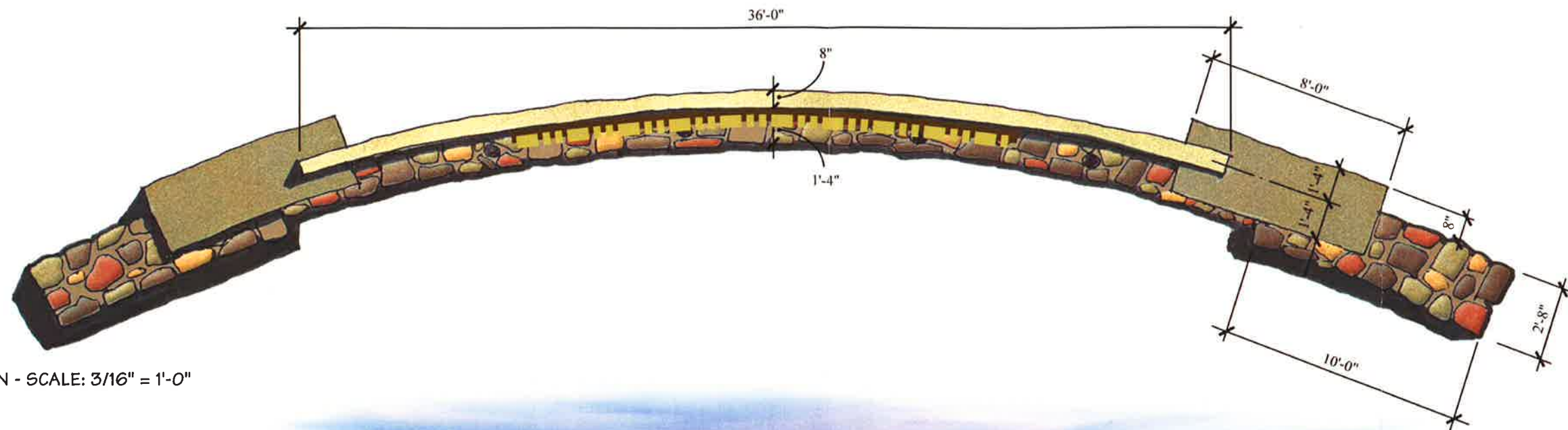


## Freestanding Sign Matrix

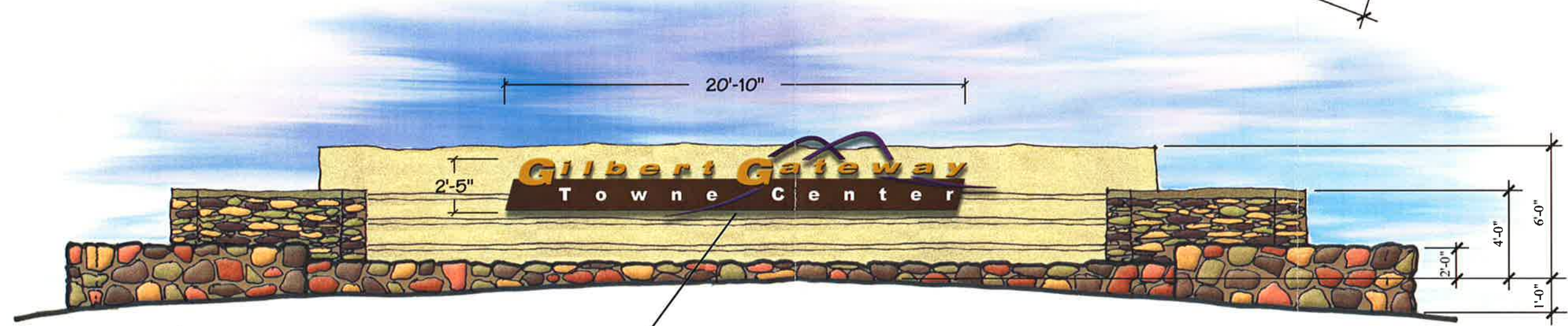
SIGN	SIGN TYPE	FUNCTION	LOCATION	QUANTITY	HEIGHT	SIZE	ILLUMINATION	MATERIALS
TYPE 1 Freeway Pylon	Pylon	Center ID with tenant identification	Placed along San Tan Freeway (Loop 202)	2	Sixty (60') Feet to top of Pylon	500 SF Maximum Exclusive of Center Identification and Architectural Embellishments	Combination of Interior and Exterior Illumination	Masonry, Stucco, Brushed Aluminum, Powder Coat and Acrylics
TYPE 2 Monument	Monument	Center ID with tenant identification	Placed along Power Road and Ray Road	Ray Road (1) Power Rd (3)	Fifteen (15') feet to top of sign panel exclusive of architectural embellishment	150 SF Maximum Exclusive of Architectural Embellishments	Combination of Interior and Exterior Illumination	Masonry, Stucco, Brushed Aluminum, Powder Coat and Acrylics
TYPE 3 Center Identification Monument	Monument	Center ID	Site Interior	1	Six (6') Feet to top of Monument	50 SF Maximum Exclusive of Architectural Embellishments	Internal Illumination and/or Ground Illumination	Masonry, Stucco, Stone Veneer, Aluminum, Acrylic and Vinyl Copy
TYPE 4 Gas Station Price Sign (TBD)	Monument	Brand ID and Price Signs	Placed along Power Road and Ray Road	Ray Road (1) Power Rd (1)	Eight (8') Feet to top of Monument	40 SF Maximum	Internal Illumination and/or Ground Illumination	Masonry, Stucco, Stone Veneer, Aluminum, Acrylic and Vinyl Copy

Sign types, quantities, and sizes approved by Ordinance No. 1425 by the Town of Gilbert Mayor and City Council on September 17, 2002.

*All signs are subject to Design Review Board Approval.*



PLAN - SCALE: 3/16" = 1'-0"



ELEVATION - SCALE: 3/16" = 1'-0"

GROUND ILLUMINATED FCO CENTER ID SIGN MOUNTED ON ENTRY WALL.

2030 WEST DESERT COVE AVE. • PHOENIX, ARIZONA 85029 • 602.944.3117 • FAX 602.395.0753 • SALES@BLEIERINDUSTRIES.COM



PROJECT:	Gilbert Gateway Towne Center SWC Santan Fwy (Loop 202) & Power Rd. Gilbert, AZ	DESIGN NO.:	2002-J-048	DATE:	03/19/03
TITLE:	Center ID - Elevation/Plan	SCALE:	As Noted	REVISIONS:	
DESIGNER:	Dan Horton	SHEET NO.:	ST 3		
	Paul Bleier				

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APPROVED BY:



CORRUGATED METAL ROOFING



18'-8"  
267.4 SQ FT

15'-10"

INTERNALLY ILLUMINATED  
SIGN CABINET  
FLEXIBLE SIGN FACE  
W/FIRST SURFACE  
APPLIED VINYL GRAPHICS,  
BACKGROUND TO BE  
3M 3630-149 "LIGHT BEIGE"  
TRANSLUCENT VINYL

60'-0"



15'-0"  
232.5 sq ft

GROUND-LIT  
FCO GRAPHIC ON  
BOARD FORMED  
CONCRETE WITH  
INTEGRAL COLOR  
VERTICAL PATTERN

Gilbert Gateway  
T o w n e C e n t e r



CHARDONNAY DRESSED  
FIELDSTONE  
BY CULTURED STONE

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PROJECT: Gilbert Gateway Towne Center  
SWC Santan Fwy (Loop 202) & Power Rd.  
Gilbert, AZ  
TITLE: 60' Freeway Pylon  
DESIGNER: Dan Horton  
SALES: Paul Bleier

DESIGN NO: 2002-J-04B  
SCALE: 3/16" = 1'-0"  
DATE: 03/19/03  
REVISIONS:  
SHEET NO: ST 1.1

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APPROVED BY:





- 1 RAISED ALUMINUM SIGN PANEL PAINTED DE 2560 "COCHISE" ROUTED TENANT GRAPHICS
- 2 3/8" ACRYLIC PUSH-THRU TENANT GRAPHIC W/FIRST SURFACE APPLIED VINLY
- 3 4" REVEAL PAINTED BLACK

- 4 CORRUGATED METAL ROOFING, RUST COLOR
- 5 10" X 10" STEEL TUBE, RUST COLOR
- 6 4" X 8" STEEL TUBE, RUST COLOR

- 7 CHARDONNAY DRESSED FIELDSTONE BY CULTURED STONE
- 8 8" FCO ADDRESS NUMERAL PAINTED DE 2560 "COCHISE"

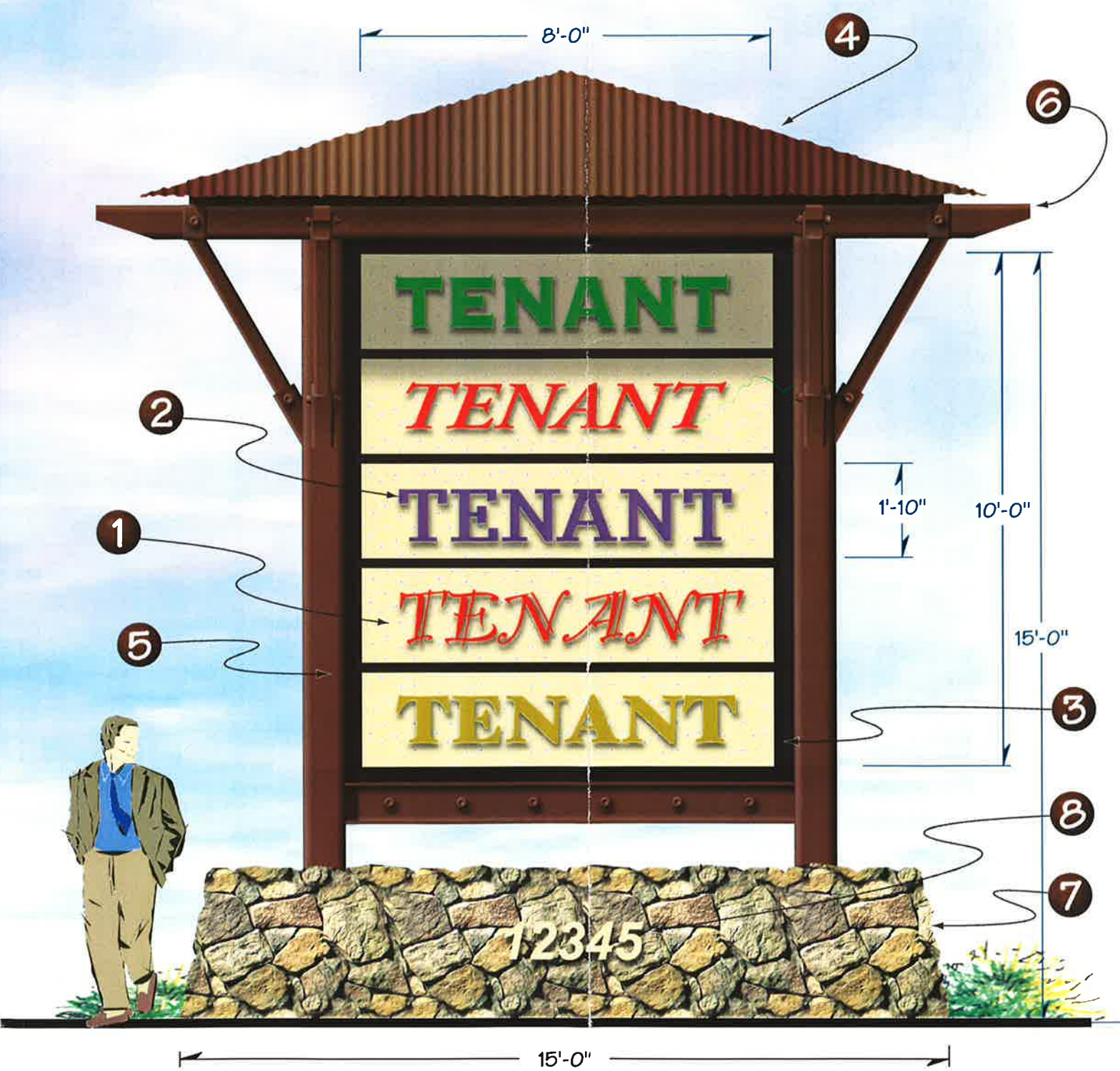
PROJECT: Gilbert Gateway Towne Center SWC Santan Fwy (Loop 202) & Power Rd. Gilbert, AZ	
TITLE: 15' Monument Sign Elevation	
DESIGN NO: 2002-J-048	DATE: 03/19/03
SCALE: 3/8" = 1'-0"	REVISIONS:
SHEET NO: ST 2	<ul style="list-style-type: none"> <li>▲</li> <li>▲</li> <li>▲</li> </ul>

**bleier INDUSTRIES**  
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Single Major Tenant Sign Elevation



Multi-Tenant Sign Elevation



PROJECT:	
Gilbert Gateway Towne Center SWC Santan Fwy (Loop 202) & Power Rd, Gilbert, AZ	
TITLE:	
15' Monument Sign Perspective	
DESIGN NO:	DATE:
2002-J-048	03/19/03
SCALE:	REVISIONS:
NTS	△
SHEET NO:	△
ST 2R	△

**bleier**  
**INDUSTRIES**

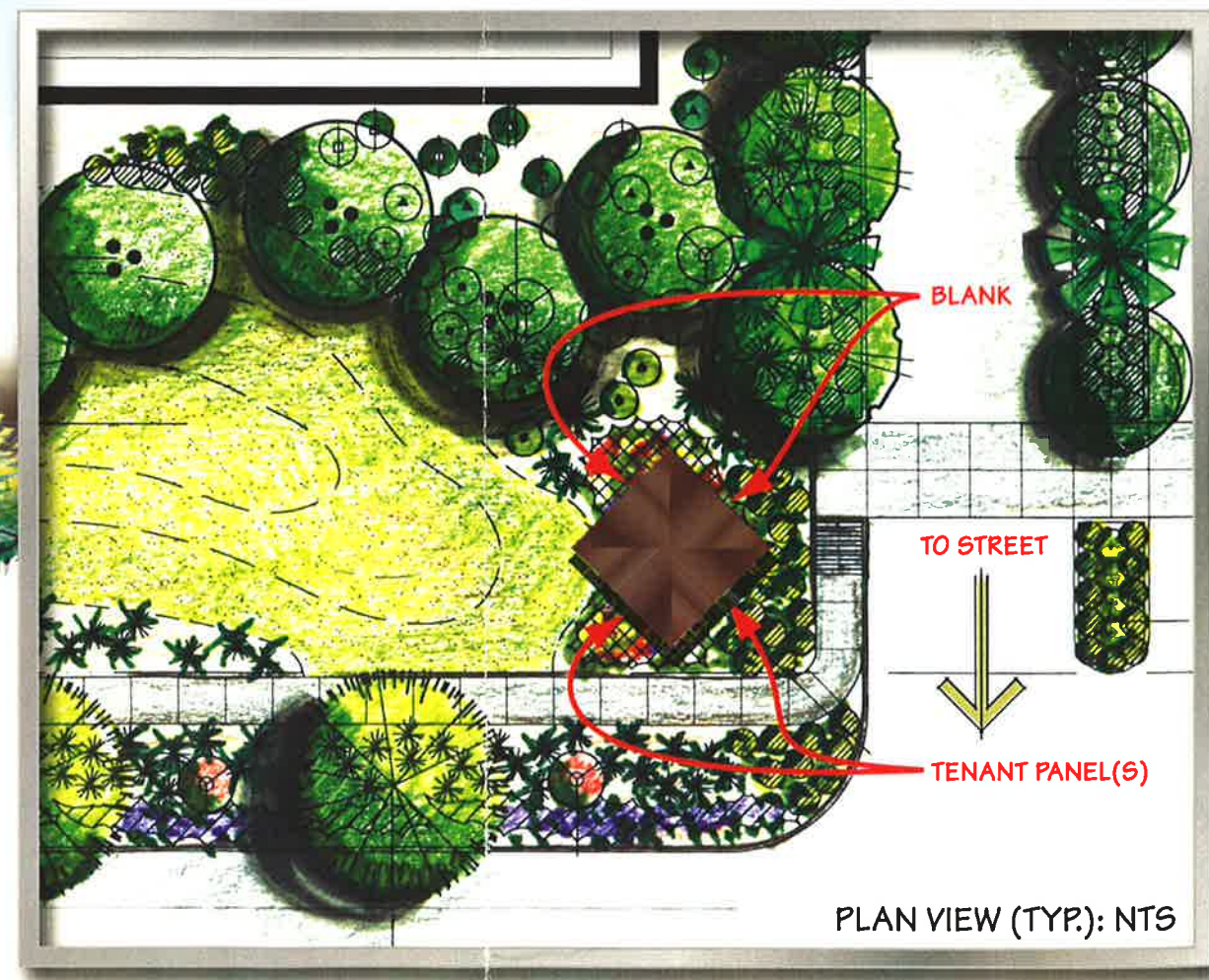
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Single Major Tenant  
Sign Elevation

Multi-Tenant  
Sign Elevation



PLAN VIEW (TYP.): NTS



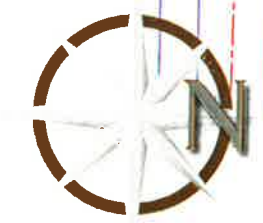
## **Building Signage**

**ST-1** 60' Pylon - Center ID & Multi-Tenant    **ST-2** 15' Monument - Multi-Tenant    **ST-3** Center ID



Developer: 	Signage Contractor: 	Architect: 
----------------	-------------------------	----------------

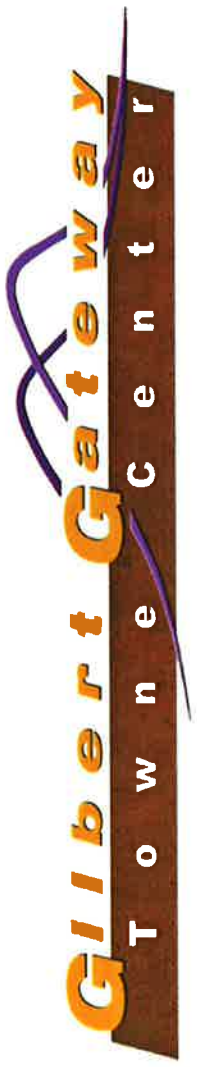
**Gilbert Gateway**  
Towne Center



SCALE: 1" = 200'

v2.0 March, 2003

4/11/03



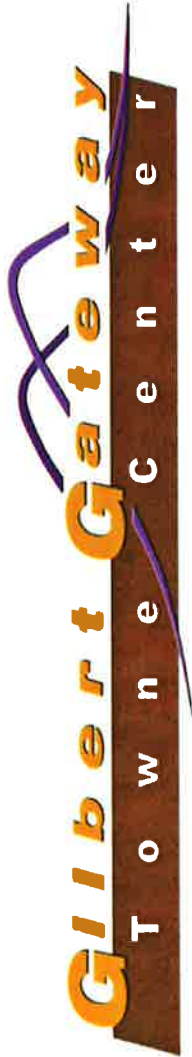
**Building Sign Matrix  
Major Tenants**

<b>SIGN</b>	<b>SIGN TYPE</b>	<b>FUNCTION</b>	<b>LOCATION</b>	<b>HEIGHT</b>	<b>SIZE</b>	<b>ILLUMINATION</b>	<b>MATERIALS</b>
Major Tenant with occupancy greater than 50,000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	72" Maximum Letter Height	1.50 SF / Linear Foot of Building Street Frontage (Typical)	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
Major Tenant with occupancy greater than 15,000 SF but less than 50,000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	60" Maximum Letter Height	1.50 SF / Linear Foot of Building Street Frontage (Typical)	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
Major Tenant with occupancy less than 15,000 SF	Wall Mounted Signs	Tenant Identification	All elevations that offer readability	36" Maximum Letter Height	1.50 SF / Linear Foot of Building Street Frontage (Typical)	Interior, Backlit or a combination thereof	Aluminum, Acrylic, Painted Metal, Flexface Material
All Major Tenants	Under Canopy Blade Sign	Tenant Identification	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

Sign types, quantities, and sizes approved by Ordinance 1425 by the Town of Gilbert Mayor and City Council on September 17, 2002.

All signs are subject to Design Review Board Approval.



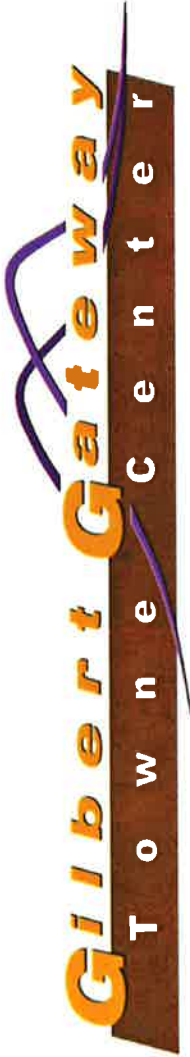


## Building Sign Matrix Shop Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Shop Tenants	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage.	Within Building Silhouette	1.5 SF / Linear Foot of Building Street Frontage (Typical) 40 SF Minimum (Typical)	Interior, Backlit or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Shop Tenants	Under Canopy Blade Sign	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	36" Maximum Letter Height 8 SF	Non-illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics

Sign types, quantities, and sizes approved by Ordinance No. 1425 by the Town of Gilbert Mayor and City Council on September 17, 2002.

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## Sign Matrix Pad Tenants

SIGN	SIGN TYPE	FUNCTION	LOCATION	HEIGHT	SIZE	ILLUMINATION	MATERIALS
Pad Tenant	Wall Signs	Tenant ID	Wall surfaces and architectural features designed to accommodate signage.	Within Building Silhouette	1.5 SF / Linear Foot of Building Street Frontage (Typical) 40 SF Minimum (Typical) 36" Maximum Letter Height	Interior Backlit, or a combination thereof.	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad Tenant	Under Canopy Blade Sign	Tenant ID	In front of tenant's leased space	Below architectural canopy. Maintain 8' Clearance AFF	8 SF	Non-Illuminated	Aluminum, Acrylic, Painted Metal, Vinyl Graphics
Pad Tenant	Menu Signs	Menu Display and Pricing	Drive Thru	Per Sign Ordinance	Per Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad Tenant	Traffic Directionals	Vehicular	Driveways and Drive Thru as Required	Per Sign Ordinance	Per Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material
Pad Tenant	ATM	ATM	Wall or Freestanding	Per Sign Ordinance	Per Sign Ordinance	Interior and Ground Illumination	Aluminum, Acrylic, Painted Metal, Flexface Material

Sign types, quantities, and sizes approved by Ordinance No. 1425 by the Town of Gilbert Mayor and City Council on September 17, 2002.

All signs are subject to Design Review Board Approval.



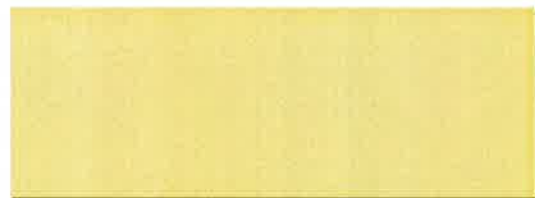
Metal Accent "Chamber" DE 3168  
by Dunn Edwards



Metal Accent "Aztec Pony" DE 2920  
by Dunn Edwards



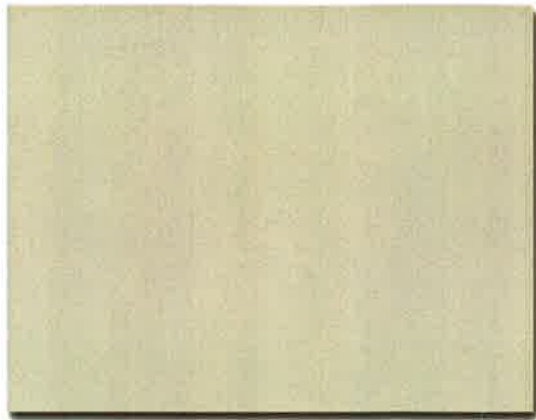
EIFS Color "Cochise" DE 2560  
by Dunn Edwards



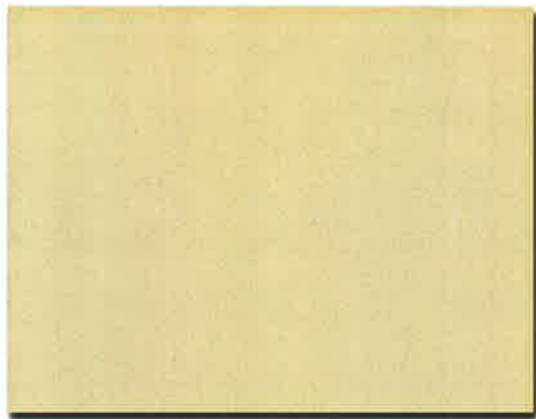
EIFS Color "Adobe" SP 41  
by Dunn Edwards



EIFS Color "Brittlebush" SP 2740  
by Dunn Edwards



Cast in Place Concrete  
"Sierra"  
by Davis Colors



Cast in Place Concrete  
"San Diego Buff"  
by Davis Colors



Pedestrian Area Light Fixture  
by Lumec / Transit Series



Brick with Mortar Wash



Rustic Tile Blend



Chardonnay Dressed Fieldstone  
by Cultured Stone



Fog Southern LedgeStone  
by Cultured Stone



Heavy Timber



Corrugated Metal



Board Formed  
Concrete  
with Integrated Color

Colors

Materials

Color / Materials Palette



S. W. C. POWER RD. & SANTAN FREEWAY  
GILBERT, ARIZONA



v2.0 March, 2003





SCALE: 1" = 40'-0"



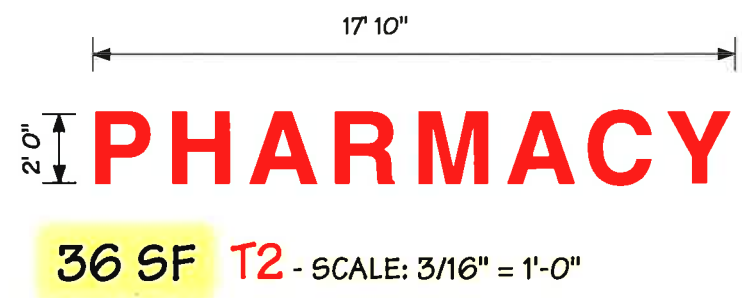
ILLUMINATION:  
15mm CLEAR RED NEON  
15mm GREEN NEON  
NOTE: Transformers are located inside letters.

ALUMINUM RETURNS & BACKS FLAT 3/16" THICK  
ACRYLIC FACES ALUMINUM MOLDINGS  
NOTE: Bullseye is comprised of two pieces;  
outer ring & inner dot

BULLSEYE, TARGET FACES: ROHM & HAAS #2283 "RED"  
GREATLAND: 506-0GP "GREEN"  
MOLDINGS & RETURNS PAINTED TO MATCH FACES

ALLOWABLE SIGN AREA  
1.5 X 559 = 838.50 SF

T1	522
T2	36
T3	73
TOTAL	631 SF



FACES: ROHM & HAAS #2283 "RED"  
TRIMCAP & RETURNS PAINTED TO MATCH FACES  
ALUMINUM RETURNS & BACKS  
FLAT 3/16" THICK ACRYLIC FACES  
1" TRIMCAP RETAINERS

ILLUMINATION:  
15mm CLEAR RED NEON  
NOTE: Transformers are located inside letters.



73 SF  
T3 - SCALE: 3/16" = 1'-0"  
1/4" ALUMINUM FLAT CUT  
OUT LETTERS, PAINT RED  
GLOSS FINISH TO MATCH  
BENJAMIN MOORE  
CARNIVAL RED

PROJECT: Gilbert Gateway Towne Center SWC Santan Fwy (Loop 202) & Power Rd. Gilbert, AZ	
TITLE: Building Signs	
DESIGN NO: 2002-J-048	DATE: 3/19/03
SCALE: As Noted	REVISIONS:
SHEET NO: CSP ELV1	

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OVERALL ELEVATION



S.W.C. POWER RD. & SANTAN FREEWAY  
GILBERT, ARIZONA

v2.0 March, 2003





**Pad 'E'**  
North Elevation



*Plaza Space* | **Pad 'D'**  
East Elevation | *End Cap*



**Pad 'F'**  
Front Elevation



**Pad 'F'**  
Side Elevation



**Pad 'G'**  
Front Elevation



**Pad 'G'**  
Side Elevation



**Pad 'Typ'**  
Side Elevation



**Pad 'Typ'**  
End Elevation



S. W. C. POWER RD. & SANTAN FREEWAY  
GILBERT, ARIZONA

00069

v2.0 March, 2003



## **Gilbert Gateway Towne Center / Phase 2 General Requirements Building Signage**

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  - 1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Landlord.

### III. DESIGN REQUIREMENTS

Individual illuminated letters and logos may include pan channel metal letters with acrylic sign faces, reverse pan channel "backlit" illuminated letters, or any combination thereof. The letters are to be flush mounted onto the building fascia. Electrical connections shall be concealed to remote transformers. All signage shall be installed in compliance to Town of Gilbert electrical code and UL 2161 / UL 48 specifications. Any sign installation determined to be non-compliant shall be repaired immediately by the Tenant at Tenant's sole expense.

- A. Sign Area
  - 1. The maximum aggregate sign area per building elevation for each tenant shall be calculated by multiplying one and one-half (1.5) times the length of the storefront(s) and/or elevation(s) occupied by the tenant. Each tenant shall be permitted a minimum of forty (40 SF) square feet of sign area.
  
- B. Letter Height and Placement Restrictions
  - 1. Tenant signage shall be installed in accordance with the approved Comprehensive Sign Plan in location designated by the Landlord and/or Landlord's agents.
  - 2. Tenants occupying less than 14999 SF shall be limited to a maximum letter height of thirty-six (36") inches. Tenants occupying 15000 SF through 50000 SF shall be limited to a maximum letter height of sixty (60") inches. All tenants occupying greater than 50000 SF shall be limited to a maximum letter height of seventy-two (72") inches. All major tenants shall be permitted to utilize their standard corporate identification program subject to sign area limitations contained

in the approved Comprehensive Sign Plan. All signage shall be reviewed by the developer and shall be approved based upon the findings that the signage complements the surrounding building features and thematic design of the Gilbert Gateway Towne Center project.

3. Length of Sign on Wall Surface: In no event shall any sign exceed eighty (80%) percent of the building elevation and/or wall surface upon which it is placed. The available surface area of the sign band shall regulate letter height.
4. Shop tenant signage shall not exceed eighty (80%) percent of Tenant's leased storefront length.

C. Letter Style or Logo Restrictions

1. Copy and/or logos utilized shall be Tenant's choice, subject to the approval of Landlord and/or Landlord's agents and the Town of Gilbert.

D. Illumination

1. Tenant building signage may be internally illuminated, backlit to create a silhouette, exposed neon and/or combination of lighting methods mentioned herein.

E. Under Canopy Sign

1. Each Shop Tenant shall be required to install graphic copy, at Tenant's cost, on the under canopy blade sign furnished by the Developer in accordance to the specifications contained in this Comprehensive Sign Plan. Anchor, Majors and Pad Tenants shall have the option to do so. For cost efficiencies and design/construction uniformity, all under canopy blade signs will be manufactured by the Developer's project sign contractor and purchased in bulk by Developer. Each Tenant that is required to have a blade sign shall reimburse the Developer for the cost of the display and its installation thereof.

2. All under canopy blade sign copy shall consist of flat cut out graphics and shall be surface applied to both sides of the display. The Developer and/or Developer's Agents shall approve in writing all copy and layout prior to its installation. Each Shop Tenant shall furnish and install the approved copy for said display at Tenant's sole and separate expense. For convenience, Tenant can furnish the copy to Developer's project sign contractor for mounting and/or can provide the project's sign contractor with electronic art suitable for production. Tenant shall pay for all costs associated with the production and mounting of Tenant's blade sign copy.
  
3. The blade sign shall be suspended and/or projected using a mechanism consistent with other under canopy blade signs throughout the Gilbert Gateway Towne Center as specified.

#### **IV. GENERAL CONSTRUCTION REQUIREMENTS**

- A. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- B. All signs shall be fabricated using full welded construction.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. No labels or other identification shall be permitted on the exposed surface of signs except those required by local ordinance, which shall be applied in an inconspicuous location.
- E. Tenant shall be fully responsible for the operations of Tenant's sign contractors and shall indemnify, defend and hold Landlord harmless for, from and against damages or liabilities on account thereof.