



## NOTICE OF ADMINISTRATIVE DECISION

June 7, 2018

John Hansen  
Advanced Sign & Lighting  
P.O. Box 12160  
Scottsdale, AZ 85267  
Email: advancedarizona@aol.com

RE: Minor Administrative Design Review for Gilbert Fiesta Marketplace – an Amendment to the Comprehensive Sign Plan-Minor Tenants:  
**DR05-130-S-B** (PDR-2018-00093).

Dear Mr. Hansen:

Staff has reviewed and **approved** your Minor Administrative Design Review **DR05-130-S-B (PDR-2018-00093)**, for approval of the proposed Amendment to the existing Comprehensive Sign Plan for Gilbert Fiesta Marketplace, to allow Minor Shop Tenants (less than 6,000 gross rentable square feet) to update the previously approved wall signage. The subject site is located at the SEC of Gilbert and Williams Field Road and zoned Shopping Center (SC) PAD zoning district.

The subject site was approved by the Design Review Board under DR05-130. A general summary of the newly proposed requests on the subject site are listed below:

- The Amended Comprehensive Sign Plan proposal under this application includes the following:
  - Wall Signage changes consist of updating the CSP to allow the standards of the Land Development Code, Article 4.4012, to be applied to the Wall Signage for Minor Shop Tenants only.
  - Changes include the deletion of requirements #2 and #5 as shown by the strike-thru's in the revised CSP.
  - No changes to the existing Freestanding Monument Signage are proposed under this application.

Staff has **approved** your request with the following conditions:

1. Construction shall conform to the exhibits submitted for this request, consisting of the following sheets: Revise Sign Plan for Gilbert Fiesta Marketplace and Project Narrative. All exhibits are stamped administratively approved June 7, 2018.

If you have any questions regarding these findings, please contact me at (480) 503-6742.

Sincerely,

*Tanya Castro*

Tanya Castro  
Planning Specialist  
Town of Gilbert

Town of Gilbert,

At this time we would request a text amendment for the existing comprehensive sign pan for Gilbert Fiesta Marketplace. We would ask at this time that the current CSP be amended to follow the new Town of Gilbert sign codes that were recently approved and adopted as per the allowable square footage allowed for minor tenants. All other design aspects of the existing CSP shall remain in place and effective.

Thank You, Advanced Sign & Lighting  
John Hansen-president

KVC Investors, LLC, a Delaware limited liability company

By: A & C Properties, Inc., an Arizona corporation

Its: Manager

By:

Name: Joseph Cattaneo

Its: President

Jennifer Stumph, A & C Properties, Inc.,

Managing Agent for Kierland Village Center, LLC,  
Owner

**APPROVED**

Administrative Design Review

Case Planner Initials: TC

Case # DP05-130-SB (PDZ-18-00093)

Date: 6/7/18

# Gilbert Fiesta Marketplace

## Signage

APPROVED

Administrative Design Review

Case Planner Initials: *DK*

Case # 2015-BOSB(FDR-18-00093)

Date: 6/7/18

## Conceptual

The purpose of the following guidelines is to set the standard for attractive signage for the Gilbert Fiesta center and its retail tenants. Signage should reflect a cohesive design for all elements and should complement the architecture. Signs are to meet the Town of Gilbert signage ordinance requirements for height, area and location.

In addition to identification signage for the center and for the individual businesses, it is the intent of the signage package to provide traffic directional, parking and safety signs which meet the requirements of the Town of Gilbert and federal regulations for accessibility for the disabled.

## Details

The following pages establish guidelines for the following:

- Entry Wall – Center Identification

Lettering to be mounted onto single-score masonry screen walls at site entries. Individual letters are 10" high opaque, reverse pan-channel halo-lit (indirect lighting). Colors are to match buildings.

- Typical Letter Construction – Reverse Pan Channel w/ Halo Illumination

Letters are 3" deep x 10" high aluminum reverse pan channel opaque units, offset from wall face by a 1½" gap. Illumination source is achieved with white LED strips ("Halo" illumination) through protective 1/8" clear Lexan lens/backing on each letter.

- Monument Sign – Fry's plus Major Tenants

With red acrylic faces and internally lit by white LED source, Fry's letters are individually routed from aluminum face (the letters' background is opaque). Tenant letters may be other colors than red shown on drawing. Asymmetrical stone pilaster, curved top cornice and stone base of monument sign are to match buildings' colors and materials.

- Monument Sign – Major Tenants

Same elements as monument sign described above. Acrylic face of tenant letters may be other colors than red shown on drawing.

- Individual Tenant Sign – Building Mounted

Letters are individual 5" deep pan channel units with acrylic faces, 24" high. Acrylic faces may be other colors than red shown on drawing. The aluminum returns (edges) of the letters are dark bronze color. Also refer to "Architecture" section.

- Typical Letter Construction - Pan Channel with Internal Illumination

This detail applies to the letters of the individual building-mounted tenant signs. Both the aluminum returns and the  $\frac{3}{4}$ " edge brackets are to be dark bronze color. The white LED internal illumination units are the latest technology in providing a reliable, low energy-consumption light source.

- Gateway Feature/Sign – At Arterial Corner

This feature incorporates an Identification Sign for the center: "Gilbert Fiesta Marketplace". Letters type and illumination match those on the entry wall signage. These are mounted on a matching wall which forms the front of the large planter group at the main corner of the development.

- "Welcome to Gilbert" Sign – At Arterial Corner

This sign occurs at 45 degrees to the arterial corner and features letters matching the reverse, pan-channel, halo-lit units of the entry wall and gateway feature signs. The background for the 2-sided sign is a textured aluminum cabinet with a top of an irregular shape. The background color matches the EIFS cap and "quoins" of the entry walls. A low, tapered planter of single-score concrete masonry forms an asymmetrical base for the sign. The base and sign letters match the color of the entry wall single-score masonry.

A COMPREHENSIVE SIGN PACKAGE FOR

# GILBERT FIESTA MARKETPLACE

# FRY'S FOOD & DRUG

## STORE #72

SWC Gilbert Rd. & Williams Field Rd.  
Gilbert, Arizona

**APPROVED**  
Administrative Design Review  
Case Planner Initials: *TC*  
Case # *D105-1305-B (2013-00013)*  
Date: *6/7/18*

Provided By:



**Signs**

4028 W. Whitton Avenue Phoenix, Arizona 602-272-0256 Fax: 602-272-1111

## **GILBERT FIESTA SIGN CRITERIA**

These sign criteria (these "Criteria") have been developed to insure design compatibility among all signs at Gilbert Fiesta, a retail shopping center located at the SWC of Gilbert and Williams Field roads in the Town of Gilbert, AZ (the "Town"). Conformance to these Criteria will be strictly enforced. Any sign installed that is non-conforming to these Criteria not approved by Landlord must be removed or brought into conformance by the Tenant and/or its sign contractor.

Landlord shall approve all signs, in writing, prior to installation. Approval shall be for appearance only and not for compliance with Town code. Sign permits must be obtained by the Tenant from the Town and all signs must otherwise be in compliance with all Town requirements and regulations.

The following is a description of the design criteria:

### **GENERAL SIGNAGE REQUIREMENTS**

Any reference herein to the word Tenant or Tenants shall be construed to include any owner of any pad or land within Gilbert Fiesta or any ground lessor.

1. Tenant shall submit shop drawings and specifications (2 sets) for all signs proposed to be installed. Landlord shall review the shop drawings and specifications and return one (1) set to Tenant marked "Approved," "Approved as Noted," or "Revise and Re-Submit".
2. "Revise and Re-Submit" drawings will be returned to Tenant with comments. These drawings shall be revised by Tenant and re-submitted to Landlord for its approval.
3. Upon receipt of Landlord approval, Tenant shall proceed with the Town permit process.
4. No signs, advertisements, notices or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of Landlord.
5. Tenant or its representatives shall obtain all permits for its exterior sign and its installation.
6. Tenant shall have the sole responsibility for compliance with all applicable statutes/codes, ordinances or other regulations for all work performed on the Premises by or on behalf of the Tenant. Subsequent to Town approval, Tenant may proceed with installation of signs.

7. Landlord's approval of Tenant's plans specifications, calculations, or work shall not constitute an implication, representation, or certification by Landlord that said items are in compliance with applicable statutes, codes, ordinances or other regulations.
8. All signage is subject to Town approval and these Criteria.
9. All signage shall be constructed and installed at Tenant's sole expense.
10. Tenant and the Tenant's contractor shall be responsible for the repair of any damage caused by its installation or removal of any signage.
11. All sign bolts, fastenings, sleeves, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
12. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
13. Any penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
14. All exposed metals shall be painted to render them inconspicuous.
15. No exposed tubing, conduit, or raceways will be permitted. All conductors, transformers, and other equipment shall be concealed.
16. All electrical signs shall bear the UL label.
17. All signs shall conform to Uniform Building Code Standards.
18. All electrical signs shall conform to National Electrical Code Standards.
19. Tenant shall be liable for the operation of their sign contractor.
20. Painted lettering will not be permitted.
21. Flashing, moving, or audible signs will not be permitted with the exception of drive thru menu boards & speakers.
22. Individual free-standing signs will not be permitted except as noted below regarding Free Standing Pad Tenants.
23. No exposed neon lighting shall be used on signs, symbols, or decorative elements without prior approval by Landlord and Town.



24. No logos shall be permitted without prior written approval of Landlord. Copy content of the signage shall not include the product sold by any Tenant.
25. Standard white vinyl die cut copy may be used to display hours of business, emergency numbers, etc. Such die cut copy shall not exceed one hundred forty-four (144") square inches in area. All window graphics and displays shall be subject to the prior written approval of Landlord prior to fabrication or implementation.
26. Wall signs shall consist of individual interior LED pan channel letters. These letters shall be mounted to the building fascia in the area allocated for signs by the Landlord.
27. Letter style and color shall be subject to the written approval of the Landlord.
28. Each sign package shall be subject to review and written approval of the Landlord and the Town.
29. Any changes to previously approved signage or other window or store front lettering or graphics will require that Tenant submit shop drawings and specifications for Landlord's prior written approval and shall be subject to Town approval.

Administrative Design Review  
 Case Planner Initials: TC  
 Case #: D205-130-58 (D2-18-00093)  
 Date: 6/7/18

### MAJOR TENANT

A Major Tenant is defined as a Tenant with a single building area exceeding 20,000 gross rentable square feet.

1. Fry's Food Store is the major tenant. Sign space on a street monument sign as shown on the attached sketch.
2. Refer to general signage requirements for standard Fry's wall signs.
3. Fry's will be allowed their corporate colors and sign specifications as per attached.

### SHOP TENANT

A Shop Tenant is defined as those Tenants with a single building area of 6, 000 gross rentable square feet or less.

1. Aggregate area allowance -- for each business, the maximum area permitted for all wall signs shall be the greater of: a). the sign area permitted under section 3.71 (A) (2) for the longest frontage of the tenant/user suite facing the street, if any, or b). the sign area permitted under section 3.71 (A) (2) for the length of the

tenant/user suite in which the principal entrance to the business is located. In all cases, a minimum of 16 square feet in wall sign area shall be allowed per tenant/user.

2. Area allowed per building elevation – ~~the maximum area permitted for any building elevation for the business shall be one half (0.5) square feet of sign area for each linear foot of the building elevation occupied by the business suite.~~ For buildings set back in excess of (75) feet from the street right of way line, one and one-half (1.5) square feet of sign area shall be allowed for each linear foot of building street frontage for the business suite.
3. Wall sign placement – wall signs may be placed on any exterior wall of the business suite, subject to the area allowances for that building elevation and subject to the aggregate area allowances for all wall signs for the business. For buildings in which a customer entrance is located on a wall that faces abutting residentially zoned property, signs placed on such a wall shall be non-illuminated, not to exceed (16) square feet in sign area and installed no higher than (14) feet above finished grade. Otherwise, no wall signs shall face abutting residentially zoned property.
4. Wall signs shall complement the architecture of the building and shall be placed on an area that is free of architectural details on the façade. The sign shall fit proportionally with the overall building mass and design, as well as the individual tenants' space. The length of the sign shall not exceed more than 80% of the elevation of the tenant/user's suite on which the sign is placed.
5. ~~Wall mounted cabinet signs exceeding (6) square feet in area are prohibited, except as provided in Section 3.26.~~
6. Wall signs shall use integral color 1/8" plexiglas inserts with standard 1" trim cap. Returns shall be dark Duranodic Bronze color. Trim cap shall be the same color as the returns. Returns to be of five inches (5") deep.
7. Each sign package shall be subject to review and approval by the Landlord and the Town.

**APPROVED**  
Administrative Design Review  
Case Planner Initials: TC  
Case # D205-1305-B (PDR-18-00093)  
Date: 6/7/18

### MAJOR SHOP TENANTS

A Major Shop Tenant is defined as those Tenants with a single building area exceeding 6,001 gross rentable square feet.

1. Sign specifications will be same as above for shop tenants.

## **FREE-STANDING PAD TENANTS**

1. Free Standing Pad Tenants ("Pad Tenants") are defined as Tenants occupying a single free-standing building located within Gilbert Fiesta.
2. Pad Tenants shall not be allowed individual monument signage.
3. Pad tenants shall be permitted to install signs designed and located solely for the purpose of relieving traffic congestion and promoting the safe flow of traffic. Such signs shall contain no advertising or identification copy. Six (6) square feet per directional and no higher than 3'0". Locations must be clearly marked for submittals.
4. All menu boards shall be internally illuminated and will be in keeping with the building's colors and materials, matching those of the free-standing directional.
5. Wall signs shall use integral color 1/8" plexiglas inserts with standard 1" trim cap.
6. Each pad sign package shall be subject to review and approval by the Landlord and the Town.
7. Refer to general signage requirements.
8. Aggregate area allowance – for each business, the maximum area permitted for all wall signs shall be the greater of: a). the sign area permitted under section 3.71 (A) (2) for the longest frontage of the tenant/user suite facing the street, if any, or b). the sign area permitted under section 3.71 (A) (2) for the length of the tenant/user suite in which the principal entrance to the business is located. In all cases, a minimum of 16 square feet in wall sign area shall be allowed per tenant/user.
9. Area allowed per building elevation – the maximum area permitted for any building elevation for the business shall be one half (0.5) square feet of sign area for each linear foot of the building elevation occupied by the business suite. For buildings set back in excess of (75) feet from the street right of way line, one and one-half (1.5) square feet of sign area shall be allowed for each linear foot of building street frontage for the business suite.
10. Wall sign placement – wall signs may be placed on any exterior wall of the business suite, subject to the area allowances for that building elevation and subject to the aggregate area allowances for all wall signs for the business.
11. Wall signs shall complement the architecture of the building and shall be placed on an area that is free of architectural details on the façade. The sign shall fit proportionally with the overall building mass and design, as well as the individual tenants' space. The length of the sign shall not exceed more than 80% of the elevation of the tenant/user's suite on which the sign is placed.

12. Wall mounted cabinet signs exceeding (6) square feet in area are prohibited, except as provided in Section 3.26.

### **GROUND MONUMENT SIGNS**

The following ground signs are the only ground signs permitted by Town code and shall conform to the following criteria.

1. Major Tenant / Shop Tenant / Center Monument ID.  
Two major identification signs shall be allowed as follows:
  - a) One 8' tall 60 square foot sign on Williams Field Road
  - b) One 8' tall 60 square foot sign on Gilbert Road.
  
2. Multi-Tenant Monument Identification Signs
  - a) Two monument signs approved by Landlord & subject to Town regulations. See attached sketch
  - b) One project identification sign consisting of individual letters attached to screen wall.
  - c) Two individual letter signs on screen wall naming the center.
  
3. Drive Thru Menu Signs
  - a). Drive thru menu signs shall be no larger then 36 square feet and 8' tall. Drive thru menu signs are not included in the overall allowable square footage for ground signs or building signs. There shall be no commercial logos or lettering visible from the street.
  
3. Directory signs for traffic control shall not exceed 3' tall and 3 square feet. No commercial logos will be placed on these signs.

***Bootz & Duke Signs  
4028 W Whitton Ave  
Phoenix, AZ 85019  
602-272-9356***

16'-6" (198")

18"

**BAKERY · DELI**

**WS-B** (1) ONE SET OF ILLUMINATED PAN CHANNEL LETTERS  
scale: 1/4"=1'-0"

13'-3 3/4" (159-3/4")

18"

**PHARMACY**

**WS-C** (1) ONE SET OF ILLUMINATED PAN CHANNEL LETTERS  
scale: 1/4"=1'-0"

17'-10 1/2" (214-1/2")

18"

**1 HOUR PHOTO**

**WS-D** (1) ONE SET OF ILLUMINATED PAN CHANNEL LETTERS  
scale: 1/4"=1'-0"

22'-7-1/2" (271-1/2")

6'-6" (78")

12"

2'-0" (24")

4'-6" (54")

**FRY'S  
FOOD & DRUG**

**WS-A** (1) ONE SET OF ILLUMINATED PAN CHANNEL LETTERS  
scale: 1/4"=1'-0"

FABRICATE & INSTALL (1) ONE SET EACH.  
ILLUMINATED PAN CHANNEL LETTERS.

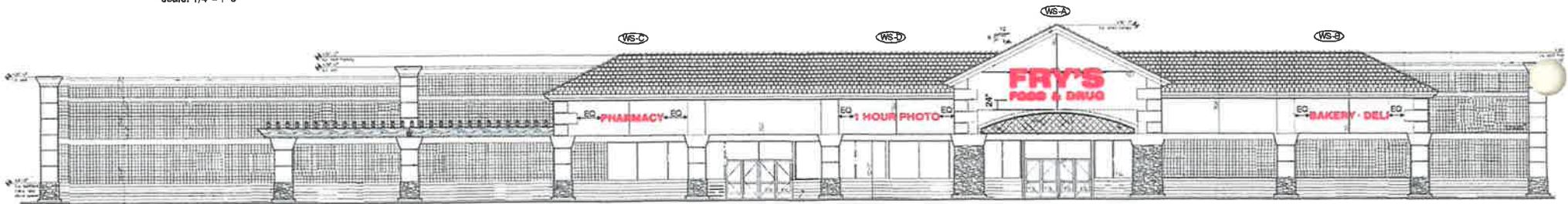
ALUMINUM CONSTRUCTION.

RED ACRYLIC FACES.

3/4" TRIM CAP.

RED L.E.D. ILLUMINATION.  
REMOTE TRANSFORMERS.

MOUNT FLUSH TO BUILDING.



**STOREFRONT ELEVATION**

scale: 1"=20'

Rev 5-Added this sheet & combined L-1006-02 drawings.

CLIENT: **FRY'S #72 (Gilbert Fiesta Marketplace)**

ADDRESS: **SWC Gilbert Rd & Williams Field Rd Gilbert, AZ**

SALESMAN: **Bill Gibson**

REVISIONS  
8-7-02

■ ADDRESS: 4028 W. WHITTON PHX, AZ. 85019

■ PHONE: ( 602 )-272-9356

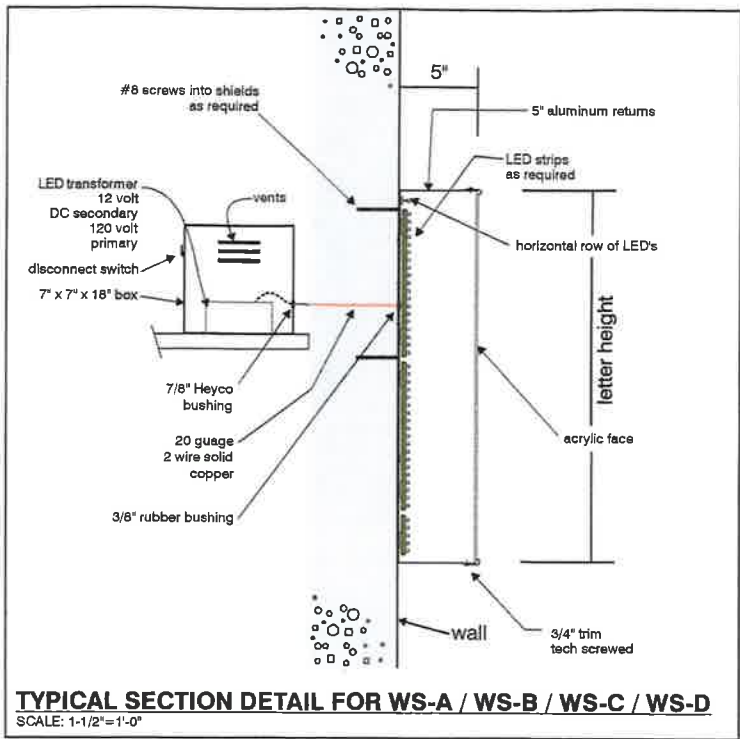
■ FAX: ( 602 )-272-4608

■ E-MAIL: [www.bootzandduke.com](http://www.bootzandduke.com)

THIS CUSTOM OFFER IS SUBJECT TO YOUR LOCAL OR STATE FRY'S FOOD & DRUG STORE POLICY



### PAN CHANNEL LETTERS W/ L.E.D ILLUMINATION



Rev 5-Added this sheet & combined L-1006-02 drawings.

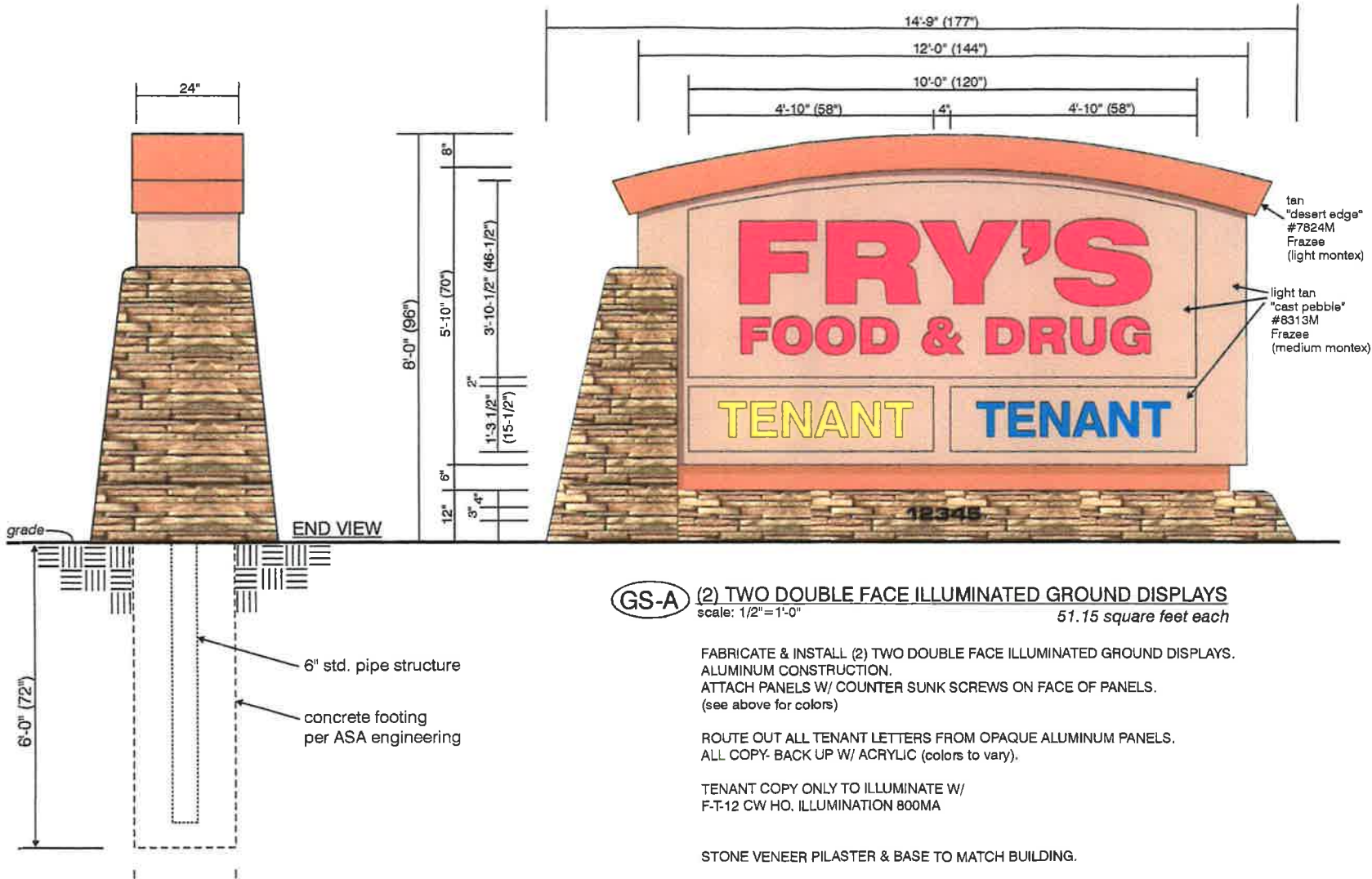
CLIENT: <b>FRYS #72 (Gilbert Fiesta Marketplace)</b>	REVISED 8-7-02
ADDRESS: <b>SWC Gilbert Rd &amp; Williams Field Rd Gilbert, AZ</b>	
SALESMAN: <b>Bill Gibson</b>	

■ ADDRESS: 4028 W. WHITTON PHX, AZ. 85019  
 ■ PHONE: ( 602 )-272-8356  
 ■ FAX: ( 602 )-272-4608  
 ■ E-MAIL: [www.bootzandduke.com](http://www.bootzandduke.com)

THIS CUSTOM DESIGN SUBMITTED FOR YOUR PERSONAL USE IS THE EXCLUSIVE PROPERTY OF







**GS-A** (2) TWO DOUBLE FACE ILLUMINATED GROUND DISPLAYS  
 scale: 1/2" = 1'-0" 51.15 square feet each

FABRICATE & INSTALL (2) TWO DOUBLE FACE ILLUMINATED GROUND DISPLAYS. ALUMINUM CONSTRUCTION. ATTACH PANELS W/ COUNTER SUNK SCREWS ON FACE OF PANELS. (see above for colors)

ROUTE OUT ALL TENANT LETTERS FROM OPAQUE ALUMINUM PANELS. ALL COPY: BACK UP W/ ACRYLIC (colors to vary).

TENANT COPY ONLY TO ILLUMINATE W/ F-T-12 CW HO. ILLUMINATION 800MA

STONE VENEER PILASTER & BASE TO MATCH BUILDING.

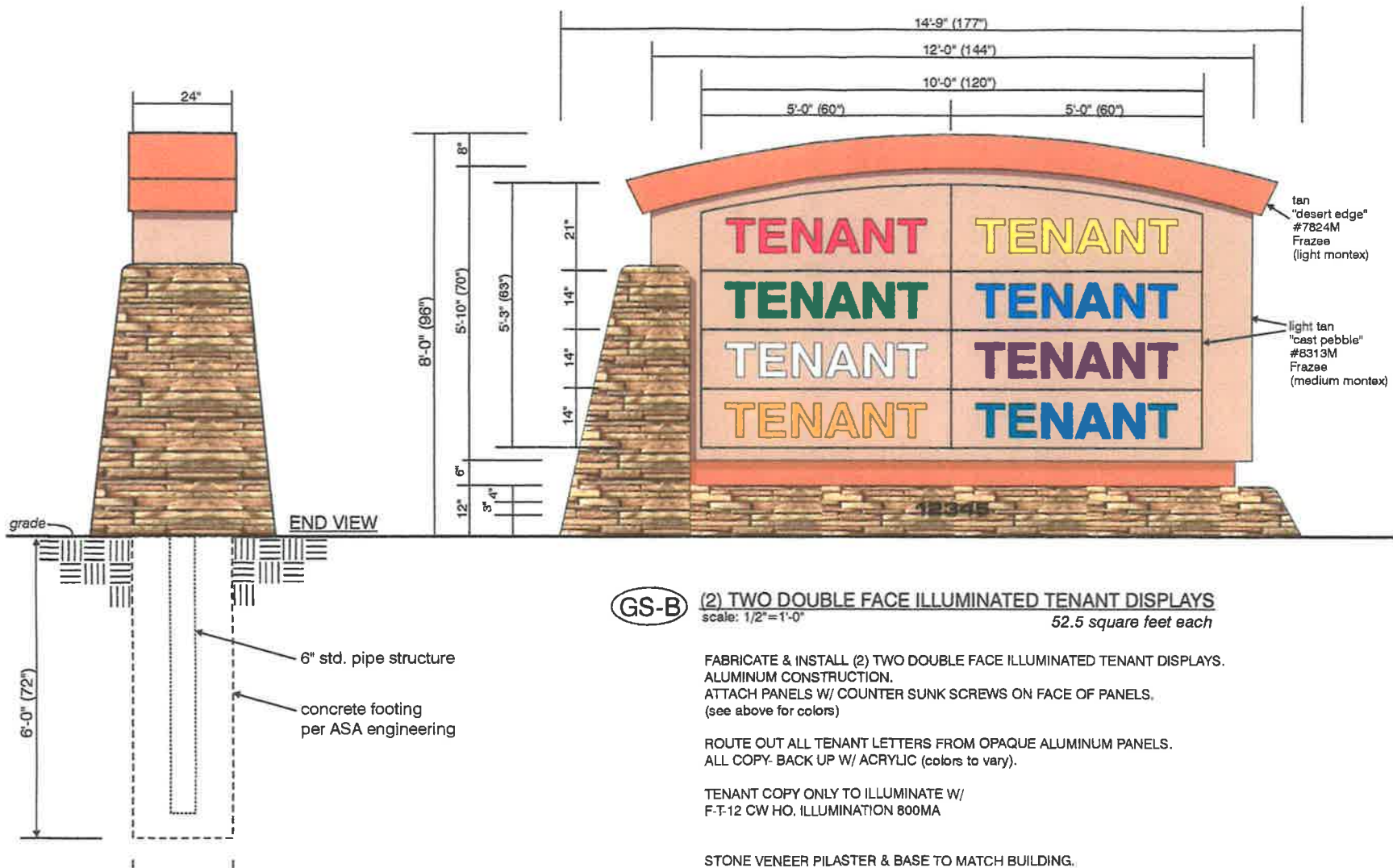
see no R4. Combined L-1006-02 drawings into #L-1007-02-R5.  
 raised tenant panels to flat panels counter sunk screwed on face. Changed from red acrylic back up to various colors.  
 reduced overall size. Top cap changed to an arch. Received accurate color call outs  
 at height of cap from 3' to 9'. Added stone veneer pilasters. Changed base to single cone cmu. Changed cabinet color to one color.

PROJECT:	RS #72- Gilbert Fiesta Marketplace	DATE:	3-6-02
BY:	Bill Gibson	DATE:	4-1-02
CHECKED:	Bill Gibson	DATE:	4-30-02
DESIGNED:	Bill Gibson	DATE:	4-30-02
SCALE:	AS NOTED	PAGE:	7-2002

ADDRESS: 4028 W. WHITTON PKWY, AZ 85019  
 PHONE: (602) 272-9356  
 FAX: (602) 272-4608  
 E-MAIL: www.bootzandduke.com

**BOOTZ & DUKE**

**Signs**



as no R4. Combined L1008-02 drawings into #L1007-02-R5.  
I reduced overall size. Top cap changed to an arch. Received required color call outs.  
d height of cap from 3" to 2". Added stone veneer pilasters. Changed base to single stone veneer. Changed cabinet color to one color.

**Signo**

**BOOTZ & DUKE**

ADDRESS: 4024 W. WHITTON PKWY, AZ 85019  
PHONE: (602) 272-9356  
FAX: (602) 272-4608  
E-MAIL: www.bootzandduke.com

DESIGN # L-1007-02-R5

SCALE AS NOTED

PAGE:



17'-10" (214")

# GILBERT FIESTA MARKETPLACE

## C-2 (1) ONE SET OF HALO-ILLUMINATED REVERSE CHANNEL LETTERS

SCALE: 3/4"=1'-0"

FABRICATE & INSTALL (1) ONE SET OF HALO-ILLUMINATED REVERSE CHANNEL LETTERS.

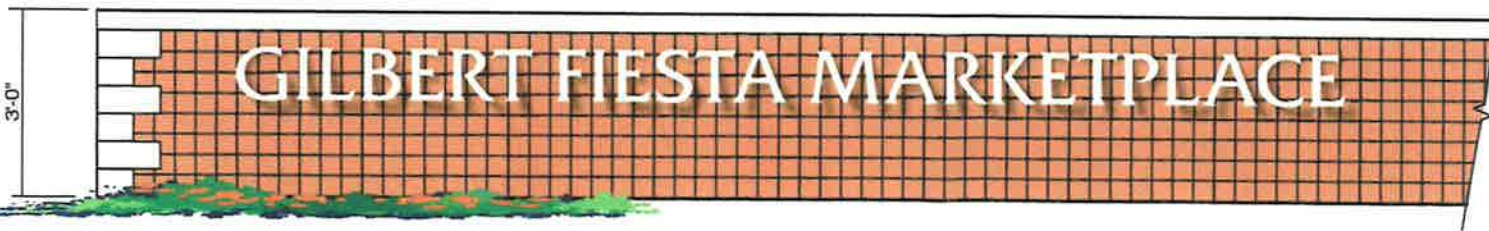
3" DEEP ALUMINUM REVERSE CHANNEL LETTERS-PAINT WHITE SATIN FINISH  
1/8" CLEAR LEXAN BACKS

ONE ROW OF WHITE L.E.D PER LETTER FOR HALO-ILLUMINATION.

CLIP MOUNT TO EXISTING SLUMP BLOCK WALL,  
1-1/2" PEG OUT.  
SLUMP BLOCK WALL TO MATCH CENTER.

TYPESTYLE: FRIZQUADRATA

SEE REVERSE CHANNEL HALO-ILLUMINATION DETAIL SHEET



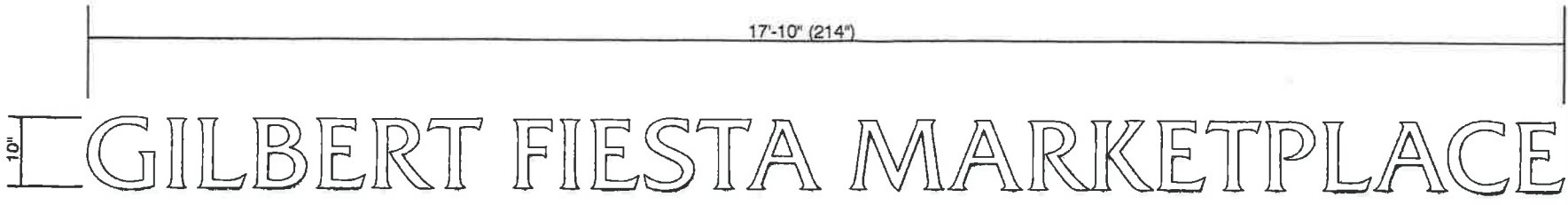
## C-2 WALL ELEVATION SCALE: 1/2"=1'-0"

### ENTRY WALL SIGN

d drawings L-1006-02 w/ this package.  
 je to this page.  
 is page. Added "entry wall sign". Changed from non-illum. to white LED.  
 welcome to Gilbert" letters on this wall.  
 from non-illuminated to halo-illum w/ L.E.D. - Changed from flush mount to pegged out. Added 8' copy.

REVISED  
 S #72- Gilbert Fiesta Marketplace  $\Delta$  8-5-02  
 TC Gilbert Rd & Williams Field RD Gilbert, AZ  $\Delta$  3-25-02  
 III Gibben  $\Delta$  4-30-02  $\Delta$  6-07-02  $\Delta$  4-1-02  
 Rev. Williams DESIGN # : L-1007-02-R5  
 -2002 SCALE: AS NOTED PAGE:

**BOOTZ & DUKE**  
  
**Signs**



**C-1 (1) ONE SET OF HALO-ILLUMINATED REVERSE CHANNEL LETTERS**  
 SCALE: 3/4"=1'-0"

FABRICATE & INSTALL (1) ONE SET OF HALO-ILLUMINATED REVERSE CHANNEL LETTERS.

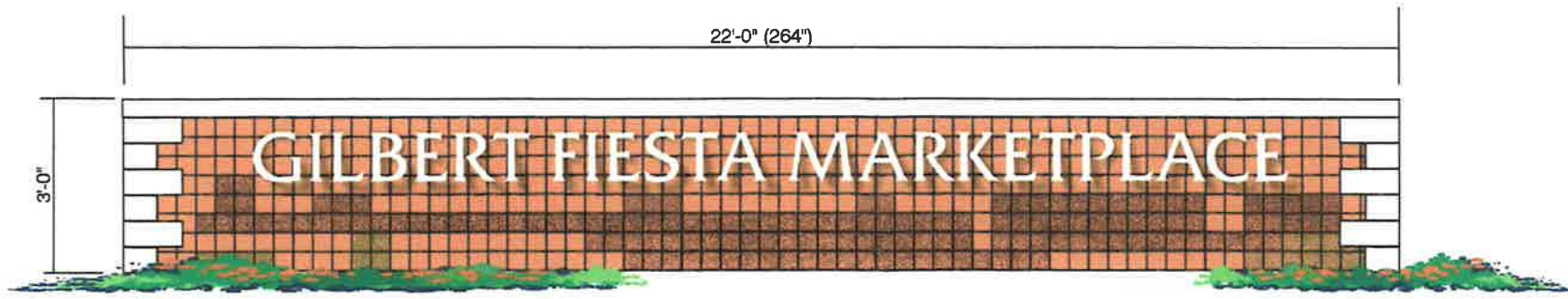
3" DEEP ALUMINUM REVERSE CHANNEL LETTERS-PAINT WHITE SATIN FINISH  
 1/8" CLEAR LEXAN BACKS

ONE ROW OF WHITE L.E.D PER LETTER FOR HALO-ILLUMINATION.

CLIP MOUNT TO EXISTING SLUMP BLOCK WALL.  
 1-1/2" PEG OUT.  
 SLUMP BLOCK WALL TO MATCH CENTER.

TYPESTYLE: FRIZQUADRATA

SEE REVERSE CHANNEL HALO-ILLUMINATION DETAIL SHEET



**C-1 WALL ELEVATION** SCALE: 1/2"=1'-0"

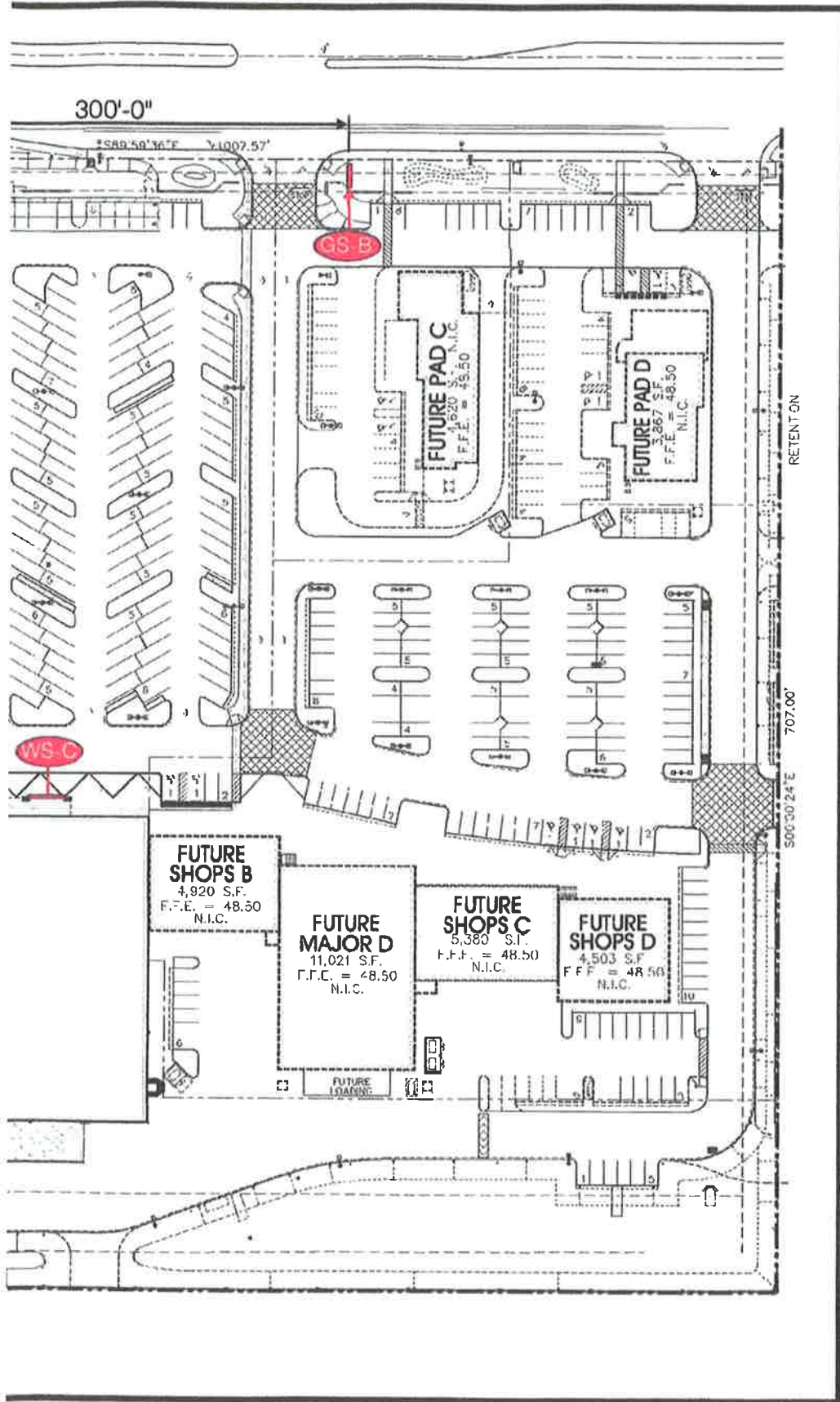
**GATEWAY FEATURE SIGN**

ad drawings #L-1006-02.  
 go to this page.  
 To white LED.  
 Welcome to Gilbert letters on this wall.  
 From non-illuminated to Halo from W.L.E.D. Chopped from flush mount to pegged out. Added P copy.

**RS #72: Gilbert Fiesta Marketplace**  
 WFL Gilbert Rd & Williams Field Rd, Gilbert, AZ 3-25-02  
 Bill Gibson 4-30-02 6-07-02 4-1-02  
 Bill Williams DESIGN # L-1007-02-RS  
 3-2002 SCALE: AS NOTED PAGE:

ADDRESS: 6028 W. WHITTON PKW, AZ 85019  
 PHONE: (602) 272-9556  
 FAX: (602) 272-4908  
 E-MAIL: www.bootzandduke.com  
 WE CAN MAKE ANY SIGN ILLUMINATED WITH LED'S OR FLUORESCENT'S.  
 THE ONLY WAY TO MAKE ANY SIGN ILLUMINATED WITH LED'S OR FLUORESCENT'S.  
 IS TO CALL US AT (602) 272-9556 OR VISIT OUR WEBSITE AT WWW.BOOTZANDDUKE.COM





**SITE PLAN** n.t.s

Rev 5- Added this sheet. Combined L-1006-02 drawings into #L-1007-02-R5.

CLIENT: <b>FRYS #72- Gilbert Fiesta Marketplace</b>	REVISIONS: <b>A 8-07-02</b>
ADDRESS: <b>SWC Gilbert Rd &amp; Williams Field Rd, Gilbert, AZ</b>	
SALESMAN: <b>Bill Gibson</b>	
DESIGNER: <b>Lisa Williams</b>	DESIGN # <b>L-1007-02-R5</b>
DATE: <b>01-08-2002</b>	SCALE: <b>AS NOTED</b> PAGE: <b>        </b>

■ ADDRESS: 4028 W. WHITTON PHX, AZ 85019  
 ■ PHONE: ( 602 )-272-9356  
 ■ FAX: ( 602 )-272-4608  
 ■ E-MAIL: [www.bootzandduke.com](http://www.bootzandduke.com)  
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**Sigma**





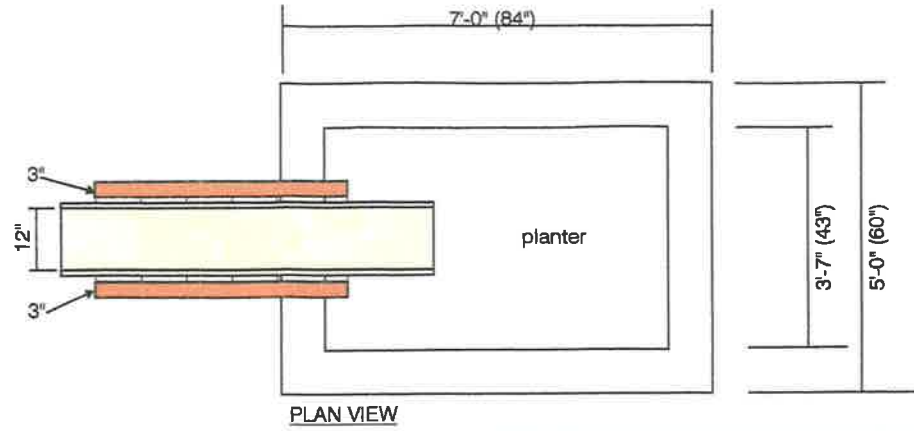
C-3

FABRICATE & INSTALL (1) ONE DOUBLE FACE ILLUMINATED DISPLAY.  
CABINET: ALUMINUM CONSTRUCTION.  
ALUMINUM RETURNS & TOP PAINTED TO MATCH SANDSTONE COLOR.  
SANDSTONE VENEER ON BOTH FACES OF CABINET.

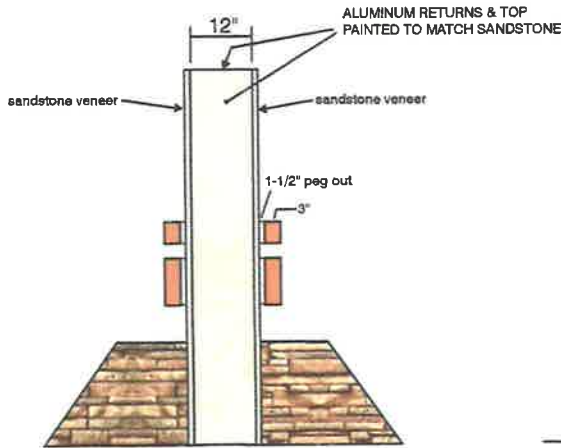
3" DEEP ALUMINUM REVERSE CHANNEL LETTERS-PAINT TAN TO MATCH LEDGESTONE BASE.  
1/8" CLEAR LEXAN BACKS.  
ONE ROW OF WHITE L.E.D. PER LETTER FOR HALO-ILLUMINATION.  
(see page 3 for L.E.D. detail)  
CLIP MOUNT LETTER ONTO CABINET.  
1-1/2" PEG OUT.

STACKED LEDGE STONE BASE.

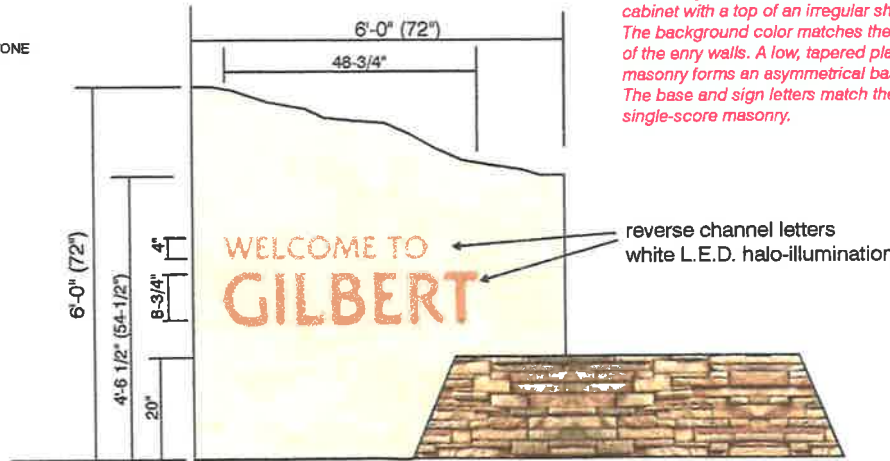
TYPESTYLE: FRIZQUADRATA



*NOTE: This sign occurs at 45 degrees to the arterial corner and features letters matching the reverse, pan-channel, halo-lit units of the entry wall and gateway feature signs. The background for the 2-sided sign is a textured aluminum cabinet with a top of an irregular shape. The background color matches the EIFS cap and "quoins" of the entry walls. A low, tapered planter of single-score concrete masonry forms an asymmetrical base for the sign. The base and sign letters match the color of the entry wall single-score masonry.*



END VIEW



C-3 (1) ONE DOUBLE FACE ILLUMINATED MONUMENT DISPLAY  
SCALE: 1/2"=1'-0"

SEE REVERSE CHANNEL HALO-ILLUMINATION DETAIL SHEET

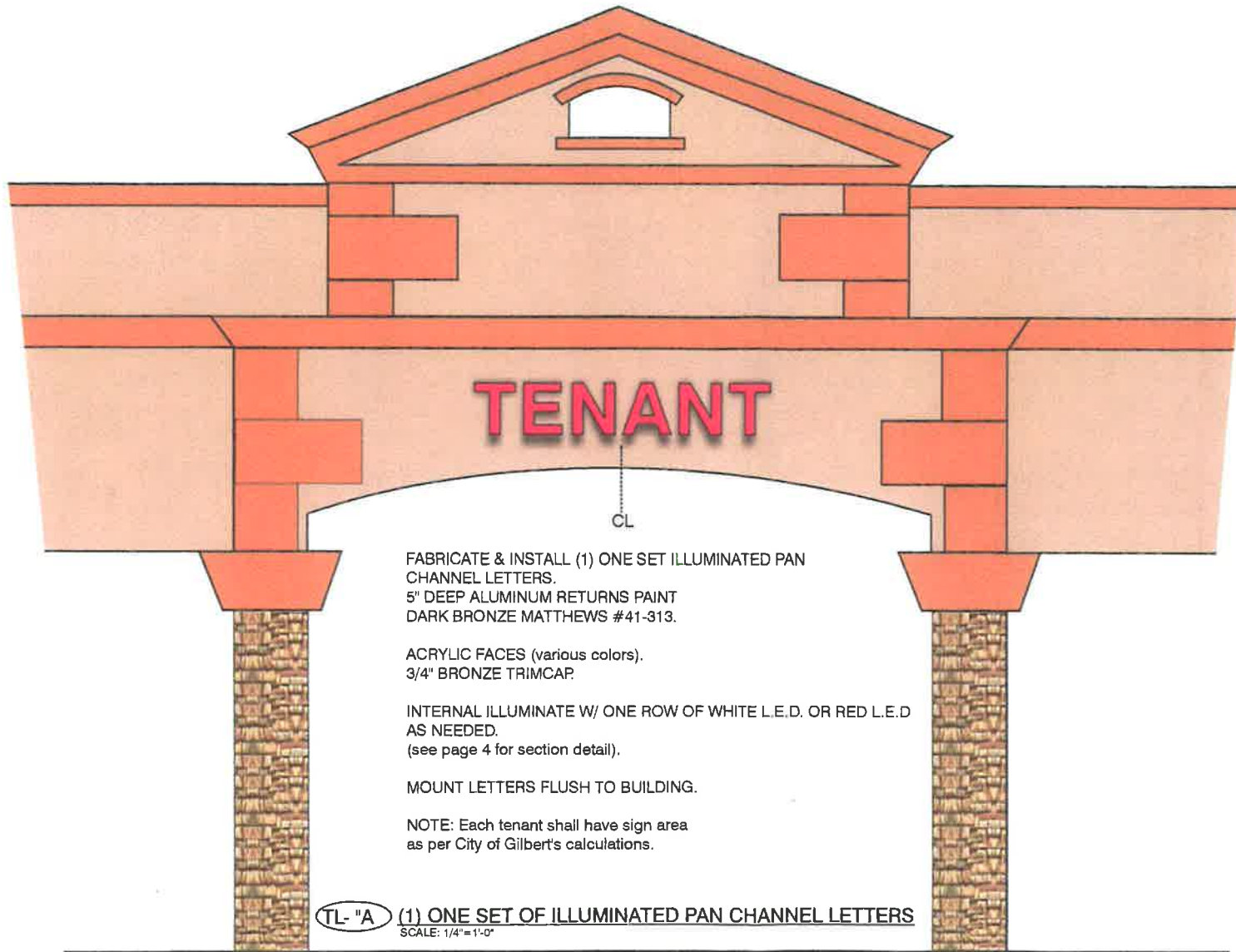
C-3 "WELCOME TO GILBERT" SIGN  
(see page 3 for L.E.D. detail)



ADDRESS: 4025 W. WATSON PARK, AZ 85019  
PHONE: (602) 272-8386  
FAX: (602) 272-4606  
E-MAIL: www.bootzandduke.com

YS #72- Gilbert Florida Marketplace  
W/G Gilbert Fld & Williams Field Rd Gilbert, AZ  
Bill Gilbert (4-30-02) (8-07-02) 4-1-02  
Boo Williams DESIGN #: L-1007-02-R5  
SCALE AS NOTED PAGE: 8-2002

ed drawings L-1006-02.  
d base to ledgerstone. Added sandstone veneer to face of cabinet. Increased depth of cabinet from 6" to 12".  
the page.



FABRICATE & INSTALL (1) ONE SET ILLUMINATED PAN CHANNEL LETTERS.  
 5" DEEP ALUMINUM RETURNS PAINT  
 DARK BRONZE MATTHEWS #41-313.

ACRYLIC FACES (various colors).  
 3/4" BRONZE TRIMCAP.

INTERNAL ILLUMINATE W/ ONE ROW OF WHITE L.E.D. OR RED L.E.D  
 AS NEEDED.  
 (see page 4 for section detail).

MOUNT LETTERS FLUSH TO BUILDING.

NOTE: Each tenant shall have sign area  
 as per City of Gilbert's calculations.

TL- "A"

(1) ONE SET OF ILLUMINATED PAN CHANNEL LETTERS  
 SCALE: 1/4"=1'-0"

R III DING-MOUNTED TENANT SIGN

see no R4. Combined L-1006-02 drawings into #L-1007-02-RS  
 go to this page.  
 go to this page.  
 return & trim cap color from black to bronze.

REVISED  
 S #72- Gilbert Fiesta Marketplace A 3-5-02  
 JC Gilbert Rd & Williams Field Rd Gilbert, AZ A 3-25-02  
 JH Gibson A N/A A 8-07-02 A 4-1-02  
 Ryan-Williams DESIGN OF L-1007-02-RS  
 -2002 SCALE AS NOTED PAGE

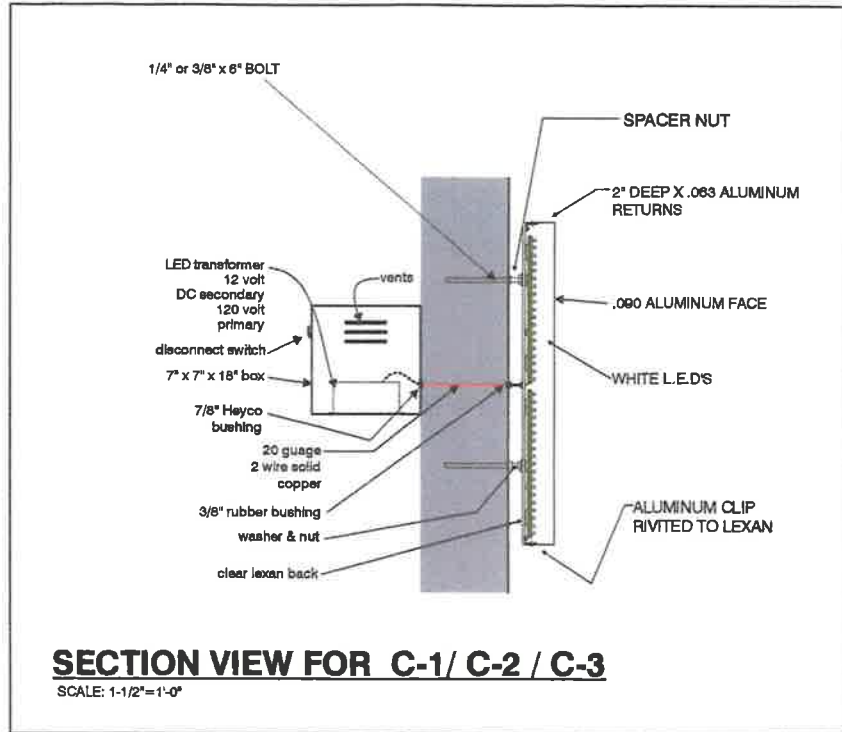
ADDRESS: 4024 W. WHITTON PIKE, AZ 85019  
 PHONE: (602) 272-9356  
 FAX: (602) 272-4608  
 EMAIL: www.boobzandduke.com





EVENING VIEW OF HALO-ILLUMINATED LETTERS  
FOR GATEWAY FEATURE SIGN

**REVERSE CHANNEL LETTERS W/ L.E.D ILLUMINATION**



**SECTION VIEW FOR C-1/ C-2 / C-3**

SCALE: 1-1/2"=1'-0"

1st L-1007-02 drawings with L-1007-02.  
go to the sheet.  
go to this sheet.  
E.D. detail and page 2.

Y.S. - Gilbert Frost Martelplace Gilbert, AZ	DATE A 3-5-02 A 3-25-02
B.H. Gilbert Beech Millworks	DATE A 4-30-02 A 6-07-02
DESIGN # : L-1007-02-R5	SCALE AS NOTED
PAGE	PAGE

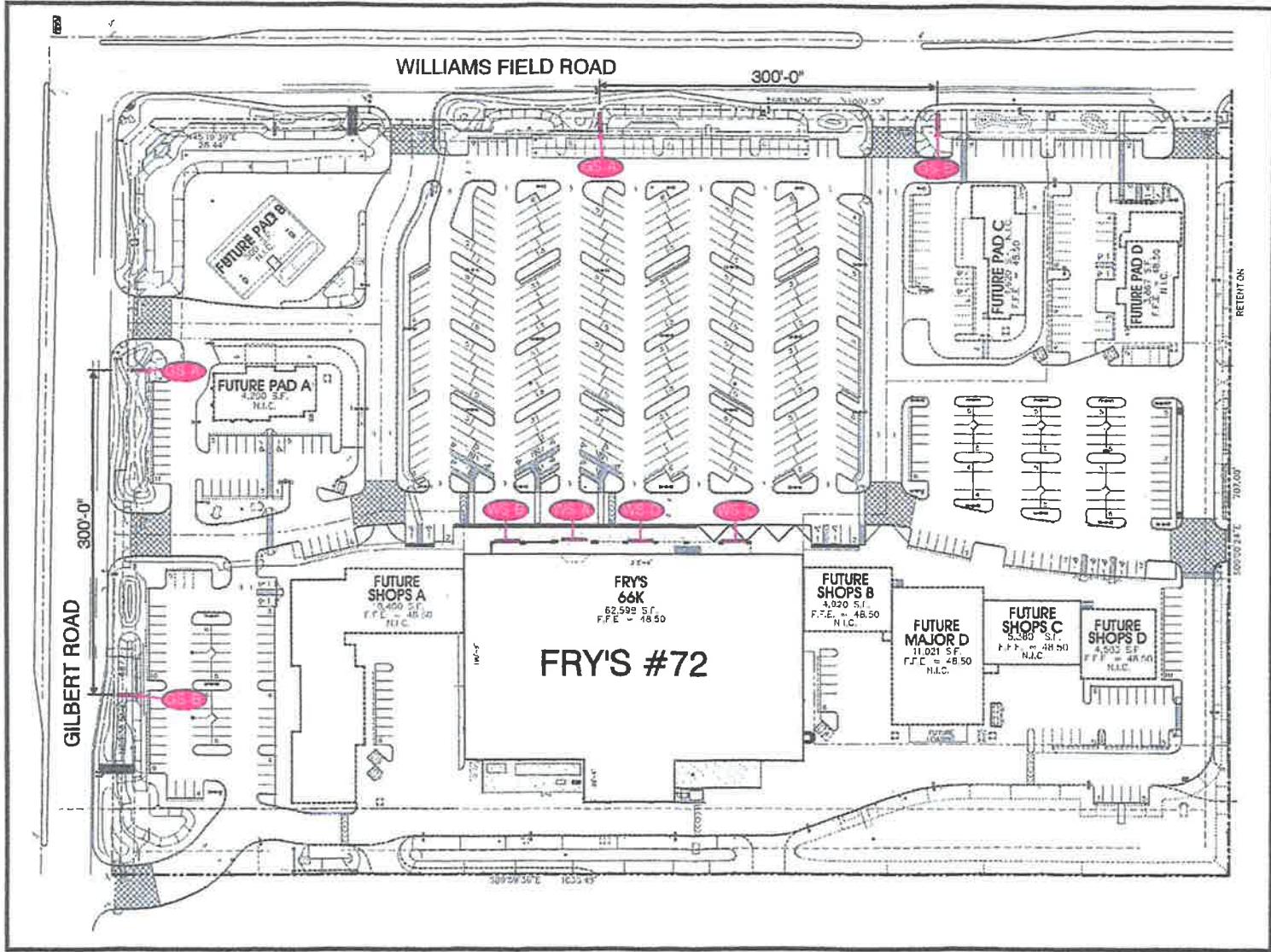
ADDRESS: 4001 W. WILSON PKY, AZ 85019  
PHONE: (602) 575-8338  
FAX: (602) 572-4608  
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**BOOTZ & DUKE**

**Signs**





this sheet. Combined L-1006-02 drawings into # L-1007-02-R6.

PROJECT  
**FRY'S #72 - Gilbert Fiesta Marketplace**  
 DATE: 6-07-02

CLIENT  
 WC Gilbert Rd & Williams Field Rd, Gilbert, AZ

DESIGNER  
 Bill Gibson

DESIGN #  
 L-1007-02-R6

SCALE: AS NOTED

PAGE:  
 9-2002

PROJECT ADDRESS: 4024 W. WHITTON PKW, AZ 85119

PHONE: (602) 372-5835

FAX: (602) 372-4600

E-MAIL: [www.bootzandduke.com](mailto:www.bootzandduke.com)

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**Signs**





# Assessor Paul D. Petersen Maricopa County Assessor's Office

2425 S GILBERT RD

Show search results for 2425 S GILBER...

-111.789771 33.306338 Degrees





## NOTICE OF DECISION

December 5, 2006

Bootz & Duke Signs  
Attn: Mr. Steve Nelsen  
4028 W. Whitton  
Phoenix, AZ 85019

**RE: Case # DR05-130 (Eden # PDA2006-00074) Gilbert Fiesta Phase 3 –  
Administrative Sign Amendment**

Dear Steve:

Staff has reviewed the subject Administrative Design Review application to amend the approved Sign Package contained within the Gilbert Fiesta Design Guidelines.

The sign package for Gilbert Fiesta Phase 1 was approved by the Design Review Board as part of the Design Guidelines, Case #DR01-108 on March 14, 2002. The Amendment to the signage for Phase 2 was approved on September 23, 2005. Phase 3 development has been approved (DR05-130) and a subsequent sign amendment has been requested.

The following minor amendment to the approved project was reviewed:

- Add one multi tenant monument sign along the Gilbert Road frontage within Gilbert Fiesta Phase 3.

Staff states that the length of the site along Gilbert Road is a total of 1,107 linear feet; thus allowing a total of three (3) monument signs. There are two existing monument signs and the proposed monument sign, within Phase 3, is the final monument sign permitted along this street frontage.

**Decision:** Based on our review, staff finds the amendment acceptable as it is consistent with intent of the original approval. The request is approved with the following conditions:

1. Construction shall conform with the exhibits submitted for this request, dated December 5, 2006.

2. No additional monument signs will be permitted along the Gilbert Road frontage as the length of the Gilbert Road frontage permits a maximum of three monument signs. The subject multi tenant monument sign is the third sign.

If you have any questions regarding this decision or require additional information please contact me at (480) 503-6815.

Sincerely,



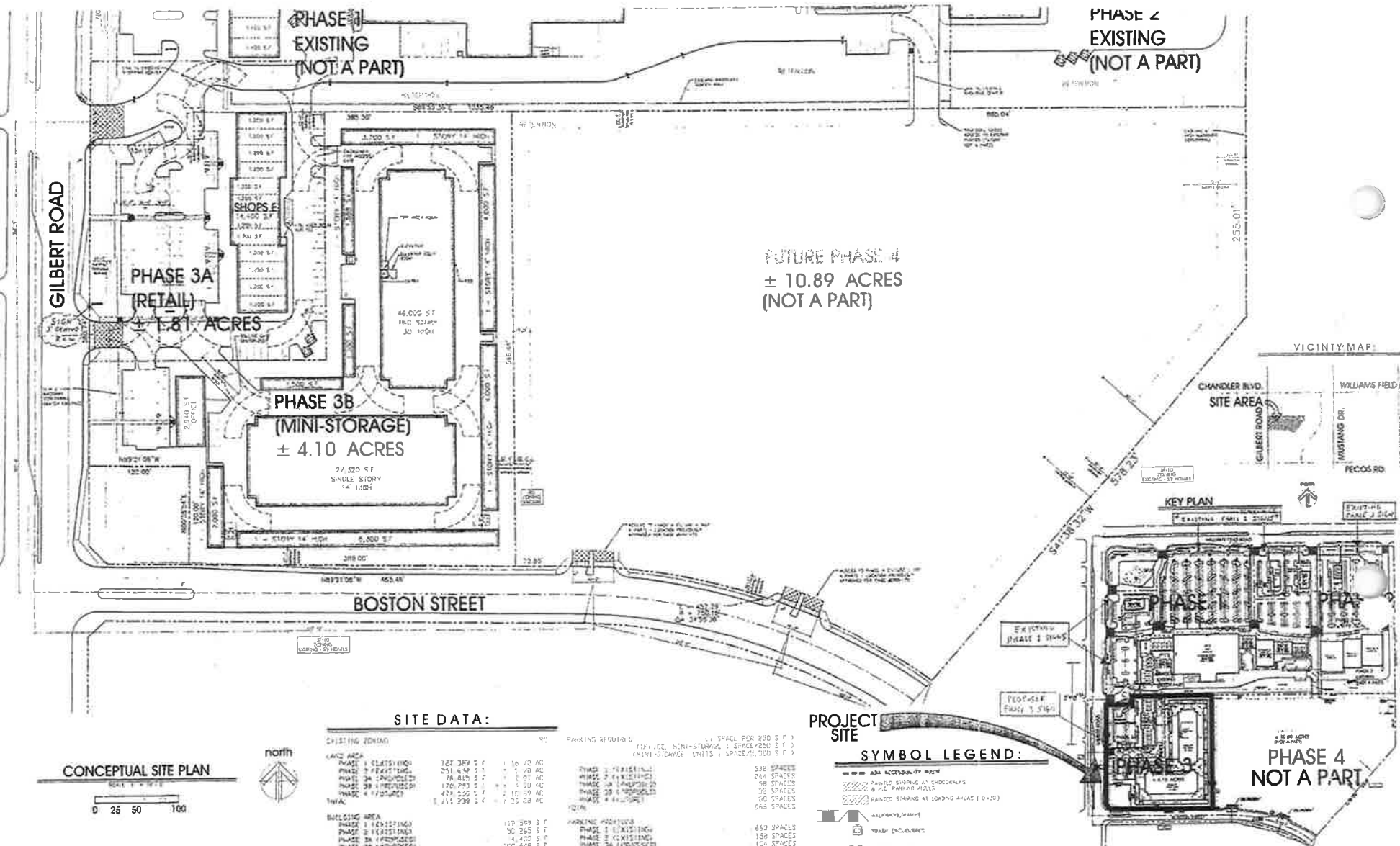
Susan Fiala, AICP  
Senior Planner

Attachments:

1. Site Plan showing sign locations
2. Monument Sign Elevation

C: DR 05-130 Case file  
Sign Permit Technician ✓

EXHIBIT 1  
 PHASE 3 - GILBERT FIESTA  
 CONCEPTUAL SITE PLAN  
 PREPARED BY: KORA ARCHITECTURAL INC.  
 1000 N. GILBERT ROAD, SUITE 100, GILBERT, AZ 85134  
 DATE: 11/27/2002  
 SCALE: AS SHOWN  
 PROJECT NO.: 02-001

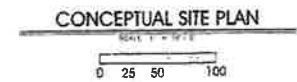


**SITE DATA:**

EXISTING ZONING	NO	PARKING REQUIRED	EXISTING, MINI-STORAGE 1 SPACE/250 S.F. (MINI-STORAGE UNITS 1 SPACE/1,000 S.F.)
LAND AREA			
PHASE 1 (EXISTING)	727,387 S.F.	1.16 AC	532 SPACES
PHASE 2 (EXISTING)	251,454 S.F.	0.36 AC	214 SPACES
PHASE 3A (PROPOSED)	170,793 S.F.	0.24 AC	88 SPACES
PHASE 3B (PROPOSED)	479,250 S.F.	0.69 AC	22 SPACES
PHASE 4 (FUTURE)	1,215,200 S.F.	1.75 AC	563 SPACES
TOTAL			
BUILDING AREA			
PHASE 1 (EXISTING)	119,899 S.F.		563 SPACES
PHASE 2 (EXISTING)	50,265 S.F.		188 SPACES
PHASE 3A (PROPOSED)	170,793 S.F.		164 SPACES
PHASE 3B (PROPOSED)	479,250 S.F.		22 SPACES
PHASE 4 (FUTURE)	270,512 S.F.		20 SPACES
TOTAL			957 SPACES
BUILDING / LAND COVERAGE (PHASES 1-3)	81.9%	PARKING RATE (PHASE 1-3)	3.54 SPACES PER 1,000 S.F.

**PROJECT SITE SYMBOL LEGEND:**

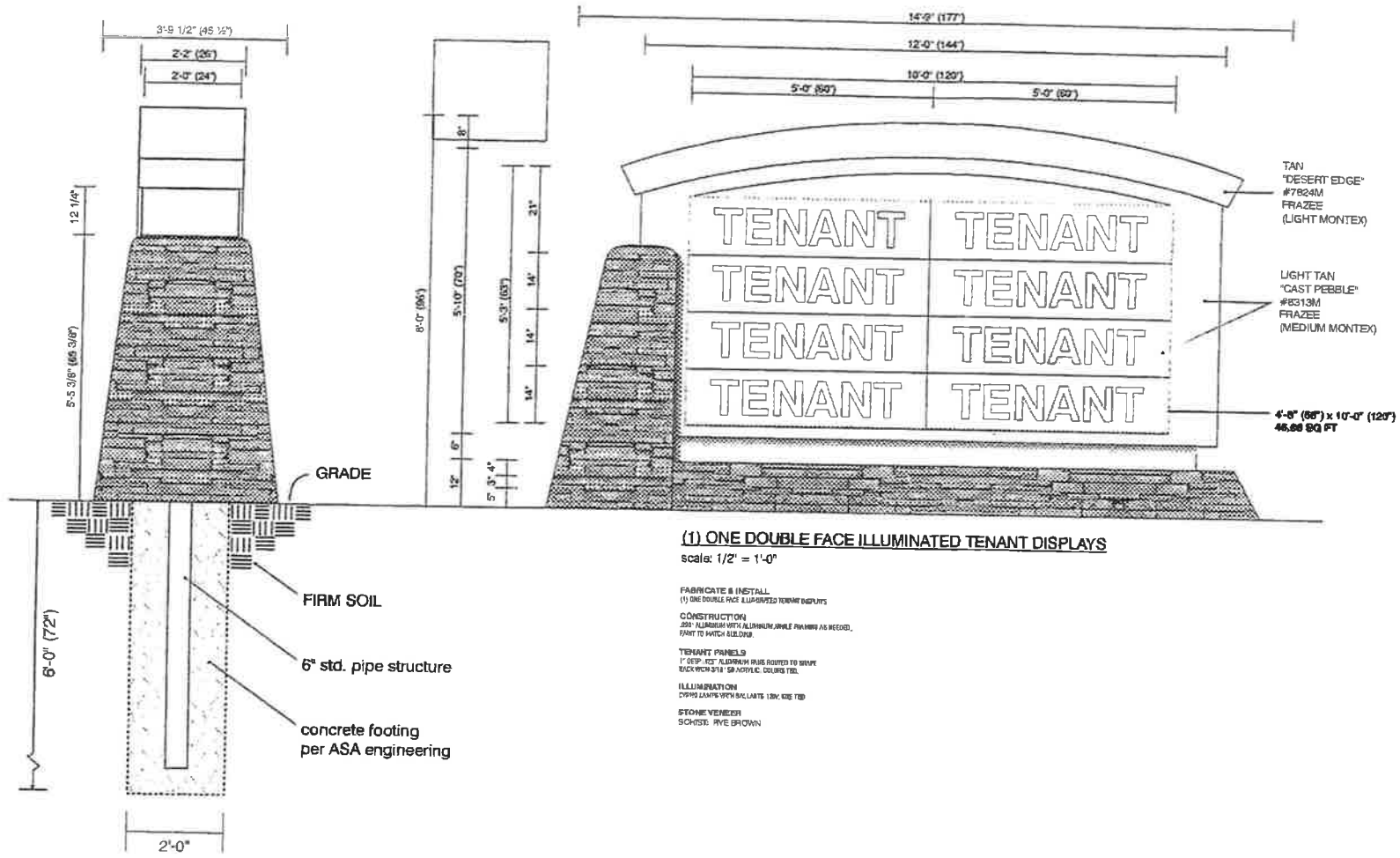
- ADA ACCESSIBLE PARKING
- PAINTED STRIPES AT CROSSINGS
- PAINTED STRIPES AT TRANSIT SIGNALS
- PAINTED STRIPES AT LEADING AREAS (10'-10')
- RAILROADS/STAIRS
- TRAIL ENDOGRAPHS
- LIGHT POLES/FIXTURES
- TRUCK TURNING PAD (35' x 55')



S.E.C. of Gilbert Road and Williams Field Road  
 Gilbert, Arizona  
 January 27, 2006  
 APPROVED PLANS  
 Design Review Sheet  
 CASE NO. 02-110  
 DATE 11/27/02  
 SUBJECT TO DEPARTMENT OF APPROVAL



EXHIBIT 2



**Signs & DUKE**

**BOOTZ**

4000 W. WILSON PKW. AZ 85110  
PH: (602) 242-8336  
FAX: (602) 242-4818  
www.signsandduke.com

1500 N. GILBERT RD. GILBERT, AZ  
PH: (480) 839-2121  
FAX: (480) 839-2122

PH: 617-2006  
FAX: 617-2006

PH: 617-2006  
FAX: 617-2006