

TENANT SIGN CRITERIA

COOPER CROSSING

11/29/00 Revised Exhibits to comply w/ criteria
APPROVED PLANS
Design Review Board
CASE: DR000-111
DATE: 11/9/00
SUBJECT TO CONDITIONS OF APPROVAL

I. INTRODUCTION

The purpose of a sign control program is to ensure an attractive shopping environment and to protect the interests of the Landlord and Tenant.

II. GENERAL REQUIREMENTS

- A. Landlord shall administer and interpret the criteria and shall approve all signs in writing prior to their installation.
- B. Submittal and Compliance:
 - 1. Tenant shall submit or cause to be submitted to Landlord, for approval, detailed shop drawings covering location, size, design, color, materials, lettering and graphics of the proposed wall sign. The Tenant must not submit any sign drawings to the Town of Gilbert without first obtaining the Landlord's approval.
 - 2. Landlord shall review the drawings and return them marked "Approved", "Approved as Noted" or "Revise and Resubmit".
 - a. "Approved" drawings will permit Tenant to proceed with permitting, construction and installation of its sign in accordance with the drawings.
 - b. "Approved as Noted" drawings will permit Tenant to proceed with permitting, sign construction and installation, provided that the modifications noted are incorporated into the design. If the Tenant takes exception to the modifications, Tenant shall revise and resubmit.
 - 3. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any

part of the building visible from outside the premises except as specifically approved by Landlord. Signs that are installed without written approval or are inconsistent with approved drawings, may be subject to removal and reinstallation by Landlord at Tenant's expense.

4. The Town of Gilbert requires sign permits for all signs. It shall be Tenant's sole responsibility to secure these and any other permits that may be required.
 5. Landlord's approval of Tenant's plans shall not constitute an implication, representation, or certification by Landlord that said items are in compliance with applicable statutes, codes, ordinances, or other regulations. Said compliance shall be the sole responsibility of Tenant for all work performed on the premises by or for Tenant.
 6. Sign contractors performing any sign work at Cooper Crossing must be bonded, insured and licensed by the Arizona State Registrar of Contractors.
- C. To insure strict compliance with this sign criteria, Landlord suggests that Sign World, Inc. provide all tenant signage and has designated Sign World, Inc. the sign contractor to furnish and install all signage at Cooper Crossing. Sign World, Inc. (480) 982-6696.

Landlord will correct non-compliance with this sign criterion at the Tenant's expense.

- D. Landlord may repair or replace any broken or faded sign at Tenant's expense.

III. DESIGN REQUIREMENTS

- A. Flashing, painted, blinking, rotating, moving or audible signs are not permitted.
- B. The wall sign may identify the individual business of Tenant by name or by name and principal service offered, when the name does not identify the principal service offered. Established logos, crests, or insignias may be included as part of the signs.
- C. Lettering: The letters on all signs shall be either script or individual block type. Logo cans are allowed but must be of an irregular design. Routed out lettering with acrylic backing or

registered trademark logos with acrylic faces and vinyl graphics will be allowed on logo cans. Use of logo signs is subject to the regulations of and review and approval by the Town of Gilbert.

D. Each Tenant will be permitted to place upon the entrance of its premises up to 144 square inches of gold leaf or decal application lettering (not to exceed two inches in height) indicating hours of business, an emergency telephone number, etc. All other window signage must comply with the ordinances of the Town of Gilbert, i.e., window signage may cover no more than twenty-five percent (25%) of window area and said area used is deducted from the sign allowance set forth in Paragraph F.2. below.

E. Illumination: All main copy signs on the sign band are to be internally illuminated with no light source visible. Modifiers need not be illuminated. No signs will be allowed with intermittent illumination (flashing). No exposed neon, except as halo or accent (not as outline). No fluorescent and/or incandescent tubing or lamps shall be permitted.

F. Tenant shall have wall signage on fascia storefront. Sign shall be limited to one half (.5) square foot of signage for each front foot of store front, unless building is in excess of 75 feet from property line, in which case Tenant will be allowed one and one-half (1.5) square feet of signage for each front foot of store front. Sign shall be limited to overall length of eighty percent (80%) of store front footage as measured along and parallel to the storefront.

1. Tenant wall signs shall be limited to a maximum of thirty-six (36) inches high. Single line copy letters shall have a maximum height of twenty-four (24) inches. Double line signs are allowed within these restrictions.

G. Sign colors:

1. Tenant may choose face color.
2. Returns on the sign pans will be #313 bronze, unless otherwise approved by landlord.
3. The color of the internal neon will be red, white or green, unless otherwise approved by landlord.

4. Trim capping on the faces of the sign is to be 3/4 inch gold with gold screws or it may be the same color as the faces with matching screws.

H. Landlord shall have the right to modify the design requirements for any Tenant.

I. Construction requirements:

1. All sign bolts, fastenings, sleeves and clips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
2. No labels shall be permitted on the exposed surfaces of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
3. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
4. Sign contractor and/or Tenant shall pay for any damage to the fascia, canopy, structure, roof, or flashing caused by sign installation.
5. No exposed tubing will be permitted, except as halo or accent.
6. Wall signs shall be centered vertically and horizontally on the sign band.
7. All electrical signs shall adhere to UL standards.
8. All signs shall conform to the Uniform Building Code Standards.
9. All electrical signs shall conform to National Electrical Code Standards.
10. Electrical service to signs shall be on the Tenant's meter.
11. PK housings are not allowed, 7/8 inch hole maximum. Low voltage drivers are encouraged.
12. Timers or photocells are to be installed with the sign.

J. MONUMENT SIGNS

1. Monument signs shall conform to current Town of Gilbert regulations. The design and dimensions are set forth in Exhibit "A". The colors are shown on color card, Exhibit "B".
 - A. Signs shall be constructed of aluminum with all copy and logos routed out and plex backed so that the balance of the face remains opaque.
 - B. Illumination shall be internal fluorescent with only the copy illuminated.
2. There will be a total of five monument signs. Location is shown on Plot Plan, Exhibit "C".
3. Sign "A" will be located on Cooper 162' South of North property line.

Sign "B" will be located on Baseline 155' East of West property line.

Sign "C" will be located on Baseline 300' East of sign "B".

Sign "D" will be located on Baseline 310' East of sign "C".

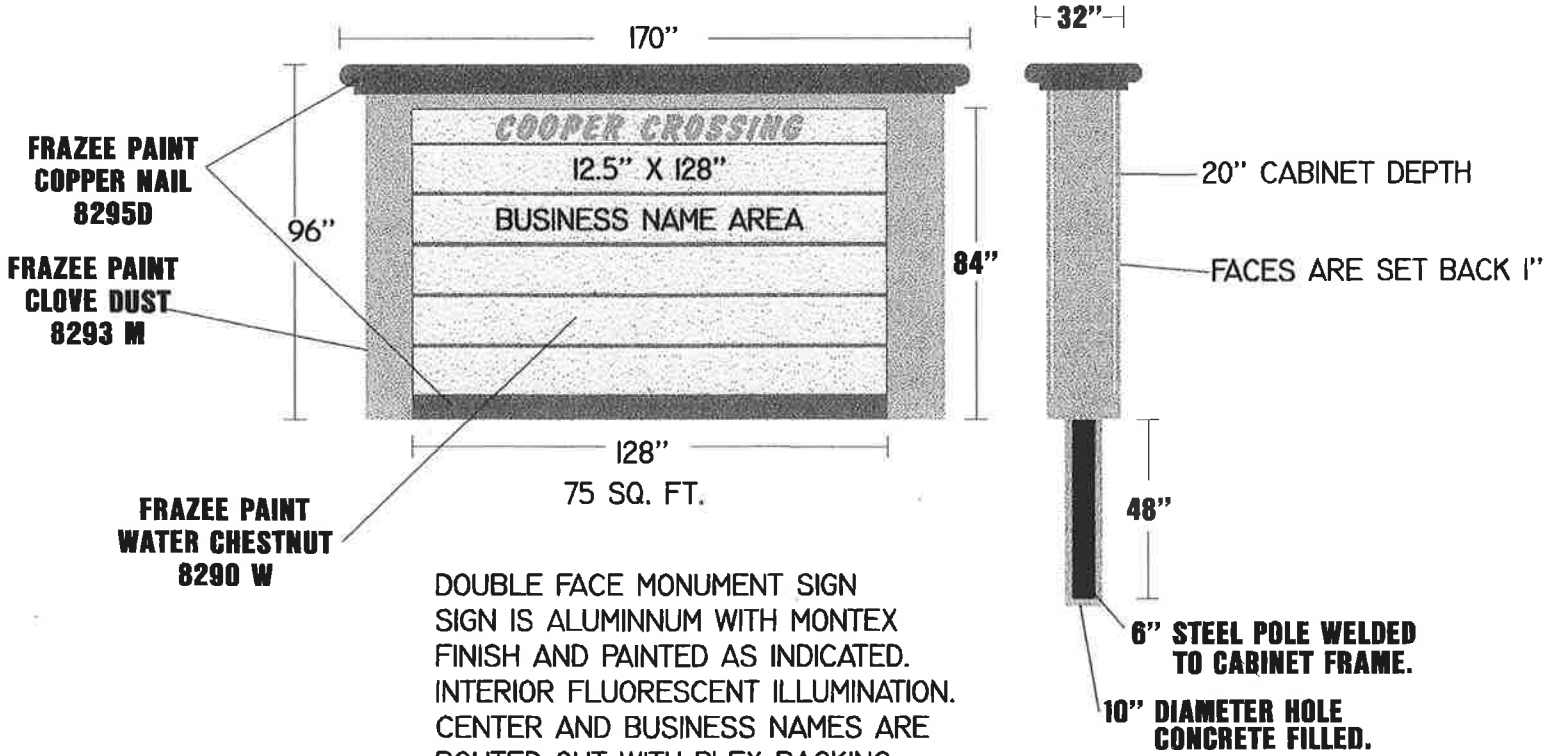
Sign "E" will be located on Stonehenge Dr. 202' South of North property line.

For further information and assistance with your signage, code compliance, drawings, etc., contact:

Don Meinershagen
Sign World, Inc.
(480) 982-6696

fax: (480) 982-6774

* note: see revised monument sign exhibit 5/11/29/02



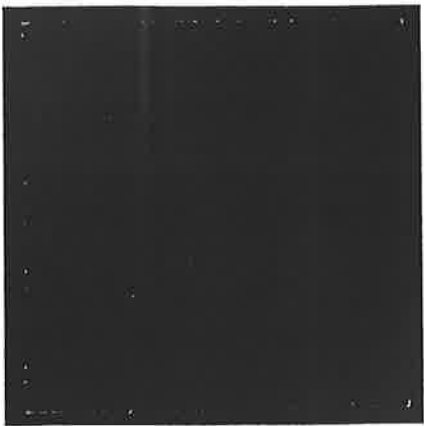
DOUBLE FACE MONUMENT SIGN
SIGN IS ALUMINUM WITH MONTEX
FINISH AND PAINTED AS INDICATED.
INTERIOR FLUORESCENT ILLUMINATION.
CENTER AND BUSINESS NAMES ARE
ROUTED OUT WITH PLEX BACKING.
NAME PANELS ARE SET BACK 1" FROM
COLUMN FACE. COOPER CROSSINGS
COLOR IS PLEXIGLASS 2016 YELLOW.

EXHIBIT A

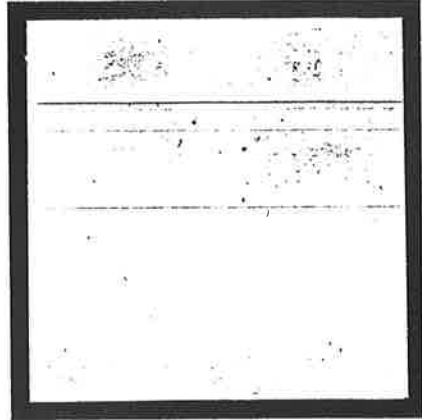
MONUMENT SIGNS

MONTEX FINISH

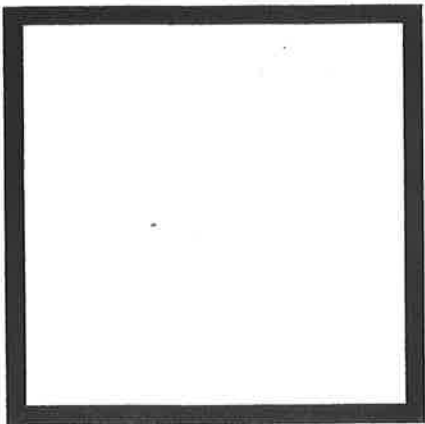
** see strips 2/11/00
11/29/00*



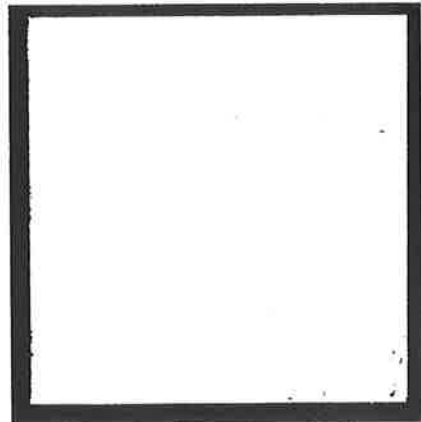
CAP & BASE
FRAZEE 38295 D
COPPER NAIL



COLUMNS & TOP
FRAZEE 8293 M
CLOVE DUST



TITLE
PLEXIGLASS
2016 YELLOW



FACES
FRAZEE 8290 W
WATER CHESTNUT

**SIGN WORLD
COMMERCIAL SIGNS**

(480) 982-6696
1985 W. APACHE TRAIL
APACHE JUNCTION, AZ.
85220

COOPER CROSSING
S.E.C. BASELINE & COOPER
GILBERT, ARIZONA
BY GLENDALE DEVELOPMENT CORPORATION

**SIGNS
EXHIBIT B
10/23/2000**

PAD USER SIGN CRITERIA

COOPER CROSSING

11/28/00 Revised Exhibits to comply w/ steps
APPROVED PLANS
 Design Review Board
 CASE: DR00-111
 DATE: 11/2/00
 SUBJECT TO CONDITIONS OF APPROVAL

I. INTRODUCTION

The purpose of a sign control program is to ensure an attractive shopping environment and to protect the interests of the Developer and Pad User.

II. GENERAL REQUIREMENTS

- A. Developer shall administer and interpret the criteria and shall approve all signs in writing prior to their installation.
- B. Submittal and Compliance:
 - 1. Pad User shall submit or cause to be submitted to Developer, for approval, detailed shop drawings covering location, size, design, color, materials, lettering and graphics of the proposed wall sign. The Pad User must not submit any sign drawings to the Town of Gilbert without first obtaining the Developer's approval.
 - 2. Developer shall review the drawings and return them marked "Approved", "Approved as Noted" or "Revise and Resubmit".
 - a. "Approved" drawings will permit Pad User to proceed with permitting, construction and installation of its sign in accordance with the drawings.
 - b. "Approved as Noted" drawings will permit Pad User to proceed with permitting, sign construction and installation, provided that the modifications noted are incorporated into the design. If the Pad User takes exception to the modifications, Pad User shall revise and resubmit.
 - 3. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the building visible from outside the premises except

as specifically approved by the Developer. Signs that are installed without written approval or are inconsistent with approved drawings, may be subject to removal and reinstallation by Developer at Pad User's expense.

4. The Town of Gilbert requires sign permits for all signs. It shall be Pad User's sole responsibility to secure these and any other permits that may be required.
 5. Developer's approval of Pad User's plans shall not constitute an implication, representation, or certification by Developer that said items are in compliance with applicable statutes, codes, ordinances, or other regulations. Said compliance shall be the sole responsibility of Pad User for all work performed on the premises by or for Pad User.
 6. Sign contractors performing any sign work at Cooper Crossing must be bonded, insured and licensed by the Arizona State Registrar of Contractors.
- C. To insure strict compliance with this sign criteria, Developer suggests that Sign World, Inc. provide all tenant signage and has designated Sign World, Inc. the sign contractor to furnish and install all signage at Cooper Crossing. Sign World, Inc. (480) 982-6696.
- Developer will correct non-compliance with this sign criteria at the Pad User's expense.
- D. Developer may repair or replace any broken or faded sign at Pad User's expense.

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allowed on logo cans. Use of logo signs is subject to the regulations of, and review and approval by the Town Of Gilbert.

- D. Each Pad User will be permitted to place upon the entrance of its premises up to 144 square inches of gold leaf or decal application lettering (not to exceed two inches in height) indicating hours of business, an emergency telephone number, etc. All other window signage must comply with the ordinances of the Town of Gilbert.
- E. Illumination: All main copy signs on the sign band are to be internally illuminated with no light source visible. Modifiers need not be illuminated. No fluorescent and/or incandescent tubing or lamps shall be permitted.
- F. Pad User shall be allowed a wall sign on fascia store front. Signage is only permitted on the street facing façade per the requirements of the ULDC.
- G. Total signage shall be limited to one-half (.5) square feet of signage for each front foot of store front unless building is in excess of 75 feet from property line, in which case Pad User will be allowed one and one-half (1.5) square feet for each lineal foot of store front. Sign shall be limited to overall length of eighty percent (80%) of store front footage as measured along and parallel to the storefront. *This was amended*
- H. Sign colors:
 - 1. Pad User may choose face color.
 - 2. Returns on the sign pans will be #313 bronze, unless otherwise approved by Developer.
 - 3. The color of the internal neon will be red, white or green, unless otherwise approved by Developer.
 - 4. Trim capping on the faces of the sign is to be ¼ inch gold with gold screws or it may be the same color as the faces with matching screws.
- I. Developer shall have the right to modify the design requirements for any Pad User.
- J. Construction requirements:
 - 1. All sign bolts, fastenings, sleeves and clips shall be hot-dipped galvanized iron, stainless steel, aluminum, brass, or

bronze and no black iron material of any type will be permitted.

2. No labels shall be permitted on the exposed surfaces of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
3. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
4. Sign contractor and/or Pad User shall pay for any damage to the fascia, canopy, structure, roof, or flashing caused by sign installation.
5. Wall signs shall be centered vertically and horizontally on the sign band.
6. All electrical signs shall adhere to UL standards.
7. All signs shall conform to the Uniform Building Code Standards.
8. All electrical signs shall conform to National Electrical Code Standards.
9. Electrical service to signs shall be on the Pad User's meter.
10. P K housings are not allowed, 7/8 inch hole maximum. Low voltage drivers are encouraged.
11. Timers or photocells are to be installed with the sign.

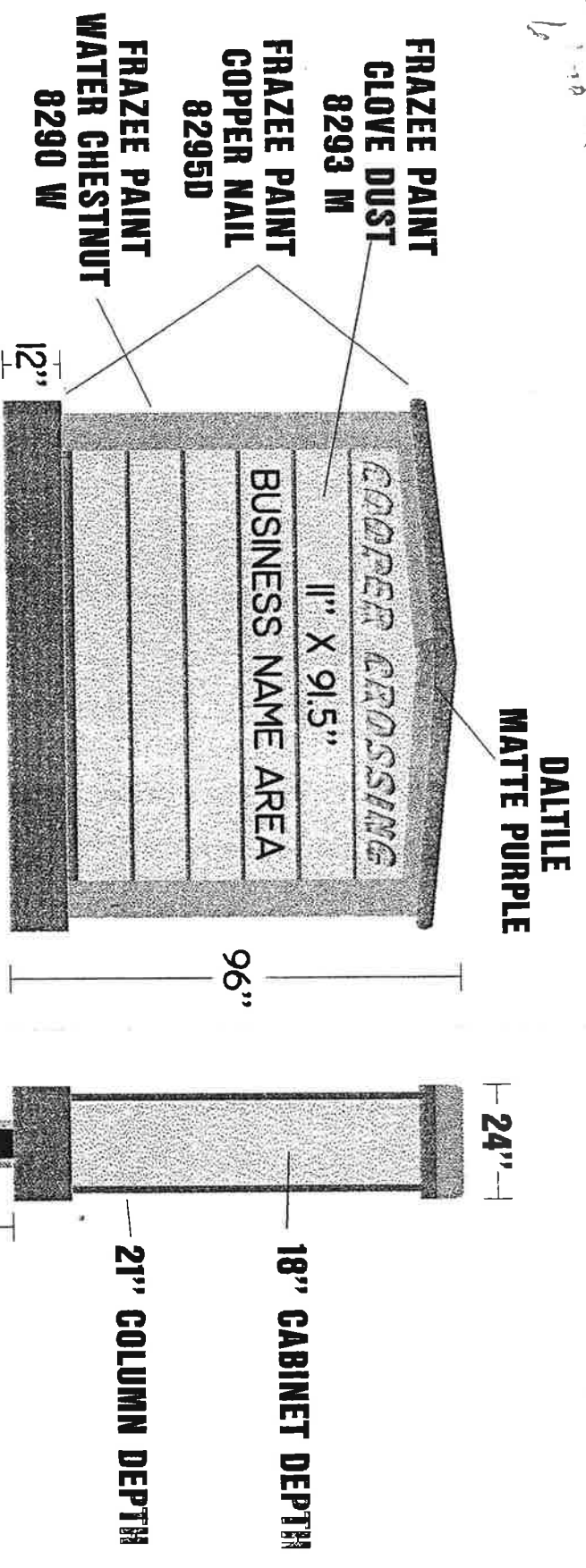
All signage is to be approved by the Town of Gilbert and a copy of the Sign Permit sent to the Developer.

For further information and assistance with your signage, code compliance, drawings, etc., contact:

Don Meinershagen
Sign World, Inc.
(480) 982-6696

fax: (480) 982-6774

46 of 100



DOUBLE FACE MONUMENT SIGN
SIGN IS ALUMINUM WITH MONTEX
FINISH PAINTED AS INDICATED.
INTERIOR FLUORESCENT ILLUMINATION.
CENTER AND BUSINESS NAMES ARE
ROUTED OUT WITH PLEX BACKING.
NAME PANELS ARE SET BACK 1.5" FROM
COLUMN FACE.

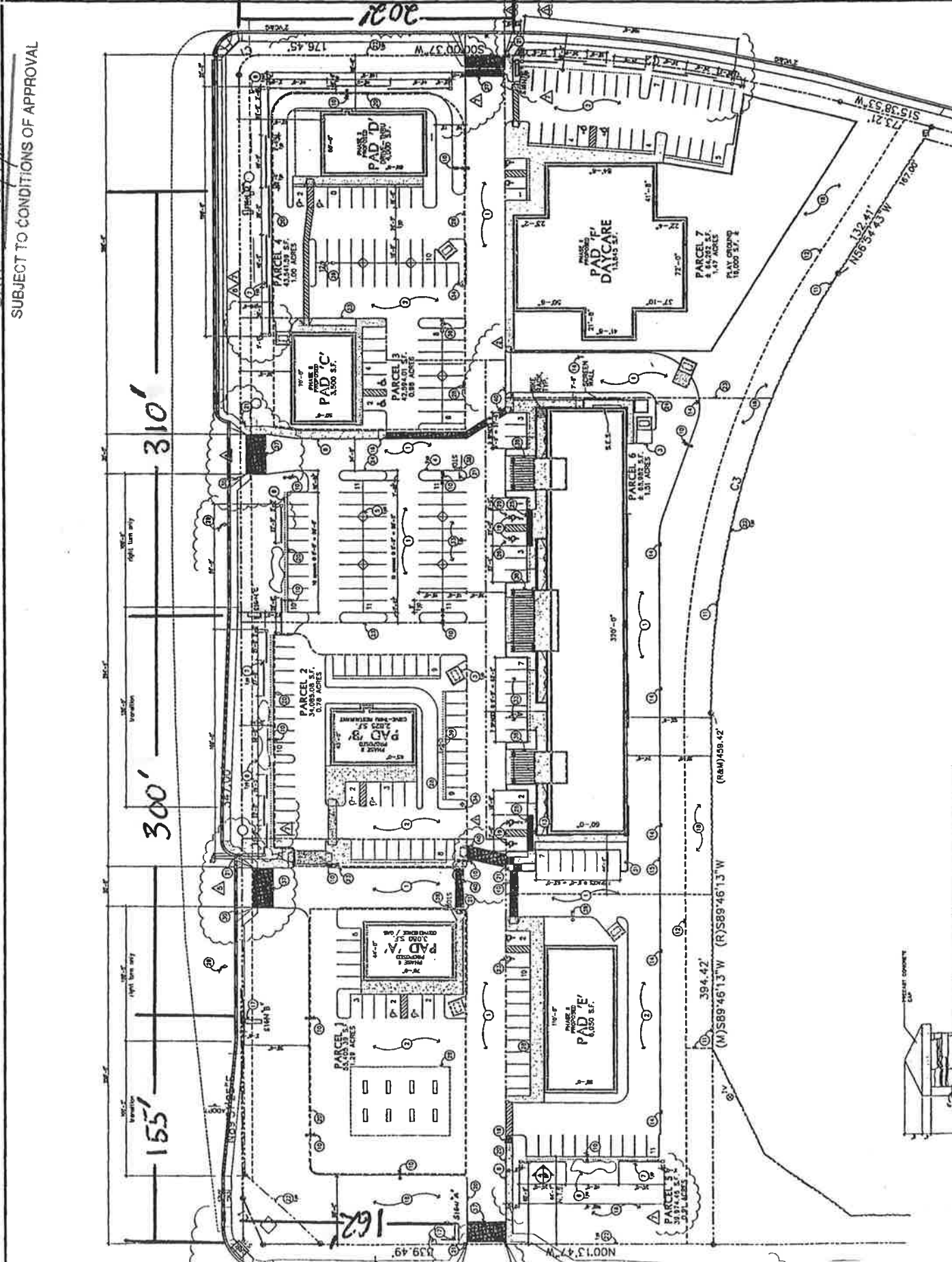
EXHIBIT "A"

1/29/00 Revised Exhibits to comply with
APPROVED PLANS
 Design Review Board
 CASE: DR00-11
 DATE: 1/19/02

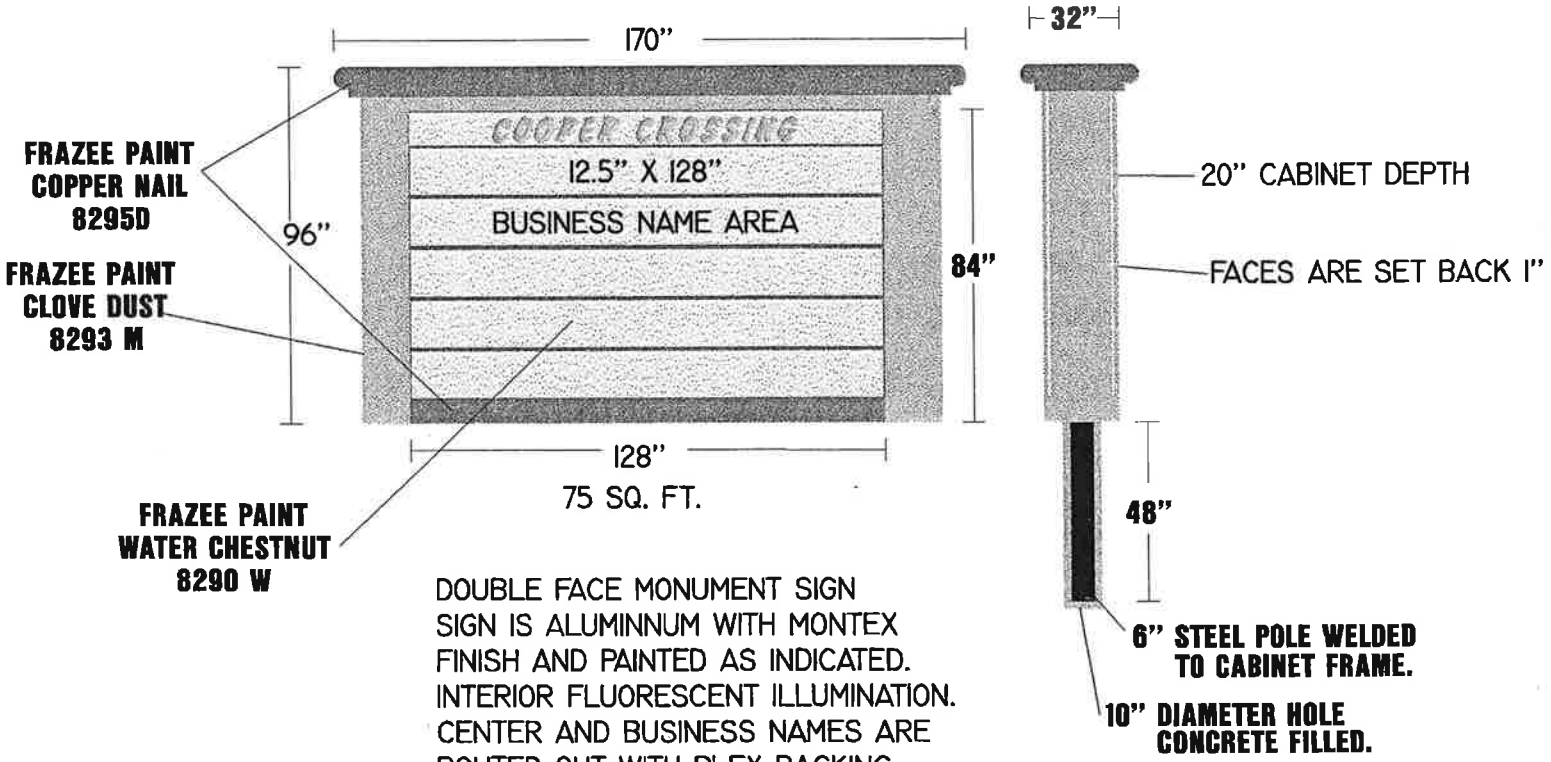
SUBJECT TO CONDITIONS OF APPROVAL

KEYED NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE - SEE DIM REPORT FOR DIMENSIONS.
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* note! see revised monument sign exhibit 1/29/02



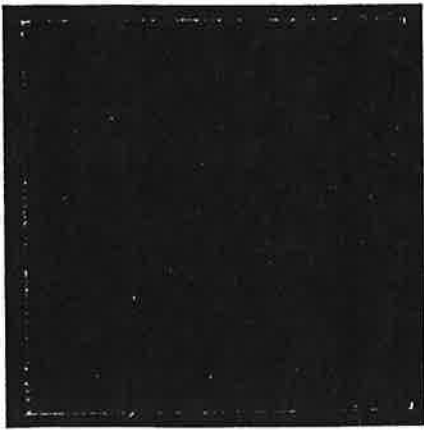
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EXHIBIT A

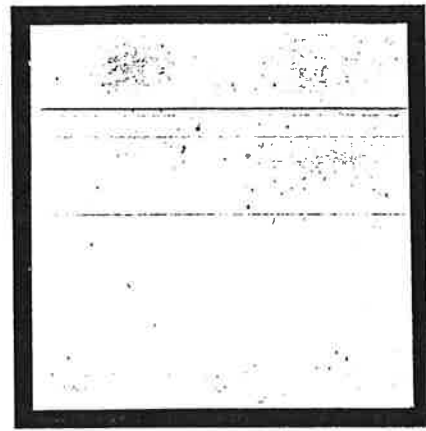
MONUMENT SIGNS

MONTEX FINISH

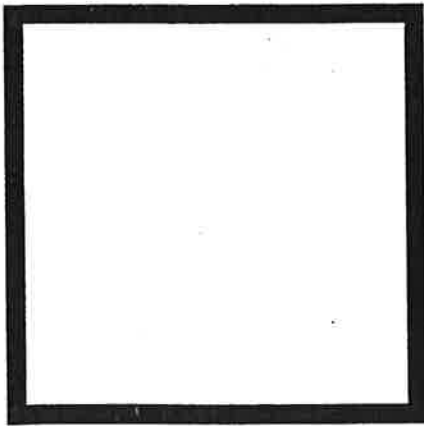
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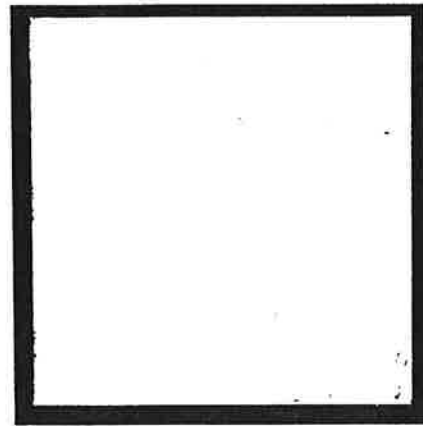
CAP & BASE
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TITLE
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FACES
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**SIGN WORLD
COMMERCIAL SIGNS**

(480) 982-6696
1995 W. APACHE TRAIL
APACHE JUNCTION, AZ.
85220

COOPER CROSSING
S.E.C. BASELINE & COOPER
GILBERT, ARIZONA
BY GLENDALE DEVELOPMENT CORPORATION

**SIGNS
EXHIBIT B
10/23/2000**

north and east property line. The wall height shall be measured from the higher finished grade as measured from each side of the wall.

4. Parking lot and security lighting shall comply with the light and glare criteria set forth in Section 11.22.A of the ULDC. Building mounted fixtures shall not exceed a height of 14' to the top of the fixture.

5. Any signage proposed for this development shall receive approval as part of a comprehensive sign program by the Design Review Board prior to the issuance of a sign permit through the Building Department. Said signage shall meet code requirements concerning size, location, and design.

6. Grading and drainage plans shall comply with the approved master grading plans for Sunrise Business Park and shall be approved by the Engineering Department prior to the issuance of a Building Permit.

7. The water mains within the site shall be placed in an exclusive 12' waterline easement that is to be dedicated by a final plan/map of dedication.

8. A plan for water, sewer, and drainage covering the overall project/site must be submitted for approval prior to any development.

9. Completion of landscape improvements on Elliot Road and throughout the site, and repair of existing sidewalks will be required prior to issuance of the certificate of occupancy.

10. A maximum of 50% of the right-of-way and landscape easement along Elliot Road may be used for retention.

DR00-111-Approval of Cooper Crossing wall and monument signage located at the southeast corner of the Southern Pacific Railroad of Baseline and Cooper Roads.

1. The proposed monument signage shall be revised as follows:
 - A) The applicant shall work with Staff to revise the proposed monument signage to incorporate a more substantial base, and columns of the same design and proportions as shown on approved Shops A. Said revised signage shall be reviewed and approved by Staff.
 - B) Letters and logos shall be routed out.
 - C) Lighting shall consist of internal illumination

of the copy only.

D) A more muted version of the originally proposed red color shall be utilized for the copy plexiglass. Said revised color shall be submitted for review and approval by Staff.

E) The proposed monument sign locations B and C shall be shifted 10' to the west.

2. In the proposed Pad User Sign Criteria, Design Requirements F, the phrases "Other wall signage will have to be approved by the Town of Gilbert" and "any other proposed signage would require a variance" shall be deleted.

3. In the proposed Tenant Signage Criteria, Design Requirements F.2 shall define 'anchor tenant.'

4. Revised copies of the Pad User Sign Criteria and Tenant Signage Criteria shall be submitted for the public record prior to issuance of a sign permit.

DR00-114-Approval of six (6) standard plans proposed at Shea Homes Seville, Parcel 9 located east of the southeast corner of Chandler Heights and Higley Roads.

1. All standard plan elevations shall be built per exhibits approved by the Design Review Board as presented at the public meeting of November 9, 2000 subject to Staff stipulations and any additional conditions that may be imposed by the Board at said meeting.

2. These standard plans are approved for 119 lots, lots 1 through 119 of Parcel 9 within the Seville PAD. Any revisions to the approved standard plans, or additional plans shall require review and approval by the Design Review Board prior to the issuance of a building permit.

3. All standard plans shall adhere to the lot coverage and setback requirements stipulated by Ordinance No. 1264. Coverage is interpreted as the area under roof including patios, porches and garages.

4. Prior to submittal of the house plan construction documents, the applicant shall revise the lot to fit analysis to identify the required enhanced setback from Chandler Heights Road.

5. Provide reverse elevations, where possible, on adjacent lots to keep the garage doors away from always being on the



Date: February 6, 2004

Applicant: Chumita Hurd
Christy Signs

Address: 1825 S. Black Canyon Hwy
Phoenix, AZ 85009

Phone: 602-242-4488

Fax: 602-271-0433

Case number: **DR04-02 Cooper Crossing (Sign Package Amendment)**

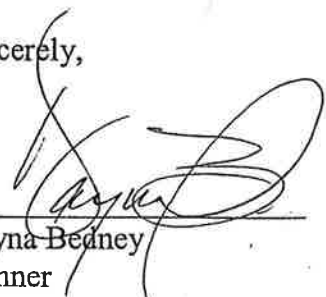
Subject: **Administrative Action**

Your request for an administrative approval to allow *the square footage of commercial wall signs as prescribed in the Town of Gilbert's sign ordinance amended May 7, 2003 to supersede the square footage proposed and approved in the sign package approved in case DR00-111 narrative, "PAD SIGN CRITERIA, COOPER CROSSING", Section III Design Requirements, subsection "G"*, has been reviewed and approved subject to following conditions:

1. This approval is limited to the square footage of commercial wall signs only, all other standards i.e., colors, fonts and materials shall remain as approved in the original DR00-111 sign package.
2. Any other modifications to signage must be submitted for review and approval by Town of Gilbert planning staff.

The above comments constitute the conditions of approval for this Administrative Action. Should you have any questions, please contact me at (480) 503-6838. Thank you for your patience in the approval process of this project.

Sincerely,



Dayna Bedney
Planner

Attachment: Findings of Fact

FINDINGS OF FACT

- 1) The development proposed is in substantial conformance with the sign package approved in case DR00-111 Cooper Crossing.
- 2) The proposed amendment is in conformance with the conditions, requirements and standards prescribed by Article III Signs, of the Unified Land Development Code.