

## Master Sign Package

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# Chandler Heights Village

N.W.C of Chandler Heights & South Higley  
Gilbert, Arizona

Prepared by:

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APPROVED PLANS  
Design Review Board  
Case #: DR06-133  
Date: 10/11/07  
SUBJECT TO CONDITIONS OF APPROVAL



■ ADDRESS: 4028 W. WHITTON PHX, AZ. 85019  
■ PHONE: ( 602 )-272-9356  
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CSP created  
August 15, 2007

DR06-133 (8/23/07) Sign (1st)

## **MASTER SIGNAGE PLAN**

### **Sign specifications and Requirements**

The purpose of this Master Signage Plan is to create a graphic environment that is individual and distinctive in identity for the merchant and also compatible with other signs within the Property. The total concept should give an impression of quality and instill a professional business image.

The following specifications shall be used for the design of all signage within the Property; however, in all cases, final written approval by Landlord is required prior to manufacturing and installation of all signs.

For purposes of this Master Signage Plan, any reference herein to “Landlord” shall mean NWC HCH, L.L.P. or its designee.

**PROCEDURE:** All signage drawing proposals will be submitted in three (3) copies to Landlord for written approval, prior to application for sign permit from Town of Gilbert.

#### **NOTICE:**

WRITTEN APPROVAL FROM LANDLORD AND CONFORMANCE WITH THE REQUIREMENTS SET FORTH HEREIN DOES NOT IMPLY CONFORMANCE WITH APPLICABLE LAWS, CODES, RULES, AND REGULATIONS PROMULGATED BY TOWN OF GILBERT OR ANY OTHER APPLICABLE GOVERNMENTAL AGENCY OR BODY (COLLECTIVELY, THE “LAWS”). ALL SIGNAGE LOCATED WITHIN THE PROPERTY SHALL BE APPROVED IN WRITING BY DECLARANT AND SHALL COMPLY WITH THE APPLICABLE LAWS, RECEIPT BY TENANT OF A SIGN PERMIT AND NOTIFICATION BY TENANT TO LANDLORD MUST BE RECEIVED PRIOR TO MANUFACTURING AND INSTALLATION OF ANY SIGNAGE.

#### **A. GENERAL PROVISIONS**

1. All signs and signage programs must conform to the requirements of this Master Signage plan, Town of Gilbert, and all applicable Laws. Applications and submittals for signage permits shall be per Town of Gilbert’s procedure and requirements.
2. Signs shall identify the person or company operating the use conducted on the Parcel or Suite. No off-premises advertising is permitted.

#### **B. GENERAL REQUIREMENTS**

1. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, painted or affixed in any manner to any part of the building exterior except as approved in writing by the Landlord.

2. Each Tenant shall defend, indemnify and hold the Landlord harmless for, from, and against all claims, costs (including attorneys' fees, expert witness fees and other litigation related costs), damages, expenses, liabilities and losses arising from the installation, maintenance and repair of Tenant's signs.
3. Each electrical sign, and the installation thereof, shall comply with all applicable Laws.
4. Tenant shall obtain all necessary permits for signs and the construction and installation of signs.
5. No labels shall be placed on the exposed surfaces of signs except those required by applicable Laws. Required labels shall be applied in conspicuous locations.
6. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight manner.
7. Any sign that does not conform with the requirements of this Master Signage Plan or was not approved by the Landlord as required hereby shall be immediately removed or brought into conformance at the Tenant's expense.
  - a. Signs with penetrations falling above roof line must seal wiring using a raceway rear.

**C. TYPE OF SIGN**

1. All signs shall contain individual, pan channel or reverse pan channel, internally illuminated, wall mounted letters. Letters are not to be on a background and shall not be mounted on an exposed raceway.

**D. SPECIFIC REQUIREMENTS FOR BUILDINGS SIGNAGE**

**1. SIZE OF SIGN**

- a. Depth 5"-10"
- b. Length The overall length of spread of letters shall not exceed 80% of leased front footage as specified by Lease. (Example: Maximum spread for a sign for a space thirty (30) feet wide will be twenty-four (24) feet).
- c. Height Sign may not exceed 80 % of SIGN BAND height
- d. Quantity Each Tenant has a unique area in which signs are allowed.
- e. Overall Size of Sign Each sign allowed may be 1.5 square foot in size per foot of frontage on the same elevation. ( Not all elevations have been allotted signage ).
- f. The City of Gilbert sign code reads as follows.
  - 1. Each Tenant will be allowed one & one-half (1.5) square feet of building signage per foot of linear building frontage when frontage is greater than 75 feet from Property Line/Street Frontage. If frontage is less than 75 feet, one (1) square foot of building signage per foot of linear building frontage.
  - 2. Only the longest building frontage may be used to calculate sign square footage.
  - 3. Nationally recognized businesses shall be allowed to use their Corporate colors and letter style.
- g. In the event that a user fronts on two (2) or more streets, the user shall be given the option of selecting one (1) street frontage for the purpose of computing allowable sign area.

**E. LIGHTING**

1. All lighting shall be illuminated with internal face neon lighting or L.E.D's.
2. All electrical will be U.L. or equivalent approved.
3. Primary copy (store name) required to be lighted. Illumination of secondary copy such as crests, shields, logos, established corporate insignias, or any other modifiers is subject to Declarant's written approval.
4. Electrical power shall be brought to required location at Owner's expense. The routing and location of other required items shall not be visible on the front of fascia.
5. Penetration of structure and graphics beams shall be kept to a minimum and must have proper insulation for voltage cable.
6. Transformers shall be concealed behind fascia and mounted in metal raceways or boxes.

**F. DETAIL DRAWING**

1. Three copies of a complete and detailed drawing by Owner's sign company shall be submitted to Declarant for final review and written approval.
2. Elevation of building fascia and sign shall be drawn using a minimum ¼" to 1" scale.
3. Drawing shall indicate the following specifications:
  - a. Type, thickness, and color of Plexiglas type of material used for backs, returns, and trim caps, including color
  - b. Finish used on returns
  - c. Type of illumination and mounting method
4. Drawing must include fascia cross section showing electrical connections.

**G. WINDOW SIGNAGE**

Window sign not to exceed two (2) square feet and limited to store name, hours, and phone numbers. Any other variations must be approved by Declarant in writing.

Window signs to be created in a professional manner.

**H. Grand Opening banners are allowed with Declarant approval and must be permitted.**

**I. ADDRESS SIGNS**

Each store is required to display a street address and suite number above storefront door and service door of four (4) inch white exterior vinyl.

**J. THE FOLLOWING ARE NOT PERMITTED**

Roof signs.

Cloth signs or streamers hanging in front of business.

Exposed seam tubing.

Animated or moving components.

Intermittent or flashing illumination.

Iridescent painted signs.

Letter mounted or painted-on illuminated panels.

Signs or letters painted directly on any surface.

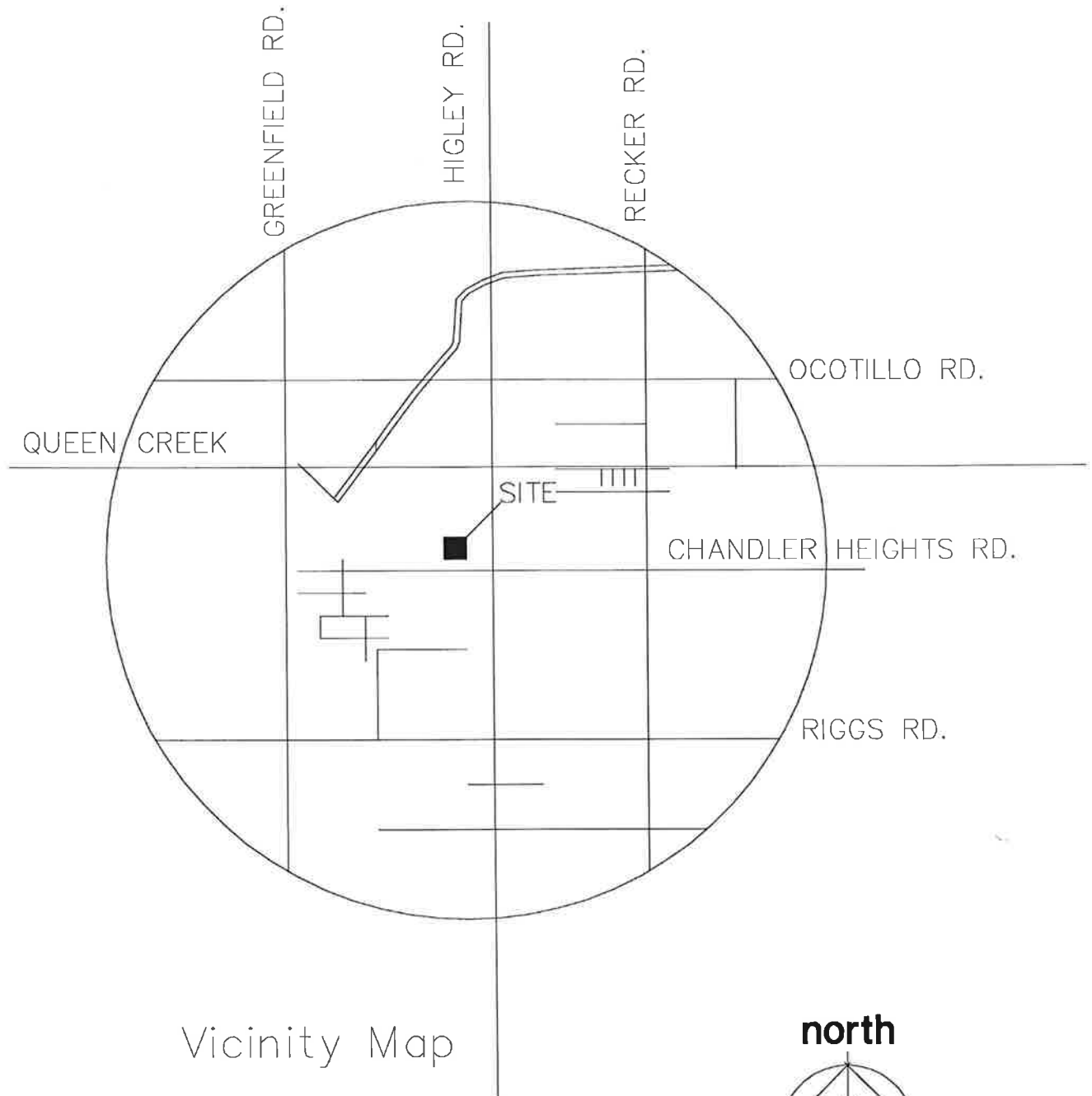
Signs will not be permitted to be installed or placed along perimeter of Property.

If you have any questions please call:

Andy Gibson  
**Bootz and Duke Sign Company**  
4028 W. Whitton Ave  
Phoenix, AZ 85019

Phone: 602-272-9356  
Fax: 602-272-4608

[andy@bootzandduke.com](mailto:andy@bootzandduke.com)



Vicinity Map

# SITE PLAN



Chandler Heights Village  
N.W.C. Of Chandler Heights & South Higley  
Gilbert, AZ

#### COMPREHENSIVE SIGN PLAN APPLICATION NARRATIVE

The North West Corner of Chandler Heights & South Higley is a 14.16 acre property that was annexed to the Town on July 24, 2001 by A004-4, Adopting Ordinance 1356, as a part of the Shamrock Estates. The site was zoned C-1 / NC on July 24, 2001, by Z-0025, Adopting Ordinance 1357 as part of the Shamrock Estates. The site plan with Building #1 as retail received Design Review Board Approval on February 15, 2007, case # DR 06-133. The Site Plan with Building #1 as a Child Care Center is before the Design Review Board on September 13, 2007. Al Ward is the Town Planner who is familiar with this site.

The Town of Gilbert requires a Comprehensive Sign Plan for all multi-tenant commercial, office and industrial projects that use the standards set in the zoning ordinance. This Comprehensive Sign plan meets all current code and building ordinance. All signs were designed to be compatible with all site designs, building materials, textures, and landscape elements of the project. All signs are constructed of durable materials, and will preserve the unique character and beauty of the Town of Gilbert. The goal of this sign package is to provide business identification, as well as provide a pleasant environment for shoppers and the Town of Gilbert.

Chandler Height Village is proposing a total of Five (5) double sided Freestanding Monument Signs. The town code for Commercial freestanding signs is one sign for 100ft of street frontage, a second sign at 600ft of street frontage, and a third sign for an additional 300 ft of street frontage. Chandler Heights Village has two major street frontages, Chandler Heights and South Higley Road. Along South Higley road Chandler Heights Village has 815 feet of Street frontage, and are proposing two (2) monument signs on South Higley. Along Chandler Height the site has 1013 feet of street frontage, and are proposing three (3) monument signs on Chandler Heights. The Town of Gilbert code also stipulates that freestanding monument signs to 32 square feet of sign area, and height max is eight (8) ft tall. Chandler Height Village Monument signs have 31.5 ft of sign area, and are 8' tall, not including the 6 inch decorative architectural roof element. The colors and materials of these signs are designed to match the site colors and site architecture.

Chandler Height Village building sign design package complies with all Town of Gilbert building sign requirement for Commercial Properties. The Town sign code stipulates to the sign length and height may not exceed 80% of the sign area. The Town of Gilbert sign code also stipulates to 1.5 square feet of sign per linear feet of building frontage. This sign criteria is in accordance to these town codes. The colors and sign designs are to have final approval from the Landlord, NWC HCH, LLP, and sign permit from the Town of Gilbert before signs are approved for Chandler Heights Village.

NBS

This property has two owners. Both Owners have agreed to approach these properties as one center. Please refer to the owner Authorization letters for this submittal of this Comprehensive Sign Plan.



NOT TO EXCEED 80%  
OF SIGN BAND IN HEIGHT  
(COLORED BAND NEAR TOP OF BUILDING)

NOT TO EXCEED 80%  
LEASED FRONTAGE

# TENANT

TYPICAL SET OF SELF CONTAINED PAN CHANNEL LETTERS.

## CONSTRUCTION

.063" ALUMINUM CONSTRUCTION.  
5" DEEP RETURNS  
.040" CLC RETURNS COLOR AS PER TENANT.  
3/4" TRIM CAP COLOR AS PER TENANT.

## MOUNTING

MOUNT FLUSH TO WALL.

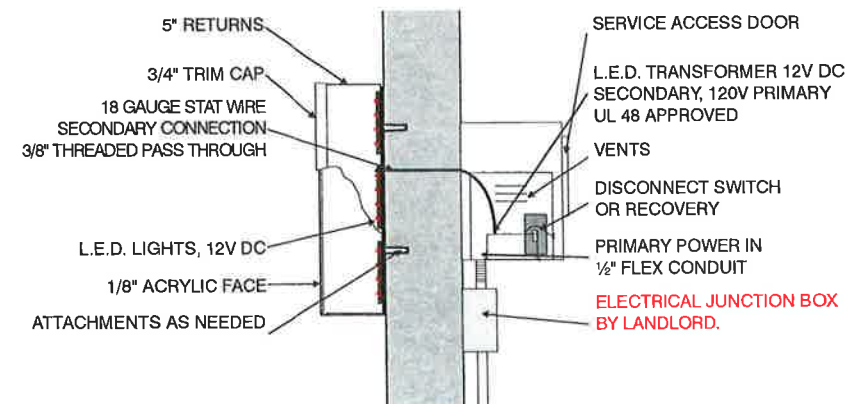
## FACE

3/16" SG ACRYLIC COLOR AS PER TENANT.

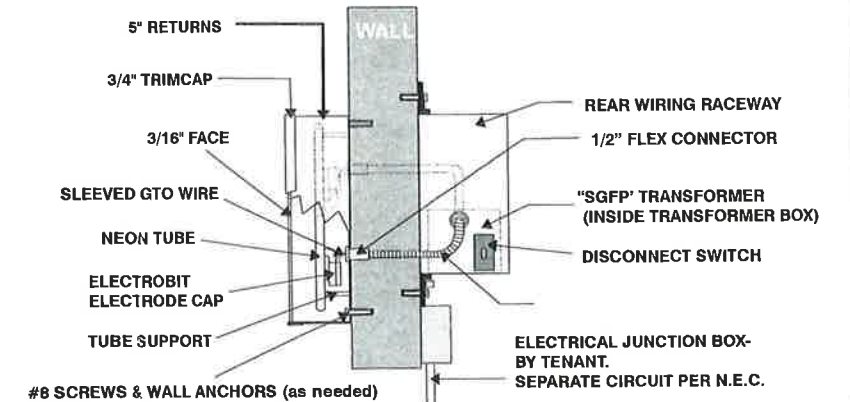
## ILLUMINATION

SLOAN OR GEL-COR L.E.D.'S OR NEON TUBING.  
SINGLE OR DOUBLE STROKE.  
1 STROKE PER 4"  
WITH REMOTE TRANSFORMERS.

## L.E.D. ILLUMINATED PAN CHANNEL LETTERS



## NEON ILLUMINATED PAN CHANNEL LETTERS





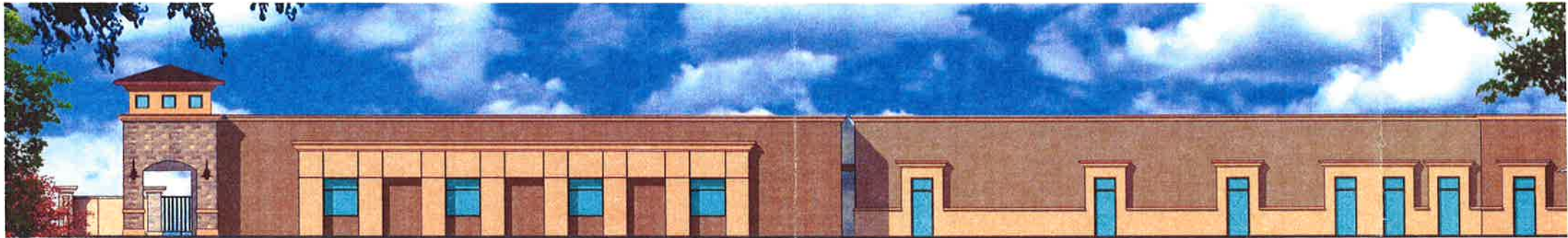
BUILDING 1A & 1B



1  
A3.0  
FRONT ELEVATIONS  
BUILDINGS 1-A & 1-B



2  
A3.0  
RIGHT ELEVATION  
BUILDING 1-A



3  
A3.0  
REAR ELEVATIONS  
BUILDINGS 1-A & 1-B



4  
A3.0  
LEFT ELEVATION  
BUILDING 1-A

 = Potential Sign Locations



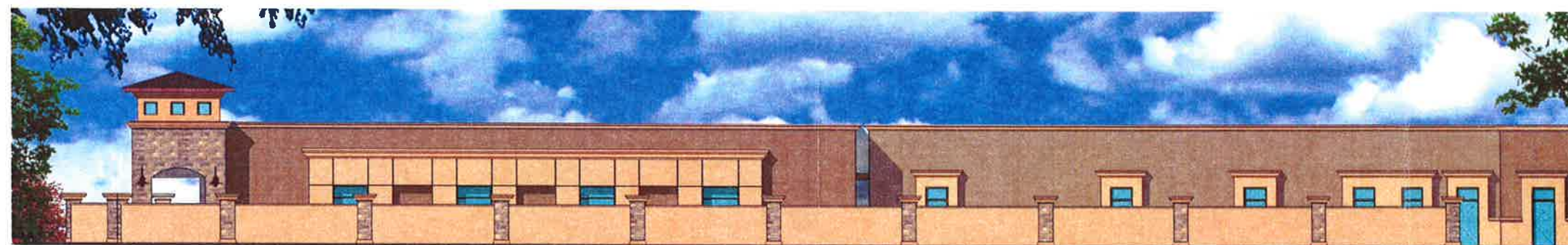
# BUILDING 1A & 1B



1  
A3.1  
RIGHT ELEVATION  
BUILDING 1-A (6'-0" FENCE)



2  
A3.1  
REAR ELEVATIONS  
BUILDINGS 1-A & 1-B (6'-0" FENCE)  
INTERIOR PLAYGROUND



3  
A3.0  
REAR ELEVATION  
BUILDING 1-A & 1-B (6'-0" FENCE)

     = Potential Sign Locations



## BUILDING 2



FRONT ELEVATION



LEFT ELEVATION

 = Potential Sign Locations

REAR ELEVATION





## BUILDING 3



 = Potential Sign Locations

# BUILDING 4



FRONT ELEVATION



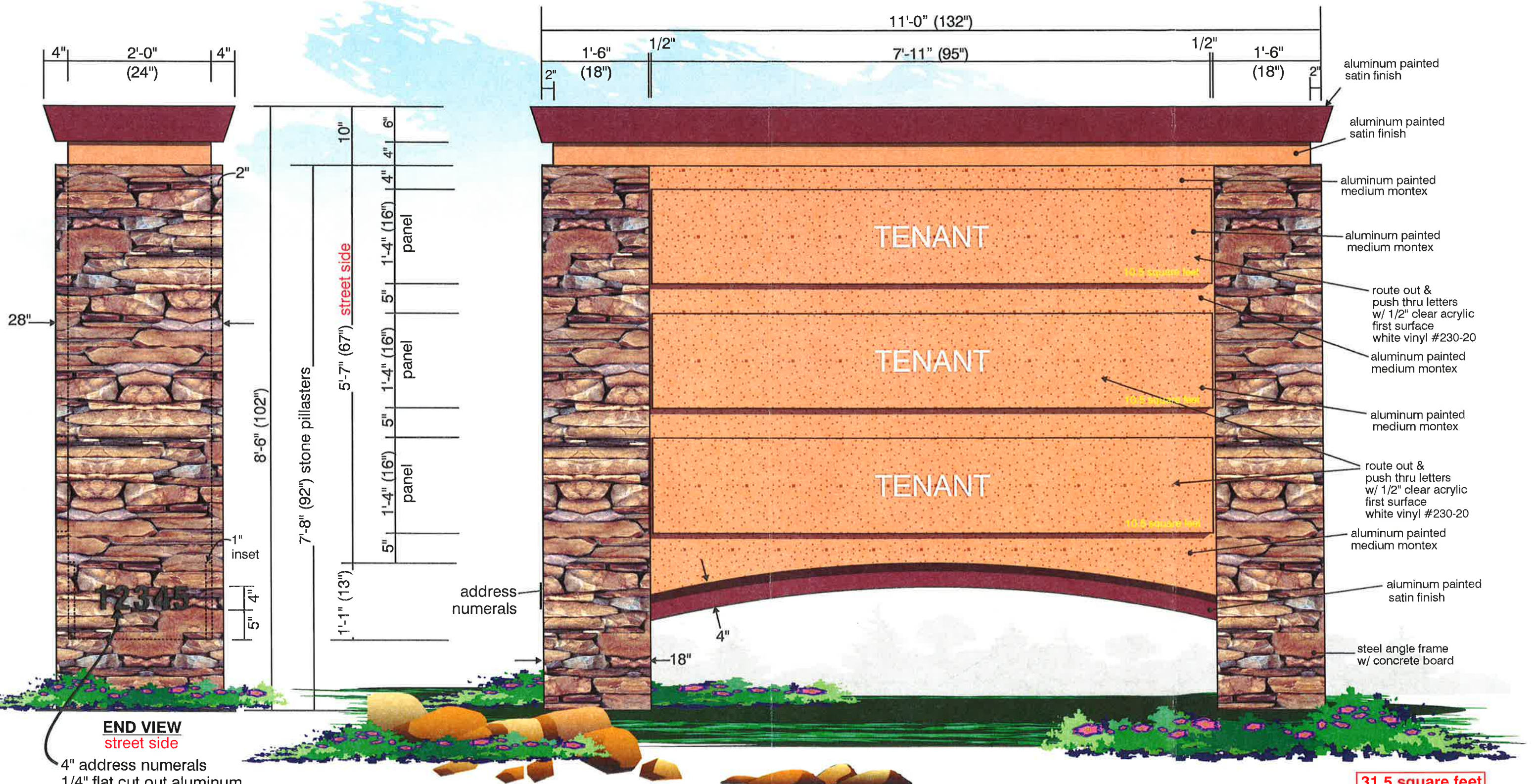
LEFT ELEVATION



RIGHT ELEVATION

 = Potential Sign Locations

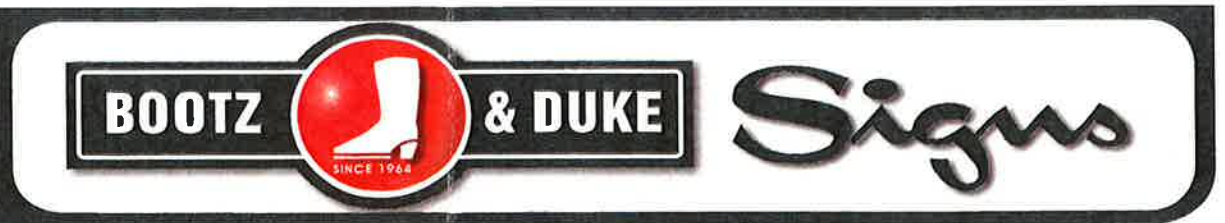




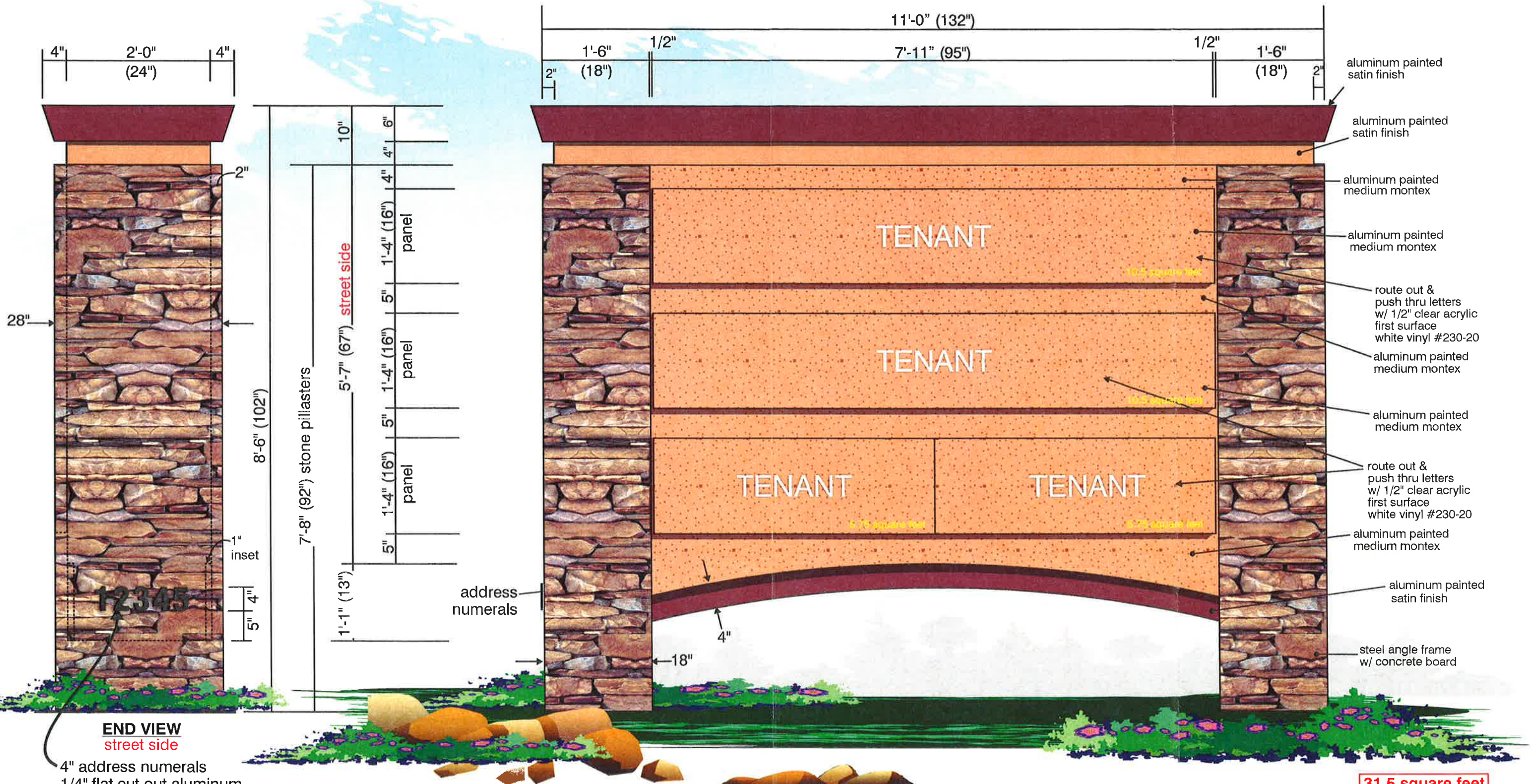
CLIENT: <b>Chandler Heights Village</b>		REVISIONS:
ADDRESS: <b>Gilbert, AZ</b>		△
SALESMAN: <b>Andy Gibson</b>	DESIGNER: <b>LMWilliams/AVMorales II</b>	△
DATE: <b>06-18-2007</b>	SCALE: <b>AS NOTED</b>	DESIGN #: <b>A-1233-07</b>
	REVISIONS:	PAGE:
	△	

● ADDRESS: 4028 W. WHITTON PHX, AZ. 85019  
 ● PHONE: ( 602 )-272-9356  
 ● FAX: ( 602 )-272-4608  
 ● E-MAIL: [www.bootzandduke.com](http://www.bootzandduke.com)

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**END VIEW**  
street side

4" address numerals  
1/4" flat cut out aluminum  
painted black satin finish  
(non-illuminated)  
(address to be determined)

Color "A" smooth satin finish	Color "B" smooth satin finish	Color "B" Medium Montex finish	Stone Veneer "By Others"

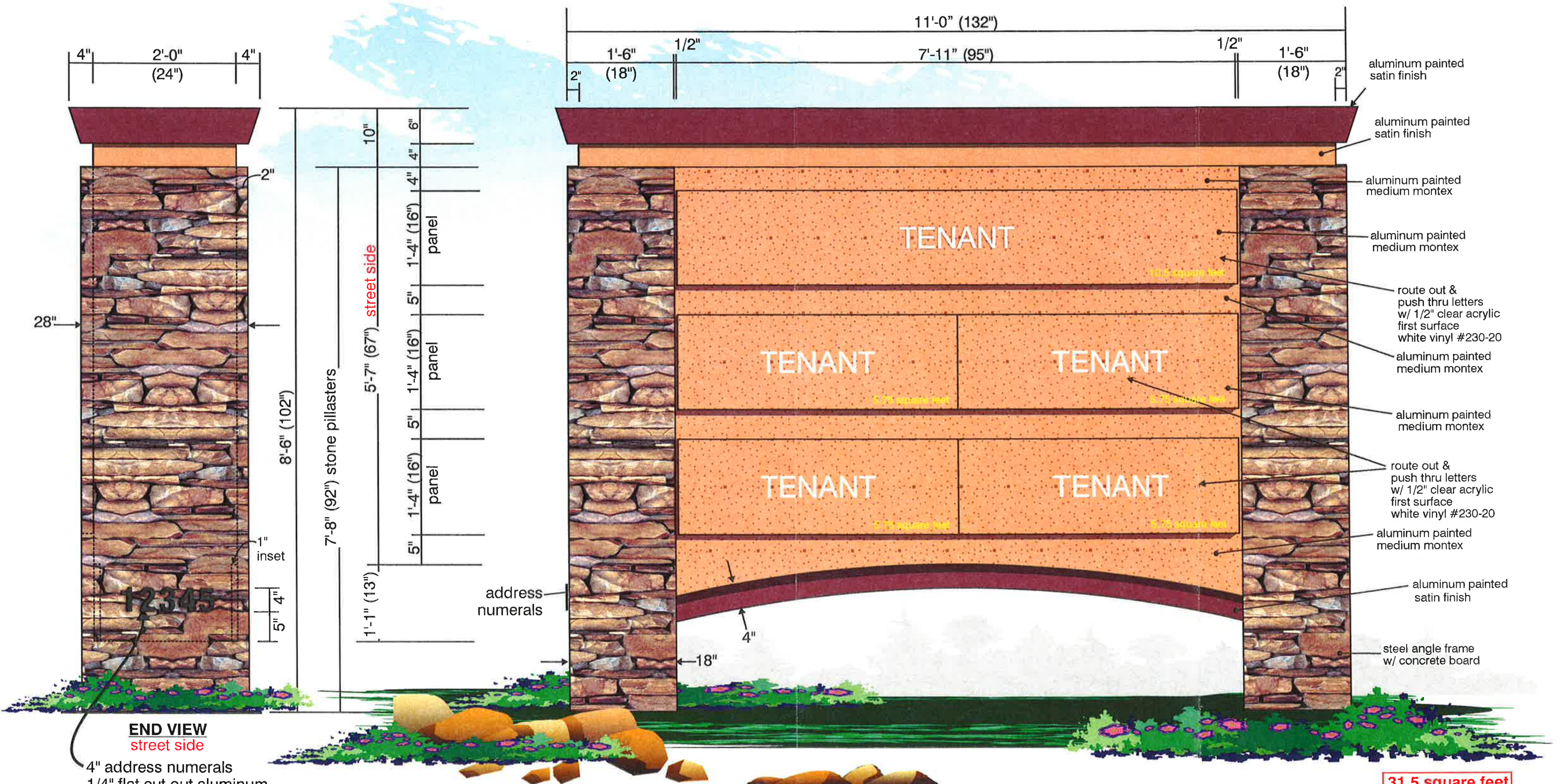
**B DOUBLE FACE ILLUMINATED MONUMENT DISPLAYS**  
scale: 3/4"=1'-0"

**31.5 square feet**  
ROUTE OUT ALL COPY OUT OF  
ALUMINUM TEXTURED FACES &  
PUSH THRU 3/4" CLEAR ACRYLIC.  
FLUORESCENT ILLUMINATION.

CLIENT: <b>Chandler Heights Village</b>		REVISIONS: △
ADDRESS: <b>Gilbert, AZ</b>		△
SALESMAN: <b>Andy Gibson</b>	DESIGNER: <b>LMWilliams/AVMorales II</b>	DESIGN #: <b>A-1233-07</b>
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

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**END VIEW**  
street side

4" address numerals  
1/4" flat cut out aluminum  
painted black satin finish  
(non-illuminated)  
(address to be determined)



			
Color "A" smooth satin finish	Color "B" smooth satin finish	Color "B" Medium Montex finish	Stone Veneer "By Others"

**DOUBLE FACE ILLUMINATED MONUMENT DISPLAYS**  
scale: 3/4" = 1'-0"

**31.5 square feet**  
ROUTE OUT ALL COPY OUT OF  
ALUMINUM TEXTURED FACES &  
PUSH THRU 3/4" CLEAR ACRYLIC.  
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LOT AREA:

338,150.2562 SF OR 7.7624 ACRES

ZONING:

C U.D.C. NO. LUG, TOWN OF GILBERT, AZ,  
COMMERCIAL AND NEIGHBORHOOD COMMERCIAL ZONING DISTRICT

BUILDING AREAS:

BUILDING	BUILDING AREA	CANOPIES/COVERS AREA	Nature and Area
BUILDING #1: CHILD CARE CENTER	10,269 SF	2,643 SF	
BUILDING #1-B: RETAIL SUITES "A"	6,120 SF	1,484 SF	
BUILDING #2: RETAIL SUITES "B"	12,416 SF	2,611 SF	
BUILDING #2: FULL SERVICE RESTAURANT WITH PATIO SEATING SUITE "C"	3,712 SF	1,341 SF	
BUILDING #3: 25% OFFICE, 75% MEDICAL OFFICE SUITES "D"	11,864 SF	2,121 SF	
BUILDING #4: 25% OFFICE, 75% MEDICAL OFFICE SUITES "E"	6,067 SF	943 SF	
BUILDING #5: DRIVE-THROUGH RESTAURANT WITH PATIO SEATING - FUTURE			2,129 SF CANOPY 341 SF

TOTAL ALL BLDGS 50,931 SF 10,462 SF 3,070 SF

CONSTRUCTION TYPE:

TYPE-V-B, ATCS

NATURAL LANDSCAPE AREA CALCULATION:

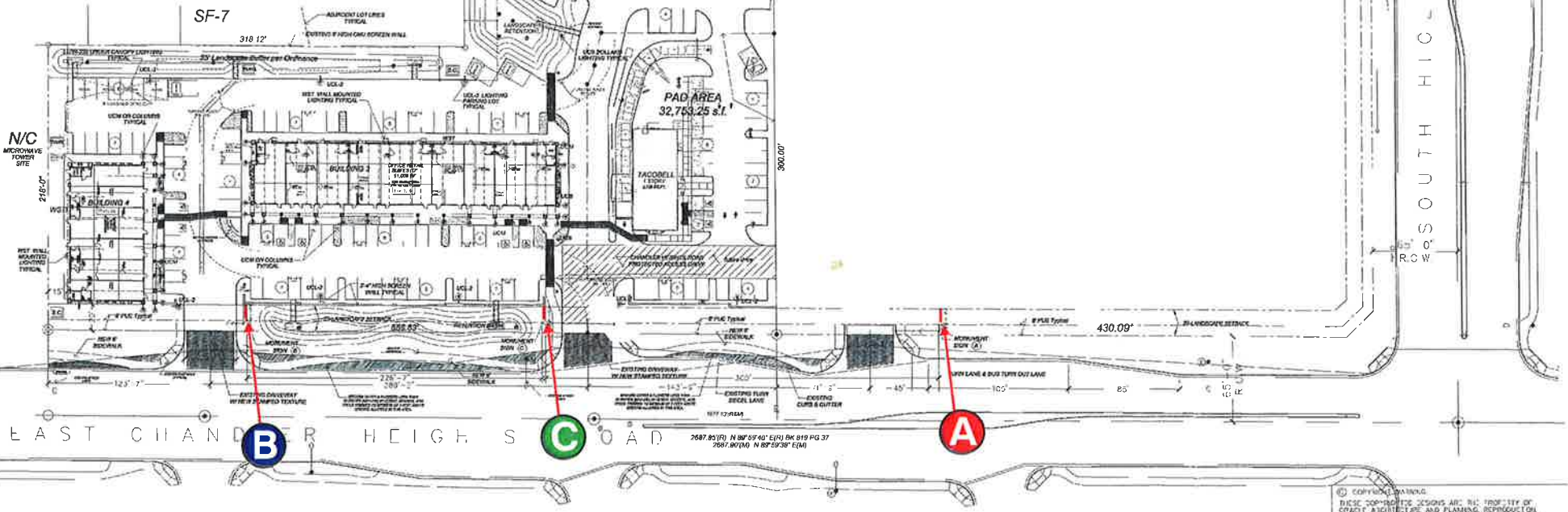
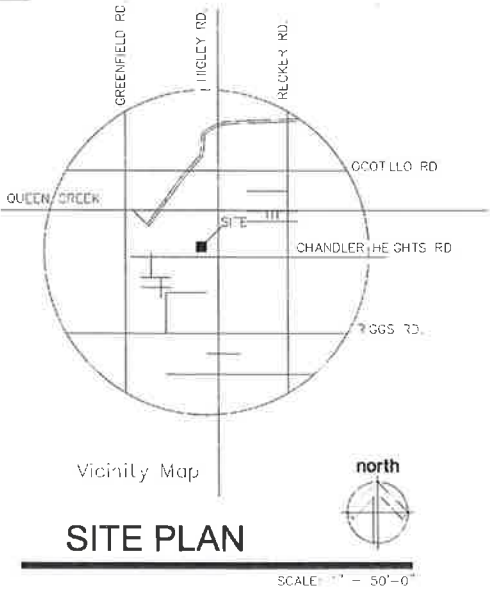
TOTAL AREA OF LANDSCAPE 79,435 SF

PARKING REQUIREMENTS:

CHILD CARE USE: 350 SF/SP=	30 REQ. SPACES
RETAIL USE: 250 SF/SP=	21 REQ. SPACES
RETAIL USE: 250 SF/SP=	32 REQ. SPACES
RESTAURANT USE: 100 SF/SP=	38 REQ. SPACES
RESTAURANT PATIO USE: 400 SF/SP=	4 REQ. SPACES
25% OFFICE RETAIL USE: 250 SF/SP=	11 REQ. SPACES
75% MEDICAL OFFICE USE: 150 SF/SP=	36 REQ. SPACES
25% OFFICE RETAIL USE: 250 SF/SP=	6 REQ. SPACES
75% MEDICAL OFFICE USE: 150 SF/SP=	30 REQ. SPACES
RESTAURANT USE: 100 SF/SP=	29 REQ. SPACES
RESTAURANT PATIO USE: 400 SF/SP=	1 REQ. SPACES
TOTAL PARKING REQUIRED:	253 REQUIRED SPACES
TOTAL PARKING PROVIDED:	304 PROVIDED SPACES

STANDARD COMMERCIAL AND INDUSTRIAL SITE PLAN NOTES

- ALL UTILITY LINES LESS THAN 66 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDER GROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE ALLEYS. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE TWO-FOOT THICK. THEY ARE ENCLOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- SEES PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
  - FULLY ENCLOSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CORNER.
  - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
  - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
  - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR,
  - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANTS IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET TO THE EXTENT PERMITTED BY LAW. SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
  - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR,
  - ROUTED UNDER GROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 5' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
  - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
  - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
  - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND FLARE CRITERIA SET FORTH IN SECTION 12.2.A OF THE UDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'. THE MAXIMUM HEIGHT OF A BUILDING MOUNTED LIGHT FIXTURE IS 14'. THE MAXIMUM HEIGHT OF A FREESTANDING LIGHT FIXTURE LOCATED WITHIN 100' OF A RESIDENTIAL ZONING DISTRICT OR PROPERTY DESIGNATED FOR RESIDENTIAL DEVELOPMENT IN THE GENERAL PLAN IS 14'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT OF WAY AND LANDSCAPING TRACTS) LANDSCAPING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERLUZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS TOTAL COLORED STAMPED CONCRETE, BROWARITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDINGS.
- ALL EXTERIOR METAL SHALL BE "BRUSH" OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLAN MATERIAL, DAMAGED JOINING CONSTRUCTION SHALL BE REPLACED WITH CORRESPONDING SPECIES AND SIZE.



**A** DOUBLE FACE ILLUMINATED MONUMENT DISPLAYS  
**B** DOUBLE FACE ILLUMINATED MONUMENT DISPLAYS  
**C** DOUBLE FACE ILLUMINATED MONUMENT DISPLAYS