



Signs

**SIGN CRITERIA
for**

Albertson's Power Ranch Marketplace

These criteria have been developed to insure design compatibility among all signs at Albertson's Power Ranch Marketplace. Conformance to these criteria will be strictly enforced. Any sign installed that is non-conforming to these criteria not approved by Developer/Landlord must be removed or brought into conformance by the applicant and/or its sign contractor.

The landlord shall approve all signs, in writing, prior to installation. Approval shall be for appearance only and not for code compliance. Sign permits must be obtained from the Town of Gilbert prior to the installation of any sign.

The following is a description of the design criteria:

GENERAL SIGNAGE REQUIREMENTS

Any reference herein to the word tenant or tenants shall be construed to be the same as owner or owners.

1. The landlord shall review the shop drawings and specification (2 sets) and return one (1) set to applicant marked "Approved", "Approved as Noted", or "Revise and Re-Submit".
2. "Revise and Re-Submit" drawings will be returned to the applicant with comments. These drawings shall be revised by applicant and re-submitted to Landlord for its approval.
3. Upon receipt of landlord approval applicant shall proceed with Town of Gilbert permit process. No sign shall be installed prior to Town approval.
4. No signs, advertisements, notices or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of Developer/Landlord.
5. Applicant or its representatives shall obtain all permits for its exterior sign and its installation. Applicant shall be responsible for all requirements and specifications.
6. Applicant shall have the sole responsibility for compliance with all applicable statutes/codes, ordinances or other regulations for all work performed on the premises by or on behalf of the applicant.
7. The landlord's approval of applicant's plans specifications, calculations, or work shall not constitute an implication, representation, or certification by landlord that said items are in compliance with applicable statutes, codes, ordinances or other regulations.
8. All signage is subject to Town of Gilbert approval and this master sign exhibit. Developer/Landlord will support all applications for signs in compliance with this

exhibit but cannot guarantee city approval.

9. All signage shall be constructed and installed at tenant's expense.
10. Tenant and the tenant's contractor shall be responsible for the repair of any damage caused by installation or removal of any signage.
11. All sign bolts, fastenings, sleeves, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
12. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
13. Any penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
14. All exposed metals shall be painted to render them inconspicuous.
15. No exposed tubing or conduit will be permitted. All conductors, transformers, and other equipment shall be concealed.
16. All electrical signs shall bear the UL label.
17. All signs shall conform to Uniform Building Code Standards.
18. All electrical signs shall conform to National Electrical Code Standards.
19. Tenant shall be liable for the operation of their sign contractor.
20. Painted lettering will not be permitted.
21. Flashing, moving, or audible signs will not be permitted.
22. No exposed neon lighting shall be used on signs, symbols, or decorative elements without prior approval by Developer/Landlord and the Town of Gilbert. The use of exposed neon shall be approved by the Gilbert Design Review Board or Planning staff, as determined by the Gilbert Planning Department. Neon that is covered by clear plexiglass face is not considered exposed neon.
23. No logos shall be permitted without prior approval by the Developer/Landlord. With the exception of the Major Tenant, copy content of the signage shall not include the product sold without prior approval of Developer/Landlord.
24. Standard white vinyl die cut copy may be used to display hours of business, emergency numbers, etc. Not to exceed one hundred forty four (144") square inches in area. All window graphics and displays shall be subject to the approval of the Developer/Landlord prior to fabrication or implementation.
25. All window signs shall meet the requirements of the Town of Gilbert.
26. Wall signs shall consist of individual interior neon illuminated pan channel letters. These letters shall be mounted to the building fascia in the area allocated for signs by the Developer/Landlord. No cabinet signs allowed. Truss attachment enclosures shall be permitted when sign is attached to outrigger truss. The truss attachment

enclosure shall be painted to match the truss and may contain electrical components. Outrigger truss color is Badlands Frazee 8856N.

27. Wall signs shall use integral color 1/8" plexiglas inserts with standard 3/4" trim cap. Trim cap and return colors shall be Dark Bronze (Mathews # 41-313) only. Returns to be five inches (5") deep. The Dark Bronze Trim cap and return color requirement shall not apply to Regional and/or National tenants that have a standardized sign program.
28. Letter style and color shall be subject to the approval by the Developer/Landlord.
29. Each sign package shall be subject to review and approval by the Developer/Landlord and the Town of Gilbert.
30. Any changes to the "Comprehensive Sign Program", will require an amendment to the sign package, with approval by the Developer/Landlord and the Town of Gilbert.

MAJOR TENANT

1. A Major store is defined as a tenant or owner with a building area exceeding 30,000 square feet.
2. The Major store Albertson's will be allowed six (6) attached building signs for the front. The maximum area allowed will be 1.5 square foot of signage per building foot frontage.
 - a. The major tenant sign "A" shall have a maximum logo height of 5' and a maximum copy height of 4'.
 - b. Ancillary signs on the east elevation shall have a maximum copy height of 2' 6". Starbucks Coffee and Bank logos shall have a maximum height of 4'.
 - c. "Pharmacy Drive-Thru" related signs on the north and east elevations shall have a maximum copy height of 18". "RX" logo shall have a maximum height of 3'6".
3. Albertson's is the Major Tenant for this shopping center. Albertson's will be allowed to display their corporate signage as shown on the attached drawing. This will include their letter style, trim cap colors, return colors and signage copy.

FREESTANDING SIGNS

The following ground signs are the only ground signs permitted. All monument signage shall provide illumination of copy and logos only, with routed out metal backgrounds.

1. Major Tenant / Shop Tenant Directory
Four monument identification signs shall be allowed as follows:
 - a) Four 8' tall 60 square foot signs, two (2) on Power Road and two (2) on Queen Creek. See Exhibit A.
2. All signs shall be spaced a minimum of 300' apart. If the gasoline facility does not meet the 75' setback requirement, then sign shall be limited to 6' in height. As shown on Exhibit A, the gas facility currently meets the 75' setback requirement.

3. All metal surfaces will have a light montex finish and shall be painted Dunn Edwards "Eagle" # 3025 flat.
4. Color and material of stacked stone shall be cultured stone, dry stack ledgerstone style # CSV-2010.

Directional Signs

When required to assist the flow of traffic (ie drive thru, exit, enter, etc.) directional signs are permitted. Such signs shall not exceed 3 square feet in area or a height of 3 feet. Such signs may include business identification by word or logo on up to 25% of the sign area.

SHOP TENANTS

Shop tenants are defined as those tenants having leased area of less than 2, 000 square feet.

1. Tenant shall have one wall sign per street frontage of individual interior illuminated pan channel letters mounted on the stucco gable or outrigger truss. Tenants with two street fronts may have more than one wall sign pursuant to Town of Gilbert Sign Code (See Code 3.71A). No signage is permitted on the south elevation of the shop building except for southern most endcap space.
2. Wall signs shall use integral color 1/8" plexiglas inserts with standard 3/4" trim cap. Trim Cap and Returns shall be dark Bronze color (Mathews # 41-313). Returns to be five inches (5") deep. The dark Bronze trim cap and return color requirement shall not apply to regional or national tenants that have a standardized sign program.
3. Maximum and minimum copy heights are as follows:

Upper and Lower case letters	-maximum 30"
(based on the upper case letter)	-minimum 16"
All upper case letters	-maximum 30"
	-minimum 16"

Signs with (2) rows stacked shall have a maximum total height of 40" inches.

4. Permitted Sign Area.
Wall signs: .5 square feet of sign area for each front foot of building unless the minimum building setback is in excess of seventy-five (75) feet from the right-of-way line. For buildings whose minimum setback is more than seventy-five (75) feet from the right-of-way line, 1.5 square feet of sign area for each front foot of building from which it draws its allowed square footage. Each tenant or use is permitted a minimum of 16 square feet of sign area.
5. Letter style and color shall be subject to approval by the Developer/Landlord.
6. Each sign package shall be subject to review and approval by the Developer/Landlord and the Town of Gilbert.

7. Shop tenants with leased space directly behind the outrigger trusses shall have letters mounted to a truss attachment enclosure. The truss attachment enclosure shall be painted to match the truss and may contain electrical components. Outrigger truss color is Badlands Frazee 8856N.

MAJOR SHOP TENANTS ... (More than 2,000 square foot)

1. Same as above, however, maximum copy height shall be 36" and the maximum signage area shall be based on one and a half (1.5) square foot signage copy for each linear foot of frontage provided that building set back is in excess of 75' from street right of way line. Signs with two (2) rows stacked shall have a maximum height of 48".

FREE-STANDING PAD BUILDINGS (Major B, Pad A, Pad B)

1. Pad tenants are defined as those entities occupying a single free-standing building, on its own pad or parcel, located within the perimeter of Albertson's Power Ranch Marketplace.
2. Subject to Developer/Landlord approval, free-standing pad occupants may be allowed sign panels on free-standing monument signs.
3. Permitted Sign Area.
Wall signs: .5 square feet of sign area for each foot of building frontage. For buildings whose minimum setback is more than seventy-five (75) feet from the right-of-way line, 1.5 square feet of sign area for each front foot of building from which it draws its allowed square footage. Each tenant or use is permitted a minimum of 16 square feet of sign area.
4. Tenant shall be permitted to install signs designed and located solely for the purpose of relieving traffic congestion and promoting the safe flow of traffic. Three (3) square feet per directional sign and no higher than 3'0". Locations must be clearly marked for submittals and approved at the time of design review.
5. All menu boards shall be internally illuminated and will be in keeping with the building's colors and materials, matching those of the free-standing directional. All menu boards shall incorporate a stacked stone sign base and shall be approved by the Design Review Board at the time of design review approval.
6. Wall signs shall use integral color 1/8" plexiglas inserts with standard 3/4" trim cap. Returns to be five inches (5") deep. Trim cap and returns shall be painted Dark Bronze (Mathews # 41-313). The Dark Bronze trim cap and return color requirement shall not apply to regional and/or national tenants that have a standardized sign program.
7. Letter style and color shall be subject to approval by the Developer/Landlord.
8. Signage on gasoline canopies shall be limited to a maximum of (2) logos, with a maximum of (6) square feet. No portion of the logo sign shall project more than 2" from the canopy. The sign shall also be centered on the canopy with a minimum 3" margin to the top and bottom of the canopy. (Refer to attached drawing for exact location)

9. Pump topper signs shall be limited to a maximum size of (12) square feet per topper sign. (Refer to attached drawing for exact location)
10. Each pad sign package shall be subject to review and approval by the Developer/Landlord and the Town of Gilbert.
11. Pad tenants with space directly behind the outrigger trusses shall have letters mounted to a truss attachment enclosure. The truss attachment enclosure shall be painted to match the truss and may contain electrical components. Outrigger truss color is Badlands Frazee 8856N.
12. Should you have any questions or require the services of a sign company, contact BILL GIBSON, BOOTZ & DUKE SIGN CO., PHOENIX, AZ (602) 272-9356.

Developer / Landlord:

LDR - QUEEN CREEK & POWER, LLC
ATTN: DAN RYE
1130 E. MISSOURI AVE. STE 850
PHOENIX, AZ 85014
PH.-602-277-5486
FAX.-602-279-2660

A COMPREHENSIVE SIGN PACKAGE FOR



Store #929

**SWC Queen Creek & Power Rd.
Gilbert, Arizona**

APPROVED PLANS
Design Review Board
CASE: DR01-16
DATE: 11-14-02
SUBJECT TO CONDITIONS OF APPROVAL

DR01-16 (3rd)

Provided By:



4028 W. Whitton Avenue Phoenix, Arizona 602-272-9356 Fax: 602-272-4608

FABRICATE & INSTALL (1) ONE DOUBLE FACE ILLUMINATED MONUMENT DISPLAY.
1-1/2" X 1-1/2" X 3/16" STEEL ANGLE.
.090 ALUMINUM CABINET.
PAINT CABINET "DESERT HUE" W/ LIGHT MONTEX FINISH.

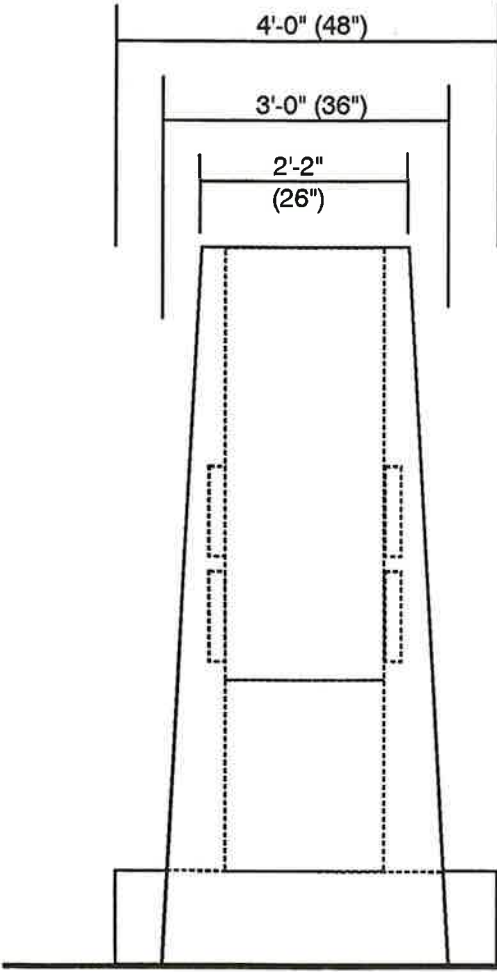
"ALBERTSON'S / OSCO"- ROUTE-OUT OF ALUMINUM FACE.
1/2" CLEAR ACRYLIC PUSH THROUGH.
FLAME POLISHED EDGES.
SECOND SURFACE TRANS. VINYL.

TENANT PANELS- 12" X 5'-8" X 2" X .090 ALUMINUM.
ROUTE OUT COPY (T.B.D.) AND BACK UP W/ WHITE ACRYLIC.

ILLUMINATE W/ F-T-12 CW HO LAMPS 800MA.

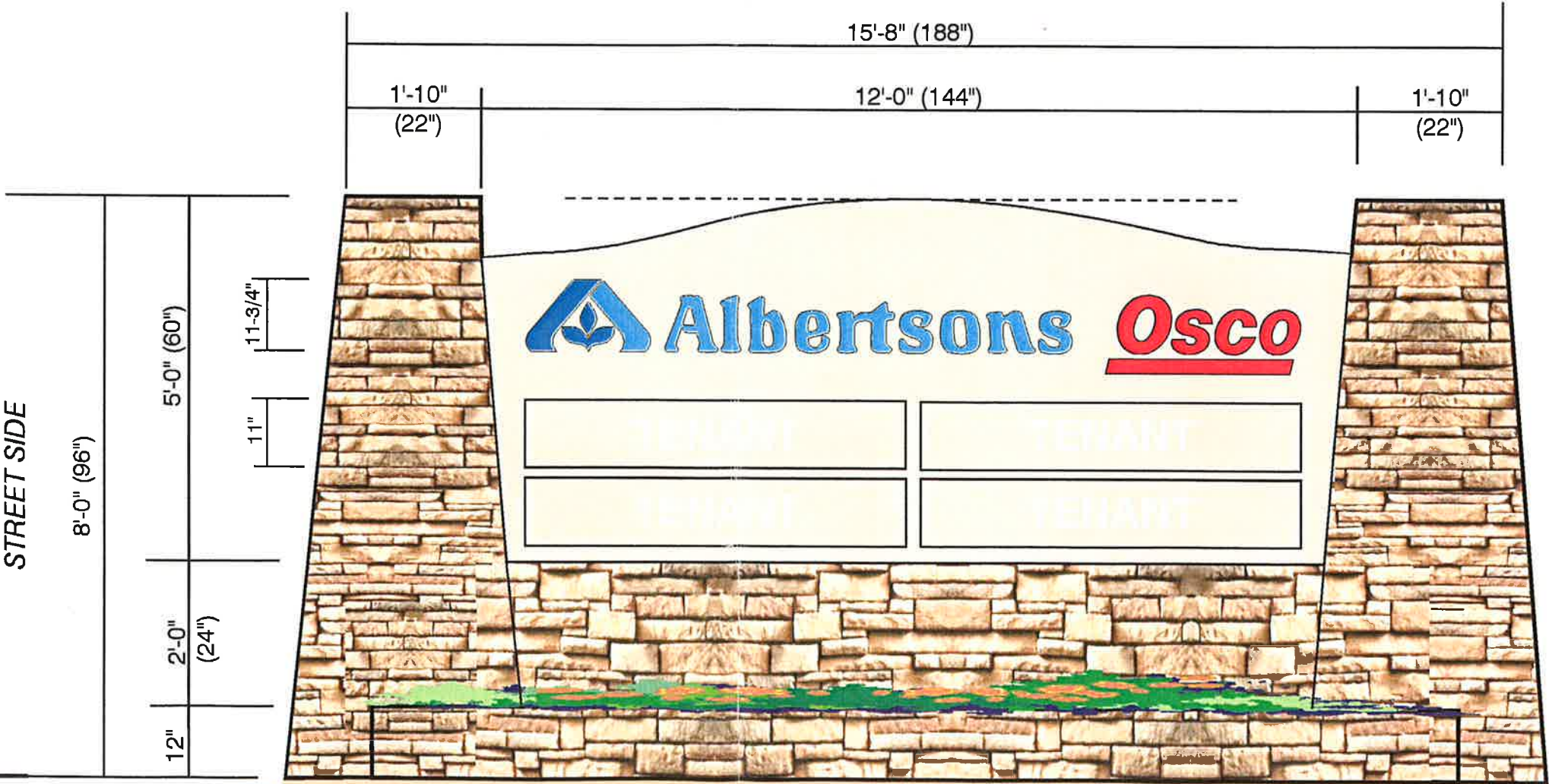
SIGN FOOTING- 6" STANDARD PIPE INTO A 2'-0" X 5'-0" CONCRETE FOOTING.
2500PSI.

STONE BASE & PLANTER TO BE SYNTHETIC STONE VENEER.
CULTURED STONE "SUEDE DRYSTACK LEDGESTONE" #CSV-2010.

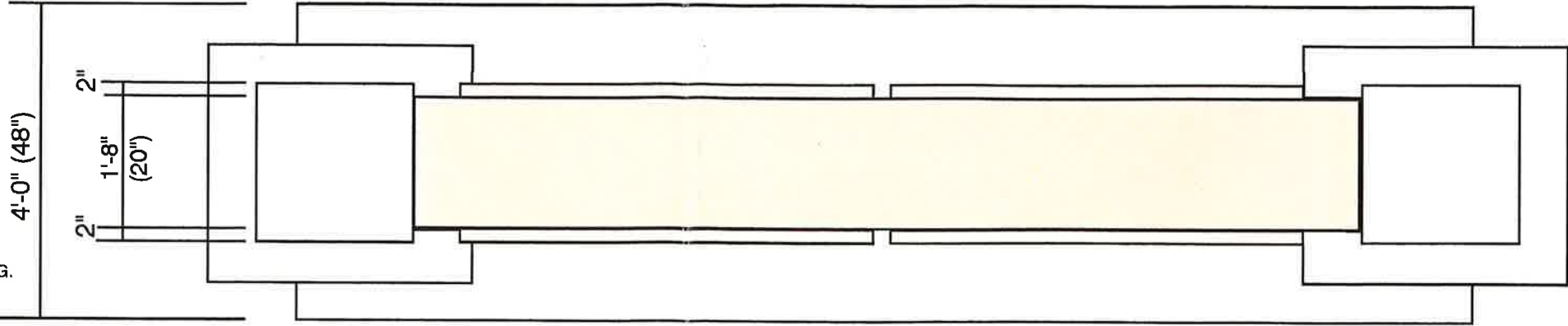


END VIEW

STREET SIDE



PLAN VIEW



GS-1 (1) ONE DOUBLE FACE ILLUMINATED MONUMENT DISPLAY
SCALE: 1/2"= 1'-0"

Rev 2- Reduced height of planter by half. Moved tenant panels & Albertsons/Osco up to stay clear of foliage. Reduced cabinet to sixty sq. ft. Added a second pileaster.
Rev 1- Changed stone base to match building.

BOOTZ & DUKE

Signs

CLIENT: **ALBERTSON'S/ OSCO #929**

ADDRESS: **SWC Queen Creek & Power Rd. Gilbert, AZ**

SALES/MAIN: **Bill Gibson**

DESIGNER: **LISA WILLIAMS**

DATE: **02-05-2002**

REVISIONS: **A6-20-02**

REVISIONS: **A9-20-02**

DESIGN #: **L-1035-02-R2**

SCALE: **AS NOTED**

PAGE: **1 OF 13**

ADDRESS: **4028 W. WHITTON PKY, AZ. 85019**

PHONE: **(602)-272-9356**

FAX: **(602)-272-4608**

E-MAIL: **www.bootzandduke.com**

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FABRICATE & INSTALL (1) ONE DOUBLE FACE ILLUMINATED MONUMENT DISPLAY.
1-1/2" X 1-1/2" X 3/16" STEEL ANGLE.
.090 ALUMINUM CABINET.
PAINT CABINET "DESERT HUE" W/ LIGHT MONTEX FINISH.

"EXPRESS" PANELS- 43-1/2" X 61-1/4" X 2" X .090 ALUMINUM.
ROUTE OUT & 1/2" CLEAR PUSH THROUGH W/ FLAME POLISHED EDGES.
SECOND SURFACE TRANS. VINYL.

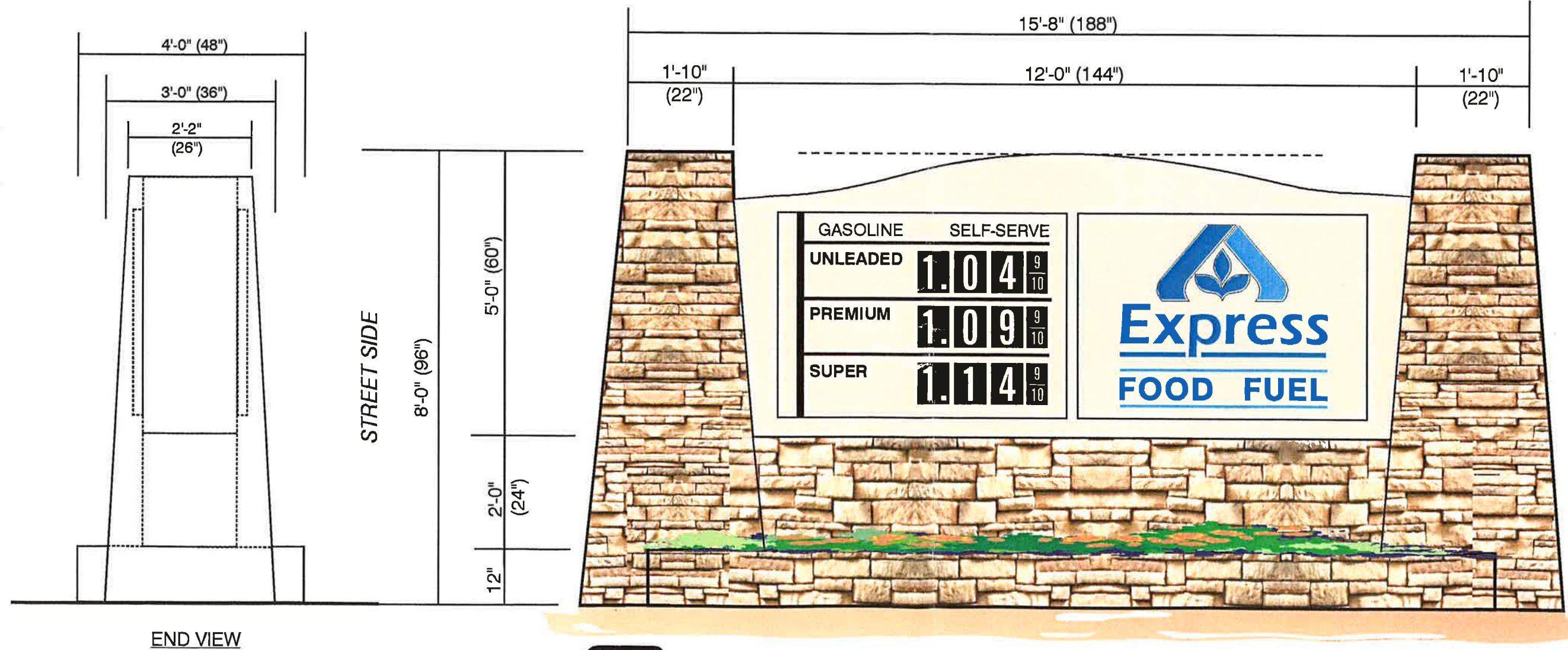
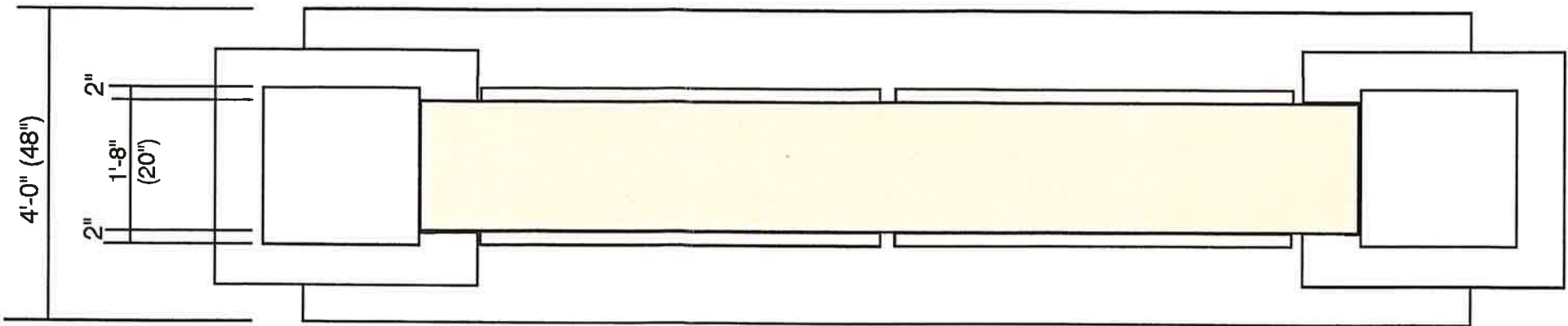
GAS PRICE PANELS- TO BE DETERMINED.

ILLUMINATE W/ F-T-12 CW HO LAMPS 800MA.

SIGN FOOTING- 6" STANDARD PIPE INTO A 2'-0" X 5'-0" CONCRETE FOOTING.
2500PSI.

STONE BASE & PLANTER TO BE SYNTHETIC STONE VENEER.
CULTURED STONE "SUEDE DRYSTACK LEDGESTONE" #CSV-2010.

PLAN VIEW



GS-2

(1) ONE DOUBLE FACE ILLUMINATED MONUMENT DISPLAY

SCALE: 1/2" = 1'-0"

Rev 2-Reduced height of planter by half. Added another pilaster. Reduced overall size of price panel & express to fit into new cabinet size.
Rev 1-Changed stone base to match building.

CLIENT: ALBERTSON'S/ OSCO #929
ADDRESS: SWC Queen Creek & Power Rd. Gilbert, AZ
SALESMAN: Bill Gibson
DESIGNER: LISA WILLIAMS
DATE: 02-05-2002

REVISION: A6-20-02
A9-20-02
DESIGN #: L-1035-02-R2
SCALE: AS NOTED
PAGE: 2 OF 13

ADDRESS: 4028 W. WHITTON PKY. AZ 85019
PHONE: (602) 272-9356
FAX: (602) 272-4608
E-MAIL: www.bootzandduke.com

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Signs

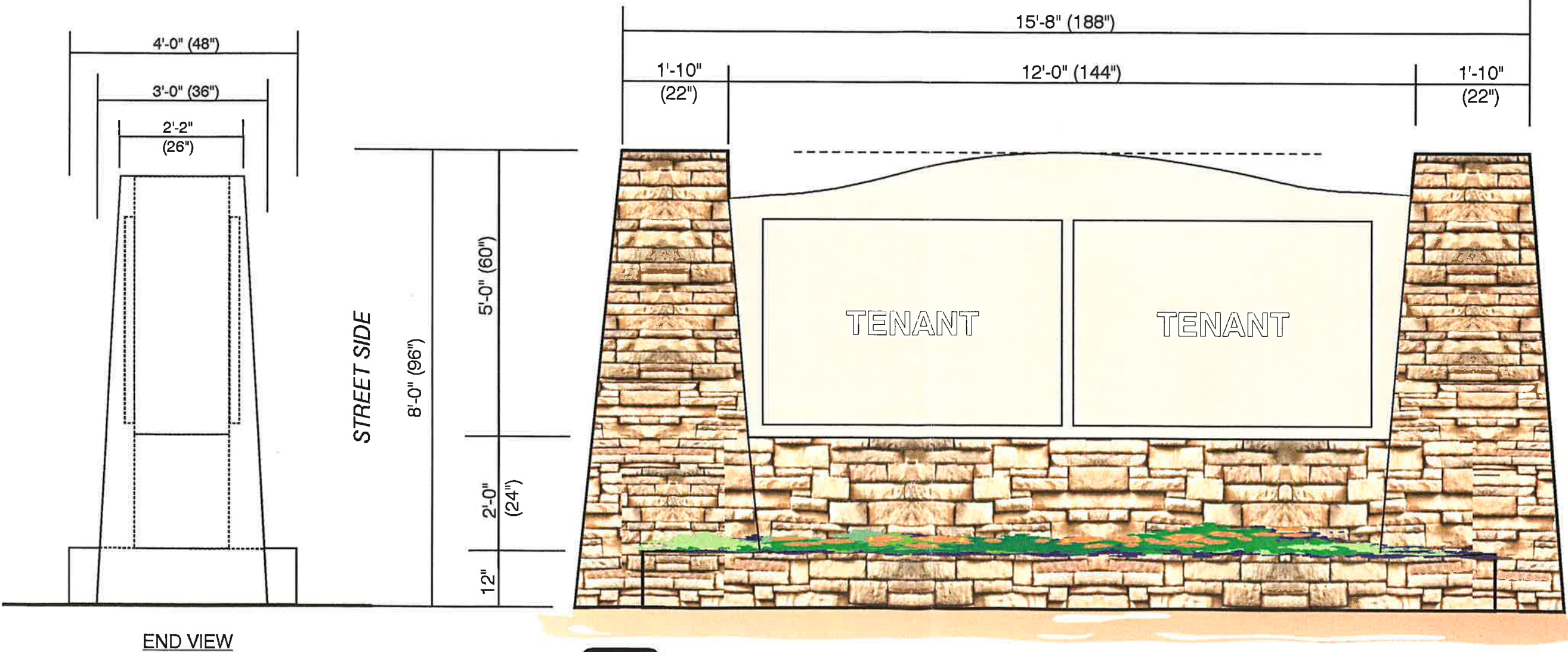
FABRICATE & INSTALL (1) ONE DOUBLE FACE ILLUMINATED MONUMENT DISPLAY.
1-1/2" X 1-1/2" X 3/16" STEEL ANGLE.
.090 ALUMINUM CABINET.
PAINT CABINET "DESERT HUE" W/ LIGHT MONTEX FINISH.

TENANT PANELS- 43" X 62-3/4" X 2" X .125 ALUMINUM.
ROUTE OUT COPY (T.B.D.) AND BACK UP W/ WHITE ACRYLIC.

ILLUMINATE W/ F-T-12 CW HO LAMPS 800MA.

SIGN FOOTING- 6" STANDARD PIPE INTO A 2'-0" X 5'-0" CONCRETE FOOTING.
2500PSI.

STONE BASE & PLANTER TO BE SYNTHETIC STONE VENEER.
CULTURED STONE "SUEDE DRYSTACK LEDGESTONE" #CSV-2010.



GS-3

(1) ONE DOUBLE FACE ILLUMINATED MONUMENT DISPLAY

SCALE: 1/2" = 1'-0"

Rev 2- Reduced height of planter by half. Reduced overall size of tenant panels to fit into new cabinet size. Added second pillar.
Rev 1- Changed stone base to match building.

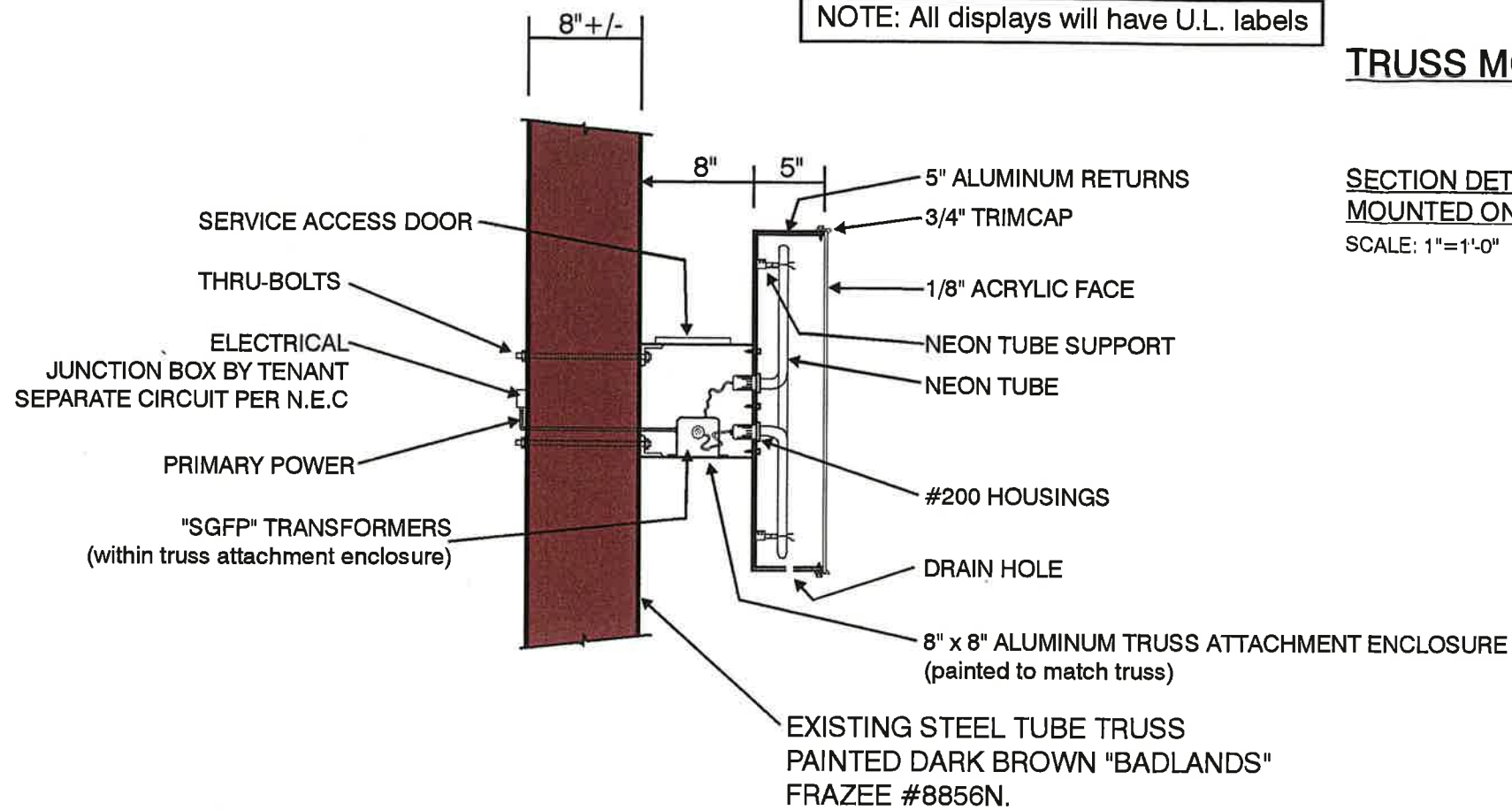
CLIENT: ALBERTSON'S/ OSCO #929	REVISION: A6-20-02	ADDRESS: 4028 W. WHITTON PKY, AZ 85019
ADDRESS: SWC Queen Creek & Power Rd. Gilbert, AZ	A9-20-02	PHONE: (602) 272-9356
SALESMAN: Bill Gibson		FAX: (602) 272-4608
DESIGNER: LISA WILLIAMS	DESIGN #: L-1035-02-R2	E-MAIL: www.bootzandduke.com
DATE: 02-05-2002	SCALE: AS NOTED	PAGE: 3 OF 13



BOOTZ & DUKE

Signs

NOTE: All displays will have U.L. labels

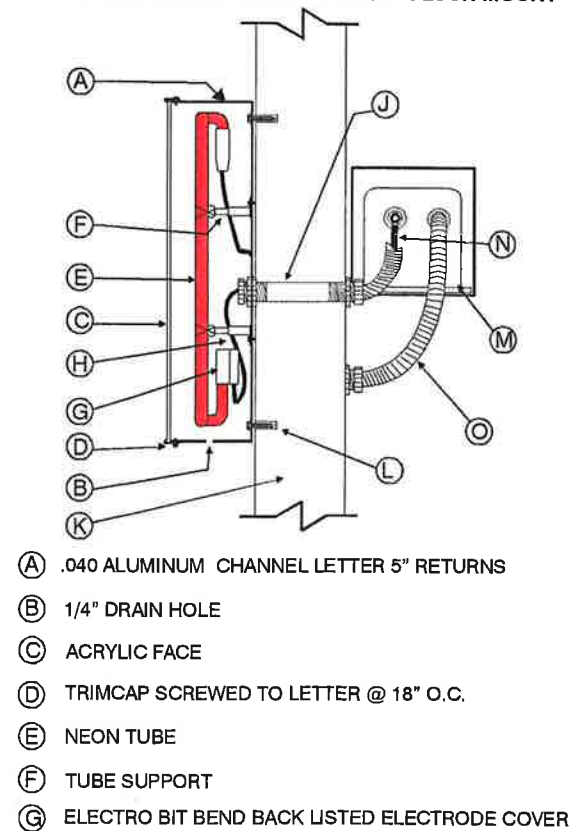


TRUSS MOUNTING DETAIL FOR PAD SIGNS "A" & "B"

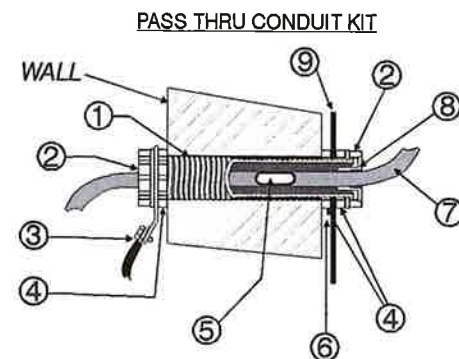
SECTION DETAIL OF PAN CHANNEL LETTERS ON TRUSS ATTACHMENT ENCLOSURE MOUNTED ONTO EXISTING TRUSS

SCALE: 1"=1'-0"

CHANNEL LETTER - ELECTRO-BITS - FLUSH MOUNT



- (A) .040 ALUMINUM CHANNEL LETTER 5" RETURNS
- (B) 1/4" DRAIN HOLE
- (C) ACRYLIC FACE
- (D) TRIMCAP SCREWED TO LETTER @ 18" O.C.
- (E) NEON TUBE
- (F) TUBE SUPPORT
- (G) ELECTRO BIT BEND BACK LISTED ELECTRODE COVER
- (H) ELECTRO BIT SLEEVED GTO
- (J) RIGID PASS THRU CONDUIT NIPPLE
- (K) BLOCK WALL VARIES IN THICKNESS AND MATERIAL
- (L) #10 X 2" SCREWS - MIN. 4 PER LETTER/ANCHORS IF MASONRY
- (M) 30 MA TRANSFORMER - 9000V AND HIGHER MUST BE MID-POINT GROUNDED OR 2160 COMPLIANT HOUSED IN WEATHERPROOF METAL BOX BEHIND WALL - CONNECTION TO PRIMARY WITHIN 10 FT. ISOLATED TO DISCONNECT SWITCH
- (N) GTO CABLE WITH SLEEVING MUST BE SECURELY FASTENED TO HOUSING AND TRANSFORMER *NO CLOSER THAN 1 1/2" FROM ANY OTHER CONDUCTOR WITHOUT SLEEVING
- (O) FLEXIBLE METAL CONDUIT BEHIND WALL



ALL WIRING MUST BE ACCORDING TO S.O.P.

- ① ELECTROBITS ALUMINUM PASS THRU
- ② LISTED CONDUIT BUSHING
- ③ GROUNDING RING
- ④ LISTED LOCKNUT
- ⑤ GTO CABLE
- ⑥ LISTED WET LOCKNUT LOCATION REQUIRED FOR OUTDOOR USE SIGN
- ⑦ COVERING OR SLEEVING
- ⑧ SEALING BUSHING
- ⑨ SIGN HOUSING

WALL MOUNTING DETAIL FOR PAD SIGNS "A" & "B"

SECTION DETAIL OF PAN CHANNEL LETTERS FLUSH MOUNTED ONTO BLOCK WALL N.T.S.

Rev 1-Added this sheet.

CLIENT: ALBERTSON'S/ OSCO	REVISIONS: A6-20-02	ADDRESS: 4028 W. WHITTON PKY, AZ 85019
ADDRESS: SWC Queen Creek & Power Rd. Gilbert, AZ	PHONE: (602) 272-9358	FAX: (602) 272-4608
SALESMAN: Bill Gibson	E-MAIL: www.bootzandduke.com	
DESIGNER: Lisa Williams	DESIGN #: L-1035-02-R1	
DATE: 02-05-2002	SCALE: AS NOTED	PAGE: 5 OF 13





NORTH ELEVATION scale: 1"=20'-0"
PAD "A" & "B"



EAST ELEVATION scale: 1"=20'-0"
PAD "A" & "B"



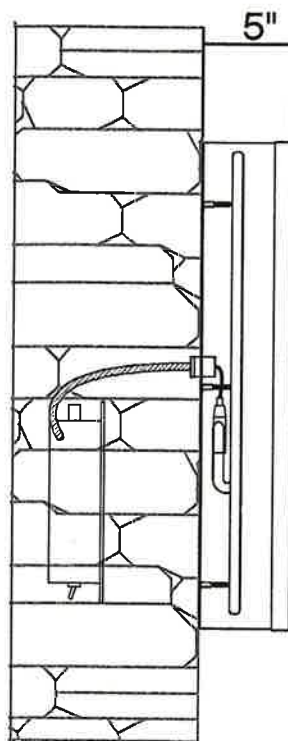
SOUTH ELEVATION scale: 1"=20'-0"
PAD "A" & "B"

Rev 1-Added this sheet.

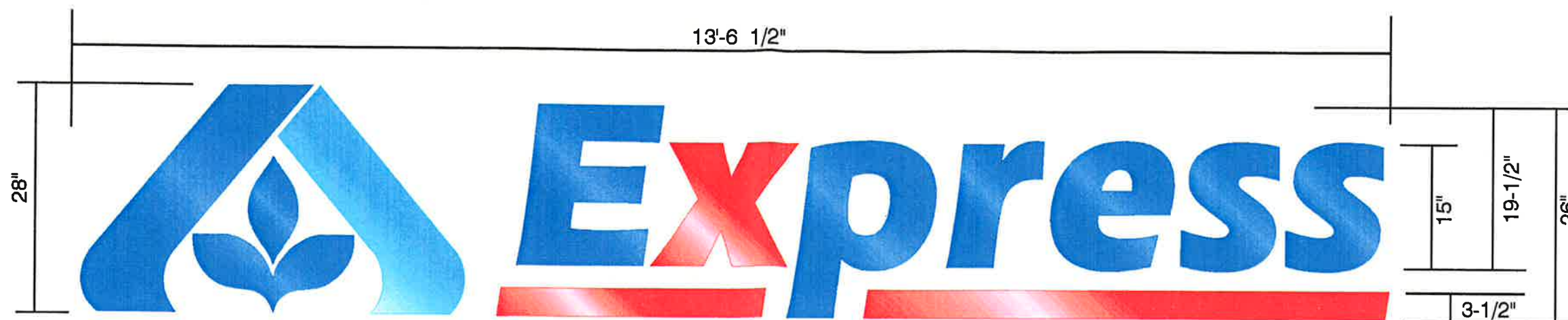
CLIENT: ALBERTSON'S/ OSCO #929	REVISION: A6-20-02
ADDRESS: SWC Queen Creek & Power Rd. Gilbert, AZ	
SALESMAN: Bill Gibson	DESIGN #: L-1035-02-R1
DESIGNER: LISA WILLIAMS	SCALE: AS NOTED
DATE: 02-05-2002	PAGE: 6 OF 13

ADDRESS: 4028 W. WHITTON PHX, AZ 85019
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FAX: (602)-272-4608
E-MAIL: www.bootzandduke.com
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SECTION DETAIL



Ⓐ MFG. (2) SETS "A-EXPRESS" ILLUMINATED LETTER COLORED FACES - REMOTE - HORIZONTAL LAYOUT
SCALE: 3/4" = 1'-0"

HORIZONTAL AREA (2.33 X 13.54) = 31.55 SQ. FEET

IMAGE PART NO. LTR28AEXP-REMCF

ILLUMINATED ALUMINUM A-EXPRESS CHANNEL LETTERS WITH 5" DEEP RETURNS PAINTED RED AND BLUE. 3/16" COLORED SG PLEX FACES WITH 1" TRIM CAP TO MATCH RETURNS.

(2) TUBE 13MM TO 15MM 4500 WHITE NEON ILLUMINATION.
REMOTE 9/ 60MA TRANSFORMERS.



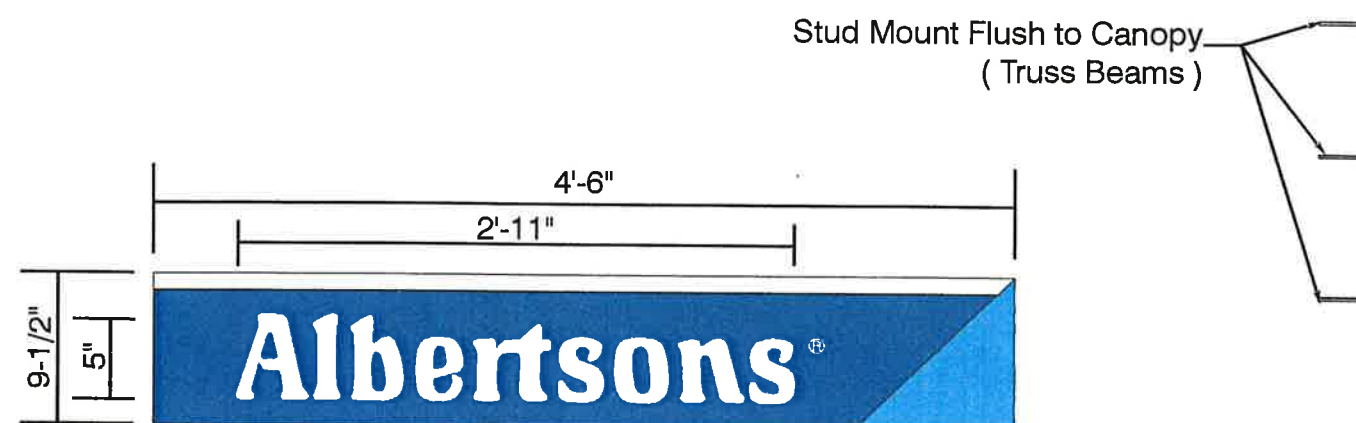
605-0 CYRO SG PLEX



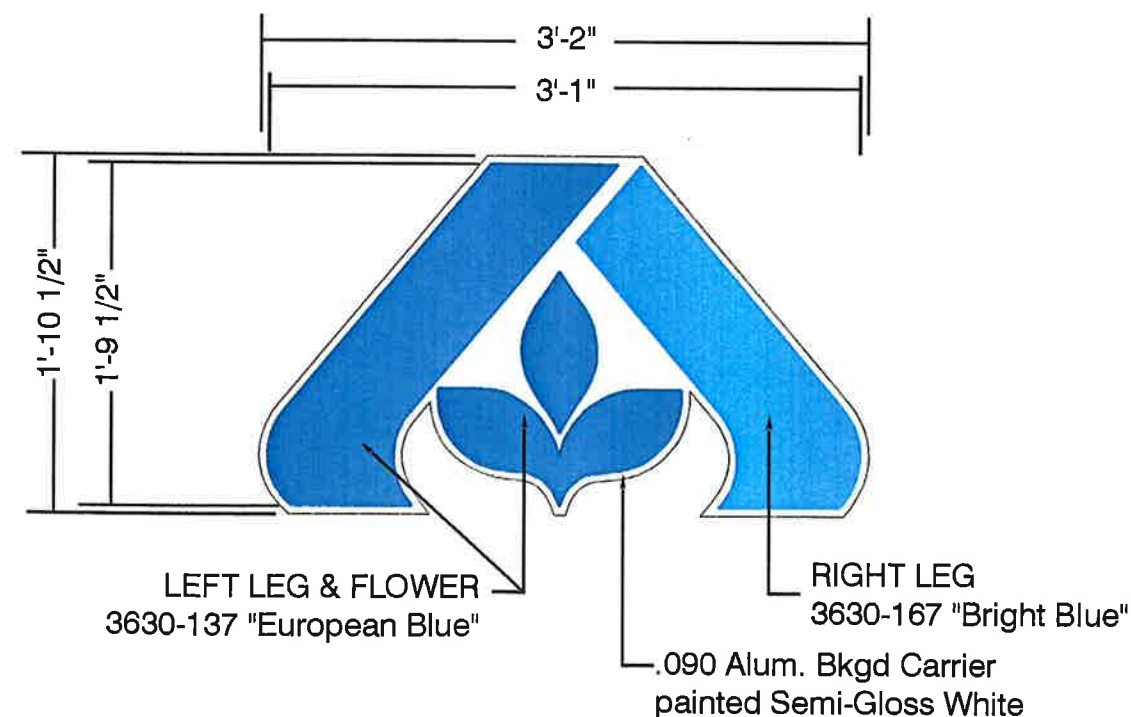
150 STAYTUFF PLEX



278-0 CYRO SG PLEX



© Mfg. & Install Non-Illuminated Valence on Gas Pumps
scale: 1"=1'-0" 3.375 sf



Ⓑ Mfg. & Install (2) Non-Illuminated F.C.O Logos w/ Vinyl Overlays
scale: 3/4"=1'-0" 5.94 sf

Mfg. & Install (2) 22 1/2" A Express F.C.O Logos @ 5.94sf EA.
Logos Attached to Canopy Truss Supports w/ back side stud mounts

Rev 1 - Added this sheet.

CLIENT: ALBERTSON'S/ OSCO #929

ADDRESS: SWC Queen Creek & Power Rd. Gilbert, AZ

SALESMAN: Bill Gibson

DESIGNER: Lisa Williams

DATE: 02-05-2002

REVISIONS

A6-20-02

SCALE: AS NOTED

PAGE: 7 OF 13

SIGNATURE

DESIGNER: Lisa Williams

ADDRESS: 4028 W. WHITTON PHX, AZ 85019

PHONE: (602) 272-9350

FAX: (602) 272-4608

E-MAIL: www.bootzandduke.com

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BOOTZ & DUKE

SIGNATURE



WEST ELEVATION
SCALE: 3/16"=1'-0"



EAST ELEVATION
SCALE: 3/16"=1'-0"



SOUTH ELEVATION
SCALE: 3/32"=1'-0"



NORTH ELEVATION
SCALE: 3/32"=1'-0"

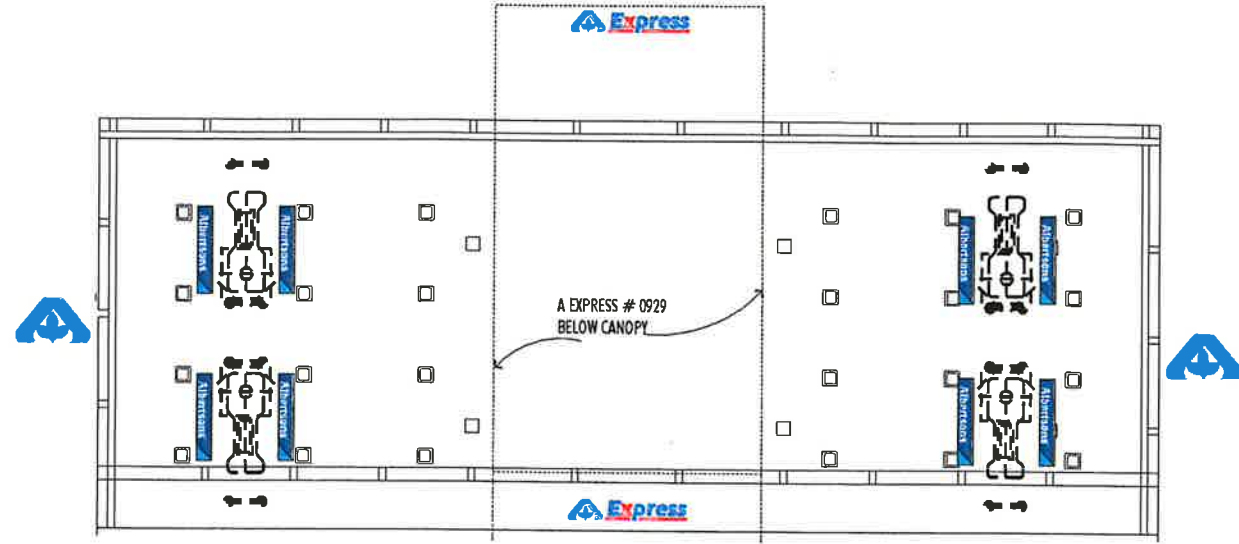
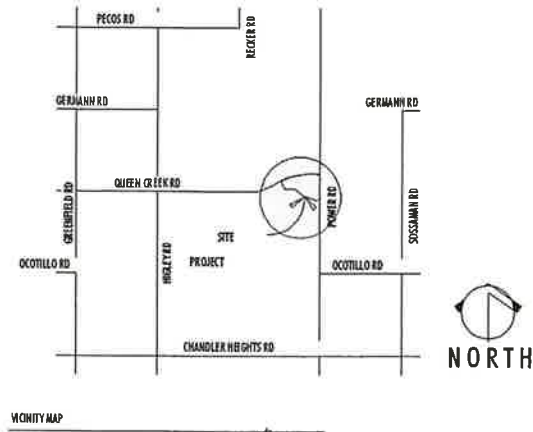
Rev 1 - Added this sheet..

CLIENT: ALBERTSON'S/ OSCO #929	REVISION: A6-20-02
ADDRESS: SWC Queen Creek & Power Rd. Gilbert, AZ	
SALES/AN: Bill Gibson	
DESIGNER: Lisa Williams	DESIGN #: L-1035-02-R1
DATE: 02-05-2002	SCALE: AS NOTED
	PAGE: 8 OF 13

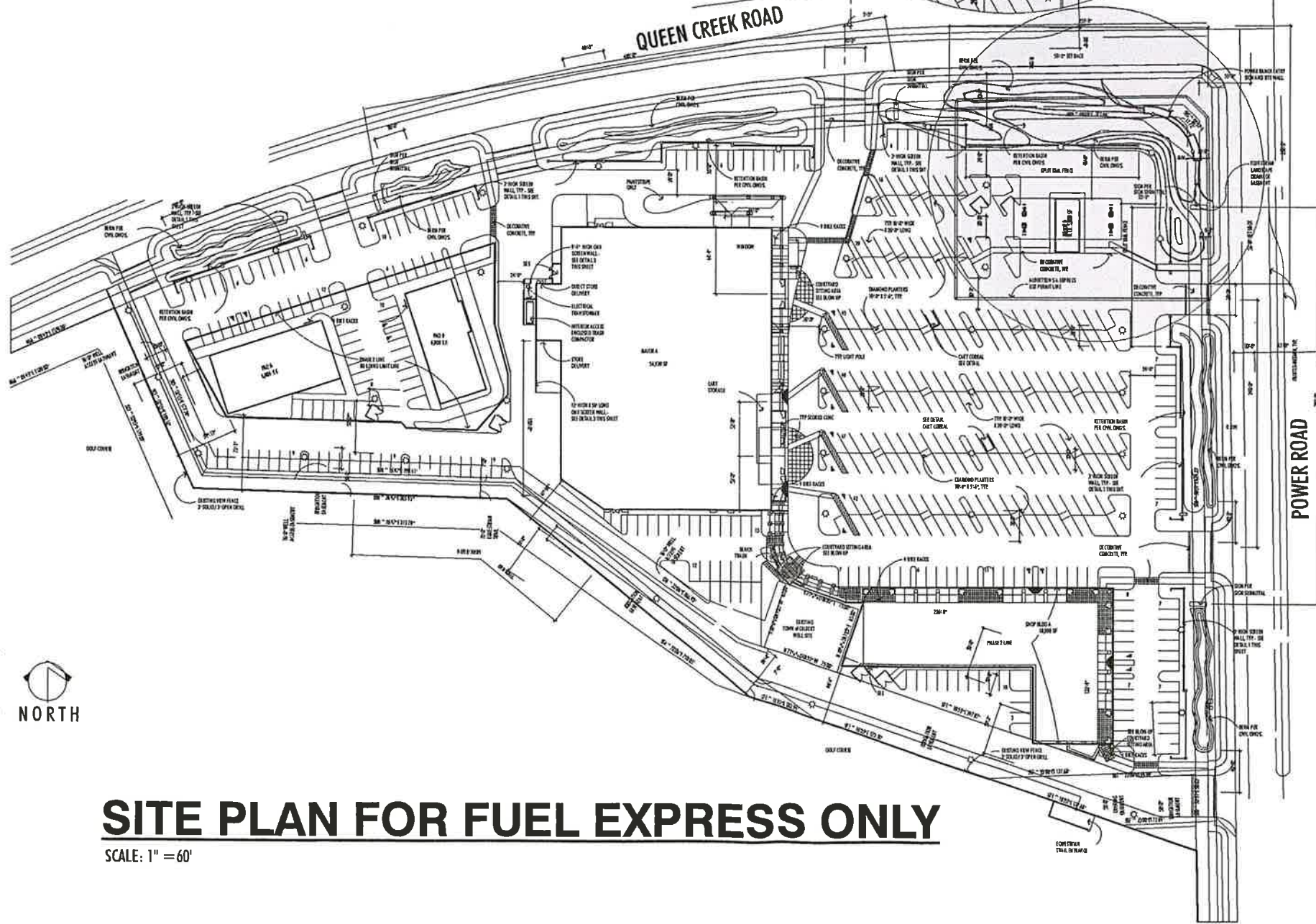
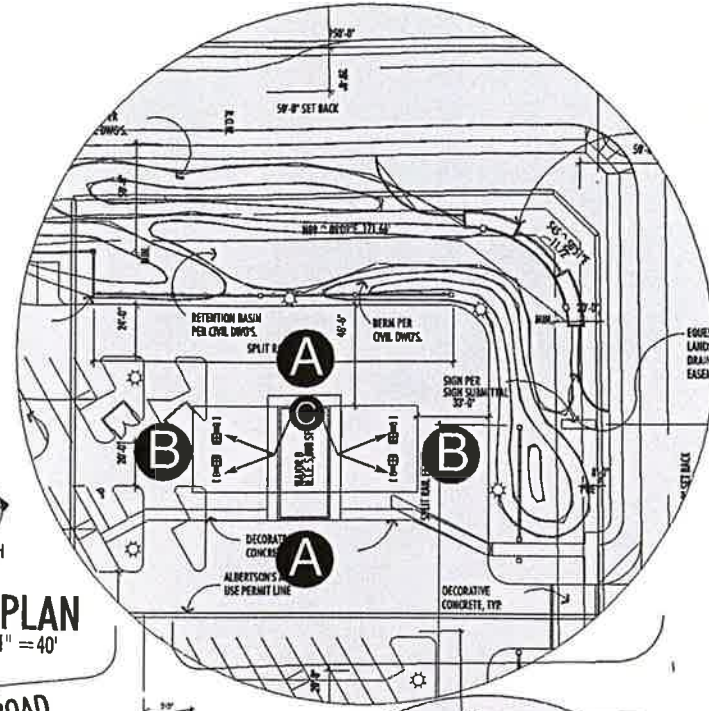
ADDRESS: 4028 W. WHITTON PKY, AZ 85019
 PHONE: (602)-272-9358
 FAX: (602)-272-4608
 E-MAIL: www.bootzandduke.com
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Sigma



SITE PLAN
SCALE: 1" = 40'



SITE PLAN FOR FUEL EXPRESS ONLY
SCALE: 1" = 60'



Rev 1-Added this sheet.

CLIENT: ALBERTSON'S/ OSCO #929	REVISIONS: A6-20-02	ADDRESS: 4028 W. WHITTON PHX, AZ. 85019	
	ADDRESS: SWC Queen Creek & Power Rd. Gilbert, AZ	PHONE: (602)-272-9358	
	SALESMAN: Bill Gibson	FAX: (602)-272-4608	
	DESIGNER: Lisa Williams	E-MAIL: www.bootzandduke.com	
DATE: 06-21-2002		DESIGN #: L-1035-02-R1	
SCALE: AS NOTED		PAGE: 9 OF 13	



Sigma



SPLIT FACE C.M.U.
"EAGLE"



SMOOTH FACE C.M.U.
"DESERT HUE"



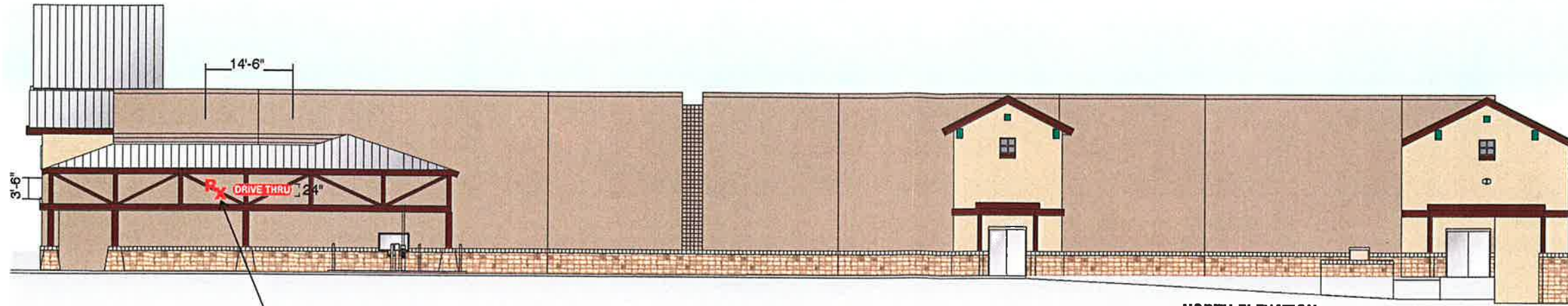
STEEL TUBE TRUSS
"BADLANDS"



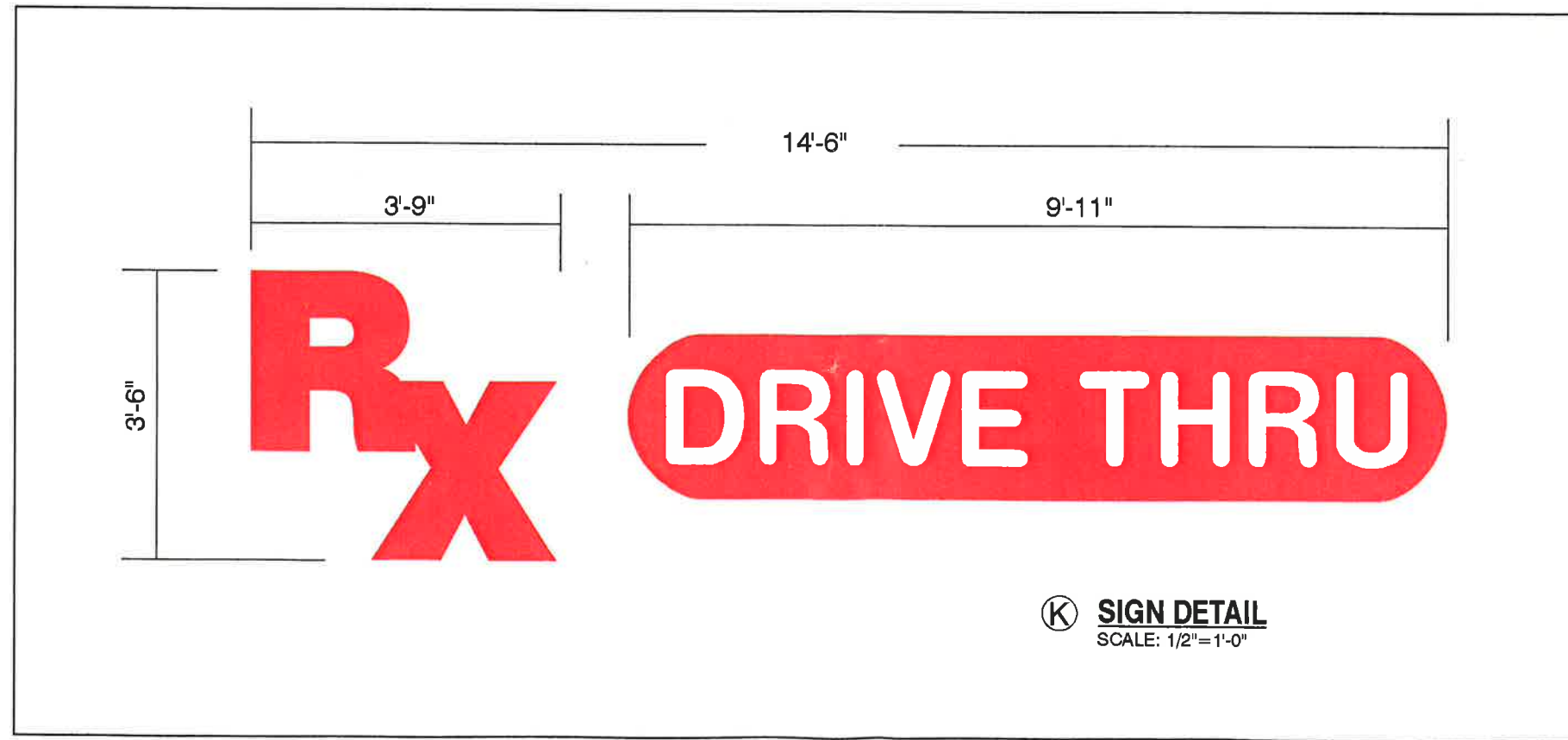
ACCENT BLOCK
"BISCAYNE BAY"



STONE



NORTH ELEVATION
n.l.s



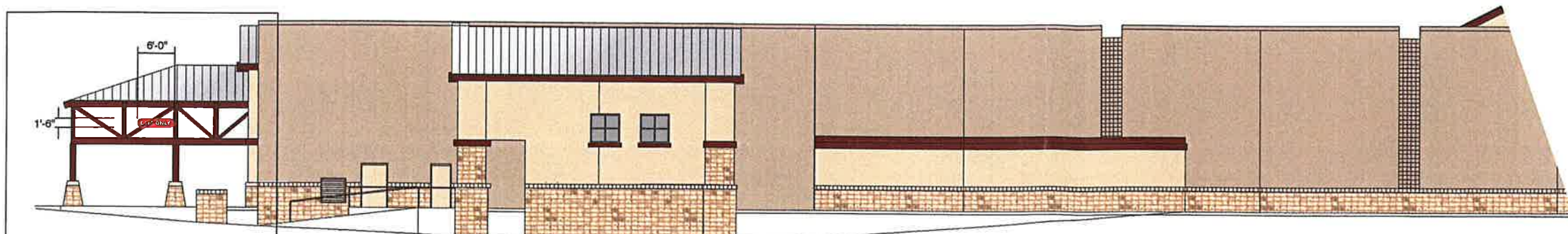
Rev 1- Added this sheet.

CLIENT: ALBERTSON'S/ OSCO #929	REVISION: A6-20-02
ADDRESS: SWC Queen Creek & Power Rd. Gilbert, AZ	
SALESMAN: Bill Gibson	DESIGN #: L-1035-02-R1
DESIGNER: Lisa Williams	SCALE: AS NOTED
DATE: 02-05-2002	PAGE: 11 OF 13

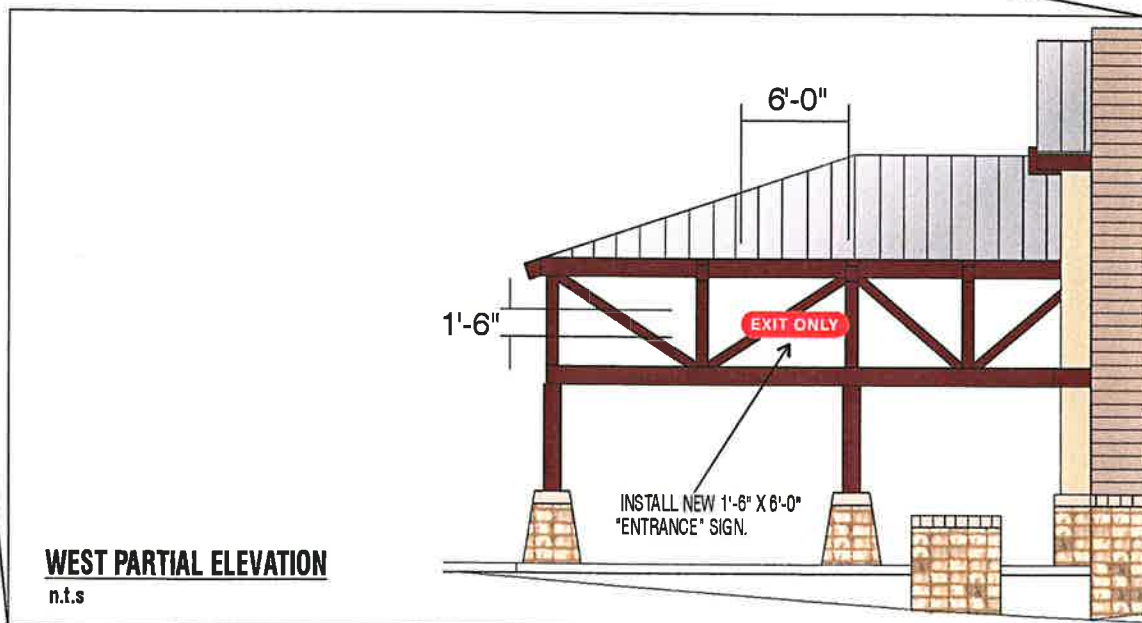
ADDRESS: 4028 W. WHITTON PKY, AZ 85019
PHONE: (602)-272-9356
FAX: (602)-272-4608
E-MAIL: www.bootzandduke.com
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Signs



WEST ELEVATION
n.t.s



WEST PARTIAL ELEVATION
n.t.s



① **INSTALL NEW 1'-6" X 6'-0"**
SCALE: 1/2" = 1'-0"

-  SPLIT FACE C.M.U. "EAGLE"
-  SMOOTH FACE C.M.U. "DESERT HUE"
-  STEEL TUBE TRUSS "BADLANDS"
-  ACCENT BLOCK "BISCAYNE BAY"
-  STONE

Rev 1- Added this sheet.

CLIENT: ALBERTSON'S/ OSCO #929

ADDRESS: SWC Queen Creek & Power Rd. Gilbert, AZ

SALESMAN: Bill Gibson

DESIGNER: LISA WILLIAMS

DATE: 02-05-2002

REVISION: A6-20-02

DESIGN #: L-1035-02-R1

SCALE: AS NOTED

PAGE: 12 OF 13



BOOTZ & DUKE

Signs

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