

Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: STEPHANIE BUBENHEIM, PLANNER II *SB*
(480) 503-6625, STEPHANIE.BUBENHEIM@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *chl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: NOVEMBER 6, 2019

SUBJECT: DR19-136, FLOWER CHILD

STRATEGIC INITIATIVE: Exceptional Built Environment

Approve two restaurant users within the San Tan Village area.

REQUEST

DR19-136, Flower Child: site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 3.13 acres, generally located at the northwest corner of San Tan Village Parkway and Williams Field Road and zoned Regional Commercial (RC) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT

Company: Butler Design Group
 Name: David Reuteran
 Address: 5017 E. Washington St. Ste. 107
 Phoenix, AZ 85034
 Phone: 602-218-4829
 Email: Davidr@butlerdesigngroup.com

OWNER

Company: Santan Development Group Inc
 Name: Ty LeSueur
 Address: 3850 E. Baseline Road Ste. 114
 Mesa, AZ 85206
 Phone: 480-424-3400
 Email: ty@lesueurinvestments.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>October 8, 1996</i>	Town Council adopted Ordinance No. 998 (A96-8), annexing 290 acres, which included the subject site.
<i>January 25, 1999</i>	Town Council approved Z98-27 by adopting Ordinance No. 1142, rezoning approximately 523 acres from R-43 (Maricopa County Rural Residential) to PAD (Planned Area Development) with the underlying zoning designation of C-2 (General Commercial).
<i>November 16, 1999</i>	Town Council approved Ordinance No. 1230 by adding and rezoning 63 acres from R-43 (Maricopa County Rural) to C-2 with underlying PAD; adding new conditions; amending the development plan of Crossroads Center Planned Area Development.
<i>August 13, 2012</i>	Design Review Board approved DR-5-139-A, the addition of Parcels A, C, D and E, the addition of 2 new signs and minor modifications to 2 signs for Santan Village Master Sign Plan Amendment.
<i>March 30, 2015</i>	Design Review Board approved case DR15-25 for the Living Spaces, a home furnishing retail store (north of the subject site).
<i>March 27, 2017</i>	DA16-49 Santan Village Parkway North Arterial ROW Landscape was administratively approved for portions of Santan Village Parkway and Williams Field Road.
<i>June 7, 2017</i>	Planning Commission approved cases DR17-1010 and DR17-1015 for Firebirds, a restaurant (west of the subject site).

Overview

Flower Child and North Italia, two restaurant concepts, are proposed with a common shared space on 2 acres at the northwest corner of San Tan Village Parkway and Williams Field Road within the San Tan Village area. The site is part of Parcel A as identified within the approved Gilbert Crossroads PAD under Ordinance No. 1230. Parcel A is 51.66 acres with Living Spaces furniture store and the restaurant Firebirds currently developed on 10.24 acres.

The two restaurants will have a total of 10,949 sq. ft. of indoor space and 3,239 sq. ft. of outdoor patio dining space. Access to the site is provided by an existing right in/right out driveway along Williams Field Road and a new proposed right in/right out curb cut along Santan Village Parkway with a private internal drive that will connect to the other developments on Parcel A.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial	Regional Commercial (RC) PAD	Parking and vacant land
South	Regional Commercial	Regional Commercial (RC)	San Tan Pavilions

East	Regional Commercial	Regional Commercial (RC) PAD	San Tan Regional Mall
West	Regional Commercial	Regional Commercial (RC) PAD	Firebirds and Living Spaces
Site	Regional Commercial	Regional Commercial (RC) PAD	Vacant

Project Data Table

Site Development Regulations	Required Ordinance Nos. 1142 and 1230 RC PAD	Proposed
Maximum Building Height (ft.)/(Stories)	40' retail and services	27' 4"
Minimum Building Setback (ft.)		
Front	20'	114' 4"
Side (Street)	10'	108'
Side (Non-residential)	0'	78' 5"
Rear (Non-residential)	0'	37' 4"
Minimum Required Perimeter Landscape Area (ft.)		
Front to ROW	20' / 50' x 250'	20' / 50' x 250' at intersection
Side to ROW	20' / 50' x 250'	20' / 50' x 250' at intersection
Side to non-residential	0'	0'
Rear (Non-residential)	0'	0'
Landscaping (% of net lot area)	15%	29.4%
Parking	1000/4 per Ord. 1230 57 required	77 spaces provided

DISCUSSION

The project has finished first review and therefore additional comments, beyond what are included in this report, may be brought forward for discussion during the study session meeting.

Site

The two restaurants are oriented with front entrances facing the arterial roads and the patio space directed towards the hard corner of Santan Village Parkway and Williams Field Road. The restaurants will be sharing the same pad and walls but each restaurant will still function as a sole business. The shared patio space will also be separated by landscape. Parking wraps around the building with a total of 77 spaces provided, exceeding the requirement of parking in Ordinance No. 1230.

Crossroads Center PAD was originally a 586 acre mixed use project located south of Ray Road, north and west of the 202 Freeway and east of the Maple Drive alignment. The PAD has created a destination with a wide variety of commercial, employment, and multi-family uses with the center of the development being the SanTan Village Regional Shopping Mall. The Crossroads Center PAD has specific development standards, including some standards under the UDLC, and character design that developments have followed over the past 20 years.

Landscape

The site is part of the Santan Village Parkway Right-of-Way landscape improvements design approved under DA16-49 and included the Right-of-Way street frontage along Williams Field Road. The project is matching the design and providing foundation landscaping around the building and utilizing Southern Live Oak at landscape islands to match the other developments in Parcel A. The common outdoor eating space for the two restaurants has Columnar Ficus trees with Jasmine groundcover to act as a buffer between the two outdoor dining spaces. The site meets landscape requirements with 29.4% landscape coverage and provides the 250' X 50' landscape setback at the arterial intersection.

Grading and Drainage

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division with underground retention proposed.

Elevations, Floor Plan, Colors and Materials

Ordinance No. 1142 established design guidelines for the Crossroads Center. According to the Crossroads Center Design Guidelines, Design Theme, Building Design "The overall project theme is an updated interpretation of historic southwest design. The character responds to climatic conditions and promotes an architecture that focuses on qualities of surface, light and shadow, massing and building form, and space as it relates to the outdoor environment."

- a. Building design will be characterized by effective use of building massing, intersecting wall lanes, punched openings, deep recess, shade, natural materials, and play of light and shadow so as to retain small and pedestrian scale elements.
- b. Buildings will be designed to breakup large masses. Emphases will be placed at the pedestrian level with use of traditional materials, textures and increased building articulation.
- c. Buildings are intended to have timeless quality that recalls the rural/suburban heritage, rather than express modern/urban design fads.

The building is shaped in an L with an outdoor patio space joining the two restaurants. The main body material proposed is metal paneling in "Polar White". The front entrances of the two restaurants have store front windows with a striped fabric awning across the length of the window area. Both restaurants have accent colors respective to their brand at the main door entrances and these entrances have gabled roofs. The back of house area roof type transitions to a parapet and mural areas are proposed for both restaurants. North Italia's patio will have an awning over the outdoor seating, copying the same striped fabric material from the front entrance and Flower Child will utilize umbrellas to provide shade for the outdoor seating area. *First review comments include pulling similar colors and materials from existing buildings in the Gilbert Crossroads Center PAD to blend the development into the San Tan Village area. Provide further movement to elevations with the use of recessing the building plane and breaking up massing.*

Lighting

There are three lighting types proposed, parking lot, building wall mounted lighting and string lighting over the outdoor dining space. The parking lot lights are mounted at 25 feet and decorative

gooseneck building wall lighting is mounted at 7 and 10 feet. All site lighting will be required to comply with Town codes.

Signage

The site is part of the San Tan Village Parcels A, C, D, and E Master Sign Program. A San Tan Village gateway entry sign is planned for the hard corner of Santan Village Parkway and Williams Field Road and a multi-tenant sign is planned along Santan Village Parkway. Building signage must comply with the master sign program and can proceed through sign permitting. Administrative Design Review approval is required prior to permitting to amend the sign program.

PUBLIC NOTIFICATION AND INPUT

The proposed project will require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

REQUESTED INPUT

1. The color and materials of the building and the relation to the existing developments on Parcel A and the Gilbert Crossroads PAD
2. Movement and articulation of the west and north elevations.

Respectfully submitted,

Stephanie Bubenheim
Planner II

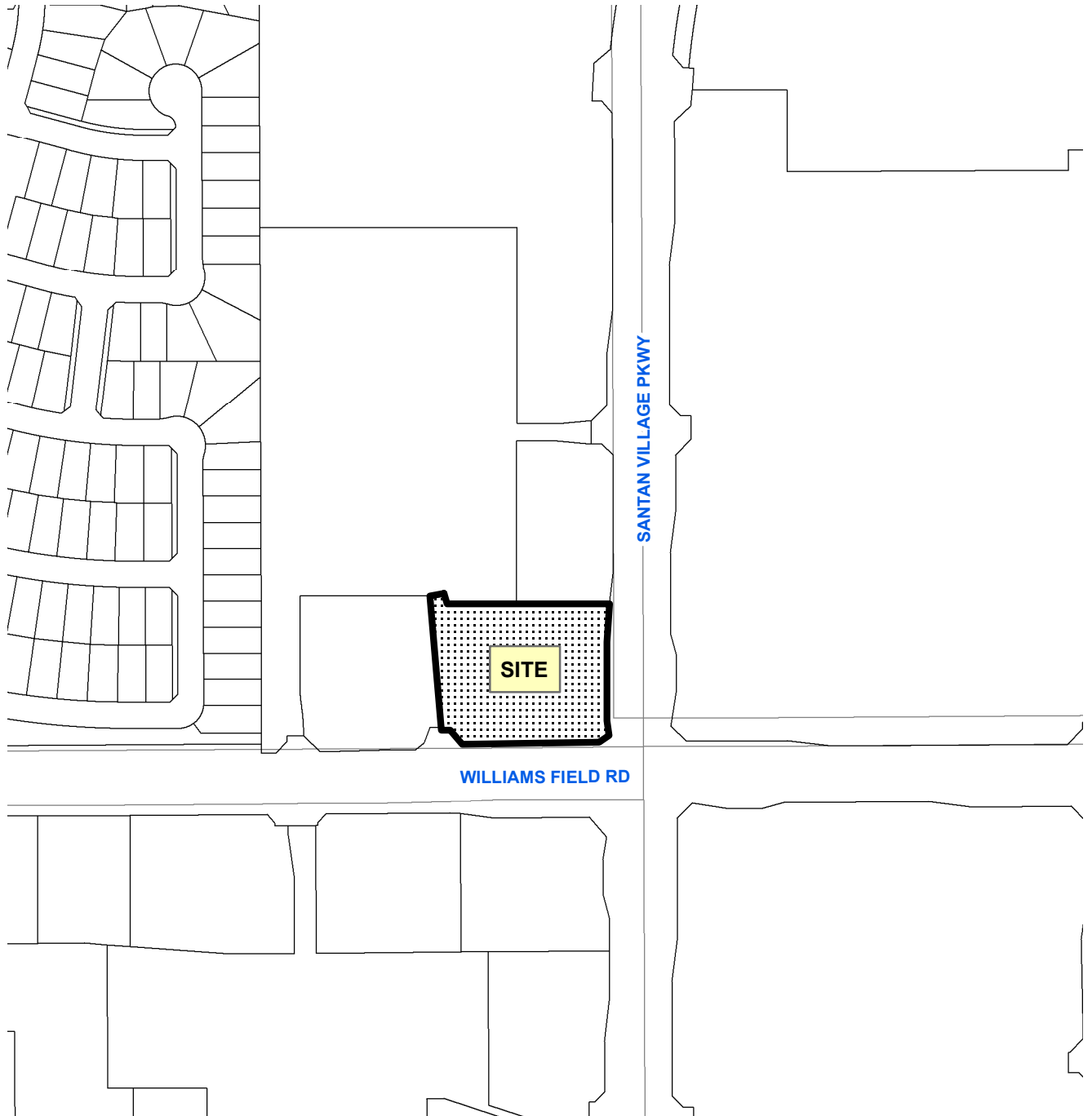
Attachments and Enclosures:

- 1) Vicinity Map
- 2) Aerial Photo
- 3) Site Plan
- 4) Landscape
- 5) Grading and Drainage
- 6) Colors and Materials
- 7) Elevations
- 8) Floor Plans
- 9) Lighting

DR19-136 Flower Child


Vicinity Map

SITE LOCATION:



 GILBERT

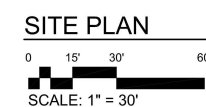
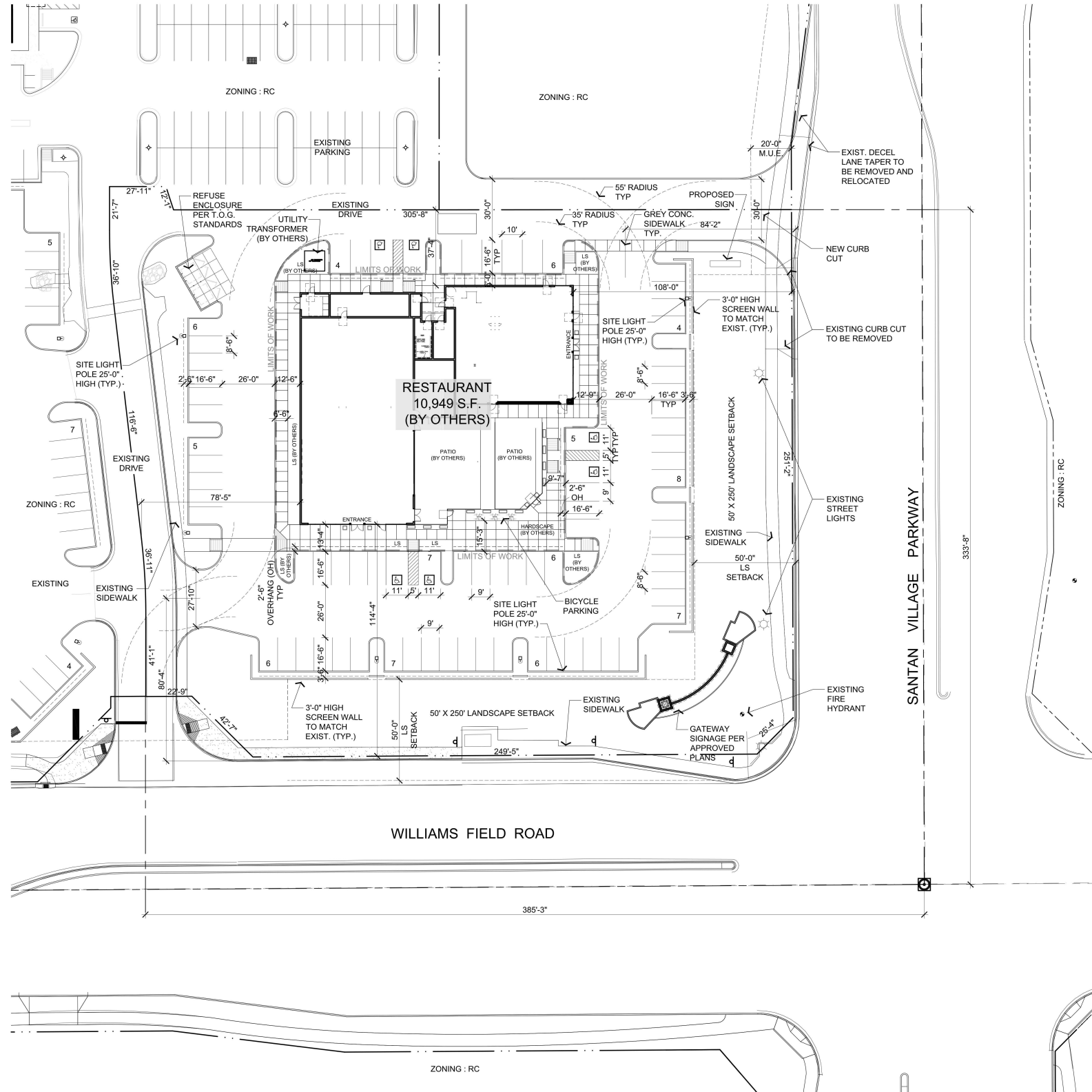
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TOWN OF GILBERT NOTES

- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDER GROUND
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 8' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET IN TO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.
 - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS. OR
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING. OR
 - ROUTED UNDER GROUND.
- ALL BACKFLOW PREVENTION DEVICES LARGER THAN 2" SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS 2" OR SMALLER SHALL BE PLACED IN A LOCKED WIRE MESH CAGE PAINTED TO MATCH EITHER PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPE AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OF FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
 - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPE AREAS ADJUSTED TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDING MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

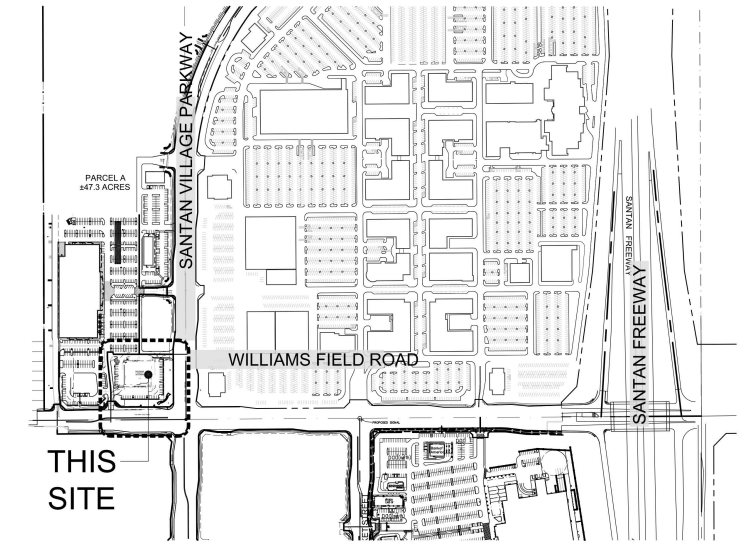


PROJECT DATA

Zoning:	RC
APN#:	304-41-949C
Gross Site Area:	130,943 S.F. (3.01 AC.)
Net Site Area:	87,230 S.F. (2.00 AC.)
Building Area:	10,949 S.F.
Building Area % Coverage:	12.6%
Landscape Area:	25,618 S.F.
Landscape Area % Coverage:	29.4%
Parking Required (Per Crossroads PAD 4 spaces / 1,000 S.F.)	
Building - 10,949 S.F. / 1000 * 4:	44 Spaces
Patio - 3,239 S.F. / 1000 * 4:	13 Spaces
Total Parking Required:	57 Spaces
Parking Provided:	77 Spaces
ADA Parking Required:	4 Spaces
ADA Parking Provided:	6 Spaces
Parking Ratio:	7.0 / 1,000 S.F.
Bicycling Parking Required (1/10 Spaces):	8 Spaces
Proposed Building Height:	26 feet max.
Max. Allowed Building Height:	55 feet max.

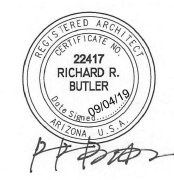
PROJECT TEAM

Developer SanTan Development Group 3850 E. Baseline Rd. Ste. 114 Mesa, Arizona 85206 Contact: Ty LeSueur Ph: (480) 424-3400 Ty@lesueurinvestments.com	Architect Butler Design Group 5017 E. Washington St. Ste 107 Phoenix, Arizona 85034 Contact: Clay Chiappini Ph: (602) 957-1800 clayc@butlerdesigngroup.com
Landscape Architect Laskin & Associates 67 E. Weldon Ave. Ste. 230 Phoenix, Arizona 85012 Contact: Hans Stoll Ph: (602) 840-7771 hans@laskindesign.com	Civil Engineer EPS Group, Inc 1130 M. Alma School Road Ste. 120 Mesa, Arizona 85201 Contact: Eric Winters Ph: (480) 355-1559 eric.winters@epsgruoinc.com



VICINITY MAP
N.T.S.

09-04-19
11161-050-site



Butler Design Group, Inc
architects & planners

SANTAN VILLAGE North
1950 East Williams Field Road
Gilbert, Arizona

SANTAN DEVELOPMENT GROUP

EXISTING LANDSCAPE & IRRIGATION NOTES

1. Site verify all existing conditions prior to bidding. Any discrepancies are to be brought to the Landscape Architect immediately.
2. All plant material designated as "existing to remain" shall be protected during all phases of construction. Any tree that dies due to lack of water, lack of maintenance or care, neglect or vandalism shall be replaced by a like type tree, and equal tree size. At no additional cost to owner. Cacti that die shall be replaced with like type, height and size. All shrubs and groundcover shall be replaced with 5 gallon plants.
3. Landscape areas disturbed by new construction shall be repaired new decomposed granite matching existing. Blend all disturbed areas with undisturbed so there is smooth transition between all edges. Replace all disturbed, broken or damaged headers with matching type.
4. All existing plant material and adjacent plant material shall have uninterrupted watering during all phases of construction. This shall include but not be limited to: hand watering, temporary above ground irrigation, existing system, etc.
5. The existing irrigation system shall be protected, maintained and repaired during all phases of construction. The existing system is tied in adjacent properties. All equipment such as mainline, wires, lateral heads and etc. shall be repaired and replaced to maintain continuous and replaced to maintain continuous water.
6. Provide new schedule 40 sleeves at all new drives. (See sleeve schedule for size.) Any existing irrigation system is to be maintained at all times during construction and guarantee 100% coverage.
7. All existing trees to remain, shall be selectively pruned per Land Arch's direction.
8. All existing shrubs within the sight distance lines and sight visibility triangles shall be selectively pruned to a maximum height of 30".
9. All trees shall be lifted to clear height of 7'.
10. Landscape contractor and general contractor are responsible for locating all existing irrigation sleeves prior to setting any pavers and/or concrete.
11. Landscape contractor shall bore under existing sidewalk rather than saw cut to place new sleeves.

TOWN OF GILBERT NOTES:

1. A Town of Gilbert permit is required for the installation of any landscape or irrigation system. A CD with PDF format "AS-BUILTS" of the landscape and irrigation plans is also required.
2. Before the Town of Gilbert will accept an installed backflow device for approval, the following must be accomplished: The device must be tested by a State Certified Backflow Tester and the test results forwarded to the town of Gilbert Backflow Specialist. The Town will provide current list of Certified testers from which to select. Testers fees will be at the expense of installer. Design of any walls, entry monument signage or ramadas that may be presented herein have been reviewed as conceptual only and will require a separate review and permit from the Building Department. In no case shall the dedicated walls, entry monument signage or ramadas be considered final. Approval by the Planning Department is required prior to the issuance of a Building Permit for said walls, entry monuments and ramadas.
3. No plant material shall be placed 3' from any hydrant, or fire dept. connection (FDC) maintain a min vertical clearance of 15' where trees overhang the curb line.
4. No planting or objects within the Town of Gilbert sight visibility triangles shall exceed 2 feet. Trees shall have a 7 feet minimum clear canopy.
5. All trees, shrubs and groundcover shall meet or exceed Arizona Nursery Association (ANA) specifications.
6. Construction may begin after all permits have been obtained.

MAINTENANCE NOTE:

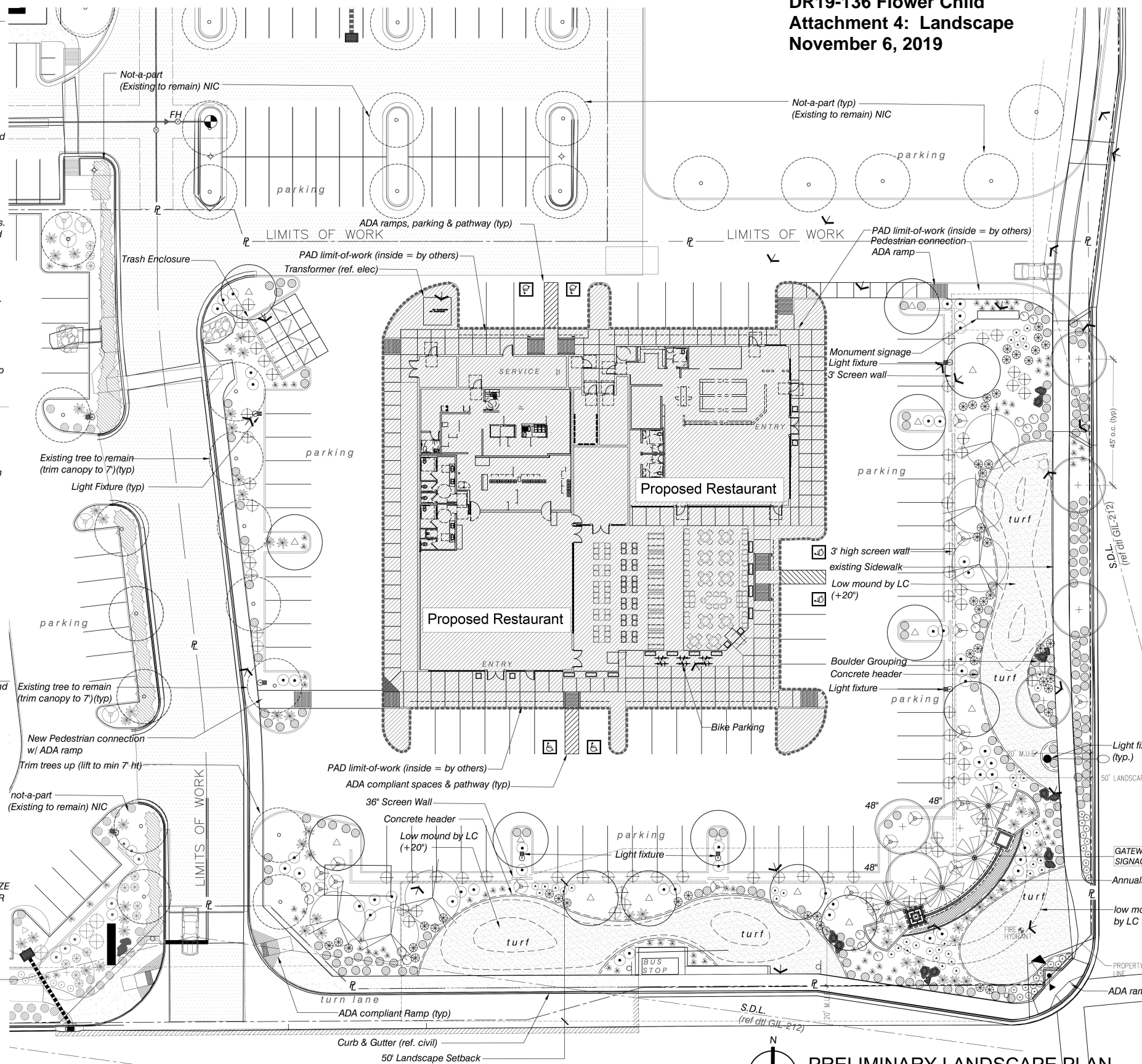
All landscape areas and materials shall be maintained in a healthy, neat, clean, and weed-free condition, this shall be the responsibility of the property owner. Construction and installation shall be in accordance with these plans and any deviations will require re-approval. Landscape installations shall be approved by the T.O.G. inspection services before a certificate of occupancy can be issued.

GENERAL LANDSCAPE NOTES:

1. TREE CALIPERS FOR STANDARD (SINGLE) TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST FOUR (4) TO SIX (6) INCHES ABOVE THE SOIL LINE, FOR TREES WITH FOUR (4) INCH CALIPER AND LESS; AND SIX (6) TO TWELVE (12) INCHES FOR TREES GREATER THAN FOUR (4) INCH CALIPER. TREE CALIPER FOR MULTI-TRUNK TREES SHALL BE MEASURED AT THE WIDEST POINT WITHIN THE FIRST SIX (6) INCHES ABOVE ORIGIN POINT OF THE SECOND LARGEST TRUNK OR SIX (6) INCHES ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL. CALIPER OF MULTIPLE TRUNK TREES SHALL BE DETERMINED BY TAKING THE AVERAGE CALIPER OF ITS TWO (2) LARGEST TRUNKS.
2. TREE CALIPER AND HEIGHT SHALL GOVERN OVER ANY OTHER PLANTING SIZE INFORMATION PROVIDED ON THE DRAWINGS. TREES SPECIFIED BY CONTAINER SIZES ONLY SHALL NOT BE ACCEPTED.
3. THE PROPERTY OWNER AND/OR LESSEE SHALL BE RESPONSIBLE TO INSTALL/MAINTAIN ALL LANDSCAPING WITHIN THE RIGHT-OF-WAY. ALL LANDSCAPING SHALL BE MAINTAINED EXCEPT FOR THE RIGHT-OF-WAY TREES WHICH ARE PART OF THE PUBLIC INFRASTRUCTURE LS AND NOT-A-PART.

BID & CONSTRUCTION NOTES:

1. All trees must meet or exceed the caliper, width and height at time of planting regardless of box size listed.
2. All trees to be tagged and approved at the nursery by the Landscape Architect a minimum of (6) months prior to planting.
3. Any trees may be rejected based on aesthetic quality and appearance.
4. Contractor to provide sample photos, specifications, quantities and location of trees to landscape architect a minimum of (1) one week prior to nursery visit for selection and review.
5. Landscape contractor to provide any deposit or retainers needed by nursery to retain trees for a period of (3) three months or more.



**DR19-136 Flower Child
Attachment 4: Landscape
November 6, 2019**

LANDSCAPE LEGEND

ALL TREES MUST MEET OR EXCEED CURRENT ANA SPECIFICATIONS		
TREES	SIZE	QTY
Quercus virginiana Heritage Live Oak	24" box	14
Cercidium x 'Desert Museum' Desert Museum	36" box u.o.n. standard 48" box standard	4 3
Dalbergia sissoo Sissoo Tree	24" box standard	6
Phoenix dactylifera Date Palm	20' t.f. diamond cut, matching	4
Existing Tree to remain and be protected		
SHRUBS	SIZE	QTY
Nerium oleander "Petite Pink" Petite Pink Oleander	5 gallon	51
Caesalpinia Mexicana (Shrub form) Mexican Bird of Paradise	15 gallon	17
Leucophyllum frutescens "compacta" Compact Desert Sage	5 gallon	75
Agave weberii Webers Agave	5 gallon	42
Eremophila 'Valentine' Valentine Bush	5 gallon	41
Hesperaloe parviflora 'Perpa' Brakelights® Red Yucca	5 gallon	65
Dasyliroon quadrangulatum Toothless Desert Spoon	5 gallon	48
GROUNDCOVER	SIZE	QTY
Lantana montevidensis New Gold & Purple Trailing Lantana	1 gallon 50/50 Mix	177
Ruellia brittoniana 'katie' Purple 'Little Katie' Ruellia	1 gallon	24
Convolvulus cneorum Bush Morning Glory	1 gallon	14
Annuals	4" pot 8" o.c.	
Mid-Iron sod, hybrid bermuda		6369 s.f.
INERT MATERIAL	SIZE	
Decomposed Granite - 1/2" screened - 2" min thickness Table Mesa Brown in all landscape areas.		
3" to 6" sized "Fractured Granite" Chunk Rock color : Table Mesa Brown (enclosed by Steel Edge at grade)		
4" x 6" Concrete Header at all turf and annual locations Surface Select Granite Boulders 3'x3'x3' minimum size (boulders to be minimum 1 ton in weight) bury a minimum of 1/3		

PRELIMINARY LANDSCAPE NOTES

1. The entire site will be maintained in accordance with City of Gilbert Standards.
2. 60% of all trees will be 24" Box or larger.
3. An automatic irrigation system will be installed guaranteeing 100% coverage to all landscape areas.
4. 1/2" screened Table Mesa Brown 2" minimum thickness (submit sample to Landscape Architect for approval). Place in all non-river rock and non-lawn landscape areas.
5. All earthwork will be done so that all water drains away from sidewalks, structures and will not impede natural drainage easements.
6. Structures and landscaping within a triangle measured back 10' from property line and 20' along property line on each side of the driveway entrance will be maintained at a maximum height of 3'.
7. Granite Rip Rap 3" to 6" (Table Mesa Brown). Place at all curb cuts and down spouts to prevent erosion. (see Civil for quantities and location.)
8. All final landscape plans to meet City of Gilbert minimum standards for quantity and type.
9. Place arbor guards on all trees placed in turf areas.
10. Screen transformers and utility risers with landscape material.

LANDSCAPE DATA -

Gross Site Area:	130,943 s.f. 3.01 Acres
Acreeage:	
Gross Building Area:	10,949 s.f. = .251 Acres
Lot coverage Percentage	26.3%
Total on-site Parking	77 spots
Landscape on-site Area:	25,618 s.f. = .588 Acres
Landscape as % of site:	29.4%
(Turf = 6,369 s.f. (total)	less than 25% of LS area
TOTAL Landscape Area:	25,618 S.F. (.588 AC.)

PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 20'-00"



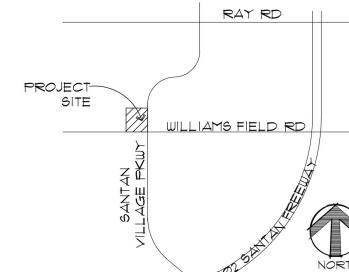
LASKIN & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
67 E. Weldon Ave.
Suite 230
Phoenix, Arizona 85012
p (602) 840-7771
f (602) 840-8021
www.laskinlanscap.com



SANTAN VILLAGE
FOX CONCEPT RESTAURANTS
Gilbert, Arizona

VICINITY MAP
STV FOX CONCEPTS DRB SITE PLAN
09.04.2019

Butler Design Group, Inc.
architects & planners



COLLABORATIVE
DESIGN STUDIO
COLLABORATIVE V
DESIGN STUDIO INC.
7116 EAST 1ST AVE.,
SUITE 103
SCOTTSDALE, ARIZONA
85251
OFFICE: 480-347-0590
FAX: 480-656-6012



PLANT LEGEND

BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENTS
TREES				
Ficus Nitida 'Columnar'	Columnar Ficus	8	36" Box	Standard Trunk Columnar
Quercus virginiana 'Heritage'	Southern Live Oak	7	36" Box	Standard Trunk Dense Canopy
SHRUBS				
Buxus microphylla	Japanese Boxwood	12	5 Gal.	As Per Plan
Citrus species (Lemon)	Lemon Tree	6	15 Gal.	In Pot
Ligustrum japonicum	Japanese Privet	16	5 Gal.	As Per Plan
Myrtus 'Compacta'	Compact Myrtle	100	5 Gal.	As Per Plan
Olea 'Little Olive'	Dwarf Olive	32	5 Gal.	As Per Plan
Rosa x 'Iceberg'	White Iceberg Rose	10	5 Gal.	As Per Plan
GROUND COVERS				
Lantana montevidensis 'Alba'	White Lantana	55	5 Gal.	As Per Plan
Rosmarinus Officinalis	Upright Rosemary	34	5 Gal.	As Per Plan
Tracheloapernum asiaticum	Asiatic Jasmine	22	5 Gal.	As Per Plan

MISCELLANEOUS
DG Decomposed Granite - 1/2" Screened 'Table Mesa Brown' DG to Match Development
2" Depth in All Planting Areas (Typ)

LANDSCAPE SITE DATA

TOTAL NET SITE AREA	27,241	SQ. FT.	2.0	AC.
SQUARE FOOTAGE OF ON-SITE LANDSCAPING	26,996	SQ. FT.	31	% OF SITE
SQUARE FOOTAGE OF PUBLIC RIGHT-OF-WAY LANDSCAPING	200	SQ. FT.		
SQUARE FOOTAGE OF ON-SITE 4 ROW LANDSCAPING	27,156	SQ. FT.		

SQUARE FOOTAGE OF LANDSCAPE FOR PAD SCOPE COVERED BY THIS DRAWING: 2,975 SQ. FT.

NOTE:
ALL LANDSCAPING SHALL COMPLY WITH TOWN OF GILBERT STANDARD DETAIL 93 AT TIME OF INSTALLATION. ALL TREES WITHIN THE SIGHT LINE SHALL CANOPY AT 7' WHEN INSTALLED AND NO VEGETATION OR HARDSCAPE THAT WILL BE ABOVE 24" (AT MATURITY) WILL BE ALLOWED WITHIN THE SIGHT LINE.

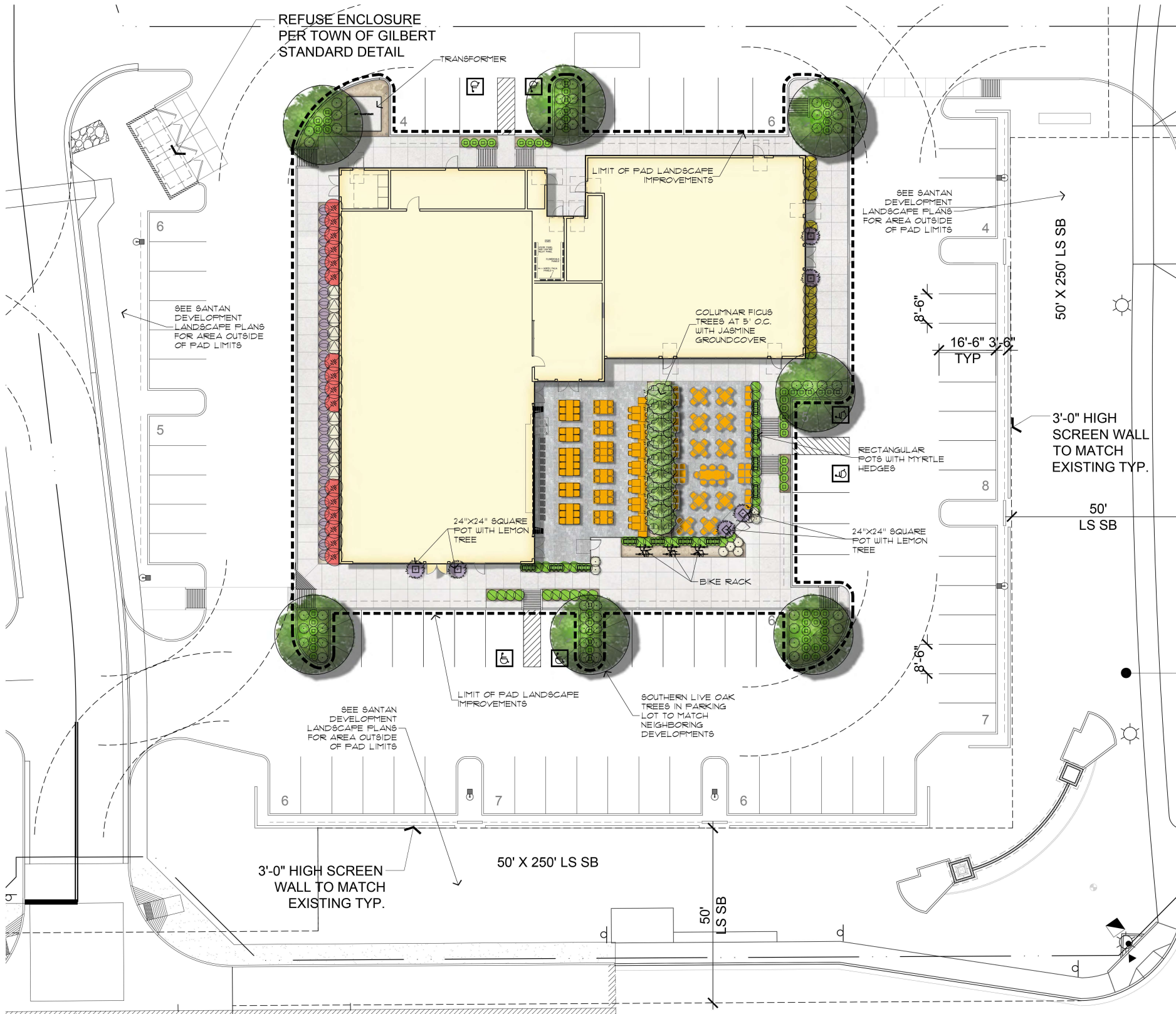
TOWN OF GILBERT NOTES

1. A TOWN OF GILBERT PERMIT IS REQUIRED FOR THE INSTALLATION OF ANY LANDSCAPE OR IRRIGATION SYSTEM. A CD WITH PDF FORMAT "AS-BUILTS" OF THE LANDSCAPE AND IRRIGATION PLANS IS ALSO REQUIRED.
2. BEFORE THE TOWN OF GILBERT WILL ACCEPT AN INSTALLED BACKFLOW DEVICE FOR APPROVAL, THE FOLLOWING MUST BE ACCOMPLISHED: THE DEVICE MUST BE TESTED BY A STATE CERTIFIED BACKFLOW TESTER AND THE TEST RESULTS FORWARDED TO THE TOWN OF GILBERT BACKFLOW SPECIALIST. THE TOWN WILL PROVIDE A CURRENT LIST OF CERTIFIED TESTERS FROM WHICH TO SELECT. TESTER FEES WILL BE AT THE EXPENSE OF THE INSTALLER.
3. DESIGN OF ANY WALLS, ENTRY MONUMENT SIGNAGE OR RAMADAS THAT MAY BE PRESENTED HEREIN HAVE BEEN REVIEWED AS CONCEPTUAL ONLY AND WILL REQUIRE A SEPARATE REVIEW AND PERMIT FROM THE BUILDING DEPARTMENT. IN NO CASE SHALL THE DEPICTED WALLS, ENTRY SIGNAGE OR RAMADAS BE CONSIDERED FINAL. APPROVAL BY THE PLANNING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR SAID WALLS, ENTRY MONUMENTS AND RAMADAS.
4. NO PLANT MATERIAL SHALL COME WITHIN 3 FEET OF FIRE HYDRANTS OR ANY FIRE DEPARTMENT EQUIPMENT.
5. NO PLANTING OR OBJECTS WITHIN THE TOWN OF GILBERT SIGHT VISIBILITY TRIANGLES SHALL EXCEED 2 FEET. TREES SHALL HAVE A 7 FOOT MINIMUM CLEAR CANOPY.
6. ALL TREES, SHRUBS AND GROUNDCOVER SHALL MEET OR EXCEED ARIZONA NURSERY ASSOCIATION (ANA) SPECIFICATIONS.
7. CONSTRUCTION MAY BEGIN AFTER ALL PERMITS HAVE BEEN OBTAINED.

MAINTENANCE NOTE:
ALL LANDSCAPE AREAS AND MATERIALS SHALL BE MAINTAINED IN A HEALTHY, NEAT, CLEAN AND WEED-FREE CONDITION. THIS SHALL BE RESPONSIBILITY OF THE PROPERTY OWNER.

CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THESE PLANS AND ANY DEVIATIONS WILL REQUIRE REAPPROVAL. LANDSCAPE INSTALLATIONS SHALL BE APPROVED BY THE TOWN OF GILBERT INSPECTION SERVICES BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.

FIRE HYDRANT AND FDC NOTE:
PLANT MATERIAL SHALL NOT BE INSTALLED OR ALLOWED TO GROW TO WITHIN 3' OF A FIRE HYDRANT OR FIRE DEPARTMENT CONNECTION (FDC). MAINTAIN A MINIMUM VERTICAL CLEARANCE OF 15 FEET WHERE TREES OVERHANG THE CURB LINE. IFC 9032.1 AND 9089.5



WILLIAMS FIELD ROAD

PLANTING PLAN

SCALE: 1/16" = 1'-0"



LANDSCAPE IMPROVEMENTS
NORTH Flower Child Restaurant
NWC of Santan Village Parkway and Williams Field Road

DESIGNED BY: AH/PV
DRAWN BY: AH/PV
CHECKED BY: AH/PV
DATE: 09.03.19
REVISIONS:

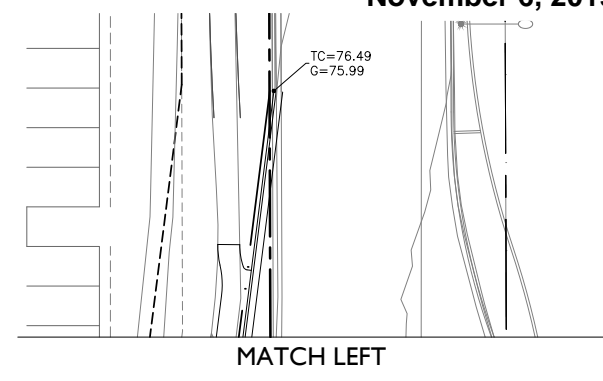
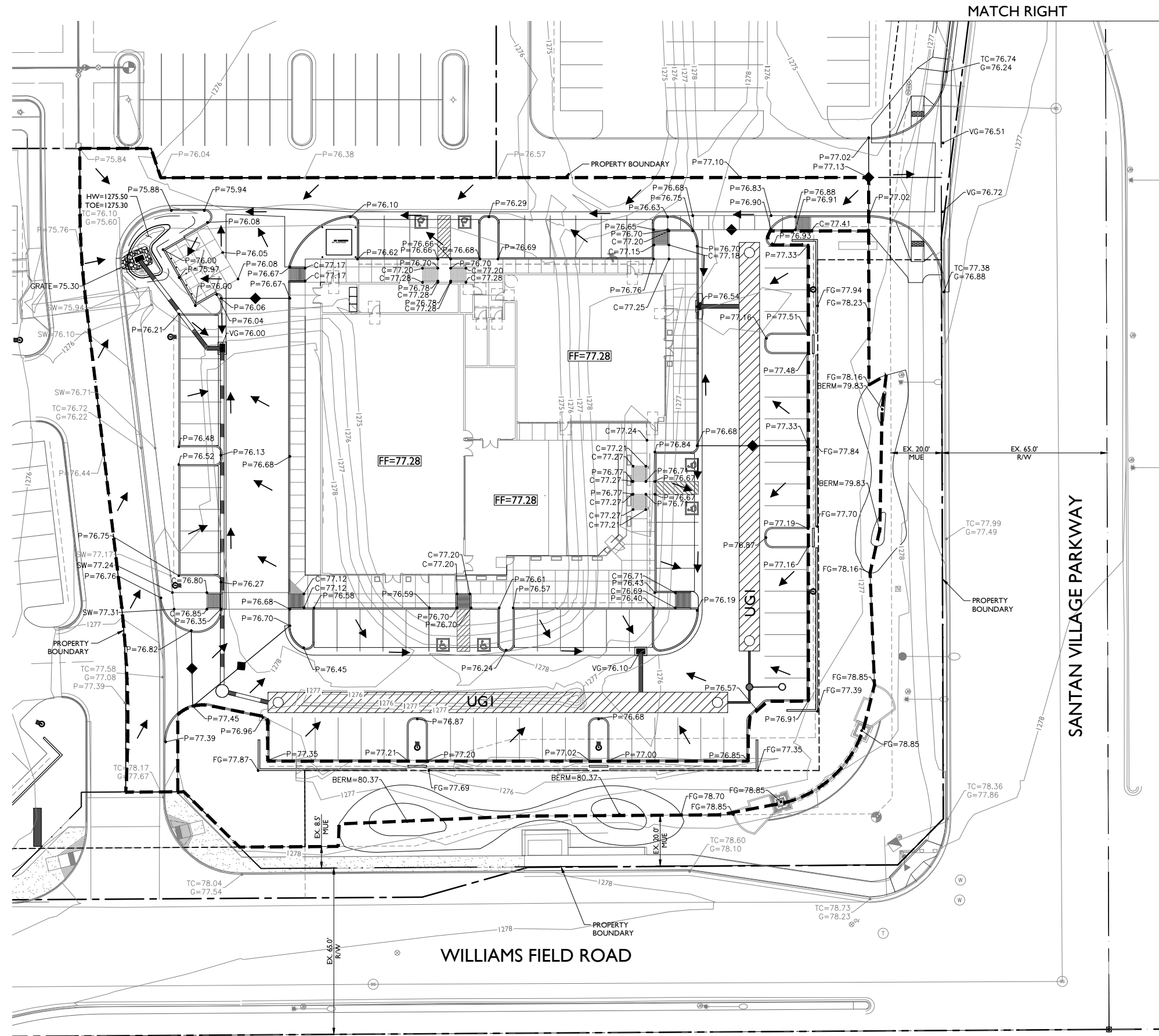
PLANTING PLAN

NORTH Flower Child

L1.0

I9-0699 - San Tan Village Parcel A

Sep. 03, 2019 4:50pm \\Eps-m16-fs01\shares\Projects\2019\19-0699\Civil\DR - Prelim\19-0699 - DR - GD01.dwg



50-YR. 24-HR RUNOFF & RETENTION CALCULATIONS

$V_{REQ} = C * (D/12) * A$
 WHERE: V_{REQ} = RUNOFF VOLUME (CF)
 C = COMPOSITE RUNOFF COEFFICIENT
 D = 50-YR. 24-HR RAINFALL DEPTH (IN) = 3.00-IN
 A = AREA (SF)

VOLUME REQUIRED
 LANDSCAPE FRONTAGE (C=.70)
 $V = .70 * (3/12) * 12,423 = 2,174$ CF
 ON-SITE (C=.95)
 $V = .95 * (3/12) * 62,706 = 14,893$ CF
 TOTAL VOLUME REQUIRED = 17,067 CF

VOLUME PROVIDED
 *THIS PROJECT WILL UTILIZE UNDERGROUND STORAGE PIPE
 UGI = 17,090 CF (340 LF OF 8' DIAMETER PIPE)

LEGEND

- UNDERGROUND STORAGE
- SURFACE FLOW DIRECTION
- STORM DRAIN LINE
- CATCH BASIN
- STORM DRAIN MANHOLE
- GRADE BREAK

BENCHMARK:
 FLUSH BRASS CAP (22577-1) AT THE INTERSECTION OF E. GALVESTON AND S. GREENFIELD ROAD.
 ELEVATION=1280.795 (TOG DATUM, PER GDACS MAP BK 658, PG 13, MCR)



San Tan Village Parcel A
 Gilbert, Arizona
 Preliminary Grading Plan

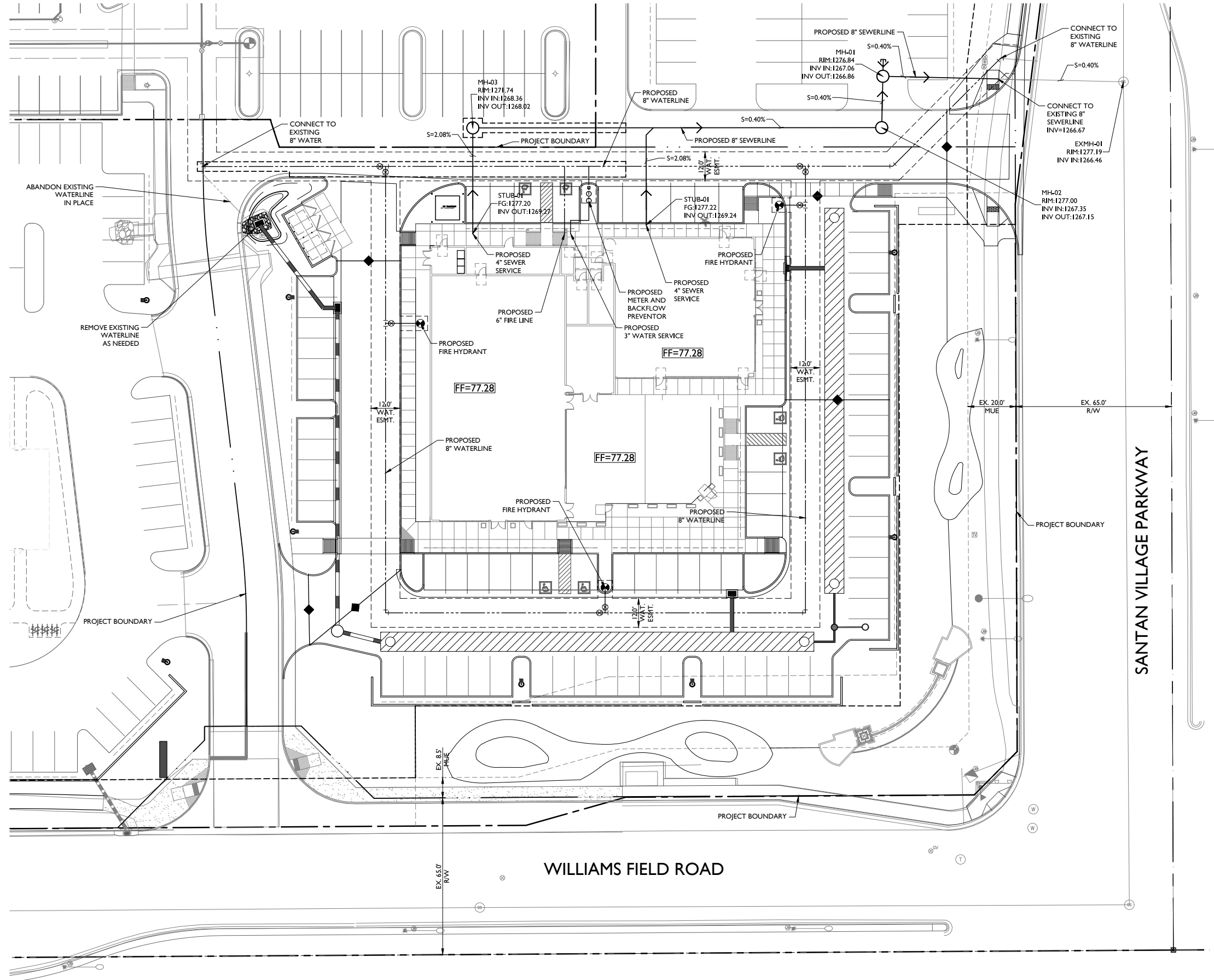
Revisions:

Arizona State Board of Registration for Professional Engineers and Surveyors
 Registered Professional Engineer (PE)
 CERTIFICATE NO. 44744
 SRO D. WINTERS
 Design: JSD
 Drawn by: JSD

Job No. I9-0699
 GD01
 Sheet No. 1 of 2

19-0699 - San Tan Village Parcel A

Sep. 03. 2019 4:51pm \\Eps-m16-fs01\share\Projects\2019\19-0699\Civil\DR\ Prelim\19-0699 - DR - UT01.dwg



LEGEND

- WATER VALVE
- WATER TEE
- FIRE HYDRANT
- WATER LINE
- SEWER LINE
- SEWER MANHOLE



1130 N Alma School Road
Suite 120
Mesa, AZ 85201
T: 480.503.2250 | F: 480.503.2258
www.epsgroupinc.com

San Tan Village Parcel A
Gilbert, Arizona

Preliminary Utility Plan

Project:

Revisions:	

Call at all times for more details
before you begin excavating
AZ 800-451-7829
Dig Safe or 1-800-552-2244
in Maricopa County: (602)833-1100

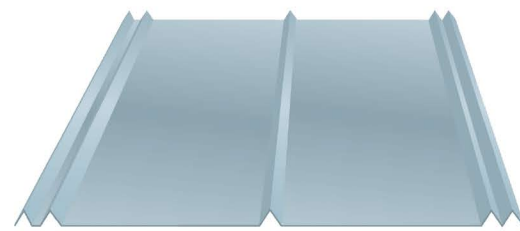
Designer: JSD
Drawn by: JSD

Job No.
19-0699

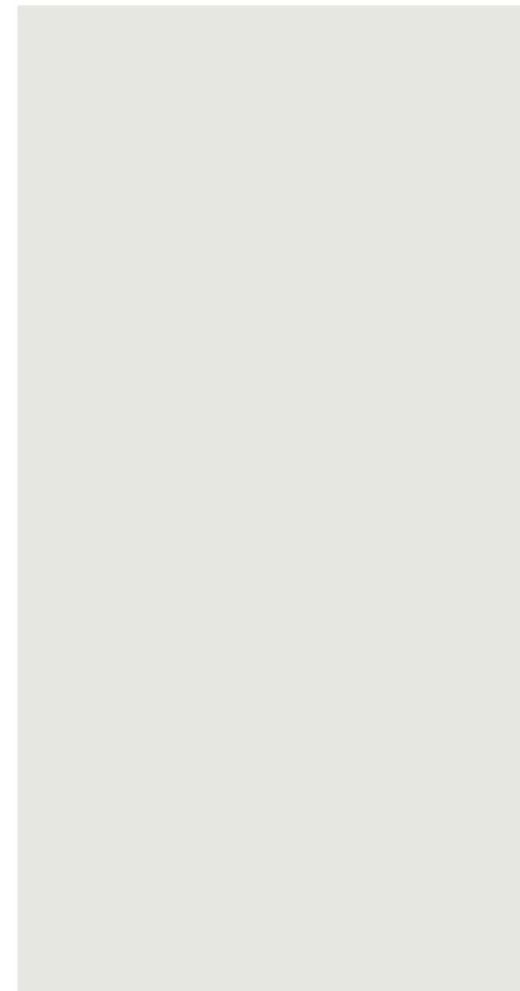
Sheet No.
2 of 2

GILBERT (SANTAN)

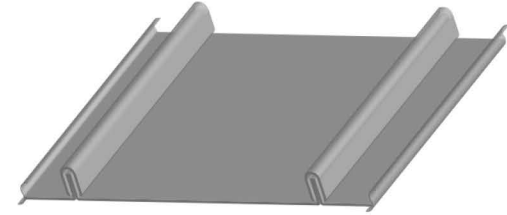
DRB FINISH SUBMITTAL



SIDING PANEL
 MBCI
 5V CRIMP METAL PANEL



MTL - 1 SIDING MATERIAL
 MBCI
 5V CRIMP PANEL
 POLAR WHITE



ROOF PANEL
 MBCI
 CRAFTMAN SERIES - HIGH BATTEN PANEL



MTL - 2 ROOF MATERIAL
 MBCI
 CRAFTMAN SERIES - HIGH BATTEN PANEL
 CHARCOAL GRAY

NORTH ITALIA
 STOREFRONT GLAZING
 SOLARBAN STARFIRE 60



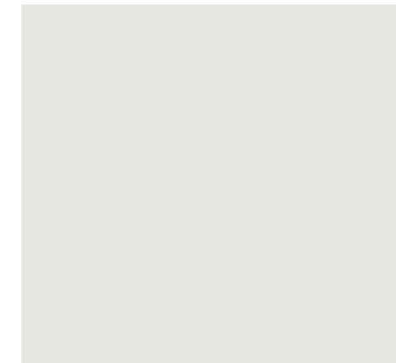
MTL - 3 NORTH ITALIA
 STOREFRONT
 ARCADIA
 ANODIZED ALUMINUM
 STANDARD DARK BRONZE
 AB-7
 FLOWER CHILD
 STOREFRONT GLAZING
 SOLARBAN STARFIRE 60



PT - 1 FLOWER CHILD
 STOREFRONT
 DUNN EDWARDS
 MONEY DE5613



PWT - 1 NORTH ITALIA
 TILE BAR AT DIE WALL
 EMSEER TILE
 CASSERO BLACK
 A95CASSBK1224
 12" X 24"



PT - 2 SHERWIN - WILLIAMS
 SPARE WHITE 6203
 (TO MATCH SIDING)



NORTH ITALIA + FLOWER CHILD
 AWNING FABRIC
 SUNBRELLA BEAUFORT CLASSIC STRIPED 4982-0000



PT - 3 NORTH ITALIA
 SHERWIN - WILLIAMS
 IRON ORE
 SW7069



PT - 4 NORTH ITALIA
 FRONT DOOR
 PRISMATIC POWDERS
 ASTATIC RED PSS - 1738

GILBERT (SANTAN) FINISH BOARD

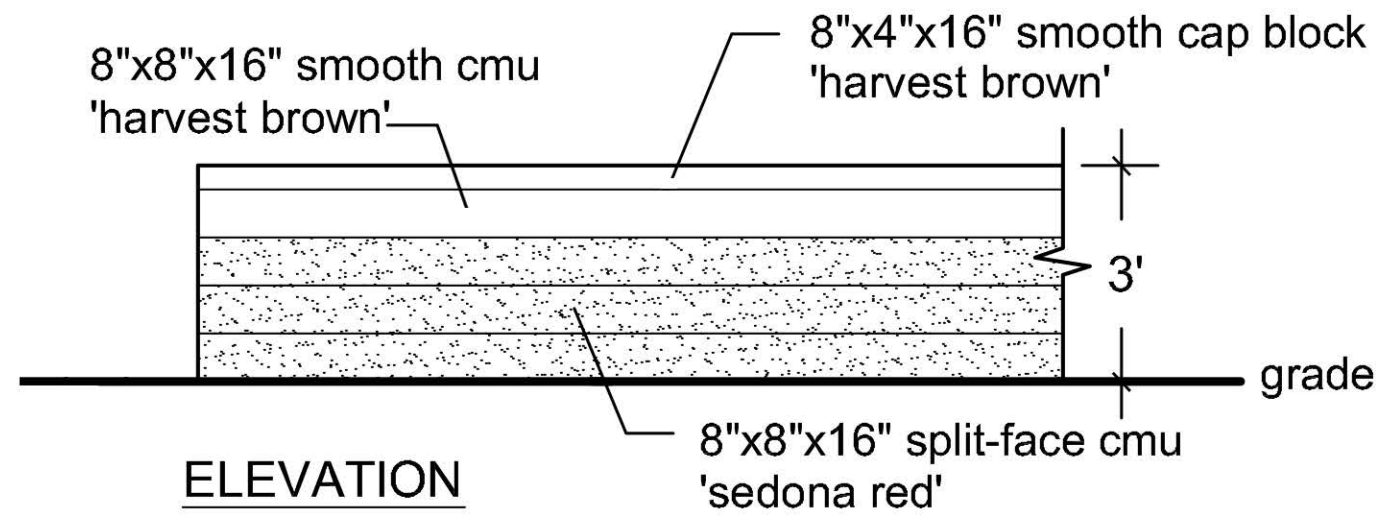
***BOLD** - FINISH TAG, REFER TO EXTERIOR ELEVATIONS FOR ALL FINISH LOCATIONS



Integral color cmu
Superlite - 'sedona red'



Integral color cmu
Superlite - 'harvest brown'



ELEVATION

SCALE: 1/4" = 1'-0"

3' SITE SCREEN WALL

Colors and Materials - Site

FINISH SCHEDULE			
KEY	MANUFACTURER	MATERIAL INFORMATION	COLOR
PT-1	DUNN EDWARDS	DE5613, FINISH: EGGSHELL	MONEY
PT-2	SHERWIN WILLIAMS	SW 6203	SPARE WHITE
PT-3	SHERWIN WILLIAMS	SW 7069	IRON ORE
PT-4	PRISMATIC POWDERS	PSS-1738	ASTATIC RED
MTL-1	MBCI	SLIDING MATERIAL; SV CRIMP PANEL, 26-GAUGE	POLAR WHITE (SR.58 SRI 69)
MTL-2	MBCI	ROOFING MATERIAL; CRAFTSMAN SERIES, HIGH BATTEN PANEL	BURNISHED SLATE (SR.28 SRI 129)
MTL-3	ARCADIA	ANODIZED ALUMINUM STOREFRONT	ARCADIA #88 DARK BRONZE AB-7
PWT-1	EMER	A95CASSBK1224; SIZE: 12"X24"; FINISH: SATIN; THICKNESS: $\frac{3}{8}$ "	CASSERO BLACK
GLZ-1	PPG INDUSTRIES	SOLARBAN 60 (2) STARFIRE + STARFIRE	SPACER: BLACK

NORTH ITALIA &
 FLOWER CHILD
 GILBERT (SAN TAN)

1950 EAST WILLIAMS FIELD ROAD
 GILBERT, ARIZONA 85295



ARCHITECTURE:
 MRY ARCHITECTURE
 100 SIENA
 LAGUNA NIGUEL, CALIFORNIA 92677
 602.418.9940

MEP:
 ENERGY SYSTEMS DESIGN, INC.
 7135 EAST CAMELBACK ROAD, SUITE 275
 SCOTTSDALE, ARIZONA 85251

CIVIL ENGINEER:
 SBL-ENG
 16634 NORTH 50TH WAY
 SCOTTSDALE, ARIZONA 85254

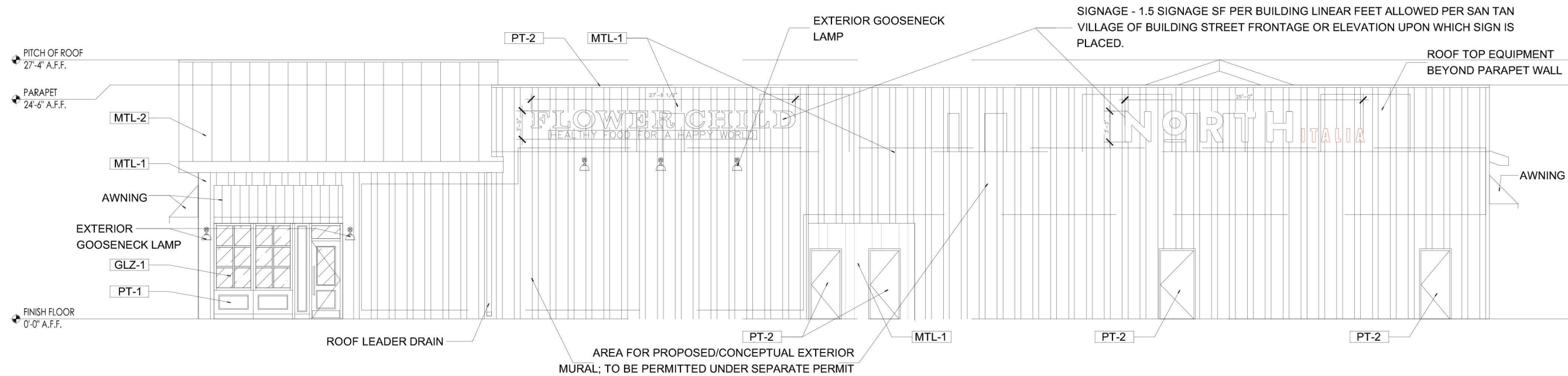
STRUCTURAL:
 STRUKTUR STUDIO
 1525 NORTH GRANITE REEF ROAD, SUITE #9
 SCOTTSDALE, ARIZONA 85257

LIGHTING DESIGNER:
 VILLA LIGHTING
 2929 CHOUTEAU AVENUE
 ST. LOUIS, MISSOURI 63103

LANDSCAPE ARCHITECT:
 COLLABORATIVE
 7116 EAST 1ST AVE., SUITE 103
 SCOTTSDALE, ARIZONA 85251



*ALL MURALS ARE A PLACE HOLDER FOR FUTURE DESIGN. TO BE APPROVED AND PERMITTED UNDER SEPARATE PERMIT. REFER TO ELEVATION BELOW FOR PROPOSED LOCATION DETAILS.



1 DRB EXTERIOR ELEVATION - NORTH
 SCALE: $\frac{1}{4}$ " = 1' 0"

DRB SUBMISSION

9.4.2019

DESCRIPTION REV DATE



DRB ELEVATIONS
 - NORTH

A3

FRC RESTAURANT GROUP

PROJECT ADDRESS

CLIENT

TEAM

SUBMISSION PHASE

REVIEWS

SEALS & SIGNATURES

SHEET NUMBER & TITLE

FINISH SCHEDULE			
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GLZ-1	PPG INDUSTRIES	SOLARBAN 60 (2) STARFIRE + STARFIRE	SPACER: BLACK



NORTH ITALIA &
FLOWER CHILD
GILBERT (SAN TAN)

1950 EAST WILLIAMS FIELD ROAD
GILBERT, ARIZONA 85295

Est. 2002
**NORTH
ITALIA**
FLOWER CHILD
HEALTHY FOOD FOR A HAPPY WORLD

ARCHITECTURE:
MRY ARCHITECTURE
100 SIENA
LAGUNA NIGUEL, CALIFORNIA 92677
602.418.9940

MEP:
ENERGY SYSTEMS DESIGN, INC.
7135 EAST CAMELBACK ROAD, SUITE 275
SCOTTSDALE, ARIZONA 85251

CIVIL ENGINEER:
SBL-ENG
16634 NORTH 50TH WAY
SCOTTSDALE, ARIZONA 85254

STRUCTURAL:
STRUKTUR STUDIO
1525 NORTH GRANITE REEF ROAD, SUITE #9
SCOTTSDALE, ARIZONA 85257

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COLLABORATIVE
2929 CHOUTEAU AVENUE
ST. LOUIS, MISSOURI 63103

LANDSCAPE ARCHITECT:
COLLABORATIVE
7116 EAST 1ST AVE., SUITE 103
SCOTTSDALE, ARIZONA 85251

DRB SUBMISSION

9.4.2019

DESCRIPTION	REV	DATE

SIGNAGE - 1.5 SIGNAGE SF PER BUILDING LINEAR FEET
ALLOWED PER SAN TAN VILLAGE OF BUILDING STREET
FRONTAGE OR ELEVATION UPON WHICH SIGN IS
PLACED.



1 DRB EXTERIOR ELEVATION - EAST
SCALE: $\frac{1}{4}$ " = 1' 0"



DRB ELEVATIONS
- EAST

A4

NORTH ITALIA &
FLOWER CHILD
GILBERT (SAN
TAN)

1950 EAST WILLIAMS FIELD ROAD
GILBERT, ARIZONA 85295

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602.418.9940

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SCOTTSDALE, ARIZONA 85254

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VILLA LIGHTING
COLLABORATIVE
2929 CHOUTEAU AVENUE
ST. LOUIS, MISSOURI 63103

LANDSCAPE ARCHITECT:
COLLABORATIVE
7116 EAST 1ST AVE., SUITE 103
SCOTTSDALE, ARIZONA 85251

DRB SUBMISSION

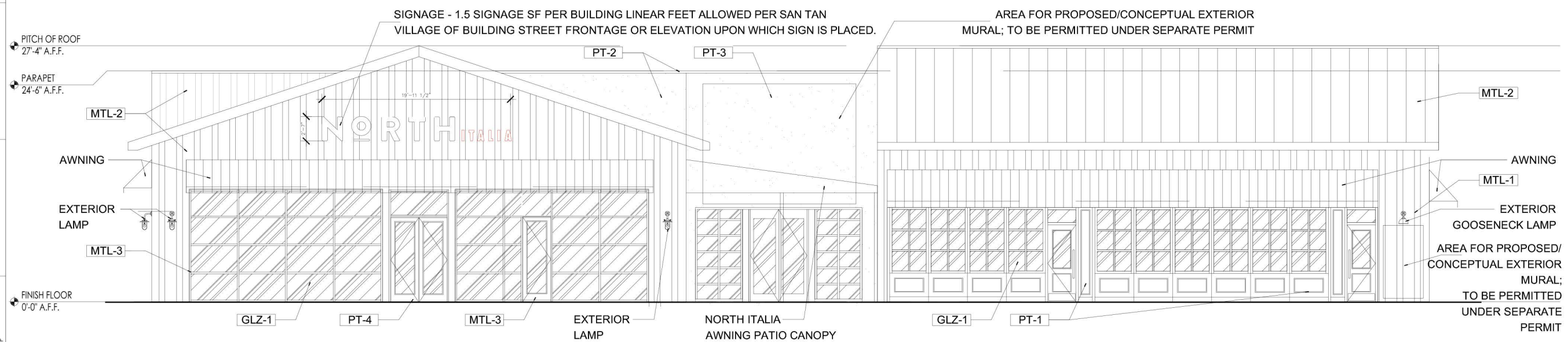
9.4.2019

DESCRIPTION REV DATE

FINISH SCHEDULE			
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GLZ-1	PPG INDUSTRIES	SOLARBAN 60 (2) STARFIRE + STARFIRE	SPACER: BLACK



*ALL MURALS ARE A PLACE HOLDER FOR FUTURE DESIGN. TO BE APPROVED AND PERMITTED UNDER SEPARATE PERMIT. REFER TO ELEVATION BELOW FOR PROPOSED LOCATION DETAILS.



1 DRB EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1' 0"



DRB ELEVATIONS
- SOUTH

A5

FRC RESTAURANT GROUP

PROJECT ADDRESS

CLIENT

TEAM

SEALS & SIGNATURES

REVISIONS

SHEET NUMBER & TITLE

FINISH SCHEDULE			
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NORTH ITALIA &
FLOWER CHILD
GILBERT (SAN
TAN)

1950 EAST WILLIAMS FIELD ROAD
GILBERT, ARIZONA 85295



ARCHITECTURE:
MRY ARCHITECTURE
100 SIENA
LAGUNA NIGUEL, CALIFORNIA 92677
602.418.9940

MEP:
ENERGY SYSTEMS DESIGN, INC.
7135 EAST CAMELBACK ROAD, SUITE 275
SCOTTSDALE, ARIZONA 85251

CIVIL ENGINEER:
SBL-ENG
16634 NORTH 50TH WAY
SCOTTSDALE, ARIZONA 85254

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1525 NORTH GRANITE REEF ROAD, SUITE #9
SCOTTSDALE, ARIZONA 85257

LIGHTING DESIGNER:
VILLA LIGHTING
2929 CHOUTEAU AVENUE
ST. LOUIS, MISSOURI 63103

LANDSCAPE ARCHITECT:
COLLABORATIVE
7116 EAST 1ST AVE., SUITE 103
SCOTTSDALE, ARIZONA 85251

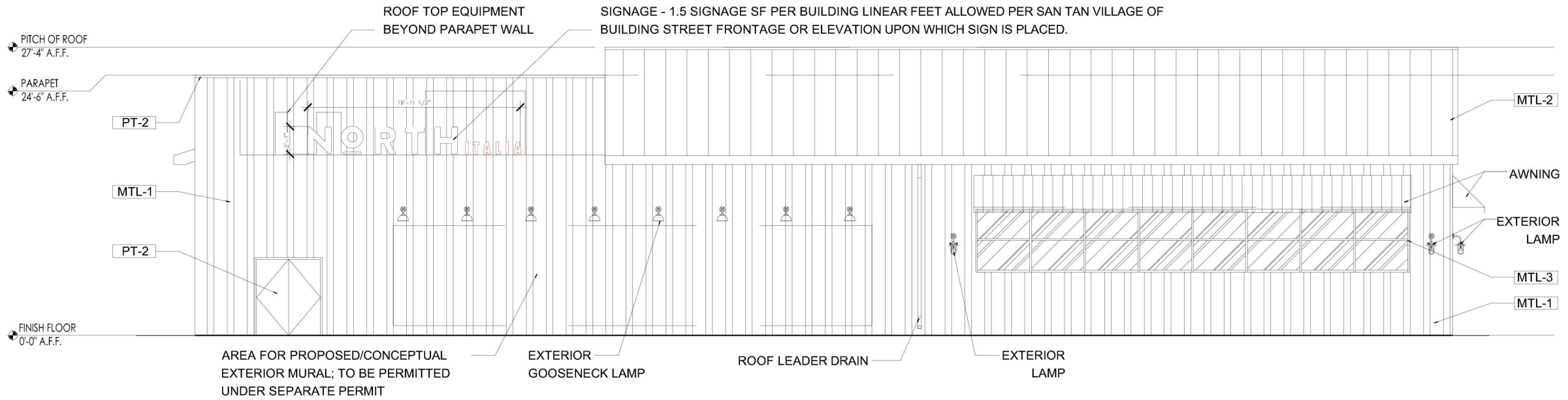


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DRB SUBMISSION

9.4.2019

DESCRIPTION REV DATE



1 DRB EXTERIOR ELEVATION - WEST
SCALE: $\frac{1}{4}$ " = 1' 0"

DRB ELEVATIONS
- WEST

A6

FRC RESTAURANT GROUP

PROJECT ADDRESS

CLIENT

TEAM

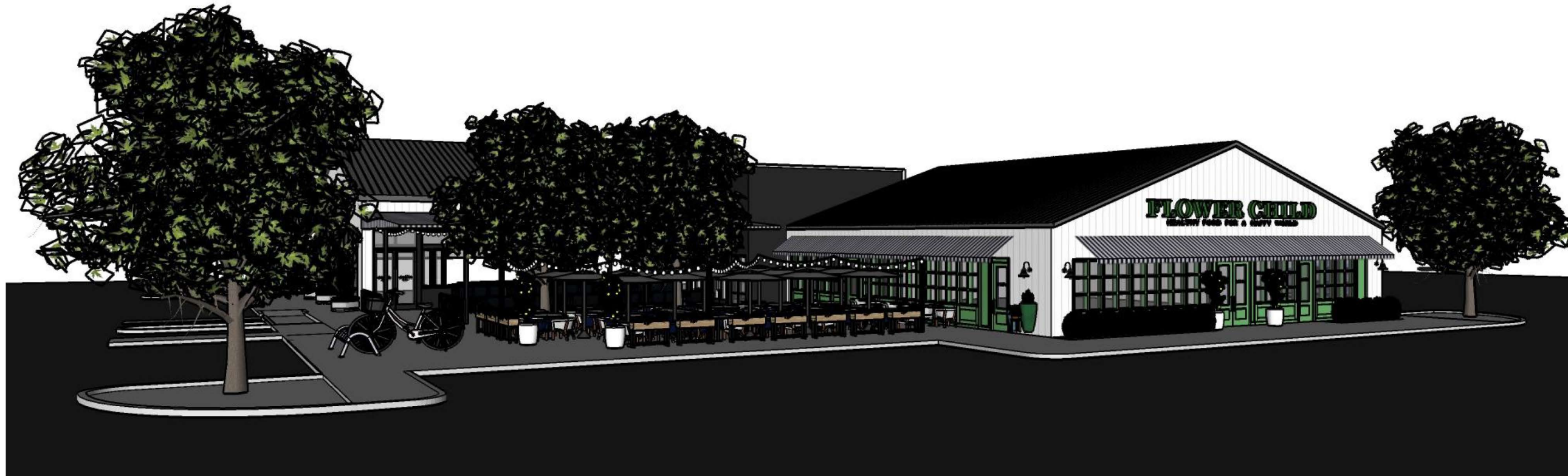
SUBMISSION PHASE

REVISIONS

SEALS & SIGNATURES

SHEET NUMBER & TITLE





NORTH ITALIA &
FLOWER CHILD
GILBERT (SAN
TAN)

1950 EAST WILLIAMS FIELD ROAD
GILBERT, ARIZONA 85295

PROJECT ADDRESS

Oct. 2002

NORTH
ITALIA

FLOWER CHILD
HEALTHY FOOD FOR A HAPPY WORLD

CLIENT

ARCHITECTURE:
MRY ARCHITECTURE
100 SIENA
LAGUNA NIGUEL, CALIFORNIA 92677
602.418.9940

MEP:
ENERGY SYSTEMS DESIGN, INC.
7135 EAST CAMELBACK ROAD, SUITE 275
SCOTTSDALE, ARIZONA 85251

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16634 NORTH 50TH WAY
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SCOTTSDALE, ARIZONA 85251

TEAM

DRB SUBMISSION

9.4.2019

SUBMISSION PHASE

DESCRIPTION	REV	DATE

REVISIONS



SEALS & SIGNATURES

DRB SUBMISSION
- NORTH ITALIA &
FLOWER CHILD

SHEET NUMBER & TITLE

NORTH ITALIA &
 FLOWER CHILD
 GILBERT (SAN
 TAN)

1950 EAST WILLIAMS FIELD ROAD
 GILBERT, ARIZONA 85295

Oct. 2002
**NORTH
 ITALIA**
FLOWER CHILD
 HEALTHY FOOD FOR A HAPPY WORLD

ARCHITECTURE:
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 100 SIENA
 LAGUNA NIGUEL, CALIFORNIA 92677
 602.418.9940

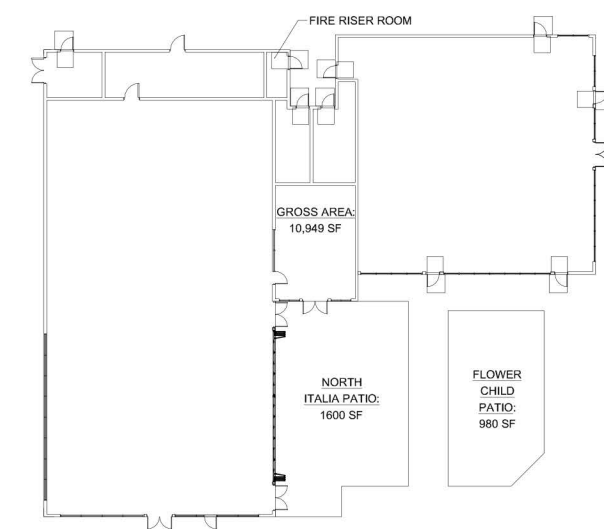
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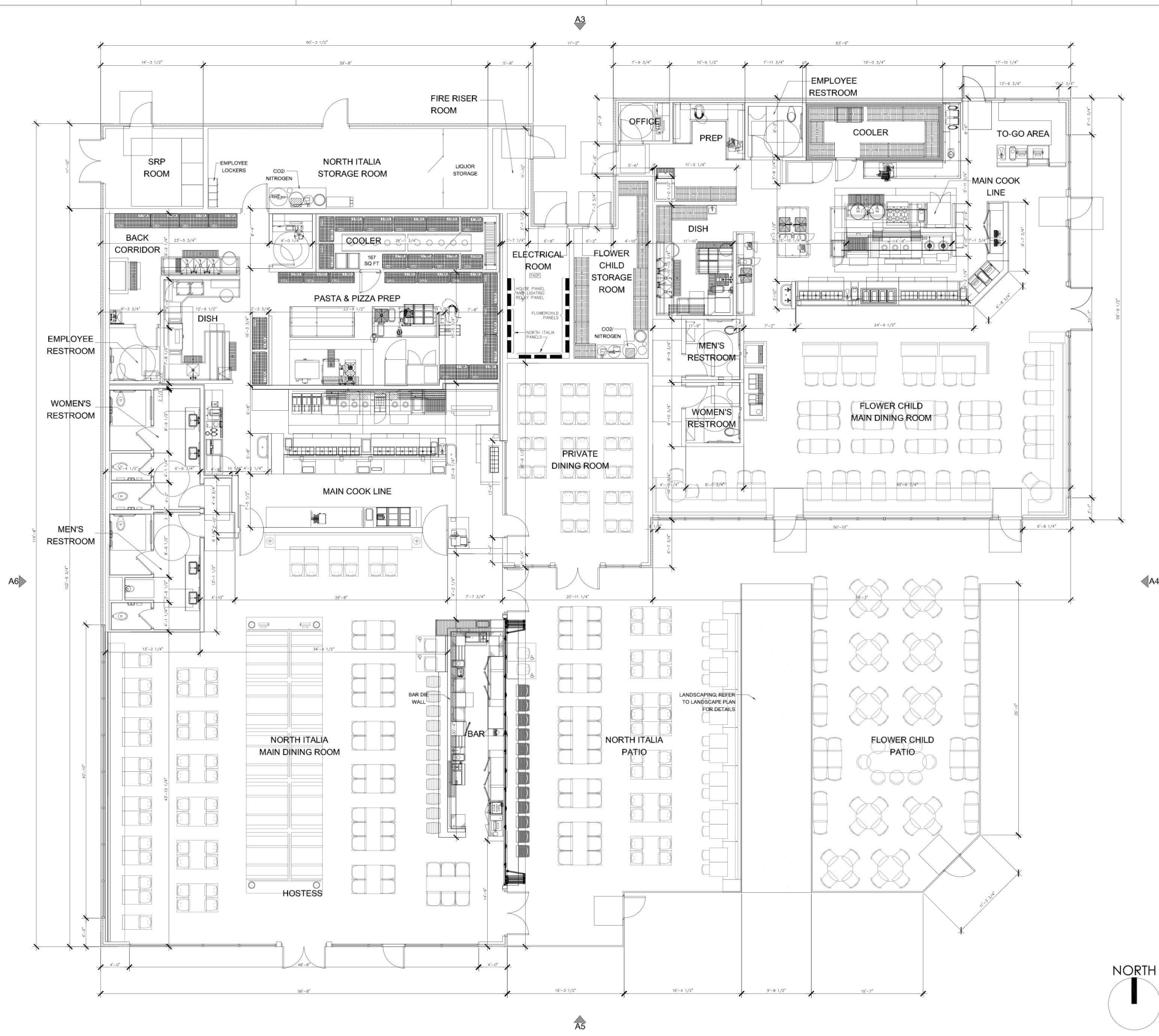
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LIGHTING DESIGNER:
 VILLA LIGHTING
 COLLABORATIVE
 2929 CHOITEAU AVENUE
 ST. LOUIS, MISSOURI 63103

LANDSCAPE ARCHITECT:
 COLLABORATIVE
 7116 EAST 1ST AVE., SUITE 103
 SCOTTSDALE, ARIZONA 85251



2 GROSS BUILDING AREA FLOOR PLAN
 SCALE: 1/16" = 1' 0"



1 DRB FLOOR PLAN
 SCALE: 3/16" = 1' 0"

DRB SUBMISSION

DESCRIPTION	REV	DATE
		9.4.2019



DRB FLOOR
 PLAN

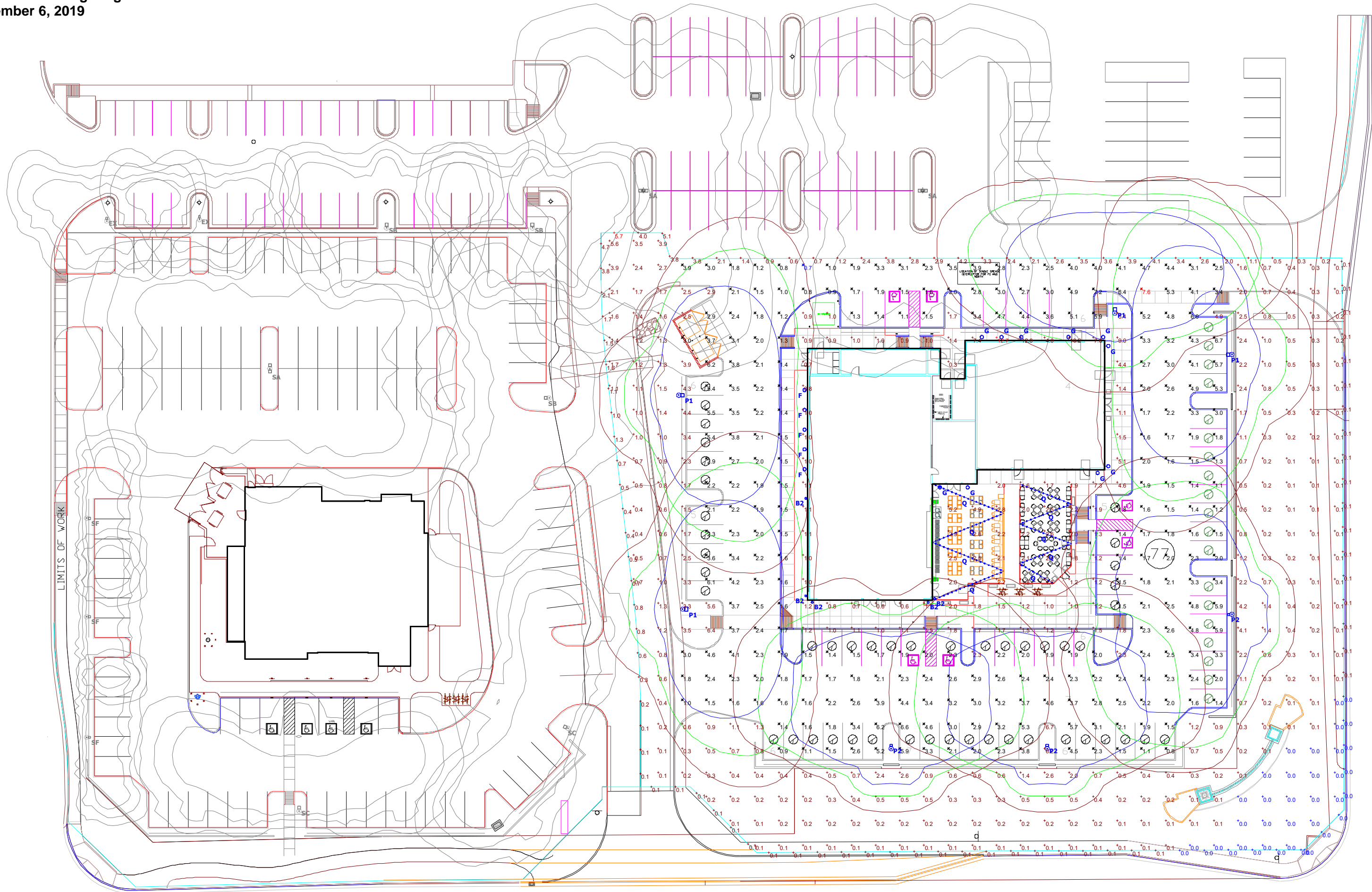
A2

FRC RESTAURANT GROUP

PROJECT ADDRESS
 CLIENT
 TEAM
 SUBMISSION PHASE
 REVISIONS
 SEALS & SIGNATURES
 SHEET NUMBER & TITLE








Flower Child & North Italia - Gilbert, AZ (Santan Village)
Site Lighting Photometric Calculation









Plan View
Scale - 1" = 25'

Designer
Adam Carrier
Date
9/3/2019
Scale
Not to Scale
Drawing No.
Summary

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Overall Site Light Levels	+	1.8 fc	12.7 fc	0.0 fc	N/A	N/A
Parking Lot Light Levels	*	2.7 fc	7.6 fc	0.7 fc	10.9:1	3.9:1
Property Line Light Levels	+	1.0 fc	5.7 fc	0.0 fc	N/A	N/A

Existing Schedule									
Symbol	Label	Qty	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	SA	3	KSE2-250M-R3-SCWA -P04/SSS-23FT (Double HEAD)	EXISTING Double Head D180 Lithonia Lighting KSE2 Series 250w Metal Halide Area Unit w/Type R3 Distribution (23ft. Site Pole w/2ft. Concrete Base)	(2) - 250W ED28 PSMH	1	25000	0.81	576
	SB	3	KSE2-250M-R3-SCWA-SP04/SSS-23FT (SINGLE HEAD)	EXISTING Single Head Lithonia Lighting KSE2 Series 250w Metal Halide Area Unit w/Type R3 Distribution (23ft. Site Pole w/2ft. Concrete Base)	(1) - 250W ED28 PSMH	1	25000	0.81	288
	SC	2	KSE2-250M-R3-HS-SCWA-SP04/SSS-23FT (SINGLE HEAD)	EXISTING Single Head Lithonia Lighting KSE2 Series 250w Metal Halide Area Unit w/Type R3 Distribution (23ft. Site Pole w/2ft. Concrete Base) HOUSE SIDE SHIELDING	(1) - 250W ED28 PSMH	1	25000	0.81	288
	SF	3	KSE1-100M-R3-HS/SSS-12FT (SINGLE HEAD)	EXISTING Single Head Lithonia Lighting KSE1 Series 100w Metal Halide Area Unit w/Type R3 Distribution (12ft. Site Pole w/2ft. Concrete Base) HOUSE SIDE SHIELDING	(1) - 100W E17 MH	1	8500	0.81	140
	EX	2	KSE1-100M-R3	EXISTING Single Head Lithonia Lighting KSE1 Series 100w Metal Halide Area Unit w/Type R3 Distribution (12ft. Site Pole w/2ft. Concrete Base)	(1) - 100W E17 MH	1	8500	0.81	140

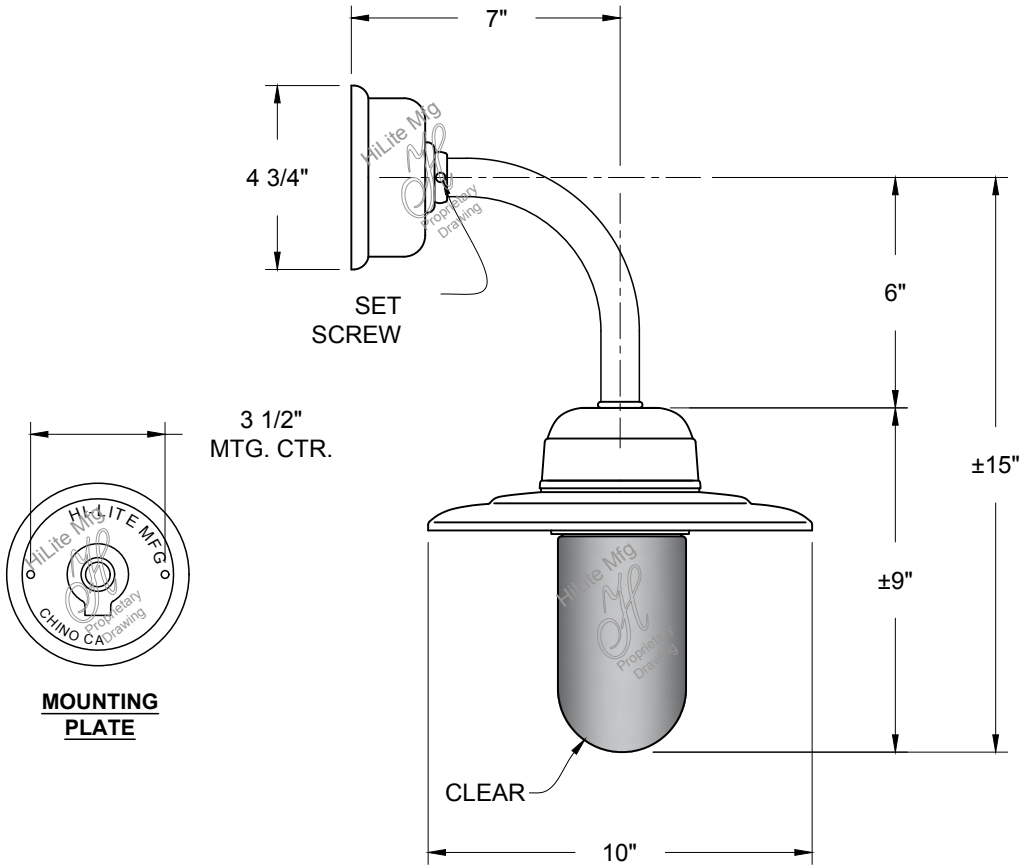
North/Flower Child Schedule									
Symbol	Label	Qty	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	P1	4	AME-2-L-T3-144LC-3-3K-UNV	Visionaire Lighting LLC American Series LED Area Unit w/Type T3 Distribution (25ft. Fixture Mounting Height)	LED/3000K	1	18638	0.91	154
	P2	3	AME-2-L-T4-144LC-3-3K-UNV	Visionaire Lighting LLC American Series LED Area Unit w/Type T4 Distribution (25ft. Fixture Mounting Height)	LED/3000K	1	18162	0.91	154
	B2	5	H-NIVLC10KCD	Hi-Lite Manufacturing Custom Brass Finish (Shade, Arm & DCC) Clear Glass 10in Shade w/Bulbrite Decorative Filament Lamp (10ft. Mounting Height)	NOS25-VICTOR	1	50	1	25
	F	5	H-NIVLCT896L	Hi-Lite Manufacturing Custom North Italia Gooseneck Wall Sconce Unit (23.75in. OAH x 19.5in. D) White Inside/Black Outside (10ft. Mounting Height)	NOS25-VICTOR	1	50	1	25
	G	10	H-15116-148/HL-A-148/WGR-96/31/LED2/30/BCM-M	Hi-Lite Manufacturing Custom Flowe Child Gooseneck Wall Sconce Unit (16in Diameter Shade) Emerald Green Finish w/Galvanized Wire Guard (7ft. Mounting Height)	NOS25-VICTOR	1	3000	1	31
	Q	9	LSM2448BKF	Sival Linear Decorative Exterior Patio String Lighting w/Archipelago S14 Series Decorative LED Filament Style Party Lamps (Bulbs 2ft. on Center & 10ft. Mounting Height)	LTS14C10024MB	1	100	1	1



HI-LITE MFG. CO., INC.

13450 Monte Vista Avenue
 Chino, California 91710
 Telephone: (909) 465-1999
 Toll Free: (800) 465-0211
 Fax: (909) 465-0907
 www.hilitemfg.com

JOB NAME:	North Italia	
SCALE:	N.T.S.	Type B2
DRAWN BY:	S.M.-D	
SHEET:	Proprietary Drawing	REV:



Item Number	Wattage	Voltage
H-NIVLC10KCD	25W Max	120V

Finish
 Custom Brass Finish (Shade,
 Arm & DCC)
 Clear (Glass)

Mounting
 Wall Mount

Lamp/Socket
 1-Medium Base INC

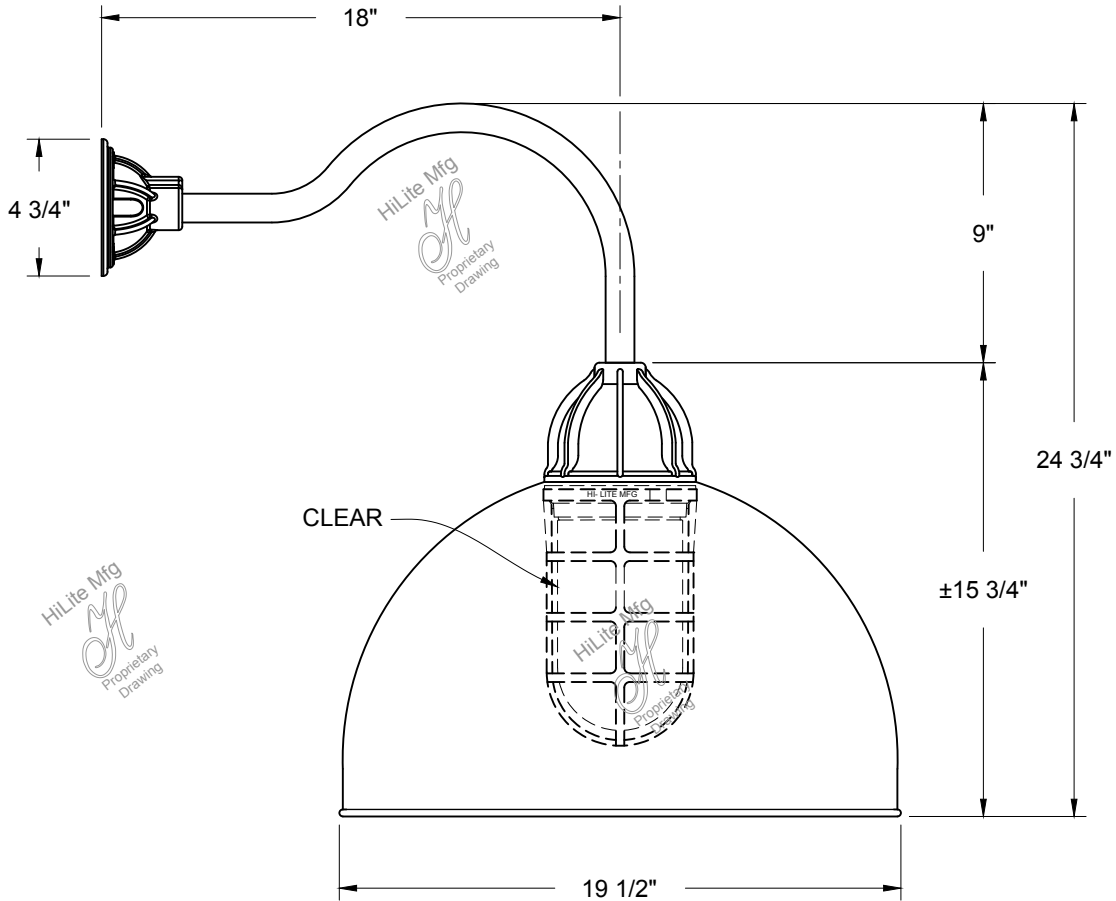
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 www.hilitemfg.com

JOB NAME: North Italia		
SCALE: N.T.S.	DATE: 05/07/2018	TYPE: F
DRAWN BY: S.M.-D	QTY: 1	REV:
SHEET:		



Item Number	Wattage	Voltage
H-NIVLCT896L	25W MAX	120V

Finish
 91-Black (Exterior of Fixture & Arm)
 93-White (Interior of Fixture)
 Clear (Glass)

Mounting
 Wall Mount

Lamp/Socket
 1-Medium Base INC

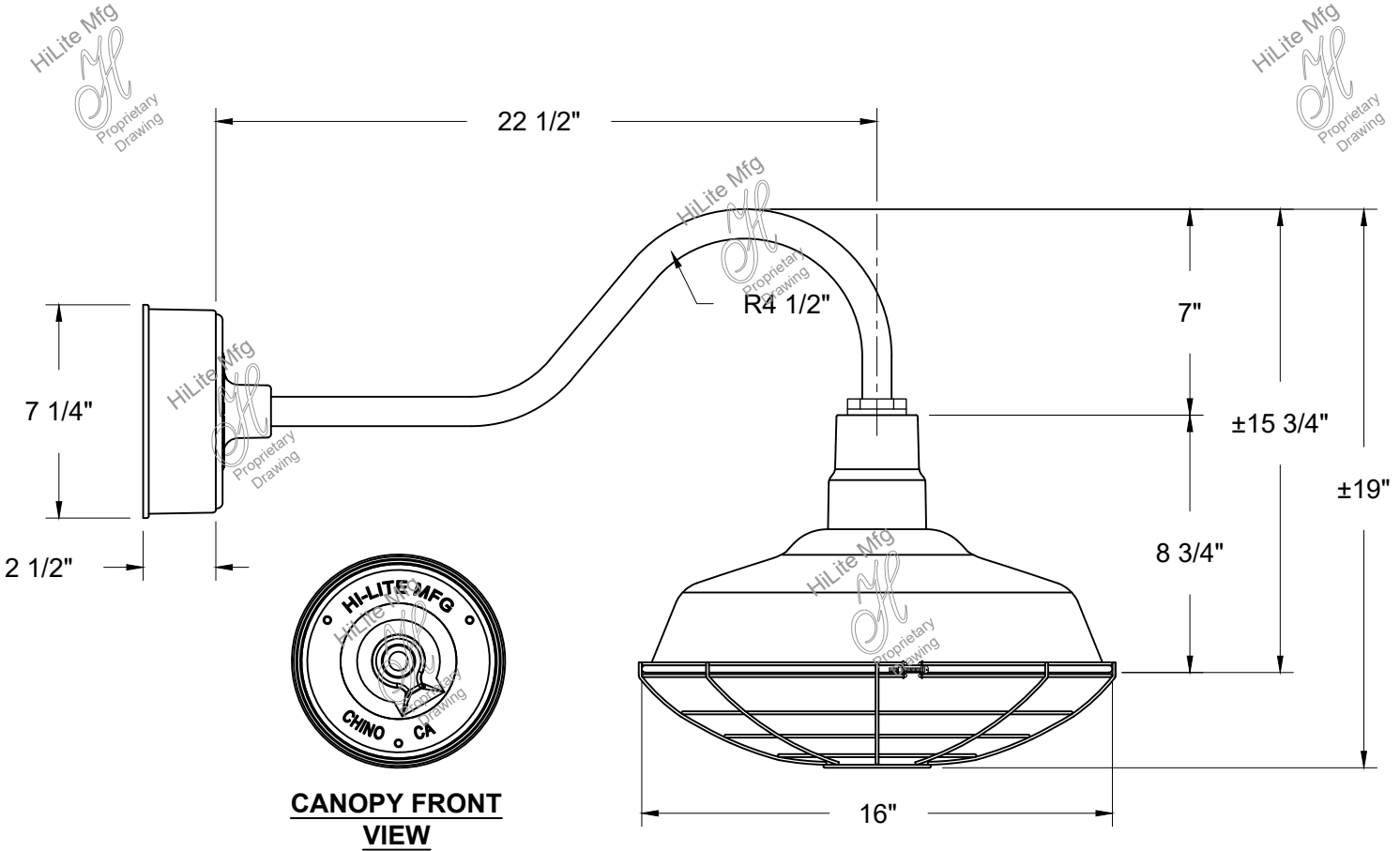
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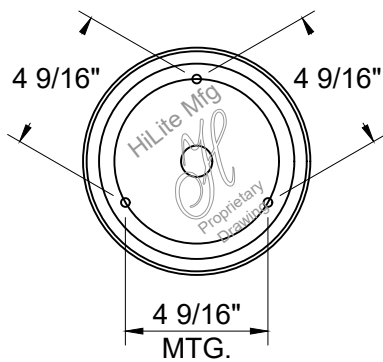
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JOB NAME: FLOWER CHILD		
SCALE: N.T.S.	DATE: 04/15/2019	TYPE: G
DRAWN BY: S.M.-D	QTY:	REV:
SHEET:		



CANOPY FRONT VIEW



CANOPY BACK VIEW



Item Number	Wattage	Voltage
H-VLFC65A36393L3	31W	120/277V

Finish
 140-Mallard Green (Exterior of Fixture & Arm)
 93-White (Interior of Fixture)
 96-Galvanized (Wire Guard)

Mounting
 Wall Mount

Lamp/Socket
 31W LED2 3000 Lumens, 3000K

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American LED

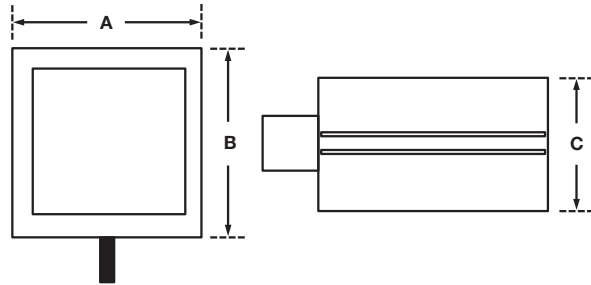
Project Name:
SanTan

Catalog Number:
AME-2-L-T3-144LC-3-3K-UNV

Type
P1



Dimensional Drawings



Fixture	A	B	C	Stripe	Max. Watts	Lbs.
AME-2-L	19"	19"	12"	2"	238 W	29
AME-4-L	23"	23"	15"	2"	373 W	68

The new American LED Luminaire from Visionaire combines contemporary design with new LED technology; while maintaining a traditional fixture image. The LEDs Performance and Life are maximized by the unique integral aluminum heat sink built into the door frame. Maintenance of the drivers is simplified by making them easily accessible and provided with quick wiring connections.

72, 144 or 224 LEDs are available in 350 or 530 mA rating providing up to 33,000 lumens. Six optical distribution patterns

are available and feature a unique Type T-4A automotive pattern for the front row of auto dealerships. Choose between 3000, 4000 or 5000 Kelvin temperature of the LEDs.

A durable Polyester powder coat finish is guaranteed for five years; and is available in standard or custom colors.

The American LED series is an exceptional choice for auto dealerships, shopping centers, commercial parking lots and general parking area lighting.

AME-2-L	T3	144LC	3	3K	UNV			
Model	Optics	Source	Current	Kelvin	Voltage	Mounting	Finish	Options
AME-2-L	Type II (T2)	# of LEDs 72 (72LC)	mA 350 (3)	3000K *Warm white (3K)	120-277 *Universal voltage (UNV)	Bolt-On Arm 6" (BOA6)	Bronze (BZ)	Photocell & Receptacle *Specify Voltage (PCR120) (PCR208) (PCR240) (PCR277) *Specify BOA or Spider Mount Photo & Receptacle with shorting cap (PER) *Specify BOA or Spider Mount Button Type Photocell *Specify Voltage (PC120) (PC208) (PC240) (PC277) House Side Light Shield (LS) Round Pole Plate Adapter (RPP) 0-10v Dimming Driver No Controls (DIM) Wireless Controls Consult Factory (WS) Motion Sensor/Control Watt Stopper FSP-211 8" Mounting Height Must specify Dimming Driver. *120V-277V Only (WSC-8) 8" Mounting Height (WSC-20) 9-20" Mounting Height (WSC-40) 21-40" Mounting Height This option will require (1) FSIR 100 remote for programming Motion Sensor (MS-8) 8" Mounting Height (MS-20) 9-20" Mounting Height (MS-40) 21-40" Mounting Height
	Type III (T3)		530 (5)	4000K *Neutral white (4K)	480 (5)	Bolt-On Arm 10" (BOA10)	Black (BK)	
AME-4-L	Type IV (T4)	224 (224LC)	530 (5)	5000K *Cool white (5K)	347 (8)	Knuckle Mount (KM)	Smooth Black (SBK)	
	Type IV-A (T4A)					White (WH)		
	Type V (T5)					Smooth White (SWH)		
	Type V-W (T5W)					Graphite (GP)		
						Wall Mount *Cast Wall Plate (BAWP) to be ordered separately (WM)	White (WH)	
						Spider Mount *Fits 2 3/8" O.D. (SM)	Smooth White (SWH)	
							Graphite (GP)	
							Grey (GY)	
							Silver Metallic (SL)	
							Custom Color (CC)	
						Round Pole Plate Adaptors (RPP) are to be ordered separately.		

For more detailed information on mounting, wiring or installation instructions, please consult factory. If poles are not ordered with fixtures, please specify mounting requirements. This document contains proprietary information of Visionaire Lighting, LLC. Any use of this information requires the written approval of Visionaire Lighting, LLC. In keeping with our TQM policy of continuous improvement, Visionaire reserves the right to change any specifications contained herein without prior notice.

American LED

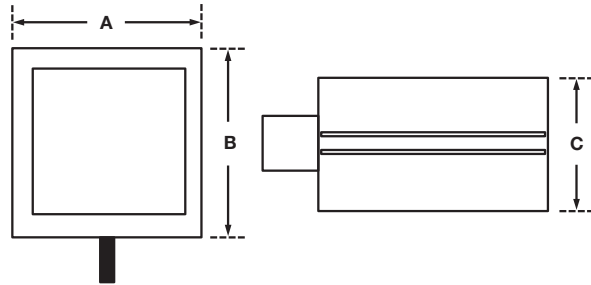
Project Name:
SanTan

Catalog Number:
AME-2-L-T3-144LC-3-3K-UNV

Type
P1



Dimensional Drawings



Fixture	A	B	C	Stripe	Max. Watts	Lbs.
AME-2-L	19"	19"	12"	2"	238 W	29
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	Type III (T3)		530 (5)	4000K *Neutral white (4K)	480 (5)	Knuckle Mount (KM)	Black (BK)	
AME-4-L	Type IV (T4)	224 (224LC)	530 (5)	5000K *Cool white (5K)	347 (8)	Wall Mount *Cast Wall Plate (BAWP) to be ordered separately (WM)	Smooth Black (SBK)	Round Pole Plate Adaptors (RPP) are to be ordered separately.
	Type IV-A (T4A)					White (WH)		
	Type V (T5)					Smooth White (SWH)		
	Type V-W (T5W)					Graphite (GP)		
						Spider Mount *Fits 2 3/8" O.D. (SM)	Grey (GY)	
							Silver Metallic (SL)	
							Custom Color (CC)	

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- Commercial Grade Patio Light String, MEDIUM base sockets



Click on pictures above to view larger versions.

Options available for Patio Light Strings:

Cord Color

- Black
- Green
- White

Length

- 54 ft (24 sockets) includes 6' lead - **Not** end-to-end connectable
- 106 ft (50 sockets) includes 6' lead - **Not** end-to-end connectable
- 330 ft (165 sockets) - **No** male plug



Click on pictures above to view larger versions.

Suspended Socket Option:







- **Suspended Socket** - The suspended socket provides an eyelet for cable wires to go through to provide additional support to hold up the string lights. The socket and the main wire are connected by a suspensor, which lowers the socket to help provide better illumination. To the right are close-up pictures of the light string with suspended sockets.
- **In-Line Socket** - Main wire goes directly into the socket - there is no eyelet for a supporting cable and no suspensor hanging the socket lower.

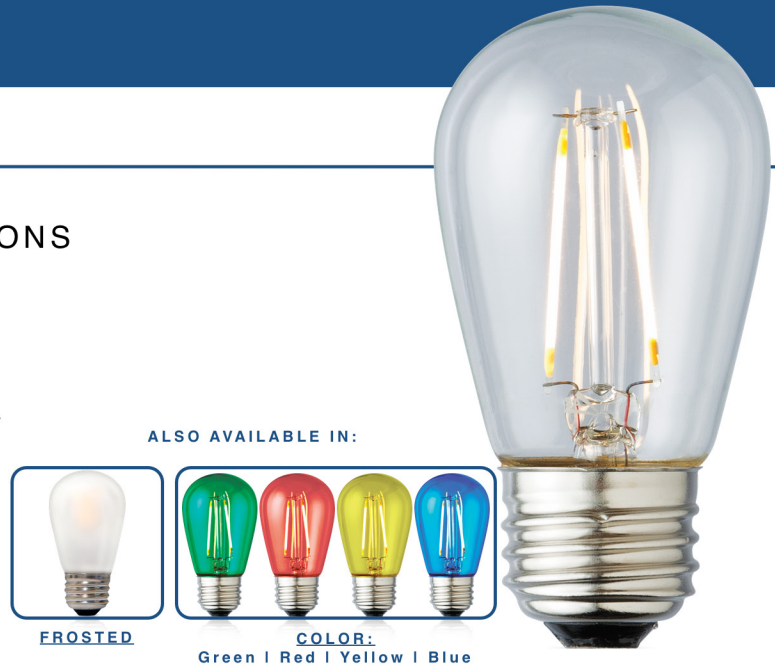
Features:

- These popular outdoor patio light strings are ideal for landscape lighting for backyards, patios, cafes, wineries and wedding tents.
- These patio string lights have **16 gauge wire (rated for 960 Watts, 8 Amps)**, [medium base sockets](#) and spacing of **24" between sockets**.
- PVC encapsulated sockets are resistant to UV sunlight exposure.
- Soft socket lips are designed to ensure a tight weather-resistant seal around the bulbs.
- These string lights are designed for both indoor (interior) and outdoor (exterior) use. Most of our customers use these products for outdoor landscape lighting.
- The 54 ft. and 106 ft. patio light strings come with a male power plug; power plug for the 330 ft. light string must be purchased separately. We recommend the UL listed [15 Amp rubber plugs](#).
- **As seen on the DIY Network show "Yard Crashers" (Episode "Backyard Living Room")**
- **As featured in the July 2009 issue of Real Simple Magazine**
- Compatible bulbs: [11S14](#) (11W), [A15](#) (15W), [G50](#) (15W), [LED S14 and LED G50](#)

FILAMENT LED
7-15 Watt
REPLACEMENT

AS LOW AS 1.0W

-  SUITABLE FOR WET LOCATIONS
-  ENCLOSED RATED
-  25,000 HOURS RATED LIFE
-  3-YEAR LIMITED WARRANTY
-  360° LIGHT DISTRIBUTION
-  UL LISTED



Ordering Information (S14)

Model Number	Type	Base	Lumens	Wattage	MOL MOD	CCT	CRI
LTS14C10024MB	Glass Clear	E26 Medium	100LM	1.0W	3.3" 1.7"	2400K	83
LTS14C10027MB	Glass Clear	E26 Medium	100LM	1.0W	3.3" 1.7"	2700K	83
LTS14C15024MB	Glass Clear	E26 Medium	150LM	1.5W	3.3" 1.7"	2400K	83
LTS14C15027MB	Glass Clear	E26 Medium	150LM	1.5W	3.3" 1.7"	2700K	83
LTS14F10024MB	Glass Frosted	E26 Medium	100LM	1.0W	3.3" 1.7"	2400K	83
LTS14F10027MB	Glass Frosted	E26 Medium	100LM	1.0W	3.3" 1.7"	2700K	83
LTS14F15024MB	Glass Frosted	E26 Medium	150LM	1.5W	3.3" 1.7"	2400K	83
LTS14F15027MB	Glass Frosted	E26 Medium	150LM	1.5W	3.3" 1.7"	2700K	83
LTS14CB	Glass Clear Blue	E26 Medium	—	1.0W	3.3" 1.7"	—	83
LTS14CG	Glass Clear Green	E26 Medium	—	1.0W	3.3" 1.7"	—	83
LTS14CR	Glass Clear Red	E26 Medium	—	1.0W	3.3" 1.7"	—	83
LTS14CY	Glass Clear Yellow	E26 Medium	—	1.0W	3.3" 1.7"	—	83
LTS14FB	Glass Frosted Blue	E26 Medium	—	1.0W	3.3" 1.7"	—	83
LTS14FG	Glass Frosted Green	E26 Medium	—	1.0W	3.3" 1.7"	—	83
LTS14FR	Glass Frosted Red	E26 Medium	—	1.0W	3.3" 1.7"	—	83
LTS14FY	Glass Frosted Yellow	E26 Medium	—	1.0W	3.3" 1.7"	—	83

