



8

## Planning Commission Study Session

**TO:** PLANNING COMMISSION / DESIGN REVIEW BOARD

**FROM:** KEITH NEWMAN, PLANNER II *KW*  
(480) 503-6812, KEITH.NEWMAN@GILBERTAZ.GOV

**THROUGH:** AMY TEMES, INTERIM PRINCIPAL PLANNER *AT*  
(480) 503-6729, AMY.TEMES@GILBERTAZ.GOV

**MEETING DATE:** DECEMBER 5, 2018

**SUBJECT:** UP18-25 & DR18-163: GILBERT RECYCLING CENTER

**STRATEGIC INITIATIVE:** Economic Development

Encourage development of land designated in the General Plan for Employment uses.

### REQUEST

UP18-25: Gilbert Recycling Center - a Conditional Use Permit for approximately 3.27 acres of real property located south of the southwest corner of Baseline Road and McQueen Road to allow a salvage yard in the General Industrial (GI) zoning district.

DR18-163: Gilbert Recycling Center - Site plan, landscape, grading and drainage, elevations, floor plans, lighting, colors and materials for approximately 3.27 acres, generally located south of the southwest corner of Baseline Road and McQueen Road and zoned General Industrial (GI).

### RECOMMENDED MOTION

Request for input only. No motion required.

**APPLICANT/OWNER**

Company: POCA Architecture & Design, LLC    Name: Henry Baldenegro  
Name: Paul O’Connor    Address: 2332 E. Bishop Dr.  
Address: 8686 N. Central Avenue, Suite 212    Phoenix, Arizona 85020  
                    Tempe, Arizona 85282  
Phone: 602-790-9935  
Email: poconnor@POCAaz.com

**BACKGROUND/DISCUSSION**

**History**

<b>Date</b>	<b>Description</b>
<i>June 5, 1984</i>	Town Council approved A83-02 (Ordinance No. 377), annexing approximately 2,085 acres into the Town of Gilbert, including the subject site.

**Overview**

The applicant is proposing to develop a new salvage yard on the currently vacant site including the construction of two new buildings (3,320 sq.ft. office/warehouse and 2,000 sq.ft. processing building) to be used for office space, temporary storage, processing and recycling of metal materials. The site has historically been used for farming operations and equipment/materials storage since the 1940’s. The subject land for the proposed development is generally located approx. 1,000 feet south of the southwest corner of Baseline Road and McQueen Road and is composed of two lots that total approximately 3.27 acres. The site is zoned General Industrial (GI) for heavy industrial uses.

**Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
North	General Industrial (GI)	General Industrial (GI)	Storage yards for rent
South	General Industrial (GI) and Public Facility/Institutional (PF/I)	General Industrial (GI) and Public Facility/Institutional (PF/I)	Union Pacific Railroad then Kokopelli Golf Club
East	General Industrial (GI)	General Industrial (GI)	McQueen Road then Alonso Tire Shop and Henry Products
West	General Industrial (GI)	General Industrial (GI)	Union Pacific Railroad then vacant land
Site	General Industrial (GI)	General Industrial (GI)	Vacant land

**Project Data Table**

<b>Site Development Regulations</b>	<b>Required per LDC</b>	<b>Proposed</b>
Maximum Building Height (ft.)/(Stories)	--	20'
Minimum Building Setbacks (ft.)		
Front	35'	35'
Side (Employment)	0'	35'
Rear (Employment)	0'	72'
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	25'
Side (Employment)	0'	0'
Rear (Employment)	0'	0'
Landscaping (% of lot area)	--	8.5%
Off-Street Parking and Loading	170 office space = 1 5,150 warehouse = 5 6 total spaces	10 spaces

**DISCUSSION:**

The project has completed first review and comments have been sent to the applicant. Staff is bringing the project forward to Study Session to receive general Planning Commission/DRB input about the proposed buildings and overall site design.

**Site Plan:**

The site will have one primary access point off of McQueen Road at the south end, and an emergency access at the north end. All customers will enter the site at the primary entrance and proceed westbound along the southern boundary to the scale where all metal materials will be weighed, unloaded and temporarily stored in the storage yard areas, after which point they will be separated out and cut into smaller pieces for recycling elsewhere. All of the processing will take place in the two proposed buildings.

The surfacing for the storage yard is still being evaluated by Staff and will contain piles of metal materials. The applicant has stated that all storage piles will not exceed the height of the perimeter fencing. Pedestrian access to the site will take place from an existing sidewalk along McQueen Road.

The site fencing includes an 8' high CMU wall along the entire frontage of McQueen Road and a portion of the southern property line. Fencing along the northern property line is 6' high chain link with opaque mesh screening from the adjacent storage yard business. Existing fencing along the south western property line adjacent to the railroad is 6' high chain link with razor wire. During first review Staff has asked the applicant to remove a portion of the fencing and provide an 8' high CMU wall to the midpoint of the property line as it is highly visible from the public along McQueen Road. Both site entrances will have opaque gates and will be setback from the property line 50' meeting all town requirements. All proposed wall colors and materials are still

being evaluated by staff.

Based on the parking ratios for salvage yards and warehousing space, 6 parking spaces are required and 10 spaces are provided. Four bicycle parking spaces are required and have not yet been shown on the site plan. Staff has requested the applicant show their location.

**Landscaping:**

Site landscaping is primarily proposed along the McQueen Road Street frontage within the required 25' wide landscape setback area. Landscaping is not proposed within the interior areas of the site as it will be completely screened from McQueen Road, along the northern boundary and a majority of the southern boundary. The only remaining area that would not be screened is the far southwest corner of the site adjacent to the railroad and a very small vacant piece of property on the south of the railroad owned by the current property owner, which will not be part of this development and may potentially be developed at a later date. South of this property is the Kokopelli Golf Club, which appears to have landscaping and berming that will help in screening the site.

During the first review Staff has recommended that the applicant provide foundation landscaping around the office/warehouse building and landscaping in the parking area.

**Grading and Drainage:**

Runoff as required by the Town will be routed to retention basins at the back of the property and along McQueen Road. Town Engineering Staff is in the process of analyzing all proposed site grading and drainage.

**Elevations/Floor Plan/Colors and Materials:**

The proposed buildings will be 15' tall and 20' tall and consist of a metal façade and metal roofing. The roofing is slightly pitched and general massing is flat on all sides. The office/warehouse building has metal accent paneling on the west and east sides and is completely open on the north and south sides with the office portion located on the west side. The processing building located along McQueen Road is four sided containing some windows; roll up doors and metal accent paneling on the east elevation facing the street. The proposed color palette consists of brown as the main body color, gray roofing and green for the metal accent paneling.

During first review, staff has expressed concern over the lack of vertical massing, horizontal massing, roofline variation, blank walls with no articulation, and the use of a shipping container on the west side of the office/warehouse building. Staff is suggesting that additional visual interest be provided on all elevations of both buildings to include additional texture, color, material changes, shadow lines, and other façade treatments. Concerning the shipping container on the west elevation of the office/warehouse building, Staff is requiring that the design be completely revised and that it be designed as integral part of the main structure matching the design of the overall structure.

**Lighting:**

The only lighting on the site will be wall mounted light fixtures attached to the buildings. During first review Staff has asked that a photometric plan be provided for review.

**Signage:**

No signage is proposed with this request.

**PUBLIC NOTIFICATION AND INPUT**

The proposed project will require a public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

**REQUESTED INPUT**

1. General observations relating to overall site plan and site details
2. Lack of vertical articulation for buildings that are greater than 60' in length
3. Lack of horizontal massing on all sides but especially on the south and east sides
4. Roofline variation
5. Color variation
6. The use of a shipping container on the west elevation of the office/warehouse building

Respectfully submitted,



Keith Newman  
Planner II

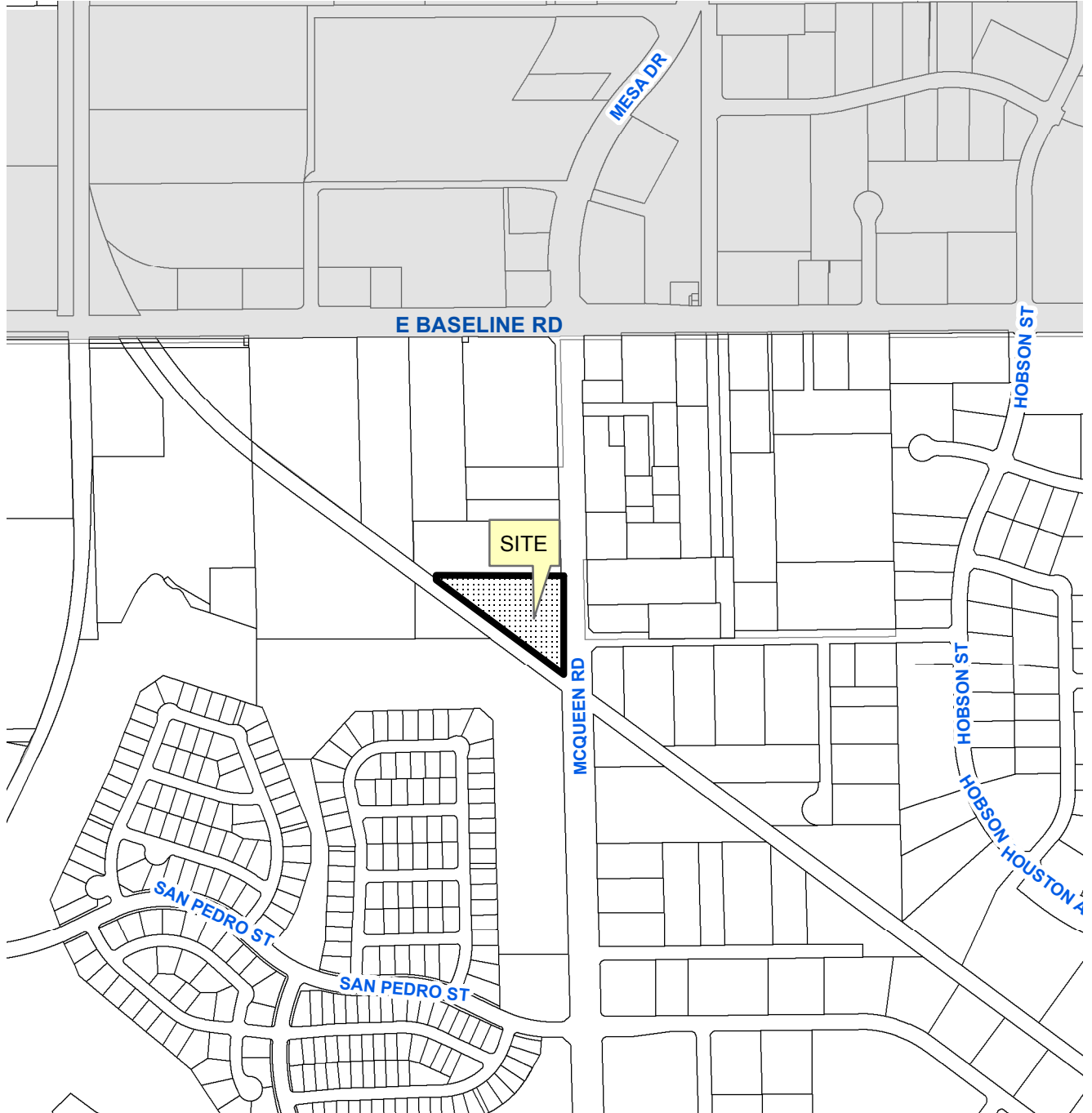
**Attachments and Enclosures:**

- 1) Vicinity Map
- 2) Aerial Photo
- 3) Site Plan
- 4) Landscape Plan
- 5) Grading and Drainage Plan
- 6) Building Elevations
- 7) Floor Plan
- 8) Colors and Materials

# UP18-25 & DR18-163 Gilbert Recycling Center

## Vicinity Map

SITE LOCATION:

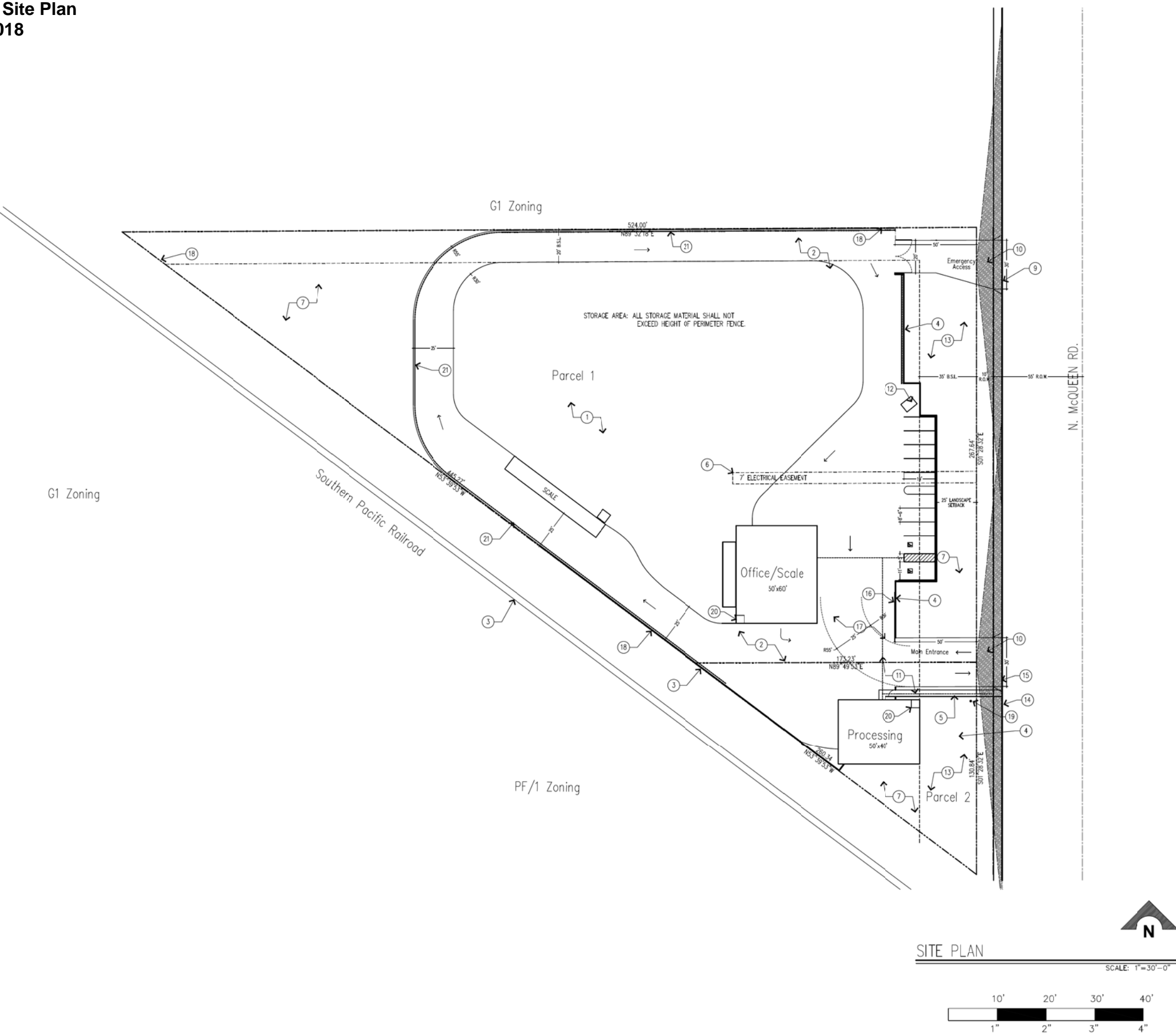


■ MESA  
□ GILBERT

0 262.5 525 1,050 Feet



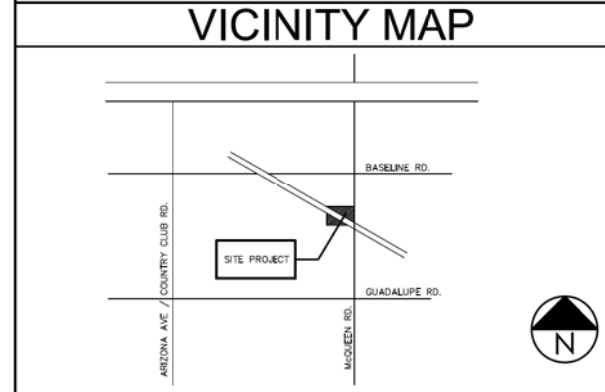




- ### SITE PLAN NOTES
- Scrap storage area.
  - Concrete fire access road to comply with 20123 IFC and section 503.
  - 8'-0" high concrete masonry wall.
  - 8'-0" high split face concrete masonry unit wall.
  - 5'-0" wide concrete sidewalk to public way.
  - Existing 7'-0" wide electrical easement.
  - Retention.
  - 8'-0" rolling opaque security gate.
  - Existing curb cut.
  - Visibility triangle per Town of Gilbert detail GIL212.
  - Accessible route to public right of way.
  - Trash enclosure per Town of Gilbert Standard.
  - Landscaping.
  - Existing concrete curb and sidewalk.
  - New 30'-0" wide curb cut and driveway.
  - Rolling opaque security gate.
  - Semi-truck turning radius.
  - 8'-0" high chain link fence.
  - Fire department connection.
  - Fire riser room with back flow preventer.
  - Fire lane complying with 2012 IFC and regulation 12-0103.6R.

### PROJECT DATA

Project: Recycling Plant for I Buy Scrap Recycling  
 Project Applicant: I Buy Scrap Recycling  
 1110 East Gilbert Drive  
 Tempe, AZ 85281  
 Project Address: 1423 North McQueen Road  
 Zoning: G1  
 Land Use: Industrial  
 Assessor Parcel Number: 302-10-002 & 302-10-003  
 Lot Area:  
 Parcel 1: 131,167 net 65' ROW square feet (3.011 acres)  
 Parcel 2: 11,330 net 65' ROW square feet (0.26 acres)  
 Building Square Footage:  
 Processing Building: 4,400 square feet  
 Office/Warehouse Building: 2,400 square feet  
 Total: 6,800 square feet  
 Lot Coverage: 5.7%  
 Building Height: +20'-0"  
 Occupancy: F  
 Construction type: 1B  
 Parking Required:  
 Office: 750 s.f./250 = 3 spaces  
 Warehouse: 6,650 s.f./1,000 = 7 spaces  
 Total: 10 spaces  
 Parking Provided: 8 spaces plus 2 loading spaces  
 Utilities: Water and Sewer: Town of Gilbert  
 Electric: Salt River Project  
 Gas: Southwest Gas  
 Cable: Cox  
 Project Narrative:  
 Project is a recycling plant that processes scrap metal for recycling. Customers deliver metal debris to the facility where it is separated and resold to other companies for reprocessing.  
 • Storage material will be delivered into central storage area and will be separated out for recycling. Storage height will not exceed the height of the perimeter fence.  
 • Office / Scale building will be for delivering and weighing of smaller recycling material.  
 • Processing building will be for separating metal and cutting them material into smaller pieces for recycling elsewhere.  
 • All mechanical and electrical equipment shall be ground mounted and will be screened by perimeter wall.



### TOWN APPROVAL

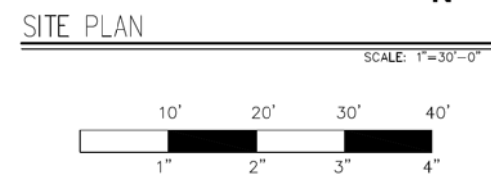
Revision:  
 Project # - 18017  
 Date - 8-12-18  
 Sheet Name:  
**Site Plan**  
**PA1**

**POCA ARCHITECTURE DESIGN**

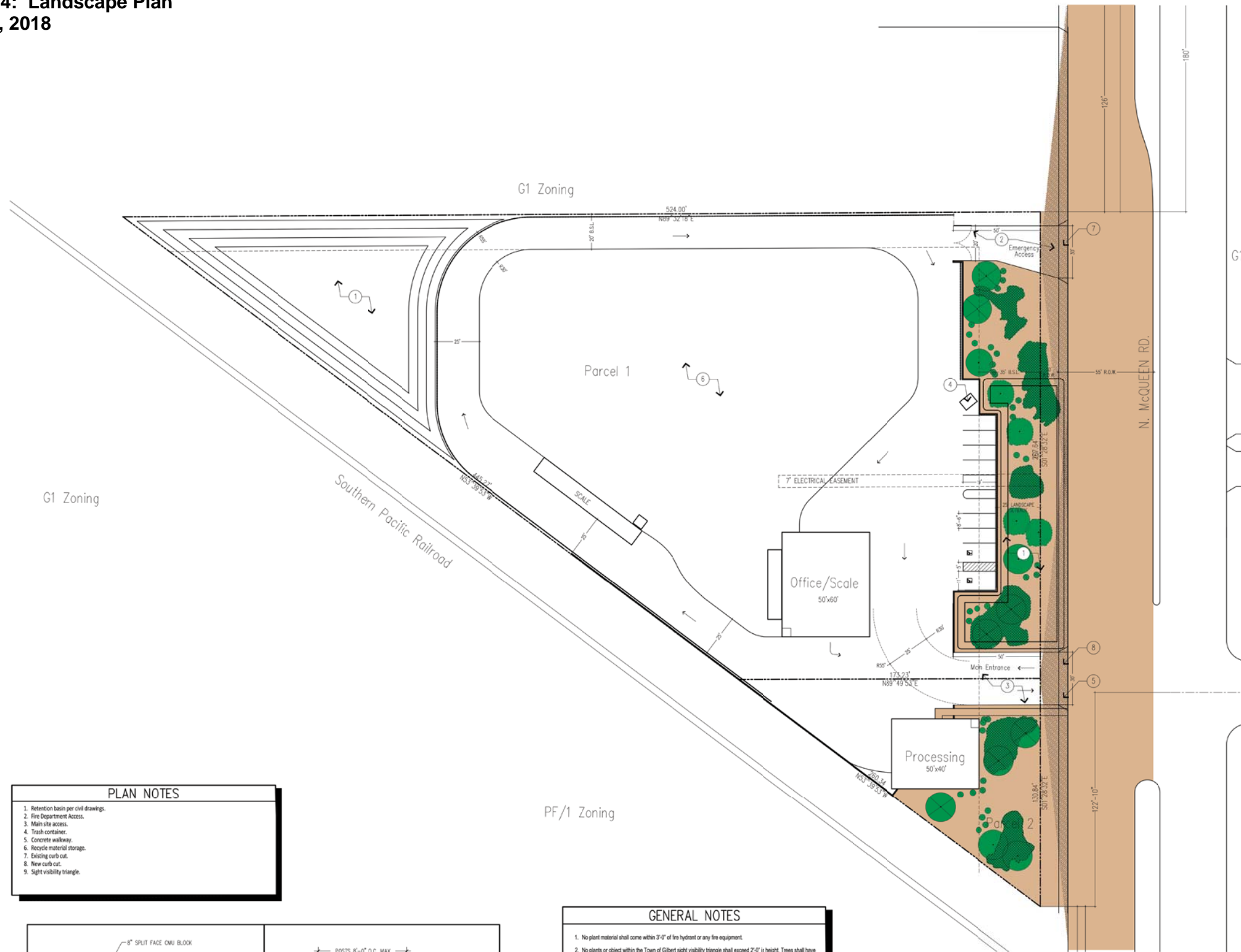
**POCA Architecture + Design, LLC**  
 8686 North Central Avenue  
 Suite 212  
 Phoenix, Arizona 85020  
 pocannor@POCAaz.com  
 602-790-9935

**Gilbert Recycling**  
 1450 N McQueen Rd.  
 Gilbert, AZ 85233  
 APN: 302-10-003

Professional Seal: **POCA ARCHITECTURE DESIGN**, License No. 15002, State of Arizona, Exp. 12/31/2018

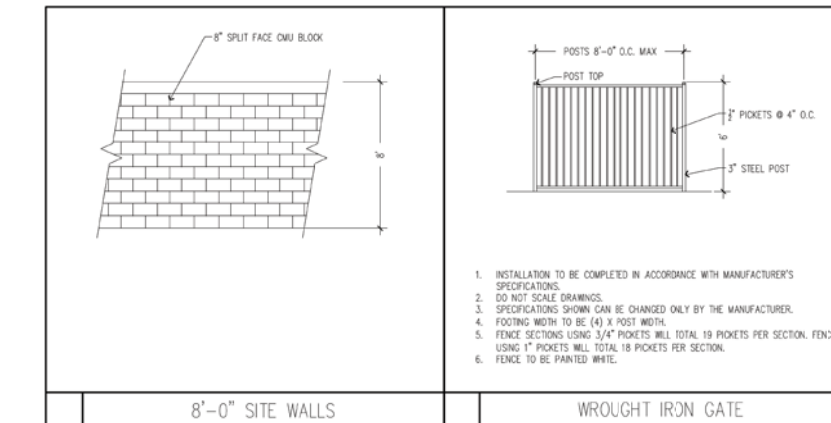






**PLAN NOTES**

1. Retention basin per civil drawings.
2. Fire Department Access.
3. Main site access.
4. Trash container.
5. Concrete walkway.
6. Recycle material storage.
7. Existing curb cut.
8. New curb cut.
9. Sight visibility triangle.



**GENERAL NOTES**

1. No plant material shall come within 3'-0" of fire hydrant or any fire equipment.
2. No plants or object within the Town of Gilbert sight visibility triangle shall exceed 2'-0" in height. Trees shall have a 7'-0" height minimum clear canopy.
3. All trees, shrubs or ground cover shall meet or exceed Arizona Nursery Association (ANA) Specifications.
4. All landscape areas and material shall be maintained in a healthy, neat, clean and weed free condition. This shall be the responsibility of the property owner.

**LANDSCAPE SITE SQUARE FOOTAGE**

A. On site landscaping	12348
B. Public roll landscaping	5302
<b>Total</b>	<b>17650</b>

**PROJECT DATA**

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**VICINITY MAP**



**LANDSCAPE LEGEND**

	PINUS ELДАРICA MONDEL PINE	50% - 24" BOX MIN. 10' HT, 4.5' SP, 1-1/2" CAL	7 TOTAL
	SCHIMUS TEREBINTHFOLIUS BRAZILLIAN PEPPER TREE	50% - 24" BOX MIN. 10' HT, 4.5' SP, 1-1/2" CAL	3 TOTAL
	CHITALPE TESHKENSS CHITALPE	50% - 24" BOX MIN. 10' HT, 4.5' SP, 1-1/2" CAL	3 TOTAL
	WEDELIA TRILOBATA	1 GALLON @ 3' OC	2,8 SF
	CALLISTEMON VIMINOLIS LITTLE JOHN BOTTLE BRUSH	5 GALLON	7 TOTAL
	CAESALPINIA PULCHERRIMA RED BIRD OF PARADISE	5 GALLON	12 TOTAL
	LEUCOPHILUM LANGMANIA RB RIO BRAVO SAGE	5 GALLON	19 TOTAL

**POCA ARCHITECTURE DESIGN**

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 602-790-9935

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 1450 N McQueen Rd.  
 Gilbert, AZ 85233  
 APN: 302-10-003

Project # - 18017  
 Date - 8-12-18  
 Sheet Name:  
**Landscape Plan**

**L1**

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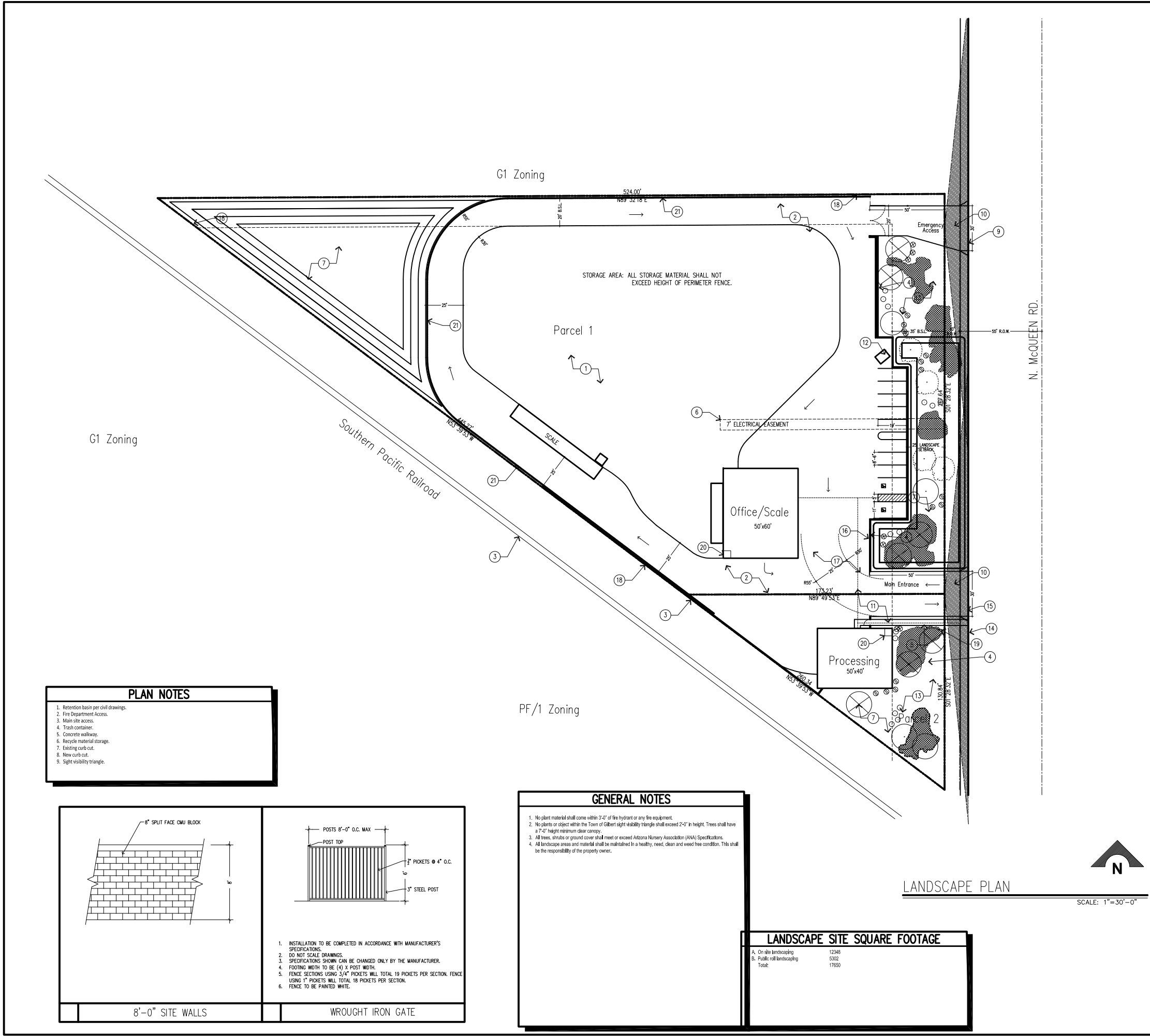
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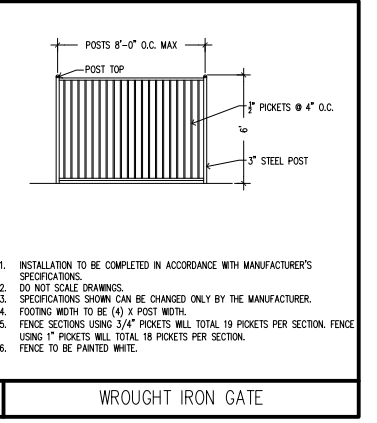
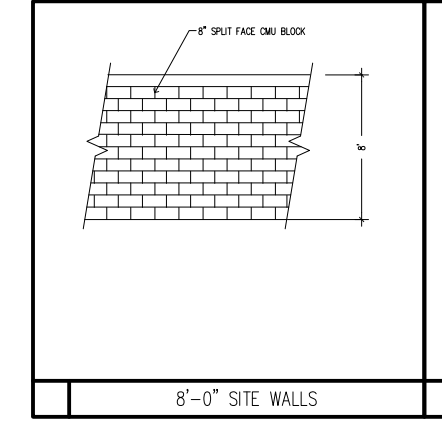
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### LANDSCAPE LEGEND

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  - Fire Department Access.
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#### LANDSCAPE SITE SQUARE FOOTAGE

A. On site landscaping	12346
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<b>Total</b>	<b>17668</b>

**POCA Architecture + Design, LLC**  
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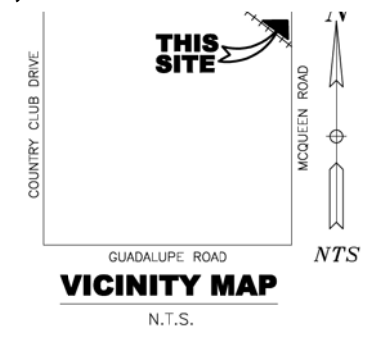
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Revision:  
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**Landscape Plan**

**L1**

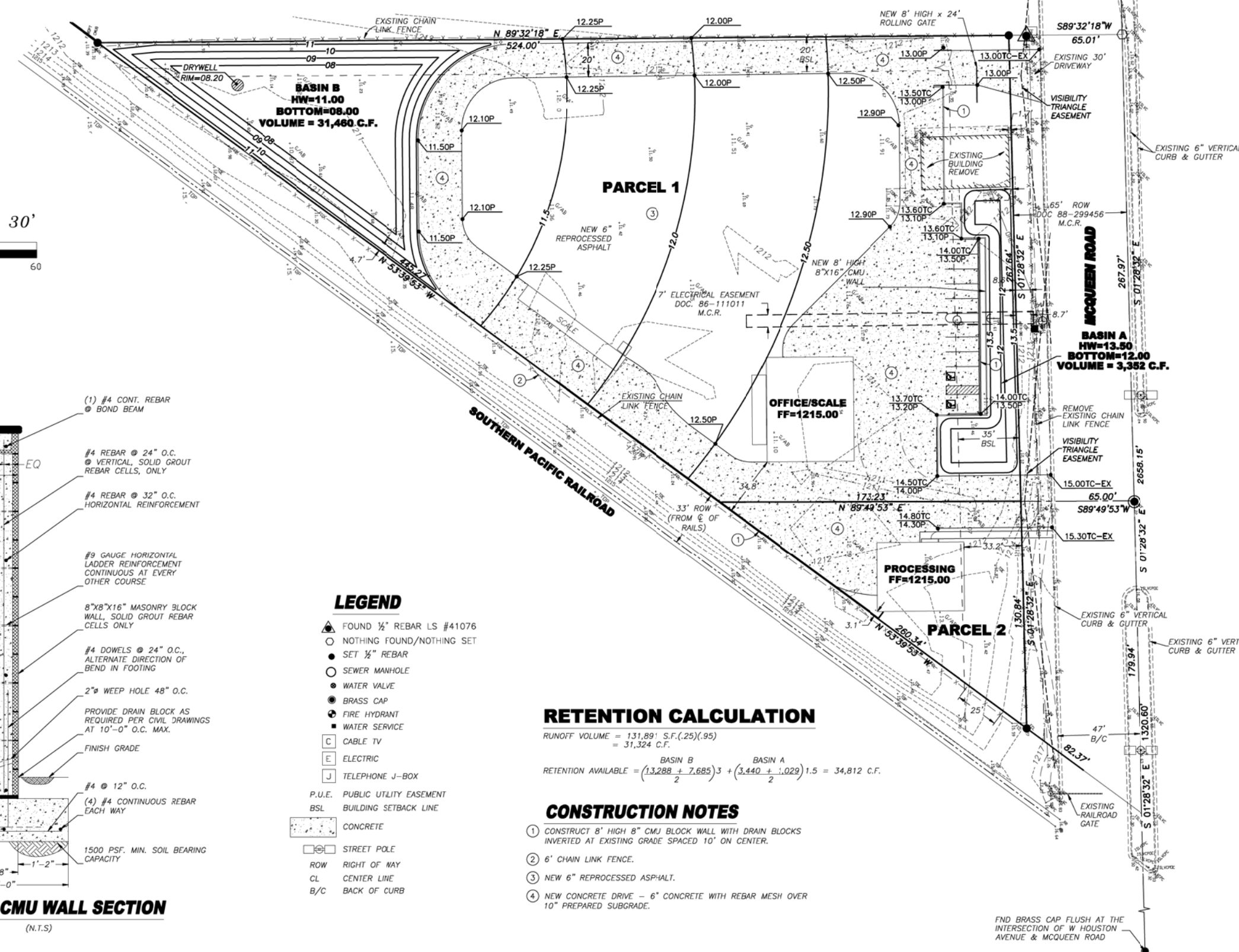
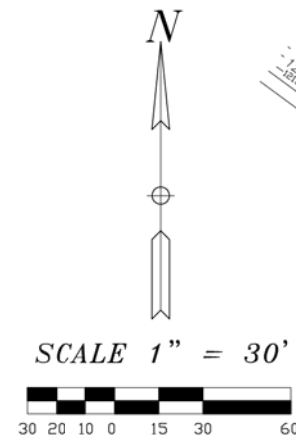
# SITE PLAN FOR GILBERT RECYCLING

**A PORTION OF THE NORTHEAST 1/4 OF SECTION 3,  
TOWNSHIP 1 SOUTH, RANGE 5 EAST OF THE G.&S.R.B.&M.,  
MARICOPA COUNTY, ARIZONA** **BASELINE ROAD**  
**1420 N. McQUEEN ROAD**



**NOTES**

1. DUE TO BEING IN FLOOD ZONE, ALL IMPORTED FILL MUST BE MATCH BY THE SAME AMOUNT OF EXPORTED CUT.
2. CONTACT TOM CONDUIT (480) 503-6815, TOWN OF GILBERT FLOOD PLAIN ADMINISTRATOR FOR RELATED REQUIREMENTS.
3. PARKING IS PROHIBITED WITHIN REQUIRED LANDSCAPE SETBACK AREAS, FIRE LANES, AND UNIMPROVED PROPERTIES.
4. OUTDOOR STORAGE IS PROHIBITED WITHIN BUILDING LANDSCAPE SETBACKS.



**LEGAL DESCRIPTION**

THE EAST ONE-HALF (E 1/2) OF LOT 1, SECTION THREE (3), TOWNSHIP ONE (1) SOUTH, RANGE FIVE (5) EAST OF THE GILA & SALT RIVER BASE AND MERIDIAN;

EXCEPT THE NORTH 1069 FEET THEREOF;  
EXCEPT ALSO THE EAST 33 FEET THEREOF FOR ROAD PURPOSES; AND  
EXCEPT ALSO RIGHTS OF WAY FOR RAILROAD, CANALS, LATERALS AND DITCHES.

**SITE DATA**

TOTAL GROSS AREA = 131,891 S.F.  
APN: 302-10-003  
NET 33' ROW AREA = 101,891 SF  
ZONING: GI  
APN: 302-10-002  
NET 33' ROW AREA = 15,930 SF  
ZONING: GI

**BASIS OF BEARINGS**

THE CENTERLINE OF N. McQUEEN ROAD BEARS SOUTH 01°28'32" EAST ACCORDING TO BOOK 887 OF MAPS, PAGE 33.

**OWNER**

BALDENEGRO HENRY E/DOUGLAS NERENE TR.  
2332 E. BISHOP DRIVE  
TEMPE, ARIZONA 85282

**BENCHMARK**

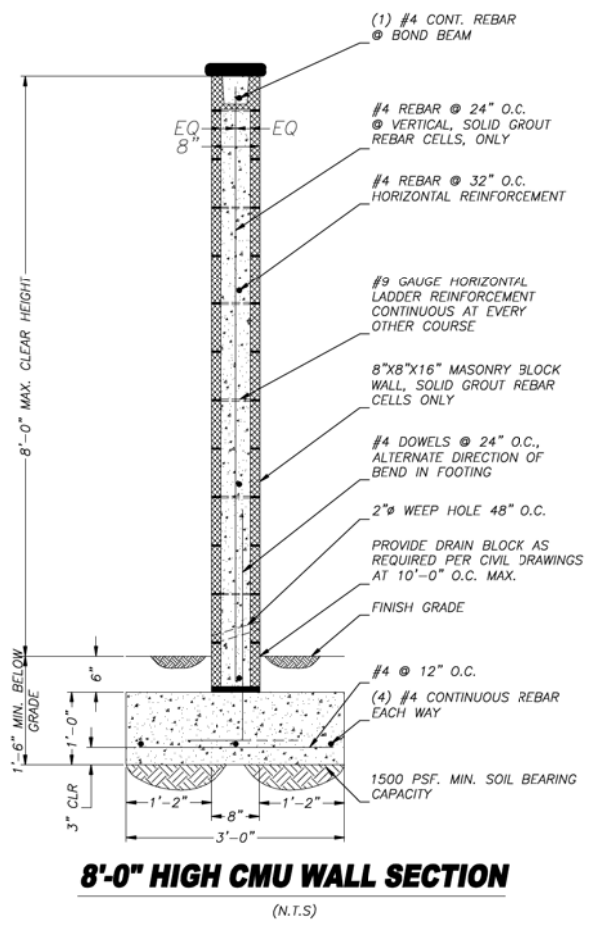
FND 3" TOWN OF GILBERT BRASS CAP  
FLUSH NOT STAMPED.  
NAVD '88 ELEVATION = 1211.802

**FLOOD NOTE**

PROPERTY LIES IN FLOOD ZONE DESIGNATION "AH" AND HAS A BASE FLOOD ELEVATION OF 1214.00 NAVD 88 DATUM ACCORDING TO MAP 04013C2265L, DATED OCTOBER 16, 2013.

**DRAINAGE EASEMENT**

THIS SITE HAS BEEN DESIGNED TO RETAIN THE 50-YEAR 24 HOUR STORM OF 0.25 FEET.



**LEGEND**

- ▲ FOUND 1/2" REBAR LS #41076
- NOTHING FOUND/NOTHING SET
- SET 1/2" REBAR
- SEWER MANHOLE
- WATER VALVE
- BRASS CAP
- FIRE HYDRANT
- WATER SERVICE
- CABLE TV
- ELECTRIC
- TELEPHONE J-BOX
- P.U.E. PUBLIC UTILITY EASEMENT
- BSL BUILDING SETBACK LINE
- CONCRETE
- STREET POLE
- ROW RIGHT OF WAY
- CL CENTER LINE
- B/C BACK OF CURB

**RETENTION CALCULATION**

RUNOFF VOLUME = 131,891 S.F.(.25)(.95) = 31,324 C.F.

RETENTION AVAILABLE =  $\frac{BASIN\ B}{(1.3288 + 7.685)3} + \frac{BASIN\ A}{(3.440 + 1.029)1.5} = 34,812\ C.F.$

**CONSTRUCTION NOTES**

1. CONSTRUCT 8' HIGH 8" CMU BLOCK WALL WITH DRAIN BLOCKS INVERTED AT EXISTING GRADE SPACED 10' ON CENTER.
2. 6' CHAIN LINK FENCE.
3. NEW 6" REPROCESSED ASPHALT.
4. NEW CONCRETE DRIVE - 6" CONCRETE WITH REBAR MESH OVER 10" PREPARED SUBGRADE.



CALL TWO WEEKS BEFORE YOU DIG  
**263-1100**  
1-800-STAKE-IT  
GILBERT MARICOPA COUNTY

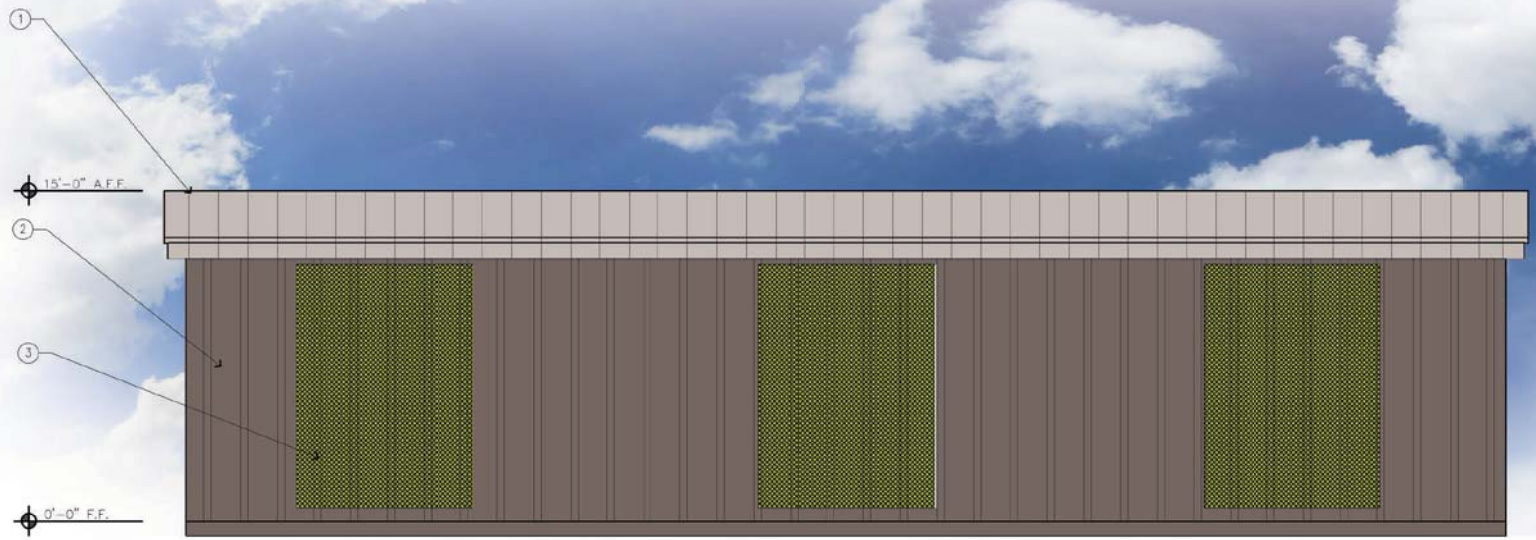
**ALLEN CONSULTING ENGINEERS, INC.**  
4111 E. VALLEY AUTO DRIVE, SUITE 103  
MESA, ARIZONA 85206  
PHONE (480) 844-1666  
E-MAIL: ace@allenconsultengr.com

**GILBERT RECYCLING**  
1420 N. McQUEEN ROAD  
GILBERT, ARIZONA 85233  
**SITE PLAN**

JOB NUMBER	95967	SECRET	1	OF	1
DRAWING	SITE PLAN	CHECKED BY		DATE	07-26-18

COLOR SCHEDULE
A. Decorative metal screen: Pantone 383.PC.
B. Metal Roof, fascia, split face masonry site wall and storage container: Pantone 406.PC
C. Metal siding: Pantone 410.PC

PLAN NOTES
1. Metal roofing.
2. Metal siding.
3. decorative metal panel.



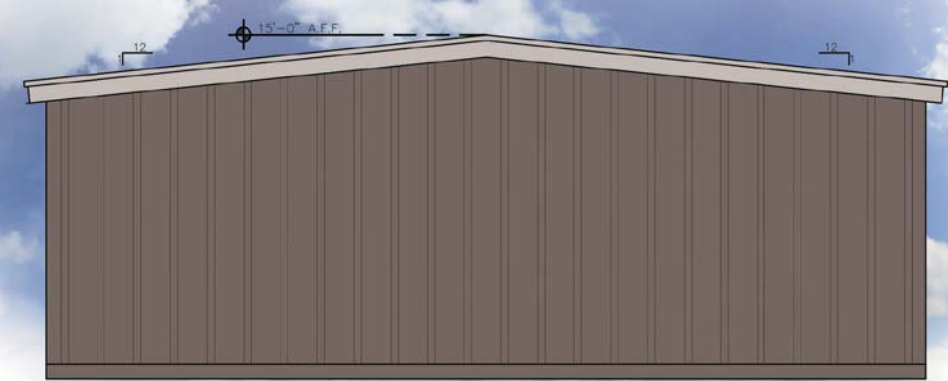
SOUTH ELEVATION (PROCESSING)  
 SCALE: 1/4" = 1'-0"



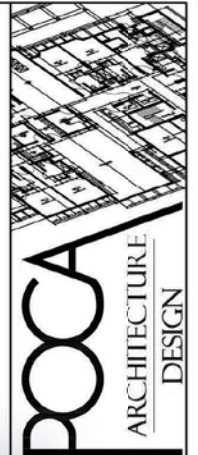
EAST ELEVATION (PROCESSING)  
 SCALE: 1/4" = 1'-0"



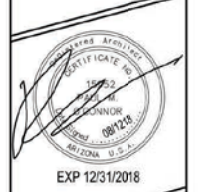
NORTH ELEVATION (PROCESSING)  
 SCALE: 1/4" = 1'-0"



WEST ELEVATION (PROCESSING)  
 SCALE: 1/4" = 1'-0"



**POCA Architecture + Design, LLC**  
 8686 North Central Avenue  
 Suite 212  
 Phoenix, Arizona 85020  
 pocanor@POCAaz.com  
 602-790-9935



**Gilbert Recycling**  
 1450 N McQueen Rd.  
 Gilbert, AZ 85233  
 APN: 302-10-003

Revision:  
 Project # - 18017  
 Date - 8-12-18  
 Sheet Name:  
**ELEVATIONS**



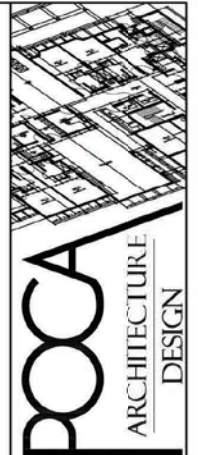
NORTH/SOUTH ELEVATION (WAREHOUSE)  
SCALE: 1/4" = 1'-0"



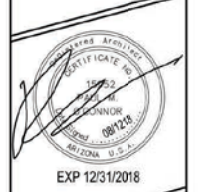
EAST/WEST ELEVATION (WAREHOUSE)  
SCALE: 1/4" = 1'-0"

COLOR SCHEDULE
A. Decorative metal screen: Pantone 383.PC.
B. Metal Roof, fascia, split face masonry site wall and storage container: Pantone 406.PC
C. Metal siding: Pantone 410.PC

PLAN NOTES
1. Metal roofing.
2. Metal siding.
3. Metal accent paneling.
4. Cargo container.
5. Open.



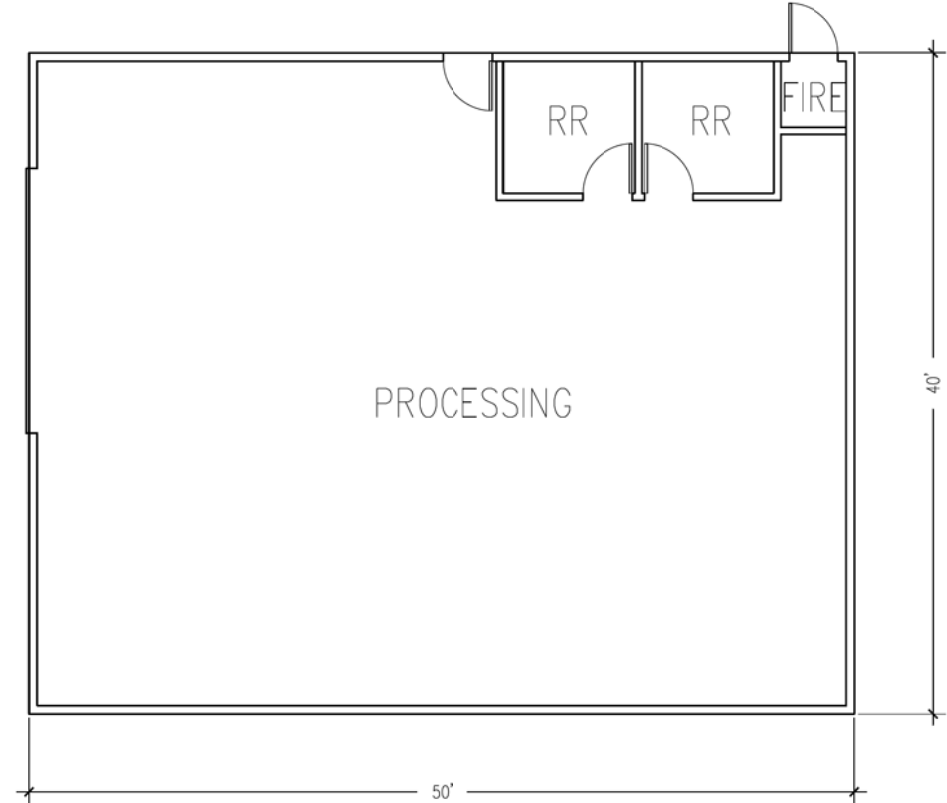
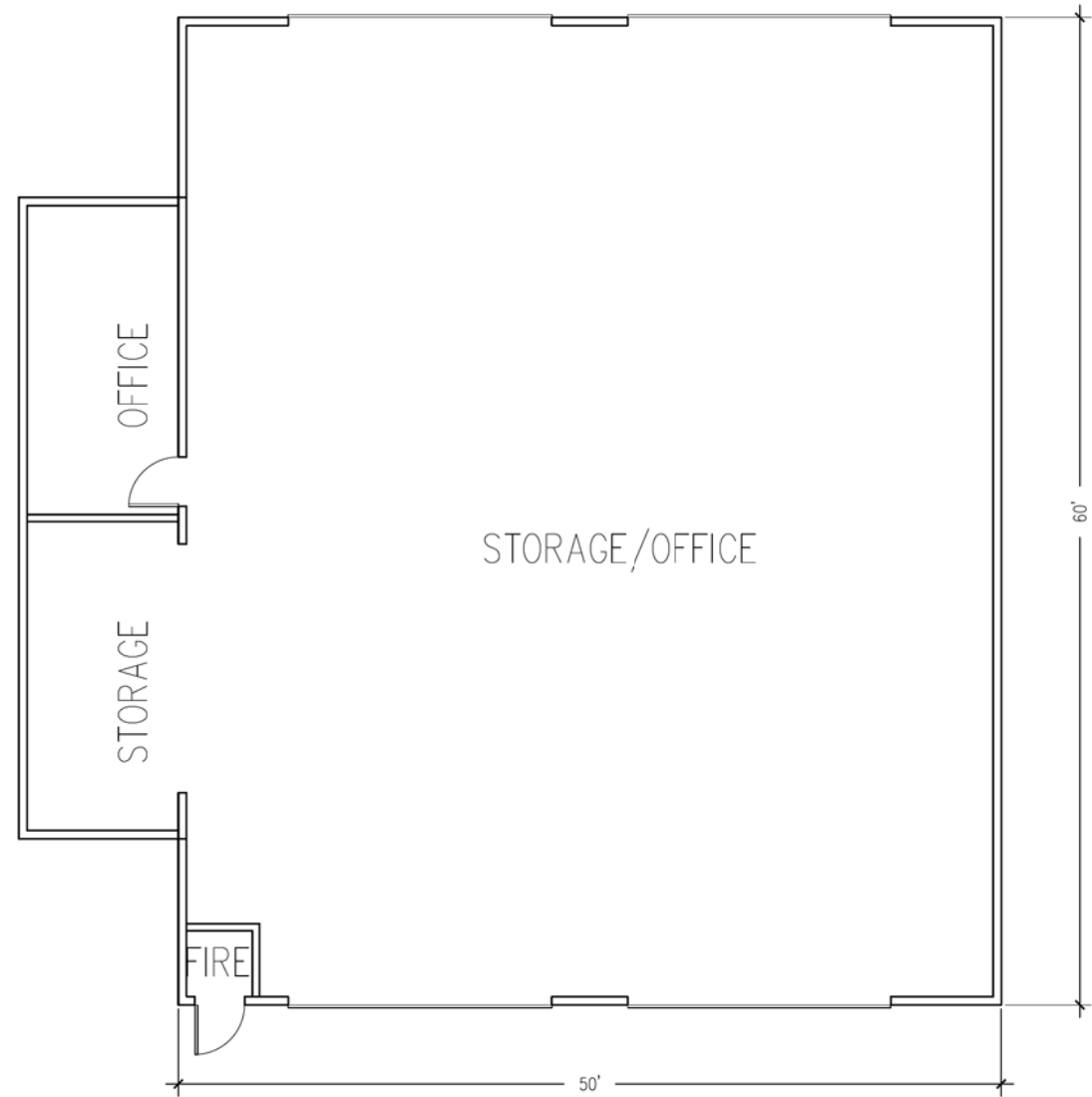
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**ELEVATIONS**

**PA3**



FLOOR PLAN  
 SCALE: 3/16" = 1'-0"



**POCA**  
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 Phoenix, Arizona 85020  
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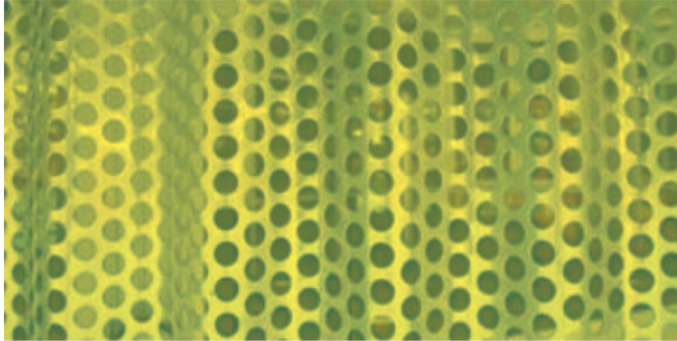
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Revision:  
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Sheet Name:  
**Site Plan**

**FP1**

## Material and Color Schedule



Perforated metal siding – Pantone 383PC



Split Face Block – Pantone 406PC



■ Metal Building – Pantone 410PC

Metal Roof / Metal Fascia – Pantone

406PC