



# Planning Commission Staff Report

**TO:** PLANNING COMMISSION

**FROM:** NATHAN WILLIAMS, AICP, SENIOR PLANNER (480) 503-6805, NATHAN.WILLIAMS@GILBERTAZ.GOV *NW*

**THROUGH:** CATHERINE LORBEER, AICP, PRINCIPAL PLANNER (480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV *o/l*

**MEETING DATE:** MAY 3, 2017

**SUBJECT:** UP17-01, SERVICE KING GILBERT: A CONDITIONAL USE PERMIT TO ALLOW A VEHICLE SERVICES, HEAVY USE, FOR APPROXIMATELY 2 ACRES OF REAL PROPERTY GENERALLY LOCATED SOUTH OF THE SOUTHWEST CORNER OF AUTO WAY AND PECOS ROAD IN THE GENERAL COMMERCIAL (GC) ZONING DISTRICT WITH A PLANNED AREA DEVELOPMENT (PAD) OVERLAY.

**STRATEGIC INITIATIVE:** Economic Development

To allow for the development of a vehicle services business within the San Tan Motorplex.

### RECOMMENDED MOTION

Make the Findings of Fact and approve UP17-01 Service King Gilbert: a Conditional Use Permit to allow a Vehicle Services, Heavy use, for approximately 2 acres of real property generally located south of the southwest corner of Auto Way and Pecos Road and zoned General Commercial (GC) zoning district with a Planned Area Development (PAD) overlay, subject to conditions.

### APPLICANT/OWNER

Company: Beck Consulting Engineers, Inc  
Name: Mark Beck

Company: Santan Motorplex, Inc.  
Name: Doug Strode

Address: 2942 N. 24th Street. #114  
 Phoenix, AZ 85016  
 Phone: 602-943-6200  
 Email: mark.beck@beckcon.com

Address: 2021 Shipway Lane  
 Newport Beach, CA 92660  
 Phone: 949-631-8859  
 Email: dougstrode@gmail.com

**BACKGROUND/DISCUSSION**

**History**

<b>Date</b>	<b>Description</b>
<i>September 28, 1999</i>	Town Council approved A98-10 (Ordinance No. 1207), annexing approximately 1,340 acres into the Town of Gilbert.
<i>October 1, 2002</i>	Town Council approved Z01-20 (Ordinance No. 1431), amending the Spectrum at Val Vista PAD and rezoning as General Commercial (GC) the acreage of what now constitutes the Motorplex subdivision.

**Overview**

The undeveloped subject site is a 2 acre portion of Lots 2A and 2B of the Santan Motorplex and is zoned General Commercial (GC) with a Planned Area Development (PAD) overlay. Service King is proposing to build a single structure, consisting of a 23,032 sq. ft. 1-story building utilized for vehicle collision repair service center. In order to permit Vehicle Services, Heavy uses in the General Commercial (GC) zoning district, a Conditional Use Permit is required.

**Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
North	Residential > 8-14 DU/Acre	Single Family Detached (SF-D)	Spectrum at Val Vista (Parcel 22)
South	General Commercial (GC)	General Commercial (GC) PAD	Existing Enterprise Rental and Dealership
East	General Commercial (GC)	General Commercial (GC) PAD	Existing Hyundai Dealership
West	General Commercial (GC)	General Commercial (GC) PAD	Undeveloped
Site	General Commercial (GC)	General Commercial (GC) PAD	Undeveloped

**Project Data Table**

<b>Site Development Regulations</b>	<b>Required per LDC</b>	<b>Proposed</b>
Lot Area	--	2 acres
Total Building Area	--	21,256 sq. ft. (Building Area) <u>1,776 sq. ft. (Canopy)</u> 23,032 sq. ft. (total)
Maximum Building Height	45'	30' parapet (1-story)

Site Development Regulations	Required per LDC	Proposed
Minimum Setback		
Front to ROW	25'	47'
Side to non-residential	20'	63'
Rear to non-residential	20'	30'
Separation Between Buildings	20'	n/a
Minimum Required Perimeter Landscape Area		
Front to ROW	20'	20'
Side to non-residential	n/a	10'
Rear to non-residential	n/a	10'
Landscaping (% of lot area)	15%	<b>16.2%</b>
Parking Spaces	Vehicle Services Heavy: 3 spaces per service bays;  1/100 sq. ft. of office area;  <u>1 space per 25 vehicles displayed outdoors:</u>  Bicycle parking, ratio of 1 per each 10 required vehicle parking spaces.	13 service bays = 39 spaces <u>4,236 sq. ft. of office area = 43 spaces</u> 82 spaces required/  <b>82 total spaces provided</b>  No outdoor display spaces proposed  9 Required/ 9 Currently provided (location unknown)

## DISCUSSION

### Use Permit

Service King is proposing to build a 23,032 sq. ft. 1-story building to be utilized for vehicle collision repair service center (Vehicle Services, Heavy uses) on a 2 acre portion of Lots 2A and 2B, in the General Commercial (GC) PAD overlay zoning district. The proposed building will utilize one main access point and a secondary access point to be shared with future adjacent site users located to the southwest of the Service King site. Both newly proposed access points are directly from Pecos Road and will require amendment of the recorded final plat to remove the existing Non-Vehicular Access Easement per Town of Gilbert Engineering Division.

The orientation of the building will be northwest-southeast and will face Pecos Road with direct access to the front (northern) portion of the building. The Service King facility will provide customer loading and drop-off under a covered canopy feature facing Pecos Road. A secured storage yard for vehicles will be provided behind the building and behind a solid screen wall for vehicle storage and vehicle processing.

The proposed building will be a 1-story in height (30' high). The uses within the building will include the typical automobile collision repair service uses as identified under "Vehicle Services, Heavy" as the building will be utilized to primarily service vehicles from car dealerships for body, paint and collision repair work. Internally the building office area will include receptions and waiting area and associated employee offices.

## **FINDINGS**

The Planning Commission is required to make four findings in order to approve a Conditional Use Permit. The findings are listed here, along with the reasons why staff considers that the findings are or are not met in this case. These findings are:

***1. The proposed use will not be detrimental to health, safety, or general welfare of persons living or working in the vicinity, to adjacent property, to the neighborhood, or to the public in general.***

The subject site is located in the rear (northwestern) portion of the San Tan Motorplex, (portions of Lots 2A and 2B) surrounded by existing Motorplex users/ development as well as vacant parcels within the Motorplex. The Service King site will have access and frontage on to Pecos Road. Additionally, the overall use is predominantly related to car dealerships for body, paint and collision repair work. Vehicle Service, Light uses are associated with and located on all dealerships within the San Tan Motorplex but do not have the capability to provide such uses that Service King will provide to the adjacent dealerships. Staff finds that the use is closely related to operations of the San Tan Motorplex and its automotive dealership to the south and east and will not be detrimental to the general public. Staff has not received any input from surrounding property owners at the time this report was written.

***2. The proposed use conforms to the purposes, intent, and policies of the General Plan and its policies and any applicable area, neighborhood, or other plan adopted by the Town Council.***

Article 6.1 of the Land Development Code (LDC) defines Vehicle Services, Heavy uses as major repair of automobiles, trucks, motor homes, recreational vehicles, or boats. This classification includes full or partial drive train removal, repair and replacement, body and paint shops, radiator shops, vehicle emissions testing, transmission shops and similar uses. This classification excludes vehicle dismantling or Salvage.

The San Tan Motorplex is a Planned Area Development (PAD) designed specifically for vehicle sales and service related uses. Staff notes that the primary function of the proposed Service King building and use will be for body, paint and vehicle collision repair work. As such, this user has specifically identified this location within the Motorplex as it seeks to promote a mixture of Vehicle Service, Heavy related uses within and associated with the existing commercial vehicle sales and service uses of the Motorplex.

- 3. The proposed use conforms to the conditions, requirements, or standards required by the Zoning Code and any other applicable local, State, or Federal requirements.*

The project site plan as provided meets the Land Development Code and applicable ADA, Building and Fire Codes. The proposed site design meets all requirements of the Land Development Code with regard site setbacks, screening, parking and landscape buffers from surrounding parcels such as demonstrating that service bay doors are located more than the minimum required 200' (216') away from adjacent residential parcels located on the north site and across Pecos Road.

- 4. The proposed use, as conditioned, would not unreasonably interfere with the use and enjoyment of nearby properties.*

As stated above, the Vehicle Service, Heavy uses are associated with and located within the San Tan Motorplex. The proposed building is a 3rd party collision repair facility, intended to work closely with the automotive dealerships within the San Tan Motorplex to supplement the dealership's service operations.

The design and character of the Service King is well coordinated with existing automotive dealers within the San Tan Motorplex and will not be detrimental to the general public. The proposed site design meets all requirements of the Land Development Code with regard site setbacks, screening, parking and landscape buffers from surrounding parcels and will not unreasonably interfere with the use and enjoyment of nearby properties but is intended to enhance and develop vacant parcels within the existing San Tan Motorplex.

Typical hours of operation will be from 7am to 6pm Monday through Friday and 7am to 12 noon on Saturday. The applicant has indicated that approximately 50 vehicles will be repaired or serviced at this facility each week, with all work occurring within the Service King building. As such the proposed use will not be out of character with the surrounding automotive dealerships and their associated vehicle service uses.

Pursuant to the above analysis, Staff is of the opinion that the project meets the four findings required for granting the modified Conditional Use Permit.

### **PUBLIC NOTIFICATION AND INPUT**

A notice of public hearing was published in a newspaper of general circulation in the Town, an official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code Article 5.205.

Staff has received no recent comments from the neighbors since the NOPH was posted/ mailed.

## **PROPOSITION 207**

An agreement to “Waive Claims for Diminution in Value” pursuant to A.R.S. § 12-1134 was signed by the landowners of the subject site, in conformance with Section 5.201 of the Town of Gilbert Land Development Code. This waiver is located in the case file.

## **STAFF RECOMMENDATION**

Make the Findings of Fact and approve UP17-01 Service King Gilbert: a Conditional Use Permit to allow a Vehicle Services, Heavy use, for approximately 2 acres of real property generally located south of the southwest corner of Auto Way and Pecos Road and zoned General Commercial (GC) zoning district with a Planned Area Development (PAD) overlay, subject to conditions:

1. The Project shall be in substantial conformance with the site plan under Attachment No. 4.
2. The recorded final plat shall be amended to remove the existing Non-Vehicular Access Easement per Town of Gilbert Engineering Division.
3. The recorded final plat shall be amended to record the primary and secondary access drives to the subject site per Town of Gilbert Engineering.

Respectfully submitted,



Nathan Williams, AICP  
Senior Planner

### **Attachments and Enclosures:**

- 1) Findings of Fact
- 2) Notice of Public Hearing/Vicinity Map
- 3) Aerial Photo
- 4) Site Plan
- 5) Project Narrative (4 pages)
- 6) Elevations (for reference only)
- 7) Landscape Plan (for reference only)
- 8) Overall Site Plan (reference only)

**FINDINGS OF FACT**  
**UP17-01, Service King Gilbert**

1. The proposed use will not be detrimental to health, safety, or general welfare of persons living or working in the vicinity, to adjacent property, to the neighborhood, or to the public in general;
2. The proposed use conforms with the purposes, intent, and policies of the General Plan and its policies and any applicable area, neighborhood, or other plan adopted by the Town Council;
3. The proposed use conforms with the conditions, requirements, or standards required by the Zoning Code and any other applicable local, State, or Federal requirements; and
4. The proposed use, as conditioned, would not unreasonably interfere with the use and enjoyment of nearby properties.

# Notice of Pu

UP17-01

Attachment 2: Notice of Public Hearing/Vicinity Map  
May 3, 2017

**PLANNING COMMISSION DATE:**

*Wednesday, May 3, 2017\* TIME: 6:00 PM*

\* Call Planning Department to verify date and time: (480) 503-6805

**LOCATION: Gilbert Municipal Center  
Council Chambers  
50 E. Civic Center Drive  
Gilbert, Arizona 85296**

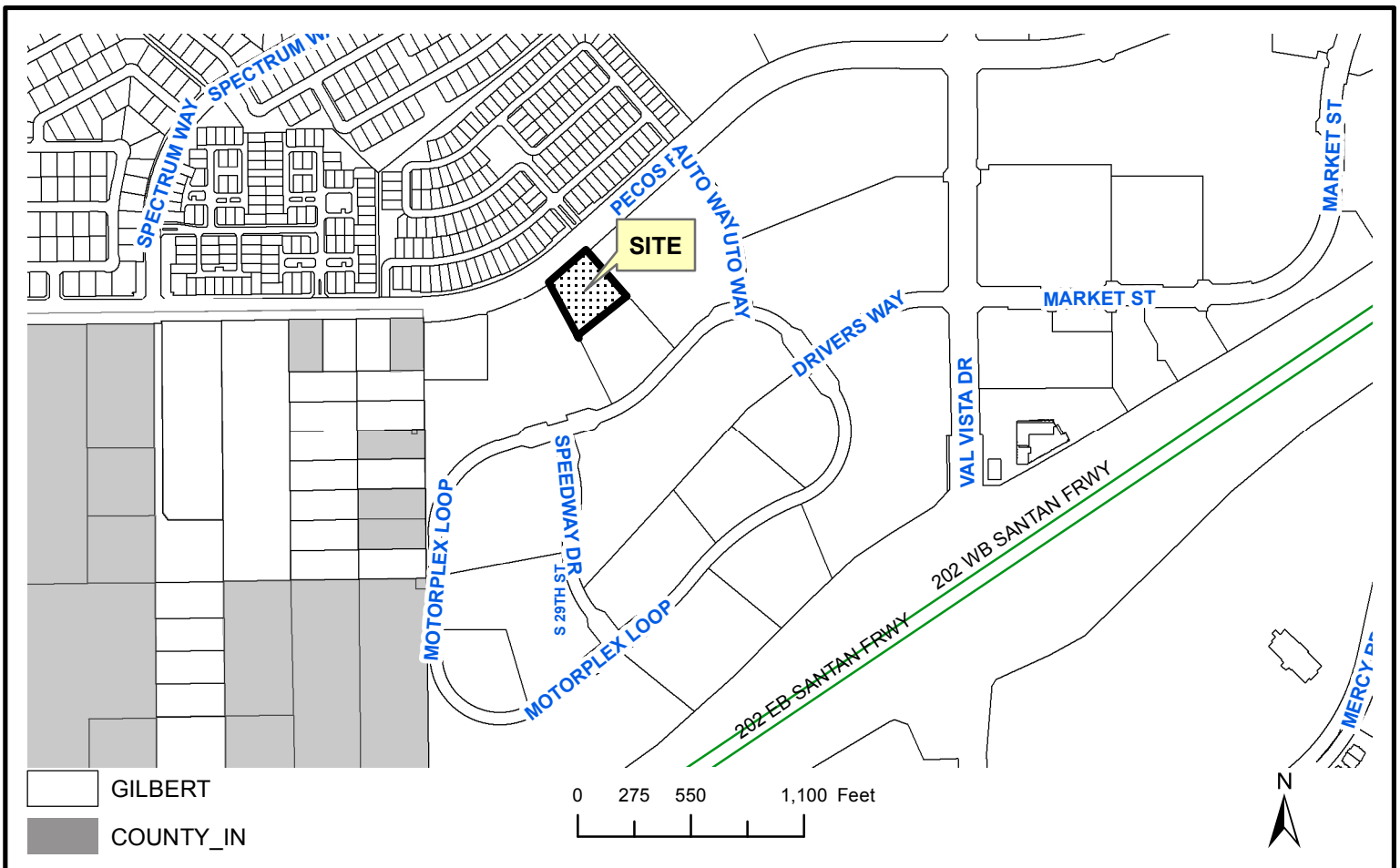
\* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available prior to the meeting at <http://www.gilbertaz.gov/departments/development-services/planning-development/planning-commission> and <http://www.gilbertaz.gov/departments/clerk-s-office/boards-commissions/town-council>

## REQUESTED ACTION:

UP17-01: Service King Gilbert: Request to approve a Conditional Use Permit for approximately 2 acres of real property generally located south of the southwest corner of Auto Way and Pecos Road to allow a Vehicle Services, Heavy use in the General Commercial (GC) zoning district with a Planned Area Development (PAD) overlay, subject to conditions related to public health, safety, and welfare.

DR17-01: Service King Gilbert: approval of site plan, landscaping, grading and drainage, building elevations, colors and materials, and lighting for an approximately 2 acre site for the Service King Gilbert facility, located south of the southwest of Auto Way and Pecos Road, in the General Commercial (GC) PAD zoning district.

## SITE LOCATION:



**APPLICANT: Beck Consulting Engineers, Inc.  
CONTACT: Mark Beck  
ADDRESS: 2942 North 24th Street #114  
Phoenix AZ 85016**

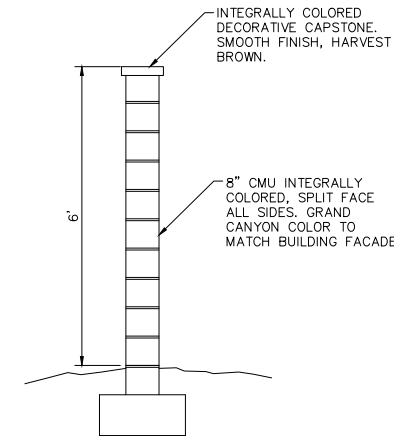
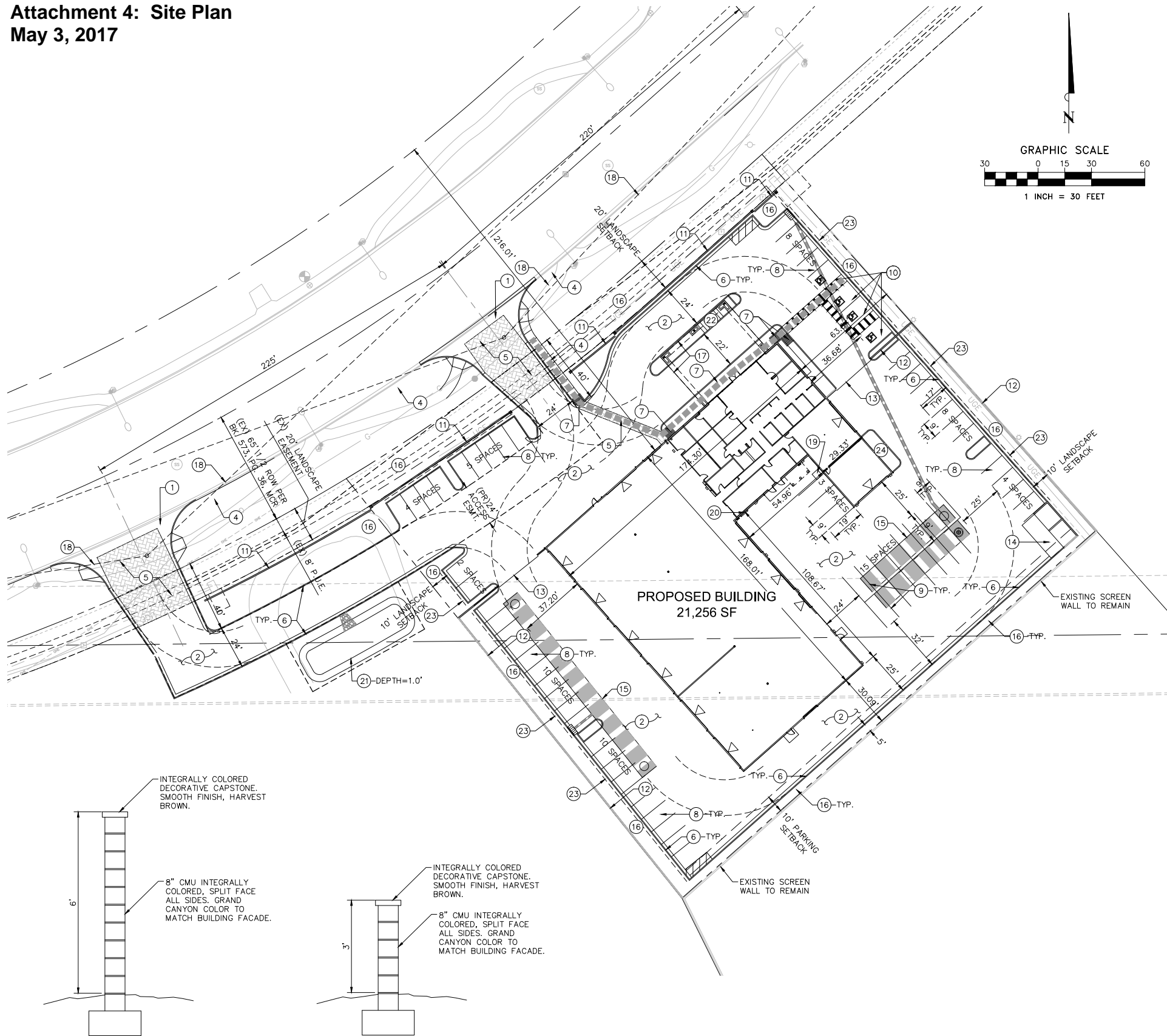
**TELEPHONE: (602) 84305299  
E-MAIL: mark.beck@beckcon.com**



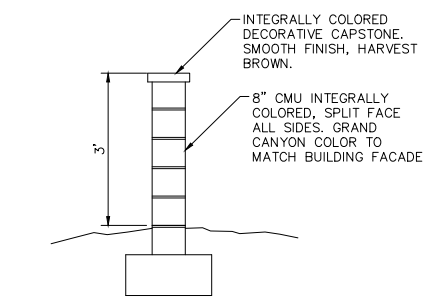
UP17-01  
Attachment 3: Aerial Photo  
May 3, 2017







**6'-0" SCREEN WALL DETAIL**  
NOT TO SCALE



**3'-0" SCREEN WALL DETAIL**  
NOT TO SCALE

**SCREEN WALL NOTES:**

- 16" x 16" COLUMN TO BE PROVIDED AT END OF WALLS ALONG PROJECT FRONTAGE. COLUMN MATERIAL AND CAP TO MATCH PROPOSED SCREEN WALL.
- GROUT COLOR TO MATCH CONCRETE BLOCK.
- FOOTINGS AND REINFORCEMENT PER STRUCTURAL PLANS.

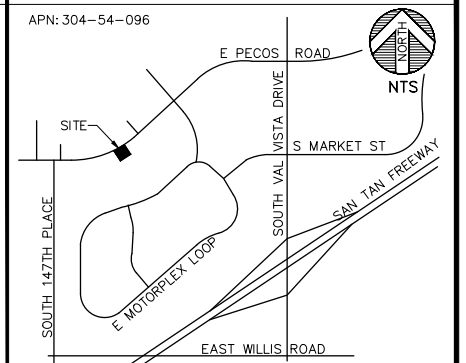
**TOWN OF GILBERT SITE PLAN NOTES**

1. ALL UTILITY LINES LESS THAN 69KV ON OR CONTINUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDER GROUND.
2. ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
3. ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY AN 8' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
4. S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
  - A. FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.
  - B. SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
  - C. AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY POINTS.
5. THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
6. ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
  - A. THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
  - B. BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
7. ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
8. GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT. PNEUMATIC TUBES, WHETHER METAL OR PLASTICS, SHALL BE EITHER:
  - A. ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
  - B. ROUTED UNDERGROUND.
10. ALL BACKFLOW PREVENTION DEVICES LARGER THAN 2" SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTORS 2" AND SMALLER SHALL BE PLACED IN LOCKED WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
11. ALL FREESTANDING LIGHT POLES SHALL:
  - A. BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
  - B. HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
  - C. BE LOCATED TO AVOID CONFLICT WITH TREES.
12. SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
13. LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY MOUNDED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED 4:1 MAXIMUM.
14. COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
15. COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
16. CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASON WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
17. ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
18. EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

**LEGEND**

- EASEMENT LINE
- CENTERLINE
- PROPERTY LINE/RIGHT-OF-WAY LINE
- SETBACK
- ACCESSIBLE ROUTE
- PROPOSED SCREEN WALL
- EXISTING SCREEN WALL
- FIRE TURNING RADIUS  
55' OUTSIDE, 35' INSIDE
- △ SERVICE BAY DOOR
- ⊕ PR. FIRE HYDRANT
- ⊕ PR. FDC
- ⊕ (EX) LIGHT POLE
- ⊕ (EX) ELECTRIC BOX

**VICINITY MAP**



**PROJECT INFORMATION**

APN: 304-54-096

OWNER/DEVELOPER: LEON CAPITAL GROUP  
2301 CEDAR SPRINGS ROAD, SUITE 200  
DALLAS, TEXAS 75201  
CONTACT: MATTHEW BODZY  
PHONE: 214.270.1951

ARCHITECT: CARROLL ARCHITECTS  
750 EAST INDUSTRIAL ST, SUITE 110  
ROCKWALL, TEXAS 75087  
CONTACT: JEFFREY CARROL  
PHONE: 972.732.6085

CIVIL ENGINEER: BECK CONSULTING ENGINEERS, INC.  
2942 N. 24TH STREET, STE. 114  
PHOENIX, ARIZONA 85016  
CONTACT: MARK BECK, P.E.  
PHONE: 602.943.6200

EXISTING ZONING: GC

SITE AREA: 87,122 SQ. FT. (GROSS/NET)  
2.00 ACRES (GROSS/NET)

BUILDING AREA:  
BUILDING 21,256 SQUARE FEET  
CANOPY 1,776 SQUARE FEET  
TOTAL 23,032 SQUARE FEET

LOT COVERAGE: 23,032 / 87,122  
26.4%

BUILDING HEIGHT: 1 STORY

BUILDING SETBACKS: 25' FRONT, 0' REAR AND SIDES

LANDSCAPE SETBACKS: 20' FRONT,  
LANDSCAPE AREA: 14,176 SF OR 16.2%  
-THE PROPOSED PROJECT WILL INCLUDE A PROPOSED AUTO SERVICE FACILITY AND ASSOCIATED SITE IMPROVEMENTS.  
-OFF-SITE IMPROVEMENTS WILL INCLUDE THE CONSTRUCTION OF DRIVE CONNECTIONS TO PECOS ROAD.  
-ALL IMPROVEMENTS WILL BE CONSTRUCTED IN A SINGLE PHASE.

**PARKING CALCULATIONS**

USE: VEHICLE SERVICES

CODE REQ'D: 3 SPACES PER BAY PLUS 1 SPACE PER 100 SQUARE FEET OF OFFICE

NO. OF BAYS: 13 EACH

OFFICE AREA: 4,236 SQUARE FEET

PARKING REQ'D:  
OFFICE 4,236 SF / 100 = 43  
BAYS 13 X 3 = 39  
TOTAL = 82

PARKING PROVIDED: 69 SURFACE PARKING  
13 BAYS  
82 SPACES

ACCESSIBLE PARKING REQ'D: 4 SPACES  
ACCESSIBLE PARKING PROVIDED: 4 SPACES

BICYCLE PARKING REQ'D: 1 SPACE PER 10 PARKING  
BICYCLE PARKING PROVIDED: 9 SPACES

**KEYED NOTES**

1. NEW DRIVEWAY.
  2. NEW ASPHALT PAVEMENT.
  3. NEW CONCRETE PAVEMENT.
  4. NEW CONCRETE SIDEWALK.
  5. DECORATIVE PAVING. DECORATIVE PAVING TO MATCH MOTORPLEX STAMPED ASPHALT BY CREATIVE PAVING SOLUTIONS BRICK COLOR, DIAGONAL HERRINGBONE PATTERN.
  6. NEW CONCRETE CURB AND GUTTER.
  7. SIDEWALK ACCESS RAMP.
  8. 9' X 17' STRIPED PARKING SPACE WITH 2' OVERHANG.
  9. 9' X 19' STRIPED PARKING SPACE.
  10. 11' X 17' STRIPED, ACCESSIBLE PARKING STALL WITH 2' OVERHANG, MARKING AND SIGNAGE.
  11. 3' HIGH MASONRY SCREEN WALL.
  12. 6' HIGH MASONRY SCREEN WALL/PROPERTY WALL.
  13. PAINTED STEEL ACCESS GATE WITH KNOX BOX.
  14. DOUBLE TRASH ENCLOSURE
  15. UNDERGROUND RETENTION. 10' DIAMETER CMP.
  16. LANDSCAPE AREA - SEE LANDSCAPE PLANS.
  17. BUILDING OVERHANG/CANOPY.
  18. SITE VISIBILITY TRIANGLE.
  19. ELECTRICAL TRANSFORMER.
  20. ELECTRICAL SERVICE ENTRANCE SECTION.
  21. TEMPORARY RETENTION BASIN.
  22. 2' X 6' STRIPED BICYCLE PARKING. 9 TOTAL.
  23. 2' OVERHANG.
  24. EMPLOYEE AMENITY/SEATING AREA.
- NOTE: SITE/EXTERIOR LIGHTING TO BE BUILDING MOUNTED. SEE PHOTOMETRIC PLANS.

9034 N. 23RD AVENUE  
SUITE #5  
PHOENIX, AZ 85021  
PHONE: (602) 943-6200  
FAX: (602) 943-6201

**beck**  
consulting engineers

SCALE (H): AS SHOWN  
SCALE (V): N/A  
DESIGNED BY: HCV  
DRAWN BY: HCV  
CHECKED BY: MMB  
DATE: 08/01/2016

SITE PLAN  
SERVICE KING  
AT SAN TAN MOTORPLEX  
GILBERT, ARIZONA

NO.	REVISION	BY	DATE	APPR.

PROJECT NO. 160001  
SP1 of 1



January 5, 2017

Town of Gilbert  
Attn: Nathan Williams, AICP  
90 East Civic Center Drive  
Gilbert, Arizona 85296

Re: Service King Gilbert – Use Permit Narrative  
PPA-2016-00081

Dear Mr. Williams:

Please find the following Project Narrative in accordance with the requirements set forth in the Use Permit Application and Process Guide.

**Overview**

The subject site (a portion of Lot 2A and 2B of the Santan Motorplex is zoned General Commercial (GC) zoning district with a Planned Area Development (PAD) overlay and is currently undeveloped. Service King proposes to build a 21,256 sq. ft. vehicle repair center with two (2) points of access from East Pecos Road. The subject site comprises a 2.0 acre portion of the existing 11.9 acre parcel more particularly described as Assessor’s Parcel Number (APN) 304-54-096.

**Zoning Requirements**

**Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
North	Single Family Detached (SF-D)	General Commercial (GC) PAD	Single Family Residential
South	General Commercial (GC)	General Commercial (GC) PAD	Existing Auto Dealer (Enterprise)
East	General Commercial (GC)	General Commercial (GC) PAD	Existing Auto Dealer (Hyundai)
West	General Commercial (GC)	General Commercial (GC) PAD	Undeveloped
Site	General Commercial (GC)	General Commercial (GC) PAD	Undeveloped



**Project Data Table**

<b>Site Development Regulations</b>	<b>Required per LDC</b>	<b>Proposed</b>
Lot Area	---	2 acres
Total Building Area	---	21,256 sq. ft. (Bldg.) <u>1,776 sq. ft. (Canopy)</u> 23,032 sq. ft. (Total)
Maximum Building Height	45'	40'-2"
Minimum Setback		
-Front to ROW	25'	47.5'
-Side to non-residential	20'	62.8' and 63.6'
-Rear to non-residential	20'	30.1'
Separation Between Buildings	15'	n/a
Minimum Required Perimeter Landscape Area		
-Front to ROW	20'	20'
-Side to non-residential	5'	10'
-Rear to non-residential	5'	5'
Landscaping (% of lot area)	15%	16.2% (14,176 sq. ft.)
Parking	1 space per 100 sq. ft. of office and sales area + 3 spaces per service bay  Bicycle Parking, ratio of 1 per each 10 required vehicle parking spaces	4,236 sq. ft. = 43 spaces <u>13 bays = 39 spaces</u> 82 spaces required 82 spaces provided  9 required 9 provided

Note, South Pecos Road is an existing 130' Right of Way (ROW) and provides for greater than 100' to residential to the north. As such, no building setback is provided.

**Use Permit**

The proposed project site is located generally at the southwest corner of East Pecos Road and South Passion Drive within the SanTan Motorplex. The proposed Service King building will include a 21,256 square feet vehicle collision repair center facing South Pecos Road with two (2) points of access from South Pecos Road. The proposed facility will provide typical collision repair services as identified under "Vehicle Services, Heavy" to provide vehicle repair. The proposed building will include waiting area and associated offices. Additionally, there will be an attached canopy for vehicle drop-off and return.



In order to permit “Vehicle Services, Heavy” in the General Commercial (GC) zoning district, a Use Permit is required and hereby requested. This Use Permit is being processed concurrent with Design Review application.

Site Parking is provided in accordance with the Land Development Code (LDC). Proposed site parking will be located on four (4) sides of the site with the customer parking located towards the front of the project site. Employee parking and customer vehicles for repair will be located behind a gate and screen walls.

### **Required Findings**

1. The proposed use will not be detrimental to the health, safety or general welfare of persons living or working in the vicinity, to adjacent property, to the neighborhood or to the public in general.

The site is located within the Santan Motorplex and is adjacent to vehicle sales to the south, vehicle sales and service to the east, undeveloped property to the west and residential to the north. The proposed use is consistent with services within the Santan Motorplex and no part of the building is within 50 feet of a residential parcel.

Residential to the north is separated by Ray Road, a 130-foot right-of-way and major arterial. Service bays along the building frontage are located 216’ away from the north right-of-way line of Pecos Road which is coincident with residential zoned property. This meets the requirement for minimum distance of 200’ as required in section 2.305.D.2 of the Land Development Code. All service activities will be conducted within service bays. Additionally, vehicle storage and services are proposed to be primarily located towards the sides and rear of the proposed building and are located behind screen wall and gate.

2. The proposed use conforms with the purposes, intent, and policies of the General Plan and its policies and any applicable area, neighborhood, or other plan officially adopted by the Town Council.

Article 6.1 of the Land Development Code (LDC) defines “Vehicle Services, Heavy” uses as major repair of automobiles, trucks, motor homes, recreational vehicles or boats. The proposed facility will include full vehicle repair including body repair, replacement and paint.

The Santan Motorplex is a Planned Area Development (PAD) designed specifically for vehicle sales and service related uses. This project seeks to create a vehicle service related use.

3. The proposed use conforms with the conditions, requirements or standards prescribed by the Zoning Code and any other applicable local, State, or Federal requirements.



Site development will meet applicable codes including the Land Development Code, ADA, Building and Fire Codes.

4. The proposed use, as conditioned, would not unreasonably interfere with the use and enjoyment of nearby properties.

Service King operates several facilities within Maricopa County. Typical hours of operation are Monday through Friday from 7am to 6pm and Saturday from 9am to 12pm. The proposed use is consistent within the Santan Motorplex.

Service King operates 311 locations in 23 states and currently has three (3) existing sites in Gilbert. Service King operates primarily as a 3<sup>rd</sup> party collision repair for dealers within the Motorplex. Much of this sites business will be repair for or referral by the existing dealers. Repair is primarily body work/collision repair with heavy mechanical work is typically performed by the dealers or other.

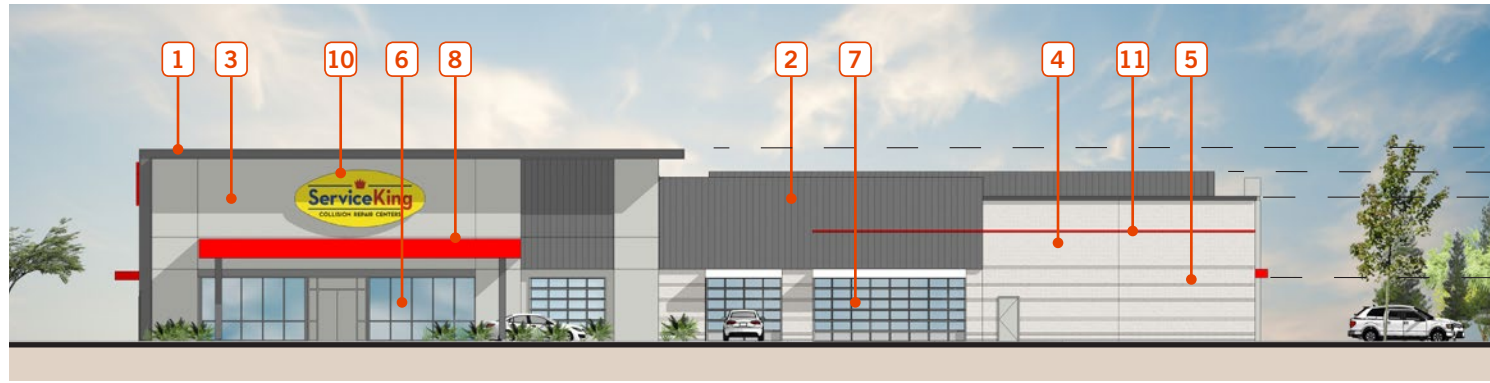
Service King anticipates they will employ 25 persons at this location and will repair 50 vehicles per week with a 7.1 day repair cycle time. In short, they service 8 customers per day with all work being performed inside the facility – no exterior work.

I appreciate your time and consideration with regards to this request. If you have any questions or need additional information please do not hesitate to contact me.

Sincerely,  
**Beck Consulting Engineers, Inc.**

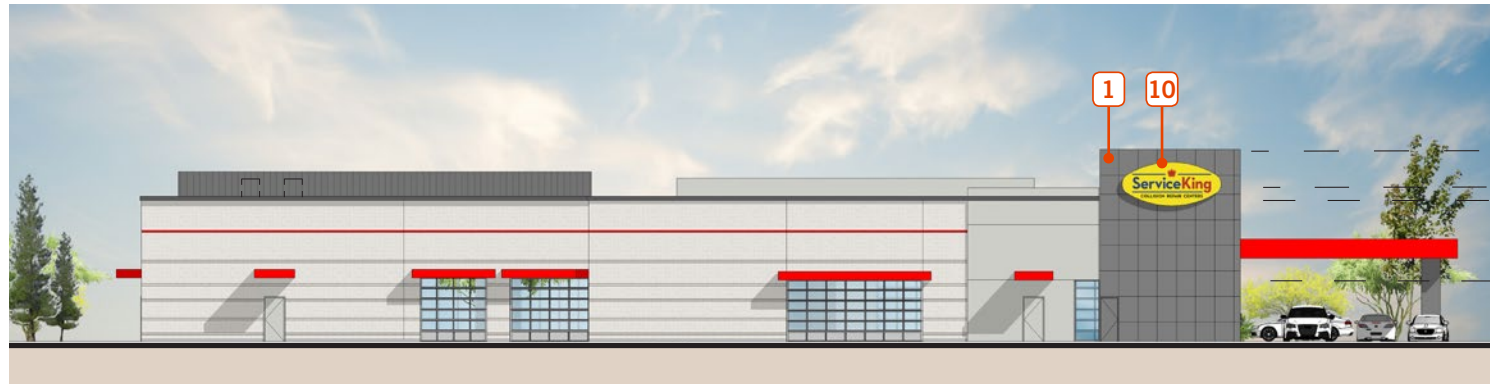
Mark W. Beck, P.E.  
Project Manager





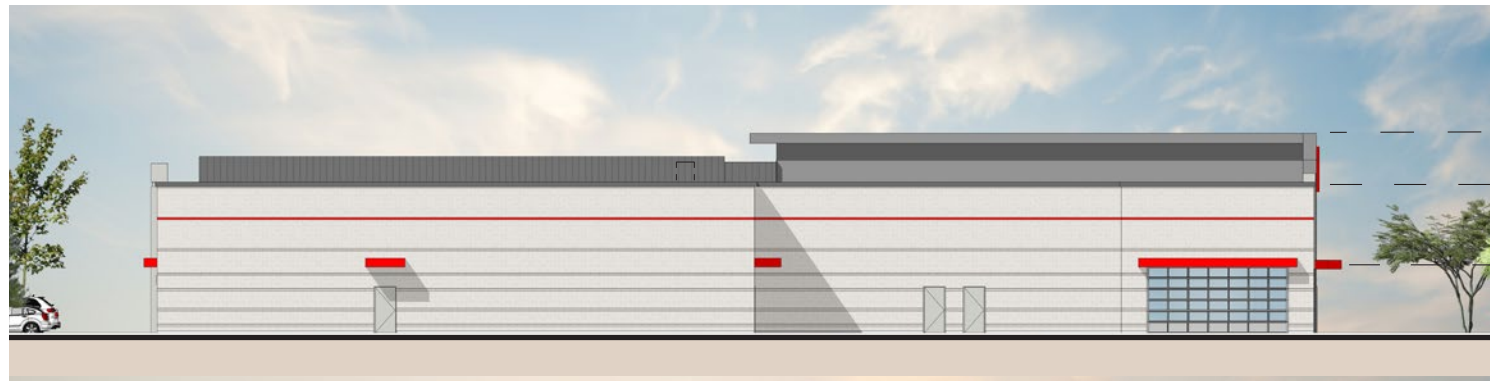
Northwest Elevation

TOP OF PARAPET +30'-0"  
 TOP OF PARAPET +26'-6"  
 TOP OF PARAPET +22'-8"  
 TOP OF OPENING +10'-0"  
 FINISH GRADE 0'-0"



Northeast Elevation

TOP OF PARAPET +30'-0"  
 TOP OF PARAPET +24'-0"  
 TOP OF PARAPET +22'-8"  
 TOP OF OPENING +10'-0"  
 FINISH GRADE 0'-0"



Southeast Elevation

TOP OF PARAPET +30'-0"  
 TOP OF PARAPET +22'-8"  
 TOP OF OPENING +10'-0"  
 FINISH GRADE 0'-0"



Southwest Elevation

TOP OF PARAPET +26'-6"  
 TOP OF PARAPET +25'-6"  
 TOP OF PARAPET +22'-8"  
 TOP OF OPENING +10'-0"  
 FINISH GRADE 0'-0"

KEY NOTES

- 1 VERTICAL METAL PANEL SIGN WALL.
- 2 VERTICAL STANDING SEAM METAL PANEL.
- 3 EIFS WALL WITH 3/4" REVEAL.
- 4 SPLIT FACE 8" CMU BLOCK.
- 5 BURNISHED 4" CMU BLOCK.
- 6 INSULATED GLASS STOREFRONT.
- 7 GLASS ROLL-UP DOOR.
- 8 SHEET METAL CANOPY.
- 9 ALL MECHANICAL AND EXHAUST DUCTS TO BE SCREEN BY RAISED PARAPETTS.
- 10 PROPOSED SIGNAGE LOCATION, N.I.C. - BY SEPERATE PERMIT.
- 11 2" RECESS - PAINT RED



Side Elevation



Side Elevation

SCHEME 2

Building Plan, Section, & Elevations

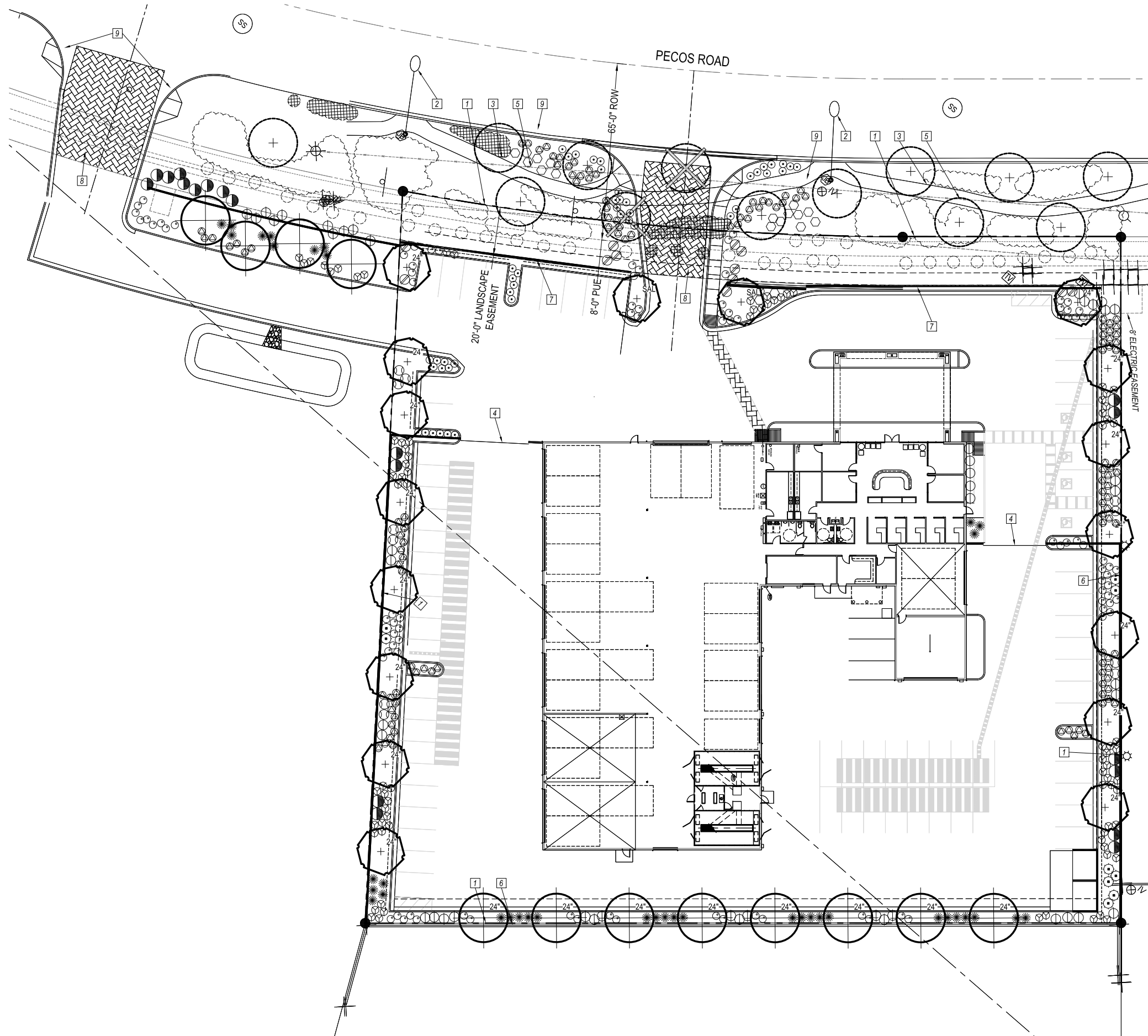
PECOS ROAD  
 GILBERT, AZ

WARE MALCOMB

PHX17-0019-00  
 03.16.2017

SHEET  
 2

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.



**PLANT MATERIAL SCHEDULE**

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY	COMMENTS
<b>TREES:</b>				
(Circle with +)	Existing Tree to Remain in Place		11	
(Circle with X)	Existing Tree to Salvage & Relocate		2	
(Circle with 24")	<i>Quercus virginiana</i> Southern Live Oak	15 gal/ 24" box	4/8	STANDARD
(Circle with 24" SAL)	<i>Ulmus parvifolia</i> 'Sempervirens' Chinese Elm	24" box/ Salvage	15/2	STANDARD
<b>EXISTING SHRUBS:</b>				
(Circle with dot)	Existing Shrubs to Remain in Place	N/A	N/A	
(Circle with cross-hatch)	Existing Shrubs to Remove	N/A	N/A	
<b>SHRUBS AND ACCENTS:</b>				
(Circle with dot)	<i>Cassia nemophylla</i> Desert Cassia	5 gallon	9	
(Circle with vertical lines)	<i>Dalea frutescens</i> Black Dalea	5 gallon	11	
(Circle with horizontal lines)	<i>Dasyliiron wheeleri</i> Desert Spoon	5 gallon	18	
(Circle with diagonal lines)	<i>Dodonaea viscosa</i> Hop Bush	5 gallon	19	
(Circle with starburst)	<i>Hesperaloe parviflora</i> Red Yucca	5 gallon	13	
(Circle with vertical lines)	<i>Muhlenbergia capillaris</i> 'Regal Mist' Regal Mist Muhly	5 gallon	39	
(Circle with vertical lines)	<i>Nerium oleander</i> Oleander	5 gallon	46	
(Circle with horizontal lines)	<i>Ruellia brittoniana</i> 'Katie' Dwarf Ruellia	1 gallon	45	
<b>GROUNDCOVERS:</b>				
(Circle with vertical lines)	<i>Convolvulus oneorum</i> Bush Morning Glory	1 gallon	84	
(Circle with horizontal lines)	<i>Lantana camara</i> Trailing Lantana	1 gallon	91	
(Circle with diagonal lines)	<i>Rosmarinus officinalis</i> Dwarf Rosemary	1 gallon	120	
<b>ROCK MULCH:</b>				
(Rectangle)	Match Existing		18,426 S.F.	

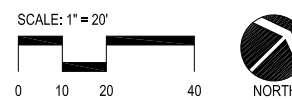
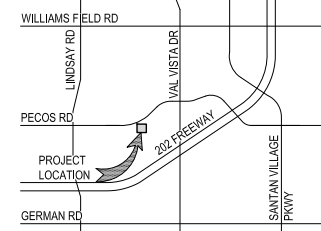
**KEYNOTES**

- 1 Property Line, refer to Civil Engineering plans
- 2 Existing Light Post
- 3 Existing Sidewalk
- 4 Gate
- 5 Overhead Electric Line, refer to Civil Engineering plans
- 6 Wall on Property Line, refer to Civil Engineering Plans
- 7 36" Screen Wall, refer to Civil Engineering Plans
- 8 Decorative Paving, refer to Civil Engineering Plans
- 9 Sight Triangle, refer to Civil Engineering Plans

**PLANTING CALCULATIONS**

ON-SITE LANDSCAPE AREA	14,176 SQUARE FEET
OFF-SITE LANDSCAPE AREA	4,250 SQUARE FEET
NET SITE AREA	87,122 SQUARE FEET
COVERAGE (ON-SITE LANDSCAPE AREA/ NET SITE AREA)	16.2%

**VICINITY MAP**



DATE:  
03.20.2017

PRELIMINARY LANDSCAPE PLAN

**SERVICE KING**

PREPARED FOR: BECK CONSULTING ENGINEERS

GILBERT, AZ

DATE: REVISION:

PRELIMINARY  
PLAN

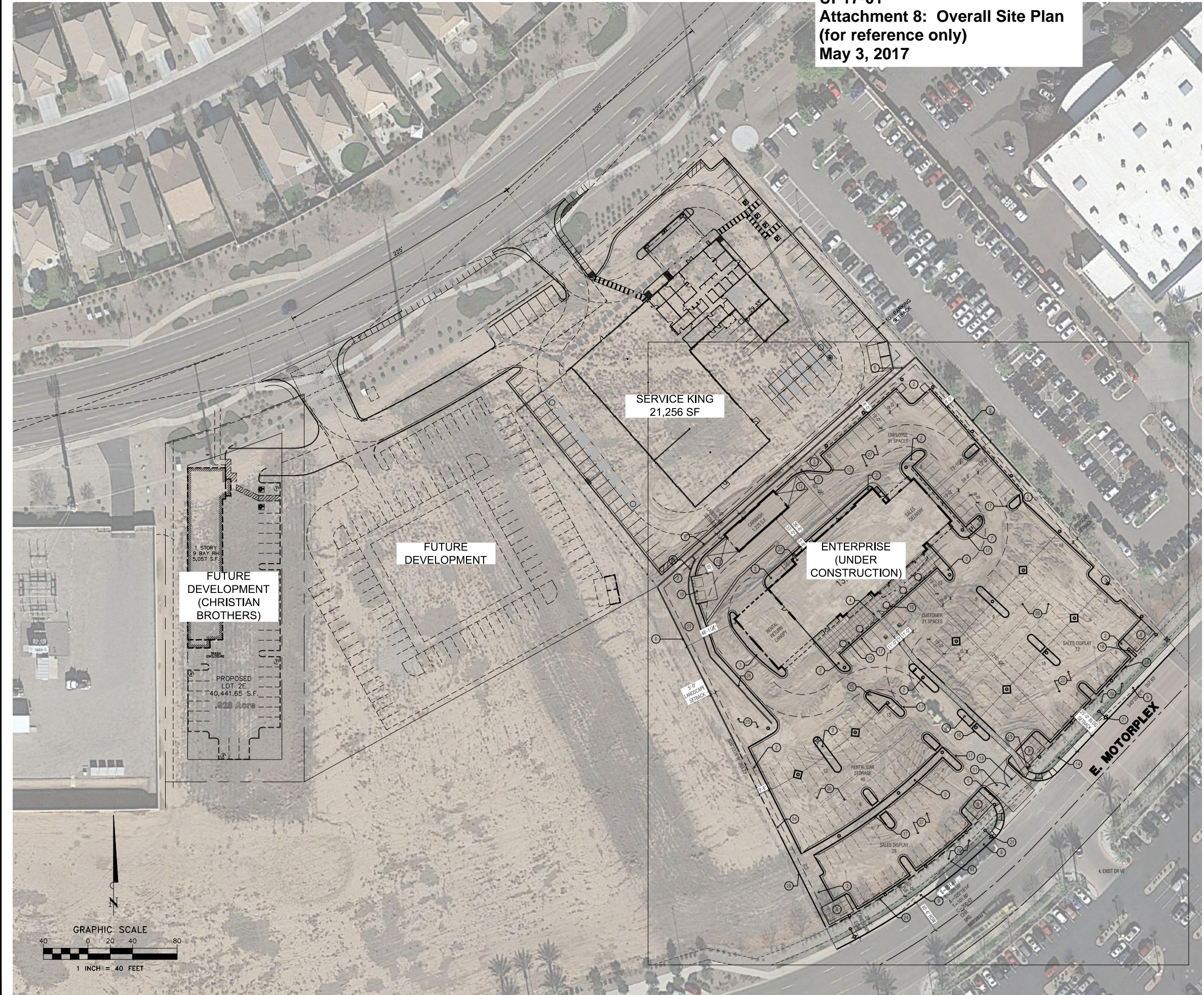
SHEET 01 OF 01

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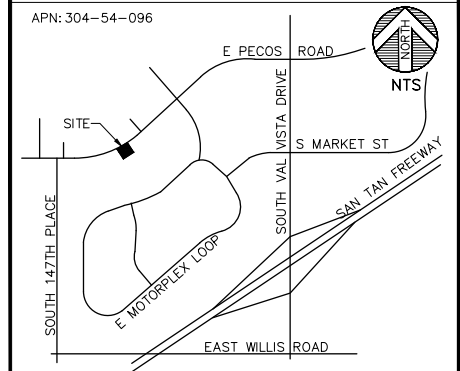
**UP17-01**  
**Attachment 7: Landscape Plan**  
**(for reference only)**  
**May 3, 2017**



**UP17-01  
Attachment 8: Overall Site Plan  
(for reference only)  
May 3, 2017**



**VICINITY MAP**



**NOTES**

THIS EXHIBIT IS INTENDED TO CONCEPTUALLY SHOW THE DEVELOPMENT OF THE OVERALL PARCEL.  
ACCESS AND UTILITY EASEMENTS WILL BE PROVIDED TO SERVE THE PARCELS FRONTING RAY ROAD INCLUDING FUTURE DEVELOPMENT INCLUDING SERVICE KING, FUTURE DEVELOPMENT AND CHRISTIAN BROTHERS.  
THIS SITE PLAN IS CONCEPTUAL ONLY AND EACH SITE WILL BE REQUIRED TO OBTAIN FORMAL SITE PLAN/DESIGN REVIEW APPROVAL.

**beck**  
consulting engineers  
9034 N. 23RD AVENUE  
SUITE #5  
PHOENIX, AZ 85021  
PHONE: (602) 943-6200  
FAX: (602) 943-6201

SCALE (H): AS SHOWN  
SCALE (V): N/A  
DESIGNED BY: HCV  
DRAWN BY: HCV  
CHECKED BY: MMB  
DATE: 08/01/2016

CONCEPTUAL SITE PLAN  
**SERVICE KING**  
AT SAN TAN MOTORPLEX  
GILBERT, ARIZONA

**LEGEND**

- EASEMENT LINE
- CENTERLINE
- PROPERTY LINE / RIGHT-OF-WAY LINE
- LANDSCAPE SETBACK
- ACCESSIBLE ROUTE
- FIRE TURNING RADIUS  
55' OUTSIDE, 35' INSIDE
- ⊙ PR. FIRE HYDRANT
- ⊙ PR. FDC
- ⊙ (EX) LIGHT POLE
- ⊙ (EX) ELECTRIC BOX

NO.	REVISION	BY	DATE	APPR.



PROJECT NO.  
**160001**  
SP1 of 1