



Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: NATHAN WILLIAMS, AICP, SENIOR PLANNER
(480) 503-6805, NATHAN.WILLIAMS@GILBERTAZ.GOV

THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: APRIL 5, 2017

SUBJECT: DR16-51, DUTCH BROS COFFEE

NW
ajl

STRATEGIC INITIATIVE: Community Livability

To allow for the development of a Dutch Bros Coffee facility that will provide additional commercial retail development options for the community.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR16-51, Dutch Bros Coffee: site plan, landscape plan, grading and drainage, elevations, floor plans, lighting, colors and materials for a 1-story, 900 sf Beverage Service Restaurant, located on approximately 1 acre, south and west of the southwest corner of Val Vista Drive and Willis Road, in the Regional Commercial (RC) zoning district, subject to conditions.

APPLICANT/OWNER

Company: Piazza RCC, LLC
 Name: Bill Cantieri
 Address: 4428 E. Mountain Sage Drive
 Phoenix, AZ 85044
 Phone: (480) 818-9736
 Email: bill@piazza-az.com

Company: VWP Val Vista Land, LP
 Name: Danny Swancey
 Address: 2390 E Camelback Rd.
 Phoenix, AZ 85016
 Phone: (602) 957-8300
 Email: dswancey@viawestgroup.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>October 23, 2007</i>	Town Council approved annexation (A07-67) under Ordinance No. 2074 for 39.16 acres of land including the subject site, located at the southwest corner of Val Vista Drive and Willis Road.
<i>November 13, 2007</i>	Town Council approved rezoning (Z07-101) under Ordinance No. 2084 to rezone 39.16 acres, including the subject site, to Town of Gilbert, Regional Commercial (RC) zoning district.
<i>January 4, 2017</i>	Planning Commission/ Design Review Board reviewed DR16-51, Dutch Bros. at a Study Session.

Overview

The Dutch Bros Coffee facility is a 900 sf Beverage Service Restaurant located south and west of the southwest corner of Val Vista Drive and Willis Road, in the Regional Commercial district directly north of the existing Express Carwash facility. This project site is proposing to develop with a 900 sf building and 900 sq. ft. outdoor patio and seating area, with 19 on-site parking spaces and drive-thru facility.

Surrounding Land Use & Zoning Designations

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Regional Commercial (RC)	Regional Commercial (RC)	Vacant land
South	Regional Commercial (RC)	Regional Commercial (RC)	Express Carwash and QT Fueling Facility
East	General Office (GO)	General Office (GO)	Val Vista Drive then
West	Regional Commercial (RC)	Regional Commercial (RC)	The Aspens at Mariposa Point, Congregate Living Facility (DR16-36)
Site	Regional Commercial (RC)	Regional Commercial (RC)	Vacant land

Project Data Table

Site Development Regulations	Required per LDC	Proposed
Lot Area	--	1 acre
Total Building Area	--	900 sf (Building area) 252 sf (Drive-thru canopy) <u>900 sf (Outdoor patio)</u> 2,052 sf (gross bldg.)
Maximum Building Height	55'	28'
Minimum Building Setback		
Front to ROW	25'	79'
Side to non-residential	n/a	n/a

Site Development Regulations	Required per LDC	Proposed
Rear to non-residential	n/a	n/a
Separation Between Buildings	15'	n/a
Minimum Required Perimeter Landscape Area		
Front to ROW	25'	25'
Side to non-residential	5'	6'
Rear to non-residential	5'	8'
Landscaping (% of net lot area)	15%	27.4% (11,255 sf net)
Parking	1 space per 75 sf of interior area; 1 space per 400 sf of outdoor dining area; Bicycle parking, ratio of 1 per each 10 required vehicle parking spaces.	900 sf = 12 spaces (interior) <u>900 sf = 3 spaces (patio)</u> 15 spaces required/ 19 spaces provided 2 required/ unknown provided

DISCUSSION

Site Plan

The Dutch Bros facility will be developed as a 900 sq. ft., 1-story building with outdoor patio and drive-thru on the vacant 1-acre subject parcel just south and west of the southwest corner of Val Vista Drive and Willis Road. The project is oriented to face Val Vista Drive; however, the single access point to the subject site will be located on the rear (west) portion of the site and will be provided via internal access drives that will be constructed by the master developer to the north and west. These internal access drives will be required to be constructed at the time of Certificate of Occupancy of either the subject request under Dutch Bros. (DR16-51) or The Aspens at Mariposa Point Congregate Living Facility (DR16-36) located to the west of the Dutch Bros site. Specifically the master developer will be required to construct the access road directly north of the Dutch Bros site and west of the project site will connect Willis Road down to the existing connection south to the Express Car Wash that fronts Val Vista Drive as shown on the overall site plan.

Based on staff and Design Review Board comments, the applicant has provided a redesign of the landscape areas and drive-aisles on the 1-acre Dutch Bros site that staff feels will be helpful to providing more efficient and safe vehicular and pedestrian access on the western portion of the site. Additionally, the master developer of the overall 20 acre site has provided a master site plan and demonstrates pedestrian and vehicular connectivity and improvements that will be constructed with the Dutch Bros or the recently approved Aspens at Mariposa Point Congregate Living facility, whichever develops first.

This project site proposes a 900 sf building and 900 sf outdoor patio and seating area, with 19 on-site parking spaces and drive-thru facility. A physical menu board will be constructed on the site, however, menu boards will not be utilized for ordering but rather a staff member(s) will greet cars as they approach the drive-thru lanes of the site. The Land Development Code (LDC) requires 3 vehicular stacking spaces for the site. However, due to the typical demand of a Dutch Bros facility, the applicant has proposed approximately 30 stacking spaces via dual stacking drive-thru lanes.

Landscaping

The proposed landscaping exceeds the minimum amount required with approximately 29.5% of the net property area. The landscaped areas are primarily located around the perimeter of the property, in the retention basins, and in the outdoor patio and seating area while providing foundation landscaping, as well as throughout the site in the parking lot islands.

The proposed plant palette consists of four (4) types of trees – Sissoo, Jacaranda, Chinese Pistache and Evergreen Elm. Additionally, there are seven (7) shrubs and ground cover types proposed on the Dutch Bros site. The front landscape setback of 25'-0" is has been provided in front of the proposed drive-thru lane, and the side landscape areas provided vary in width between 6'-8' in width and are meeting the minimum requirements and provide an excellent buffer between adjacent existing and future commercial retail uses to the south and north. Off-site walkways required for pedestrian connectivity to the Dutch Bros site and any subsequent landscaping along the private drives to the west and north will be installed by the master developer.

Grading and Drainage

The preliminary grading and drainage plan directs the majority of the runoff volume and retention into a combination of retention basins on the front (east) of the property in required landscape areas as well as underground retention located in the parking lot of the subject site.

Elevations and Floor Plan

The building has been designed with materials and colors that are distinctive of the Dutch Bros corporate design and image. Staff is supportive of the articulation of the building elevations as the applicant has provided revised elevations (design, color and materials) for the building based on staff and Design Review Board comments. The proposed Dutch Bros building is quite small at 900 sf. The proposed new design elements include utilizing "softer" building materials based on review comments such as the use of exterior wood textured panels, stucco and metal wall panels and less use of CMU materials as originally proposed. The proposed building utilizes multiple rooflines and massing elements, such as gable and parapet rooflines and building elements and outdoor patio and drive-thru canopy features.

Colors/Materials

The building design, colors and materials have been updated based staff and Design Review Board comments. The building will utilize a combination of regal blue standing seam metal roofing, gray exterior wood textured panels, gray stucco and "Natural Greige" metal wall panels, and charcoal gray ground face CMU materials for the outdoor patio walls and columns and drive-thru columns with additional blue trim for the canopies of the building. Staff finds that the

proposed building now utilizes softer materials and design elements as well as landscape planters and so forth that have made the proposed building and outdoor patio more inviting and less sterile or industrial looking than originally proposed, while still keeping in line with the desired corporate image for Dutch Bros.

Lighting

Site lighting is provided via parking lot pole lighting, building mounted lighting and under canopy lighting for the covered parking areas. The proposed photometric plan appears to meet Town requirements for a maximum of 0.3 foot-candles along the property lines.

Signage

Signage is not included in this approval. The creation of a Comprehensive Sign Program for the overall master development shall be created under an Administrative Design Review by the master developer. Approval is required prior to submitting for sign permits.

Planning Commission/ Design Review Board Comments from Study Session

During the January 4, 2017 Study Session, the following comments were brought forth by both Staff and the Board Members:

- The overall site plan demonstrates pedestrian connectivity to the Dutch Bros site from the overall 20 acre site, with a connection to the north and west of proposed Dutch Bros site.
- Dutch Bros site refuse enclosure location, and overall site access and circulation has been redesigned with the expansion of the landscape areas and drive-aisles that should provide for more efficient and safe vehicular and pedestrian access on the western portion of the site.
- Building architecture/ design, colors/ materials have been redesigned with some alternative colors and materials to make the building appear softer and more inviting. Landscape planter walls have been added around the outdoor patio.

PUBLIC NOTIFICATION AND INPUT

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code (LDC) Article 5.205.

Staff has not received any public comment.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR16-51, Dutch Bros Coffee: site plan, landscape plan, grading and drainage, elevations, floor plans, lighting, colors and materials for a 1-story, 900 sf Beverage Service Restaurant, located on approximately 1 acre, south and west of the southwest corner of Val Vista Drive and Willis Road, in the Regional Commercial (RC) zoning district, subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the April 5, 2017 public hearing;
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004;
3. Signage is not included in this approval. A Comprehensive Sign Program for the overall develop shall be created under an Administrative Design Review approval is required prior to submitting for sign permits;
4. The minimum required bicycle parking (2 spaces/ racks) as required under LDC – 4.2016, shall be provided near building entrances with CD submittal;
5. The planned shared drive aisles and walkways running along the northern and western property boundary of the subject site as shown on the Overall Site Plan shall be constructed by the Master Developer and completed prior to Certificate of Occupancy.

Respectfully submitted,



Nathan Williams, AICP
Senior Planner

Attachments and Enclosures:

- 1) Notice of Public Hearing Map
- 2) Aerial Photo
- 3) Overall Master Site Plan
- 4) Site Plan
- 5) Landscape Plan
- 6) Color Elevations (2 pages)
- 7) Floor Plans
- 8) Colors/ Materials Board (2 pages)
- 9) Grading and Drainage (2 pages)
- 10) Lighting Plan (3 pages)
- 11) Project Narrative (2 pages)

FINDINGS OF FACT
DR16-51, Dutch Bros.

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Notice of Public Hearing

PLANNING COMMISSION DATE:

Wednesday, April 5, 2017 TIME: 6:00 PM*

**LOCATION: Gilbert Municipal Center
Council Chambers
50 E. Civic Center Drive
Gilbert, Arizona 85296**

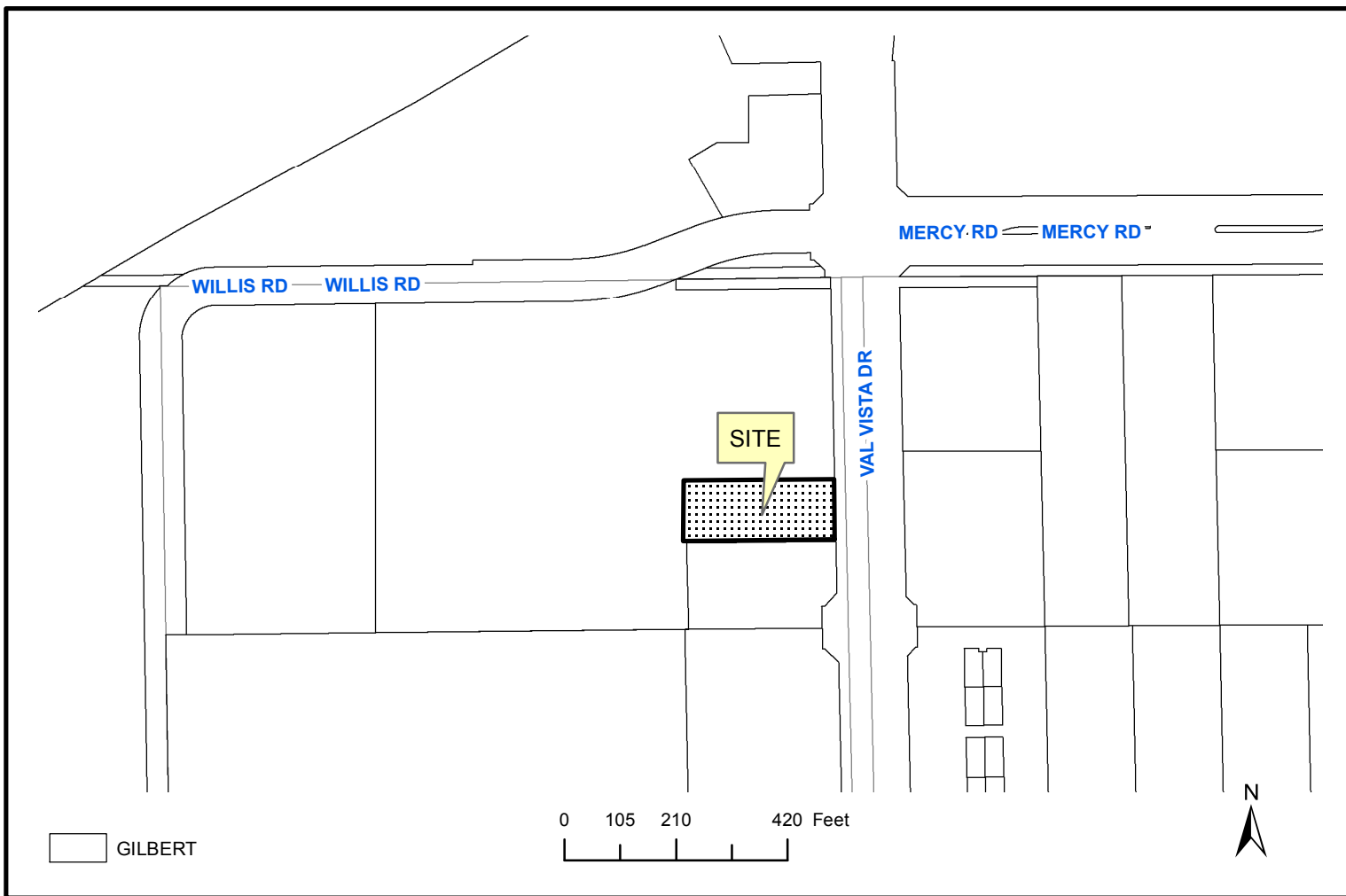
*** Call Planning Department to verify date and time:
(480) 503-6805**

* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m. Staff reports are available the Monday prior to the meeting at <http://www.gilbertaz.gov/departments/development-services/planning-development/design-review-board>

REQUESTED ACTION:

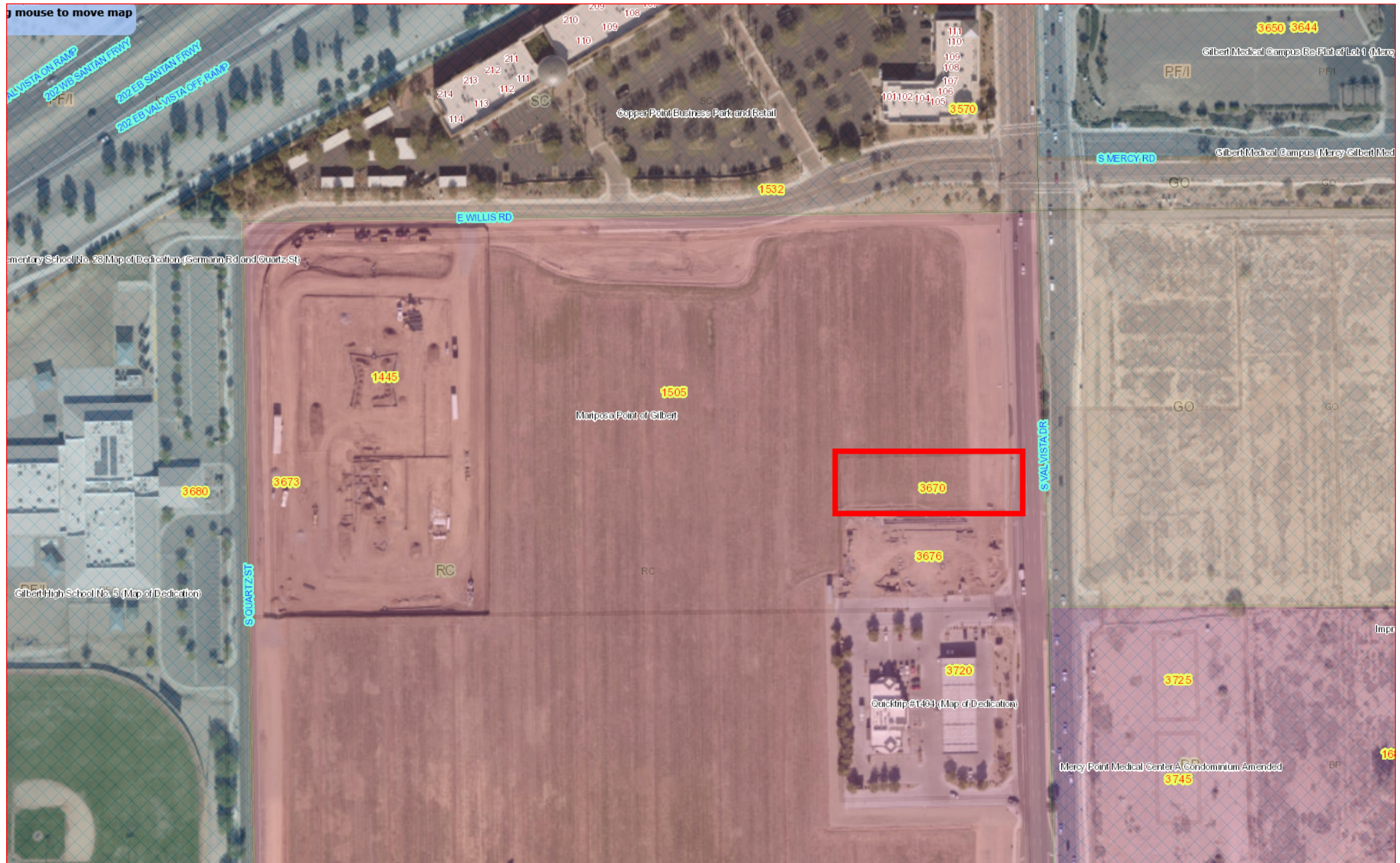
DR16-51, Dutch Bros Coffee: Site plan, landscape, grading and drainage, building elevations, floor plans, lighting, colors and materials for approximately 1.0 acres, for the Dutch Bros facility, located south of the SWC of Willis Road and Val Vista Drive, in the Regional Commercial (RC) zoning district.

SITE LOCATION:



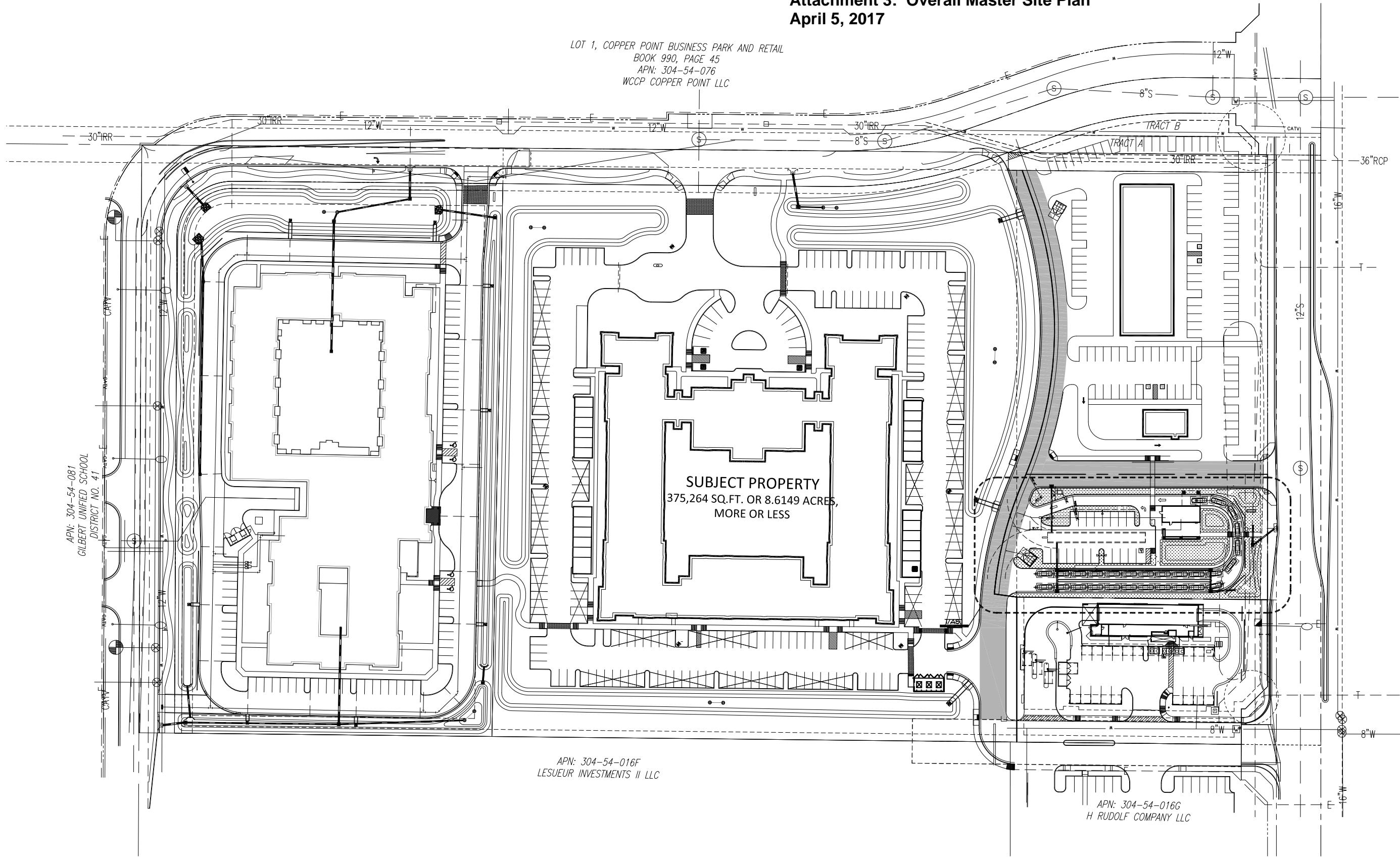
**APPLICANT: Piazza RCC, LLC
CONTACT: Bill Cantieri
ADDRESS: 4428 E. Mountain Sage Drive
Phoenix, AZ 85044**

**TELEPHONE: (480) 818-9736
E-MAIL: bill@piazza-az.com**



DR16-51
Attachment 3: Overall Master Site Plan
April 5, 2017

LOT 1, COPPER POINT BUSINESS PARK AND RETAIL
 BOOK 990, PAGE 45
 APN: 304-54-076
 WCCP COPPER POINT LLC



APN: 304-54-081
 GILBERT UNIFIED SCHOOL
 DISTRICT NO. 41

APN: 304-54-016F
 LESUEUR INVESTMENTS II LLC

APN: 304-54-016G
 H RUDOLF COMPANY LLC

1 overall site plan



1" = 50'-0"

shaded area denotes: roadway, curb, gutter and entry drive aisles to be completed by Via West prior to the opening of dutch bros or other aspen buildings.



STEWART + REINDERSMA
 ARCHITECTURE, PLLC

5450 e high street, suite 200
 phoenix, az 85054
 p: 480.515.5123
 www.sra360.com



architect:

applicant/contact:
 piazza - restaurant consulting
 clutch brothers coffee
 4428 e. mountain sage dr.
 phoenix, az 85044
 contact bill carlton
 c: (480) 818-9736

Dutch Bros. Coffee



3670 S. VAL VISTA DR.
 GILBERT, AZ 85297

project:

This drawing is an instrument of service and the property of Stewart + Reindersma Architecture, PLLC, and shall remain their property. The use of this drawing shall be restricted to the original site for which it is prepared and publication thereof is expressly limited to such use.

date: 2/24/17

issued for: DESIGN REVIEW

job no.: 16-051

sheet title:
**OVERALL
 SITE PLAN**

sheet no.:

as.1.1

site data

SCOPE: DUTCH BROS COFFEE DRIVE-THRU RESTAURANT

ADDRESS: 5. VAL VISTA DR. GILBERT, AZ 85241 PART OF LOT 2, MARIPOSA POINT OF GILBERT BOOK 1246, PAGE 40, M.C.R.

USE: RESTAURANT

OCCUPANCY: B (ASSEMBLY W/ OCC. LOAD LESS THAN 50)

CONSTR. TYPE: V-B, FULLY SPRINKLERED

BLDG. AREA: 900 S.F.

PATIO CANOPY: 900 S.F.

DRIVE-THRU: 252 S.F.

TOTAL COVERED: 2,052 S.F.

SCOPE: RC (REGIONAL COMMERCIAL)

APN: 304-54-094

LOT SIZE (NET): 40,930 S.F. (0.9396 AC)

TOTAL LANDSCAPE AREA: 12,080 S.F.

LANDSCAPE AREA COVERAGE: 29.51%

LOT COVERAGE: 5.01%

PARKING REQUIRED: BEVERAGE SERVICE RESTAURANT (1:75 = 12) OUTDOOR DINING (1:400 = 2.25) TOTAL REQUIRED: 15 SPACES

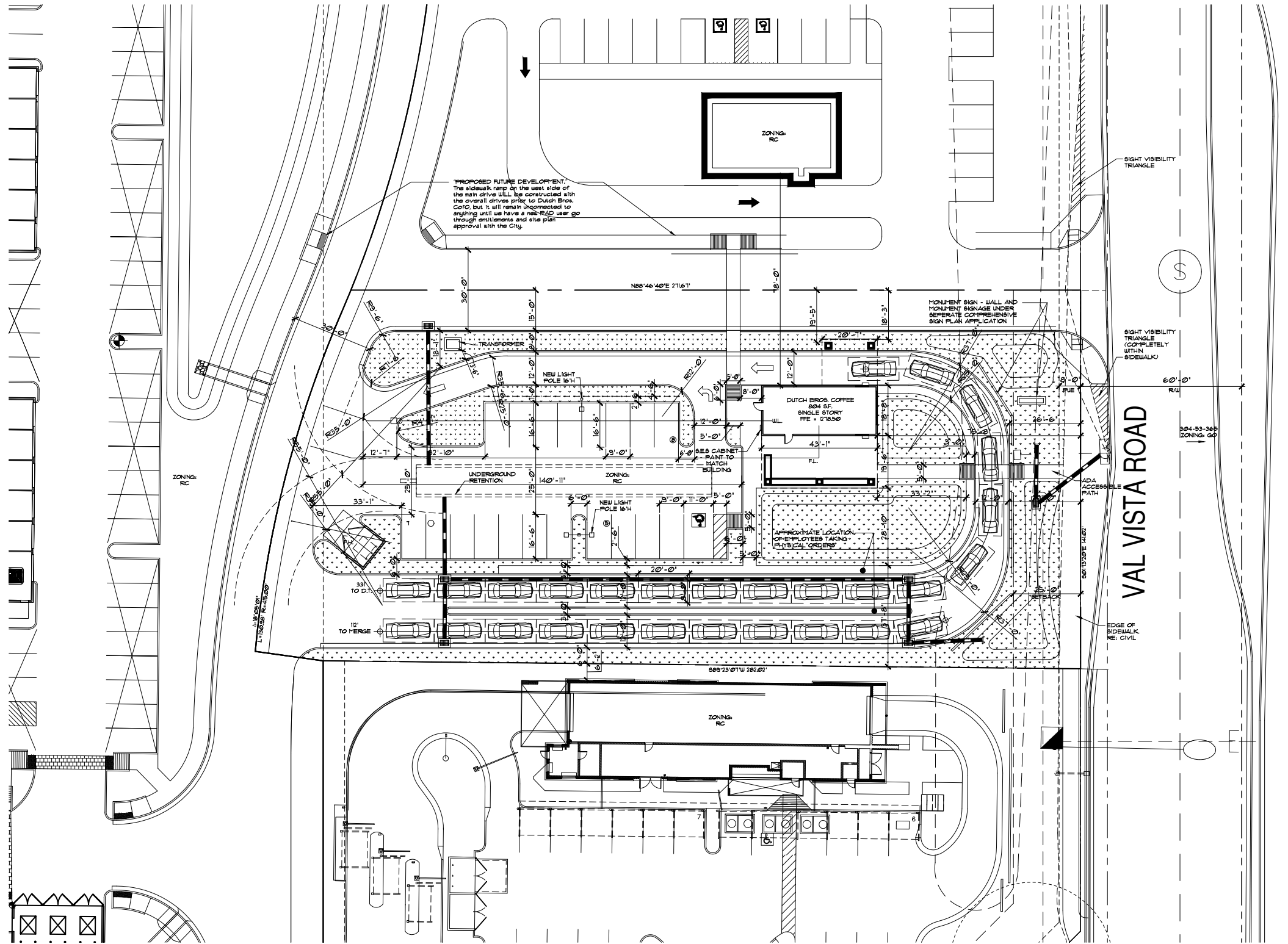
TOTAL PROVIDED: 19 SPACES, INCLUDING 1 ACCESSIBLE

METHOD OF MECH. SCREENING: PARAPET WALL

DR16-51 Attachment 4: Site Plan April 5, 2017

site notes

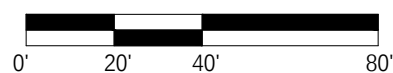
- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 6' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES.
- 6.6.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET.
 - SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET.
 - AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR
 - BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - ENCLOSED IN FILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING OR,
 - ROUTED UNDERGROUND.
- ALL BACKFLOW PREVENTION DEVICES 2" OR LARGER SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS LESS THAN 2" SHALL BE PLACED IN A WIRE CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
 - BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30' FROM ADJACENT GRADE.
 - BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 112.2.A OF THE ULDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 35'. THE MAXIMUM HEIGHT OF A BUILDING MOUNTED LIGHT FIXTURE IS 14'. THE MAXIMUM HEIGHT OF A FREESTANDING LIGHT FIXTURE LOCATED WITHIN 100' OF A RESIDENTIAL ZONING DISTRICT OR PROPERTY DESIGNATED FOR RESIDENTIAL DEVELOPMENT IN THE GENERAL PLAN IS 14'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUND AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- CUSTOMER EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDED USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.



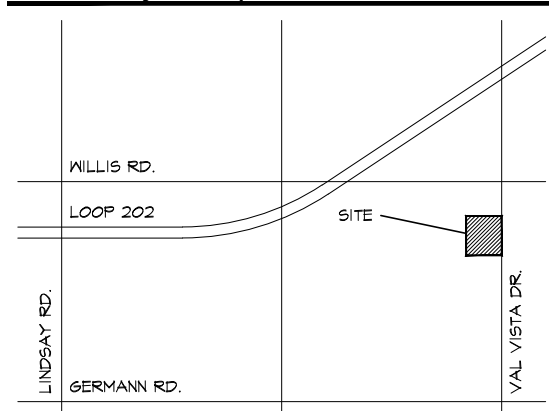
1 site plan



1" = 20'-0"



vicinity map



STEWART + REINDERSMA ARCHITECTURE, PLLC

5450 e high street, suite 200
 phoenix, az 85054
 p: 480.515.5123
 www.sra360.com



architect:
 architect:
 applicant/contact:
 piazza - restaurant consulting
 dutch brothers coffee
 4428 e. mountain sage dr.
 phoenix, az 85044
 contact bill cantien
 c: (480) 818-9736

Dutch Bros. Coffee
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date: 2/24/17
 issued for: DESIGN REVIEW
 job no.: 16-051
 sheet title: SITE PLAN
 sheet no.: v3



DR16-51
Attachment 5: Landscape Plan
April 5, 2017



the MOORE/SWICK partnership
landscape architects and planners
414 E. Mill Avenue, Suite 207
Tempe, Arizona 85281
Phone 480.854.9284
Fax 480.894.9301
CONTACT: GREG SWICK
E-MAIL: gswick@mooreswick.com

360
STEWART + REINDERSMA
ARCHITECTURE, PLLC
5450 E High Street, Suite 200
Phoenix, AZ 85054
P: 480.515.5123
www.sra360.com

THIS PROJECT
VICINITY MAP
N.T.S.

PLANT LIST

SYMBOL	BOTANICAL NAME COMMON NAME	SIZE	QTY.	REMARK
TREES:				
(+)	EXISTING TREE TO REMAIN			PROTECT FROM DAMAGE DURING CONSTRUCTION
(□)	DALBERGIA SISSOO SISSOO TREE	15 GALLON 24" BOX	5 3	6'-7" H X 2'-3" W X .75" CAL. 8'-9" H X 3'-4" W X 1.0"-1.5" CAL.
(△)	JACARANDA MIMOSIFOLIA JACARANDA	24" BOX	3	6'-8" H X 3'-4" W X .75" CAL.
(▲)	PISTACIA CHINENSIS CHINESE PISTACHE	24" BOX	3	7'-9" H X 2.5'-3.5" W X 1.0"-1.5" CAL.
(●)	ULMUS PARVIFOLIA EVERGREEN ELM	24" BOX	5	7'-9" H X 3'-4" W X 1.0"-1.5" CAL.
SHRUBS:				
(⊕)	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD' GREEN CLOUD SAGE	5 GALLON	53	
(⊕)	LEUCOPHYLLUM LAEVIGATUM CHIHUAHUA SAGE	5 GALLON	123	
(⊕)	RUPELLIA PENINSULARIS DESERT RUELLIA	5 GALLON	66	
ACCENTS:				
(*)	AGAVE DESMETTIANA 'VARIEGATA' VARIEGATED SMOOTH AGAVE	5 GALLON	8	
(*)	HESPERALOE PARVIFLORA RED YUCCA	5 GALLON	15	
GROUND COVER:				
(○)	LANTANA X 'NEW GOLD' TRAILING YELLOW LANTANA	1 GALLON	64	
(○)	PORTULACARIA AFRA 'PROSTRATE FORM' DWARF ELEPHANT FOOD	1 GALLON	23	
DECOMPOSED GRANITE:				
AS NOTED	'TAN' COLOR	1/2" SCREENED		ALL LANDSCAPE AREAS TO RECEIVE A 2" LAYER UNLESS OTHERWISE NOTED ON PLANS

IRRIGATION SYSTEM

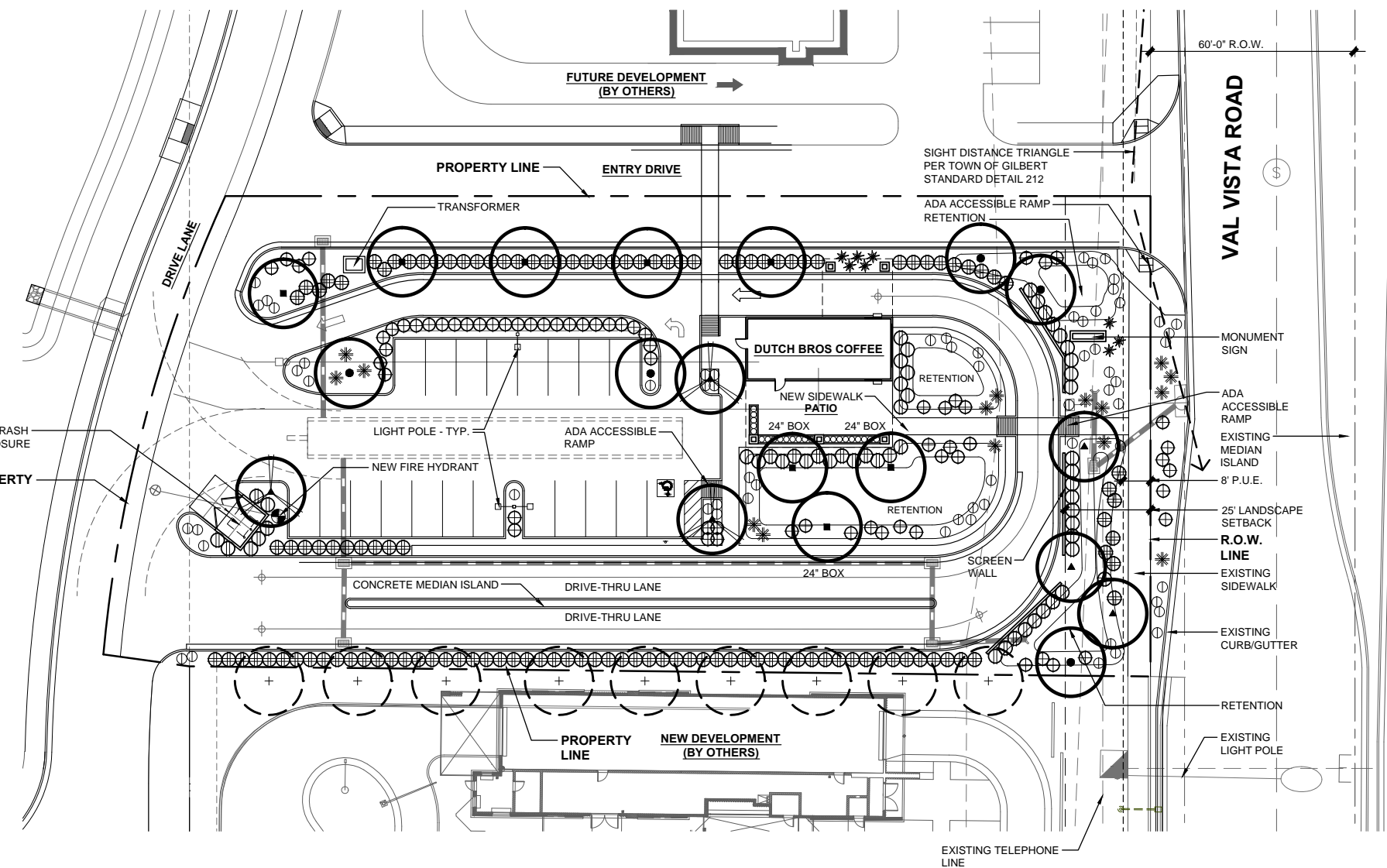
ALL PLANT MATERIAL TO BE IRRIGATED BY AN AUTOMATIC UNDERGROUND 'HARD PIPE' DRIP IRRIGATION SYSTEM. TREES AND SHRUBS/GROUND COVER SHALL BE VALVED SEPARATELY.

PROJECT DATA TABLE

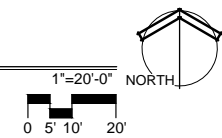
NET SITE AREA:	40,930 S.F.
SQUARE FOOTAGE OF ON-SITE LANDSCAPING:	12,080 S.F.
SQUARE FOOTAGE OF PUBLIC RIGHT-OF-WAY (OFF-SITE) LANDSCAPING:	825 S.F.
TOTAL SQUARE FOOTAGE OF ON-SITE AND OFF-SITE LANDSCAPING:	12,905 S.F.
LANDSCAPE AREA COVERAGE: (ON-SITE LANDSCAPE AREA DIVIDED BY NET SITE AREA)	29.51%

STREET THEME TREE - STREET FRONTAGE 130 L.F.

	REQUIRED	PROVIDED
STREET FRONTAGE (1 TREE PER 25 L.F.)	6	6
CHINESE PISTACHE (25% OF STREET FRONTAGE TREES)	2	3
EVERGREEN ELM (25% OF STREET FRONTAGE TREES)	2	3



LANDSCAPE CONCEPT PLAN



applicant/contact:
plazza - restaurant consulting
dutch brothers coffee
4428 e. mountain sage dr.
phoenix, az 85044
contact bill cantien
c: (480) 818-9736

Dutch Bros. Coffee
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date: 02/24/17
issued for: DESIGN REVIEW
job no.: 16-057
sheet title:
LANDSCAPE CONCEPT PLAN
sheet no.:

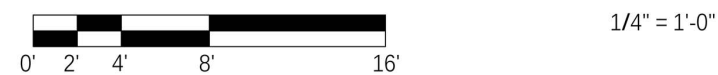
Call at least two full working days before you begin excavation.
ARIZONA 811
Arizona Blue Stakes, Inc.
Dial 8-1-1 or 1-800-STAKE-11 (782-5348) in Maricopa County: (602) 263-1100

FINISH LEGEND & SYM.

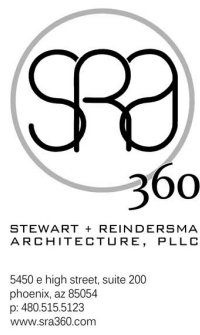
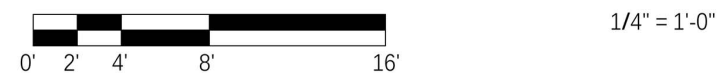
- PT1 "REGAL BLUE" BY FIRESTONE ROOFING - STANDING SEAM METAL ROOF AND FASCIA.
- PT2 "DECEMBER SKY" BY DUNN EDWARDS, DE6352 - STUCCO / MEDIUM FINISH
- PT3 TRIM TO MATCH COLOR OF LOWER PANEL.
- PT4 "HALF SCORE" SMOOTHFACE MASONRY UNIT - PAINTED DUNN EDWARDS, DE6364 'CAVERNOUS'
- PT5 "ISLAND MIST" BY TREX - EXTERIOR WALL PANELING SYSTEM WITH WOOD TEXTURING
- PT6 "NATURAL GREIGE" BY TRESPA (METAL WALL PANEL SYSTEM)
- PT7 METAL TRIM TO MATCH ROOF COLOR.



b east elevation



a north elevation



applicant/contact:
 piazza - restaurant consulting
 dutch brothers coffee
 4428 e. mountain sage dr.
 phoenix, az 85044
 contact bill caniteri
 c: (480) 818-9736

Dutch Bros. Coffee



S. VAL VISTA DR.
 GILEERT, AZ 85297

project

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date: 2/02/17

issued for: DESIGN REVIEW

job no.: 16-051

sheet title:
 EXTERIOR
 ELEVATIONS

sheet no.: v3



FINISH LEGEND & SYM.

- ◆ PT1 "REGAL BLUE" BY FIRESTONE ROOFING - STANDING SEAM METAL ROOF AND FASCIA.
- ◆ PT2 "DECEMBER SKY" BY DUNN EDWARDS, DE6352 - STUCCO / MEDIUM FINISH
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date: 2/02/17

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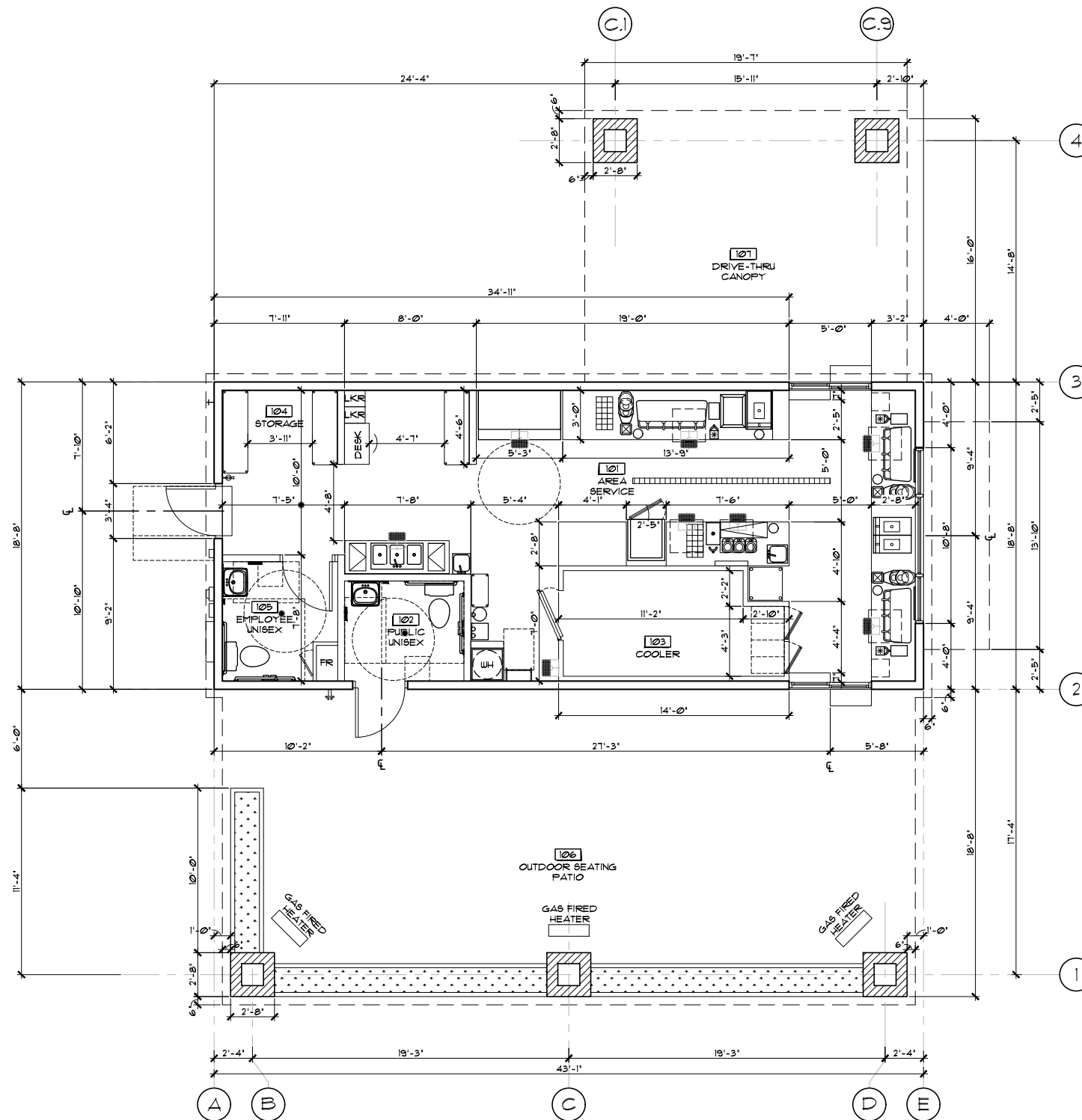
job no.: 16-051

sheet title:

EXTERIOR ELEVATIONS

sheet no.: v3





1 Floor Plan



1/4" = 1'-0"



STEWART + REINDERSMA
 ARCHITECTURE, PLLC

5450 e high street, suite 200
 phoenix, az 85054
 p: 480.515.1223
 www.sra360.com



architect:

applicant/contact:
 piazza - restaurant consulting
 clutch brothers coffee
 4428 e. mountain sage dr.
 phoenix, az 85044
 contact bill cantien
 c: (480) 818-9736

Dutch Bros. Coffee



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 GILBERT, AZ 85297

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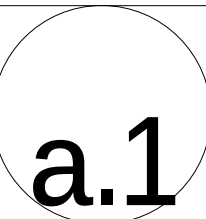
date: 2/08/17

issued for: DESIGN REVIEW

job no.: 16-051

sheet title:
 FLOOR PLAN

sheet no.:



COLOR / MATERIAL PALETTE



"REGAL BLUE" BY FIRESTONE ROOFING
(STANDING SEAM METAL ROOF AND FASCIA)



"NATURAL GREIGE" BY TRESPA
(META WALL PANEL SYSTEM)



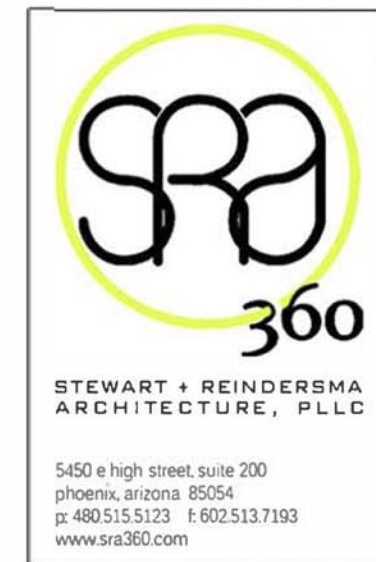
"ISLAND MIST" BY TREX
(EXTERIOR WALL PANELING with
WOOD TEXTURING)



"DECEMBER SKY" BY DUNN EDWARDS, DE6352
(STUCCO / MEDIUM FINISH)



S. VAL VISTA DRIVE
GILBERT, AZ 85297





Color & Inspiration - Colors

CAVERNOUS DE6364



Cavernous

DE6364

Cool Neutrals, Perfect Palette®

LRV 8

Munsell: HUE=9.27BG / VALUE=3.3 / CHROMA=0.2

TRIM

ACCENT

Whisper
DEW340

Crossroads
DE5359

[Order Color Sample](#) >

[Save to My Favorites](#) >

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[Find Local Store](#) >

Paint colors represented are approximations and are not exact matches. No guarantee is intended and approval or final color selections and color placement are the responsibility of the property owner or the owner's agent. Purchasing 8 oz. Perfect Palette Sampler color is highly recommended.

SIMILAR COLORS

Black Pool
DE6315

Black Lead
DE6322

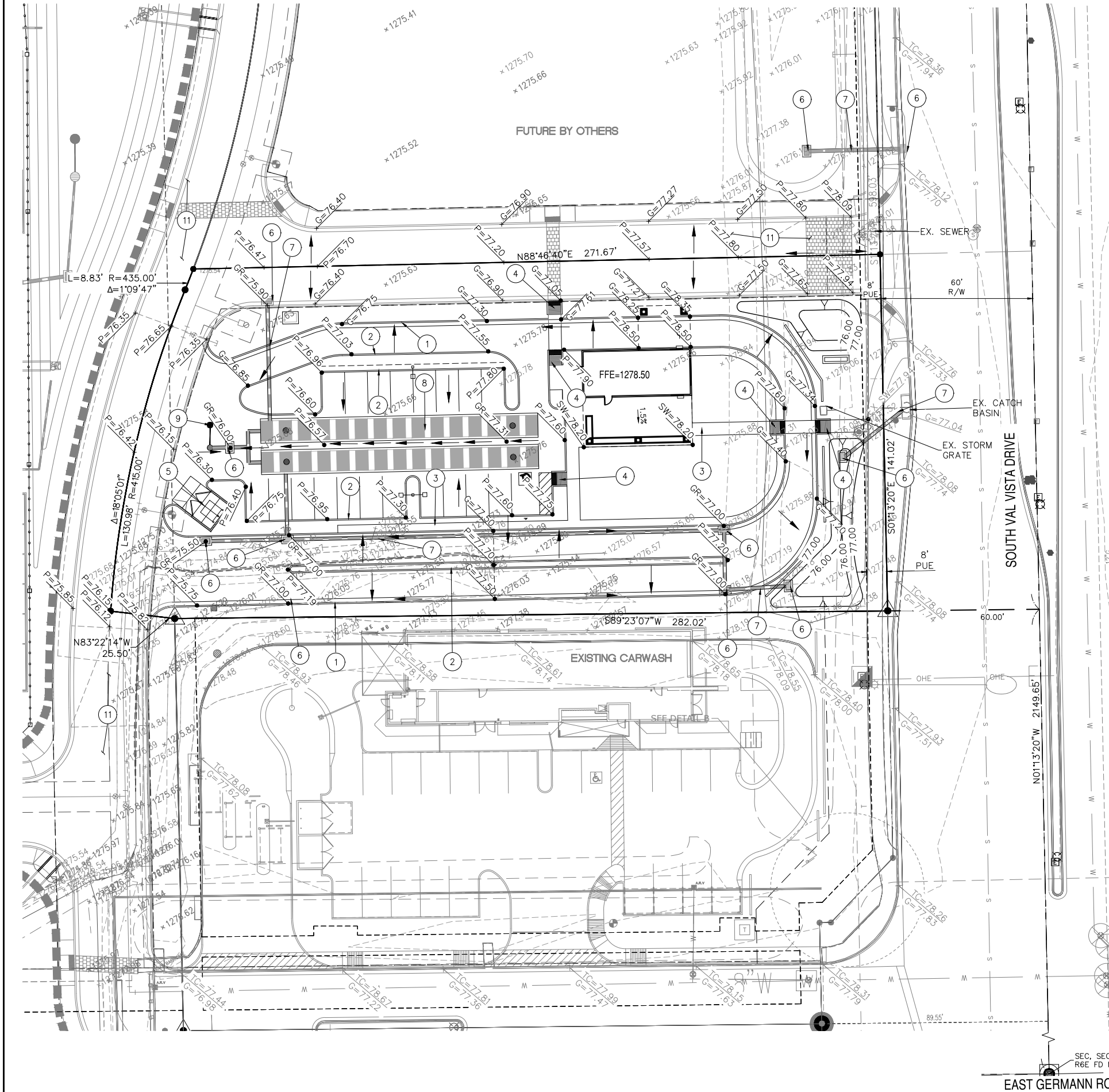
Cover of Night
DE6329

Black Jack
DE6371

Jet
DE6378

Iron Fixture
DE6384

DR16-51
Attachment 9: Grading and Drainage (2 pages)
April 5, 2017



- SITE PLAN KEY NOTES**
- 1 NEW CURB AND GUTTER
 - 2 NEW SINGLE CURB
 - 3 NEW SIDEWALK
 - 4 NEW SIDEWALK RAMP
 - 5 NEW TRASH ENCLOSURE
 - 6 NEW CATCH BASIN
 - 7 NEW STORM DRAIN PIPE
 - 8 NEW STORMWATER RETENTION TANK
 - 9 NEW DRYWELL
 - 11 SHARED DRIVE BY MASTER DEVELOPER

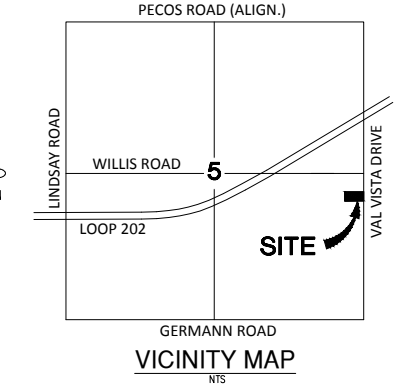
- LEGEND**
- 1200.00 EXISTING GROUND
 - 18.0 FINISH CONTOUR ELEVATION
 - P= FINISH PAVEMENT ELEVATION
 - TC= FINISH TOP OF CURB ELEVATION
 - G= FINISH GUTTER ELEVATION
 - FG= FINISH GRADE
 - HWE= HIGHWATER ELEVATION (50 YEAR, 24 HOUR STORM)
 - 100 CF RETENTION VOLUME PROVIDED
 - BOT= BOTTOM OF BASIN
 - Direction & Slope of Drainage
 - FFE= FINISH FLOOR ELEVATION

RETENTION CALCULATIONS (ONSITE)

VOLUME REQUIRED (V_R) = C P/12 A
 P=3-INCHES (50 YEAR, 24 HOUR STORM)
 A=AREA (SQUARE FEET)
 C=0.90
 $V_R=(0.90)(0.25)(36,560)=8,226$ CF
 $V_P=11,000$ CF

RETENTION CALCULATIONS (OFFSITE)

VOLUME REQUIRED (V_R) = C P/12 A
 P=3-INCHES (50 YEAR, 24 HOUR STORM)
 A=AREA (SQUARE FEET)
 C=0.95
 $V_R=(0.95)(0.25)(12,850)=3,052$ CF
 $V_P=1,070$ CF (OVERFLOW TO ONSITE RETENTION BASIN)



SITE AREA

40,930 S.F. / 0.94 ACRES (NET)

BENCHMARK

4" MARICOPA COUNTY ENGINEERING DEPARTMENT BRASS CAP IN HAND HOLE AT THE SOUTH QUARTER CORNER OF SECTION 4, T2S, R6E, G&SRB&M. (INTERSECTION OF GERMANN ROAD AND CORONADO ROAD)

ELEVATION = 1287.816 (NAVD88)

FLOOD ZONE CERTIFICATION

ACCORDING TO THE FLOOD INSURANCE RATE MAP #04013C2742M, DATED NOVEMBER 4, 2015 THIS PROPERTY IS LOCATED IN FLOOD ZONE "X": AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

DEVELOPER

PIAZZA-RESTAURANT CONSULTING
 DUTCH BROS COFFEE
 4428 E. MOUNTAIN SAGE DRIVE
 PHOENIX, AZ 85044
 PHONE: (480) 818-9736
 CONTACT: BILL CANTIERI

ARCHITECT

STEWART & REINDERSMA ARCHITECTURE, PLLC
 5450 E. HIGH STREET
 SUITE 200
 PHOENIX, AZ 85054
 PHONE: (480) 515-5123
 CONTACT: SAKE H. REINDERSMA

CIVIL ENGINEER

BOWMAN CONSULTING
 14100 NORTH 83RD AVENUE, SUITE 250
 PEORIA, AZ 85381
 PHONE:(480) 629-8830
 ENGINEER: TROY PETERSON P.E. AZ REG NO 32334
 CONTACT: GEORGE SWARSTAD



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 14100 North 83rd Avenue Ste 250
 Peoria, Arizona 85381
 Phone: (480) 629-8830
 www.bowmanconsulting.com
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PRELIMINARY GRADING AND DRAINAGE PLAN
DUTCH BROS COFFEE
 3670 SOUTH VAL VISTA ROAD
 GILBERT, ARIZONA
 MARICOPA COUNTY

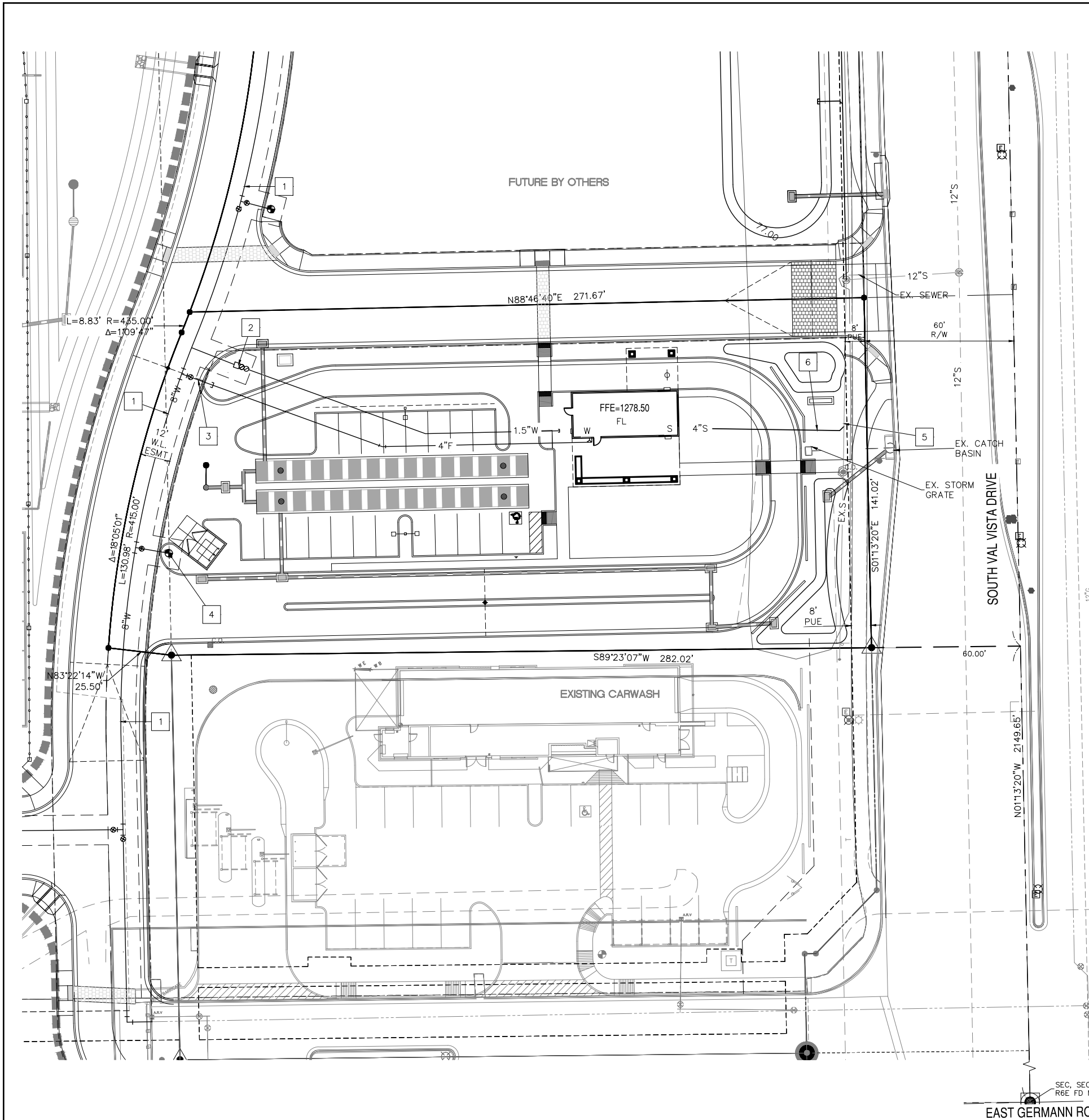
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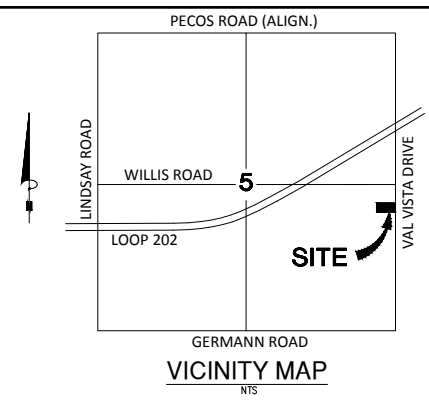
PLAN STATUS

DATE	DESCRIPTION
MR DESIGN	MR DRAWN
GS	CHKD
SCALE	H: AS SHOWN
V:	
JOB No.	050288-03-001
DATE :	02/27/17

C1
SHEET 1 OF 2



- UTILITY KEY NOTES**
- 1 NEW WATER MAIN BY MASTER DEVELOPER.
 - 2 NEW 1-INCH WATER SERVICE.
 - 3 NEW 6-INCH FIRE SPRINKLER LINE.
 - 4 NEW FIRE HYDRANT.
 - 5 EXISTING SANITARY SEWER.
 - 6 NEW 4-INCH SEWER SERVICE.



SITE AREA
40,930 S.F. / 0.94 ACRES (NET)

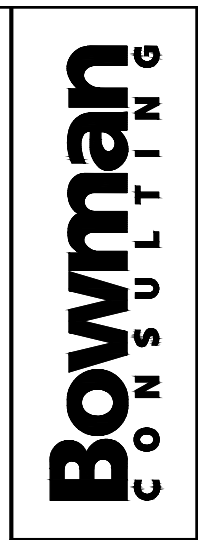
BENCHMARK
4" MARICOPA COUNTY ENGINEERING DEPARTMENT BRASS CAP IN HAND HOLE AT THE SOUTH QUARTER CORNER OF SECTION 4, T2S, R6E, G&SRB&M. (INTERSECTION OF GERMANN ROAD AND CORONADO ROAD)
ELEVATION = 1287.816 (NAVD88)

- LEGEND**
- S — SEWER
 - W — WATER
 - F — FIRE LINE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER BACKFLOW DEVICE SERVICE
 - WATER METER VAULT
 - WATER METER BOX
 - SEWER MANHOLE
 - FFE= FINISH FLOOR ELEVATION

DEVELOPER
PIAZZA-RESTAURANT CONSULTING
DUTCH BROS COFFEE
4428 E. MOUNTAIN SAGE DRIVE
PHOENIX, AZ 85044
PHONE: (480) 818-9736
CONTACT: BILL CANTIERI

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Phone: (480) 629-8830
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PRELIMINARY UTILITY PLAN
DUTCH BROS COFFEE
3670 SOUTH VAL VISTA ROAD
GILBERT, ARIZONA
MARICOPA COUNTY

PROJECT NUMBER



PLAN STATUS

DATE	DESCRIPTION		
MR DESIGN	MR DRAWN	GS CHKD	
SCALE	H: AS SHOWN V:		
JOB No. 050288-03-001			
DATE : 02/27/17			

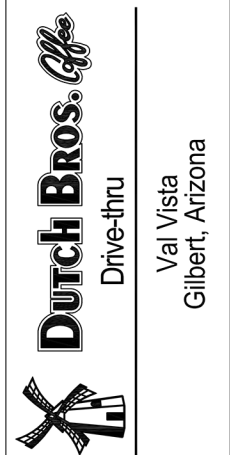
C2
SHEET 2 OF 2



architect:



consultant:
contact: plaza - restaurant consulting
dutch brothers coffee
4388 e. pearce road
phoenix, az 85044
contact: bill cantlett
t: (480) 916-9736



project:
date: 10/31/16
issued for: PERMIT SUBMITTAL
revision no.: date:
job no.: -

sheet title:
sheet no.:

E.2

CIMARRON LED

Job: SA & SB

SPALDING LIGHTING

SPECIFICATIONS

Construction:

- 3/8" thick vertically finned die-cast solid top housing for maximum heat dissipation; Steps collection of unrigidity debris from gathering on top of the housing.
- Rugged lower die-cast aluminum heat sink accelerates thermal management and optimizes PCB and optical performance.
- Separate optical and electrical compartment for optimum component operation weather proof seal around each individual LED for IP65 rating.
- One piece die cut silicone gasket ensures weather proof seal around each individual LED for IP65 rating.
- Backlight Control (BC) option available for 85% still light reduction, doesn't change fixture appearance or EPC, not recommended for Type II and Type IV distributions.
- Stamped bezel provides mechanical compression to seal the optical assembly.
- Complements the Hubbell Southwest series of outdoor fixtures.
- Weight - 4.0 pounds, EPA - 1.3 W
- Suitable for applications requiring 36 testing prescribed by ANSI C136.31

Optics:

- Choice of 72 high brightness LED configurations with individual acrylic lenses specially designed for IES Type I, II, IV and V distributions.
- Auto optics designed for front row 1A and interior rows 2A (see distribution under ordering and page 3)
- CCT: 3000K (80 CRI), 4000K (70 CRI), 5000K (70 CRI), and tunable friendly Amber LED options

Technical:

- Universal input voltage 120-277 VAC, 50/60 Hz
- Integral step-down transformer for 347V & 480V
- Ambient operating temperature -40°C to 40°C
- Automatic thermal self-protection
- Drivers have greater than 90% power factor and less than 10% THD
- Optional continuous dimming to 10% or dual circuitry available

CERTIFICATIONS/LISTINGS

UL, ETL, Lighting Facts, IC, IP65

ORDERING INFORMATION SEE NEXT PAGE

Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
© 2015 SPALDING LIGHTING, All Rights Reserved • For more information visit our website: www.spauldinglighting.com • Printed in USA CL16B-SP16 11/15

Luminaire Schedule

Label	Symbol	[MANUFAC]	MTG HGT	Description	LLF	Lum. Lumens	Lum. Watts	Qty
SA	[Symbol]	SPALDING LIGHTING	20'	CL1-30LU-4K-3-DB TWIN	0.900	7641	70	1
SB	[Symbol]	SPALDING LIGHTING	20'	CL1-30LU-4K-3-DB	0.900	7641	70	1
SC	[Symbol]	HUBBELL OUTDOOR	12'	LNC-9LU-4K-3	0.900	1989	21.9	2
A	[Symbol]	PRESCOLITE	10'	LF8LEDG4 WITH 8LFLED1207G440K	1.000	1977	26.53	6
B	[Symbol]	PRESCOLITE	10'	LF4LEDG4 with 4LFLED1205G440K	1.000	1133	14.33	12

LNC SERIES

Job: SC

HUBBELL Outdoor Lighting

SPECIFICATIONS

Intended Use:

The compact LED LNC is designed for entry-level illumination for safety, security and identity. Typical mounting height is up to 12 feet with 40ft fixture spacing without acrylic diffuser and 50ft spacing with acrylic diffuser installed. Photocell option is available to provide dusk-to-dawn control for additional energy savings.

Construction:

Decorative die-cast aluminum housing and door. Rugged design protects internal components and provides excellent thermal management for long life - 60,000 hours minimum LED life at L90 rating per IESNA TM-21-11. Powder paint finishes provide lasting appearance in outdoor environments.

Optics/Electrical LED:

- Drivers are 120-277V, 50/60Hz Type II, III and Type IV lenses provide wide lateral spread.
- 0-10V dimming 120-277V only
- LNC-SL - 5 LEDs, 12.9w, 11 amp max, 980 lumens, Type II, III or IV
- LNC-L - 7 LEDs, 16.6w, 14 amp max, 1441 lumens, Type II, III or IV
- LNC-L - 9 LEDs, 22w, 18 amp max, 1806 lumens, Type II, III or IV
- 3000K - 80 CRI, 4000K - 70 CRI, and 5000K - 67 CRI, CCT nominal
- Minimum operating temperature is -40°C/-40°F
- Drivers have greater than 90 power factor and less than 20% Total Harmonic Distortion

CERTIFICATIONS/LISTINGS

UL, ETL, Lighting Facts, IC, IP65

ORDERING INFORMATION

ORDERING EXAMPLE: LNC-9LU-5K-3-1-PC1

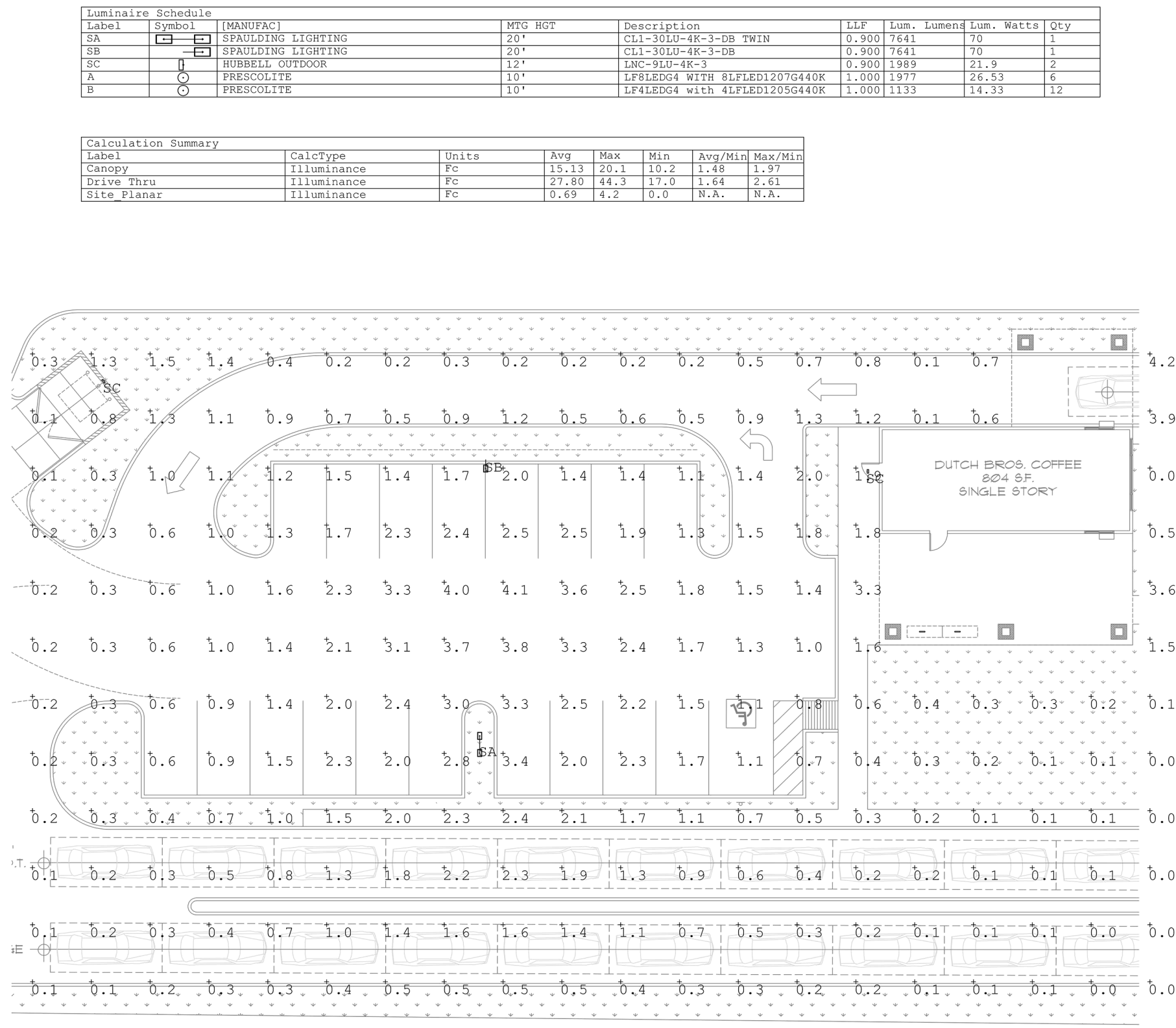
LNC - [Symbol] - [Symbol] - [Symbol] - [Symbol] - [Symbol]

SERIES	NUMBER OF LEDS/SOURCE VOLTAGE	CCT	IES DISTRIBUTION	FINISH	OPTIONS
LNC-SL	5 LEDs, Universal voltage 120-277V	5K 3000k nominal, 70 CRI	2' Type II	1 Bronze 2 Black 3 Gray 4 White 5 Platinum	PC(X) Custom Photocell, replace X with voltage, specify 1-120V, 2-200V, 3-240V, 4-277V
LNC-L	7 LEDs, Universal voltage 120-277V	4K 4000k nominal, 70 CRI	3' Type III		
LNC-L	9 LEDs, Universal voltage 120-277V	5K 5000k nominal	4' Type IV		

Shipping Information

Order Number	Carton Dimensions	Carton Weight	Carton Qty
LNC-SL	9.0 (H) x 14.5 (D) x 9.0 (W)	8.8 (LBS)	2
LNC-L	9.0 (H) x 14.5 (D) x 9.0 (W)	8.8 (LBS)	2
LNC-L	9.0 (H) x 14.5 (D) x 9.0 (W)	8.8 (LBS)	2

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000
Due to our continued efforts to improve our products, product specifications are subject to change without notice.
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mw engineering, llc
Electrical Consulting Engineering Inc

Job No. 16239
David Watson, P.E.
davew@mwegroup.com
e. 480.731.5050 f. 480.731.5353
2001 W Alameda Drive, Suite 102 Tempe, AZ 85282

LIGHT FIXTURE SCHEDULE

MARK	DESCRIPTION	MFR.	CATALOG #	VOLT.	LAMPS #	LAMPS TYPE	REMARKS
SA	2 HEAD LED POLE LIGHT	SPAULDING	CLI-A-30LU-4K-3-DB - TWIN	208	2	4000K LED'S W/FIXTURE 70 WATTS	+16'-0" MOUNT HEIGHT
SB	1 HEAD LED POLE LIGHT	SPAULDING	CLI-A-30LU-4K-3-DB	208	1	4200K LED'S W/FIXTURE 70 WATTS	+16'-0" MOUNT HEIGHT
SC	LED WALL PACK	HUBBELL	LNC-9LU-4K-3-1	120	-	4200K LED'S W/FIXTURE 22 WATTS	VERIFY MOUNTING LOCATION AND HEIGHT WITH INTERIOR DESIGNER PRIOR TO ROUGHIN

SHEET SYMBOLS

(E) INDICATES EXISTING FIXTURE OR DEVICE TO REMAIN. CLEAN, REPAIR OR REPLACE AS REQUIRED.
 (R) INDICATES EXISTING FIXTURE OR DEVICE TO BE RELOCATED AS SHOWN. CLEAN, REPAIR OR REPLACE AS REQUIRED.
 (X) INDICATES EXISTING FIXTURE OR DEVICE TO BE REMOVED. REMOVE EXISTING CONDUCTORS BACK TO NEXT REMAINING DEVICE.

SITE PLAN GENERAL NOTES:

- ELECTRICAL CONTRACTOR SHALL CONTACT POWER CO. REGARDING EXACT LOCATION OF ALL PRIMARY SERVICE EQUIPMENT, TRENCH LOCATIONS, TRANSFORMER LOCATION, METER LOCATION, ETC.
- ELECTRICAL CONTRACTOR SHALL PROVIDE NECESSARY SECONDARY CONDUITS, POWER TRENCHING, BACKFILL, CONCRETE PADS FOR TRANSFORMERS AND SERVICE EQUIPMENT AND CONDUIT STUBS INTO TRENCH AS REQUIRED BY POWER CO. AND TO THEIR SPECIFICATIONS.
- ELECTRICAL CONTRACTOR SHALL CONTACT TELEPHONE COMPANY REGARDING EXACT LOCATION OF ALL PRIMARY SERVICE EQUIPMENT, TRENCH LOCATIONS, ETC.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TELEPHONE TRENCHING, BACKFILL, AND CONDUIT STUBS INTO TRENCH AS REQUIRED BY TELEPHONE COMPANY AND TO THEIR SPECIFICATIONS.
- ALL WIRING SHALL BE COPPER UNLESS NOTED OTHERWISE. INSULATION SHALL BE TYPE 'XHHW' OR 'THHN/THWN'.
- ALL WIRING FOR OUTSIDE LIGHTING SHALL BE A MINIMUM OF #10 COPPER WITH TYPE 'THWN' INSULATION. FOR UNDERGROUND CIRCUITS RUN IN P.V.C., PROVIDE A #10 COPPER BOND IN ADDITION TO CIRCUIT CONDUCTORS.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND COMPLIANCE WITH THE UTILITY COMPANY'S REQUIREMENTS. WITHIN TWO WEEKS AFTER AWARD OF CONTRACT, SUBMIT (2) COMPLETE SETS OF PLANS, INCLUDING PLOT OF SURVEY, TO UTILITY COMPANY FOR COORDINATION.
- ROUTING OF INCOMING POWER AND TELEPHONE SERVICE SHOWN ARE FOR ESTIMATING PURPOSES ONLY. ACTUAL ROUTING, CONDUIT, TRENCH, AND PAD REQUIREMENTS SHALL BE AS SPECIFIED BY THE UTILITY COMPANY. CONFIRM ALL REQUIREMENTS WITH UTILITIES PRIOR TO INSTALLATION.

GENERAL NOTES:

ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH 2011 (OR LATEST ADOPTED) NATIONAL ELECTRICAL CODES AND ALL APPLICABLE LOCAL CODES, ORDINANCES AND MAG AMENDMENTS TO N.E.C.

ALL WIRING SHALL BE COPPER UNLESS OTHERWISE NOTED. INSULATION SHALL BE TYPE XHHW OR THHN/THWN.

ALL PENETRATIONS OF FIRE RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UNDERWRITERS LABORATORY LISTINGS FOR THROUGH PENETRATIONS FIRESTOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS WHICH SHOW COMPLETE CONFORMANCE TO THE U.L. LISTING TO THE INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH ALL VARIABLES DEFINED.

CONTRACTOR IS TO VERIFY CONDITION OF EXISTING INSTALLATIONS BY FIELD INSPECTION. CONTRACTOR IS TO PROVIDE NEW WIRE, CONDUIT, AND BOXES AS REQUIRED WITH NO ADDITIONAL COST.

COORDINATE WITH MECHANICAL CONTRACTOR FOR EXACT LOCATIONS AND REQUIREMENTS OF ALL MECHANICAL EQUIPMENT PRIOR TO ROUGH-IN WITH NO ADDITIONAL COST.

ALL GENERAL USE RECEPTACLES MOUNTED WITHIN 6' OF A BASIN OR SINK SHALL BE G.F.C.I. PROTECTED.

PROVIDE BOND WIRE IN ALL RACEWAYS, SIZED PER N.E.C. ART. #250.

CONTRACTOR IS TO VERIFY EXACT LOCATIONS, MOUNTING HEIGHTS AND ELECTRICAL REQUIREMENTS OF ALL EQUIPMENT PROVIDED BY OTHERS PRIOR TO ROUGH-IN.

CONTRACTOR IS TO PROVIDE DISCONNECT SWITCHES, TRANSFORMERS AS REQUIRED, AND FINAL CONNECTIONS TO EQUIPMENT PER OWNER.

PROVIDE AND INSTALL ADDITIONAL EXIT SIGNS, EMERGENCY LIGHTS AND NIGHT LIGHTS IF REQUIRED BY GOVERNING INSPECTOR.

WHEN ELECTRICAL CONTRACTOR REMOVES AN ITEM CAUSING CIRCUITRY TO OTHER ITEMS TO BE INTERRUPTED, ELECTRICAL CONTRACTOR SHALL PROVIDE NEW CONDUIT, WIRE, BOXES, ETC. AND SHALL RECONNECT ALL ITEMS SO THEY WILL NOT BE INTERRUPTED.

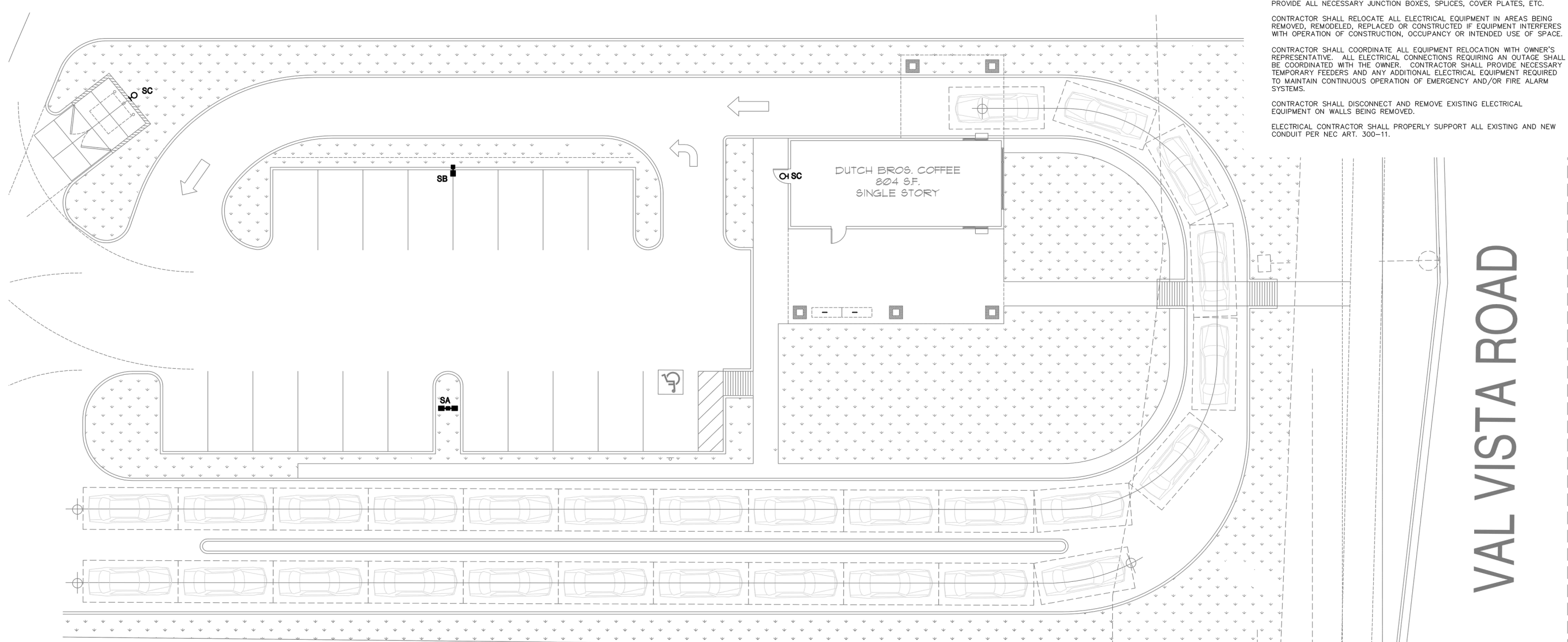
WHEN AN ITEM IS SHOWN TO BE RELOCATED, ELECTRICAL CONTRACTOR SHALL EXTEND WIRING AND CONDUIT TO THE APPROPRIATE NEW LOCATION AND PROVIDE ALL NECESSARY JUNCTION BOXES, SPLICES, COVER PLATES, ETC.

CONTRACTOR SHALL RELOCATE ALL ELECTRICAL EQUIPMENT IN AREAS BEING REMOVED, REMODELED, REPLACED OR CONSTRUCTED IF EQUIPMENT INTERFERES WITH OPERATION OF CONSTRUCTION, OCCUPANCY OR INTENDED USE OF SPACE.

CONTRACTOR SHALL COORDINATE ALL EQUIPMENT RELOCATION WITH OWNER'S REPRESENTATIVE. ALL ELECTRICAL CONNECTIONS REQUIRING AN OUTAGE SHALL BE COORDINATED WITH THE OWNER. CONTRACTOR SHALL PROVIDE NECESSARY TEMPORARY FEEDERS AND ANY ADDITIONAL ELECTRICAL EQUIPMENT REQUIRED TO MAINTAIN CONTINUOUS OPERATION OF EMERGENCY AND/OR FIRE ALARM SYSTEMS.

CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING ELECTRICAL EQUIPMENT ON WALLS BEING REMOVED.

ELECTRICAL CONTRACTOR SHALL PROPERLY SUPPORT ALL EXISTING AND NEW CONDUIT PER NEC ART. 300-11.



ELECTRICAL SITE PLAN

SCALE: 1"=10'-0"

Job No. 16239
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 Electrical Consulting Engineering Group

360
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 www.sra360.com

Professional Engineer
 31172
 DAVID G. WATSON
 State of Arizona
 Expires 3/31/16

contact: piazza - restaurant consulting
 dutch brothers coffee
 4388 e. pearce road
 phoenix, az 85044
 contact: bill cantlett
 t: (480) 918-9736

Dutch Bros. Coffee
 Drive-thru
 Val Vista
 Gilbert, Arizona

date: 10/31/16
 issued for: PERMIT SUBMITTAL
 revision no.: date:
 job no.: -

sheet title:
 sheet no.: **E.1**



**8" LED Downlight
LC8LED**
120 or 277V
0-10V Dimming Option

APPLICATIONS:
LifeFrame Commercial (LC8LED) is a 8" commercial grade LED downlight with available outputs between 1200-1900 lumens. This is suitable to replace most CFL downlighting applications, while realizing substantial energy and maintenance savings. Rated for a minimum of 50,000 hours life (70% lumen maintenance) with ambient temperatures up to 35°C (LED5), 28°C (LED6), 25°C (LED7). Free Air Flow around fixture is required for optimal life performance. This product is not recommended for use with 3rd party "FREIGHT" or insulation barriers.

HOUSING:
One-piece 22 gauge non-corrosive steel platform. Pre-wired J-box with snap-on cover for easy access. Snap-in connection from driver compartment allows easy installation of light engine/trim assembly and can be upgraded to accommodate technology improvements. Approved for 8 (4 in/4 out) No. 12 AWG conductors rated for 90°C through wiring.

REFLECTOR:
High purity aluminum, Alzak, indescence suppressed, semi-diffuse reflector. Saflum standard. Painted white reflector (WT) available as option.

LED LIGHT ENGINE:
The LC8LED uses either 36, 48, 60 mid power Nichia LEDs, specifically mixed to provide a minimum of 80 CRI with 3 SCDM color consistency. The use of multiple mid power LEDs allows for optimal thermal management by effectively spreading the heat over a larger area and eliminating hot spots on the LEDs. A diffuse, yet highly transmissive lens obscures the view of the LEDs and creates a smooth, even look from below. The light engine is available in multiple Kelvin temperatures and the system is designed to provide optimal life and lumen maintenance (50,000 hours at 70% lumen maintenance). The reflector/light engine assembly is mechanically retained to the housing.

LED DRIVER:
The LC8LED utilizes a 25 watt constant current Thores Research Product LED driver. This same driver is capable of running all three different lumen outputs, resulting in a reduction of heating, star and amplified specification. The driver is UL8750 and Class II compliant.

DIMMING:
A 0-10V dimming option is available (DM), providing flicker-free dimming down to 10%. See list of compatible dimmers on page (4). For the sizing of the control circuit, the dimming circuit may require up to 2mA of sink current.

INSTALLATION:
Light commercial bar hangers included. Universal adjustable mounting brackets also accept 1/2" EMT conduit or 1 1/2" or 3/4" talking channel (by others) or Prescolite 24" bar hangers (B24 or B6).

CERTIFICATIONS:
CSA certified to US and Canadian safety standards. Suitable for wet locations (EM damp location).

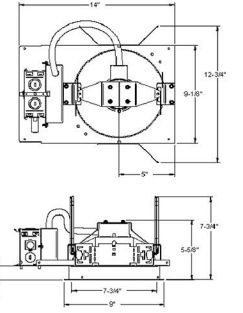
WARRANTY:
5 year warranty. See www.prescolite.com for details.

DATE: TYPE: **A**

FIRM NAME: PROJECT:



Ceiling Cutout: 8 1/4"
Maximum Ceiling Thickness 1 1/4"
For conversion to millimeters, multiply inches by 25.4
Not to Scale



8LCLED 5 & 6

*See page 4 for 8LCLED 7 line art
*See page 4 for 8LCLEDEM line art

EXAMPLE: LC8LED1200M - 8LCLED53SK8WVT

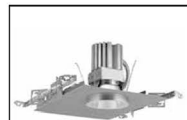
Order housing, reflector, and accessories separately.

CATALOG NUMBER:

HOUSING	VOLTAGE	HOUSING OPTIONS	TRIM AFFINITY	OUTPUT	KEVIN	CRI	REFLECTOR FINISH	REFLECTOR COLOR	REF. OPTIONS	ACCESSORIES
<input type="checkbox"/> LC8LED 8" LED Housing	<input type="checkbox"/> 120V <input type="checkbox"/> 277V <input type="checkbox"/> 347V	<input type="checkbox"/> Blank <input type="checkbox"/> DM 0-10V dimming <input type="checkbox"/> DM1 0-10V dimming to 1% <input type="checkbox"/> EMR Bodine BS310C-DF Battery Pack with integral test switch and indicator light <input type="checkbox"/> EMR Bodine BS310C Battery Pack with remote test switch and indicator light <input type="checkbox"/> CP1s Chicago Plenum	<input type="checkbox"/> 8" Open Reflector/ Light Engine Assembly	<input type="checkbox"/> 5 1200 Lumens <input type="checkbox"/> 6 1600 Lumens <input type="checkbox"/> 7 1900 Lumens <input type="checkbox"/> 8 2700 Lumens	<input type="checkbox"/> 27K <input type="checkbox"/> 30K <input type="checkbox"/> 35K <input type="checkbox"/> 40K	<input type="checkbox"/> 80+ <input type="checkbox"/> 90+ <input type="checkbox"/> 95+	<input type="checkbox"/> Blank <input type="checkbox"/> Clear Alzak <input type="checkbox"/> Semi-Diffuse	<input type="checkbox"/> White <input type="checkbox"/> Clear <input type="checkbox"/> Black	<input type="checkbox"/> WT White Trim <input type="checkbox"/> EM44 Pre-punched reflector to accept integral test switch <input type="checkbox"/> WF White Fluoro <input type="checkbox"/> CP1s Chicago Plenum	<input type="checkbox"/> B24 Set of two (2) 24" bar hangers for 18" bar ceilings <input type="checkbox"/> B6 Set of two (2) bar hangers for ceiling point up to 24" centers <input type="checkbox"/> LDFlexer See page 4 for availability <input type="checkbox"/> SCADP Staged ceiling adapter (see note on page 4)



In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Web: www.prescolite.com • Tech Support: (888) 777-4832 LFR-LED-035



**4" LED Downlight
LF4LEDG4**
120V-277V
High Efficacy
0-10V Dimming

APPLICATIONS:
LifeFrame LF4LED is a 4" specification grade LED open downlight that utilizes remote phosphor technology to obtain color consistency, energy savings, and low maintenance costs. 50,000 hour minimum life up to 35°C (95°F) in open plenum applications.

HOUSING:
One-piece 22 gauge non-corrosive steel platform. Pre-wired J-box with snap-on cover for easy access. Snap-in connection from driver compartment allows easy installation of light engine/trim assembly with out tools above or below the ceiling and can be upgraded to accommodate technology improvements. Approved for 8 (4 in/4 out) No. 12 AWG conductors rated for 90°C through wiring.

REFLECTOR:
High purity aluminum, Alzak, indescence suppressed, semi-diffuse reflector. Saflum standard. Painted white reflector (WT) available as option.

LED LIGHT ENGINE:
The LF4LED uses the Philips Fortimo DIM Gen 4 LED Module with remote phosphor technology. This technology provides controlled color consistency (3 SCDM) from fixture to fixture. The system is designed for optimal life and lumen maintenance (>50,000 hours at 70% lumen maintenance). Both reflector and light engine assembly are mechanically retained to housing. The light engine comes standard with 80 CRI in all Kelvin temperatures.

LED DRIVER:
The LF4LED utilizes the Philips Fortimo LED Driver specifically designed to optimize efficiency of the Fortimo DIM Module. Driver is designed to match the 50,000 hour minimum life expectancy of the system. Meets UL Class 2, inherent short circuit protection, self limited, overload protected. If critical temperatures are reached on driver or LED module, integrated thermal feedback loop will gradually reduce current to protect system life. Driver is universal 120V/277V. Optional Lutron Series A driver is also available.

DIMMING:
Comes standard with 0-10V dimming capability. Flicker-free dimming to 10%. 0-10V control may consume up to 1mA. 0-10V, Lutron 2 wire, 3 wire, and EcoSystem dimming available to 1% and DMX to 0.1%.

INSTALLATION:
Adjustable Bar hangers included. Universal adjustable mounting brackets also accept 1/2" EMT conduit or 1 1/2" or 3/4" talking channel (by others) or Prescolite 24" bar hangers (B24 or B6).

CERTIFICATIONS:
CSA certified to US and Canadian safety standards. Suitable for wet locations (EM damp location) through wiring. NonIC rated. EMR II damp rated use only. ENERGY STAR qualified with open clear Alzak reflector. UL approved for NSF2 splash zone applications.

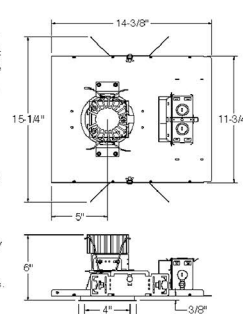
WARRANTY:
5 year warranty. See www.prescolite.com for details.

DATE: TYPE: **B**

FIRM NAME: PROJECT:



Ceiling Cutout: 5"
Maximum Ceiling Thickness 1 1/4"
For conversion to millimeters, multiply inches by 25.4
Not to Scale



EXAMPLE: LF4LEDG4-4LFLEDG43SKVHWVT

Order housing, reflector, and accessories separately.

CATALOG NUMBER:

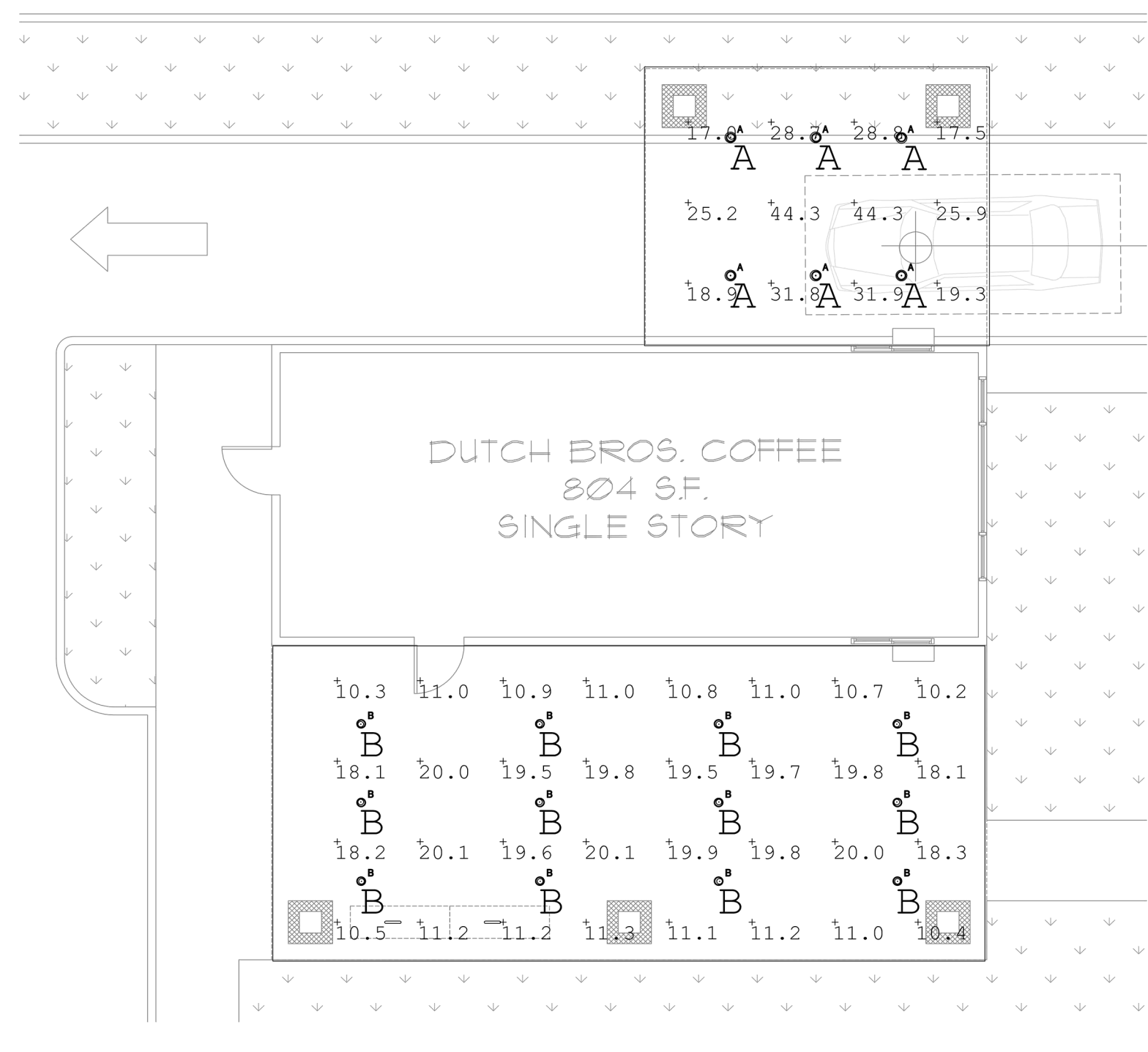
HOUSING/LED GENERATION	VOLTAGE	OPTIONS	TRIM	LED COLOR TEMP.	REF. FINISH	REF. COLOR	REF. OPTIONS	ACCESSORIES
<input type="checkbox"/> LF4LEDG4 4" High Efficacy LED Housing with 0-10V Dimming to 10%	<input type="checkbox"/> 120V <input type="checkbox"/> 277V <input type="checkbox"/> 347V	<input type="checkbox"/> Blank <input type="checkbox"/> EMR2 Emergency Battery Pack with remote test switch and indicator light <input type="checkbox"/> DM1 0-10V dimming to 1%	<input type="checkbox"/> 4LFLEDG4 4" Module <input type="checkbox"/> 4LFLEDG4 4" Module <input type="checkbox"/> 4LFLEDG4 4" Module	<input type="checkbox"/> 30K <input type="checkbox"/> 35K <input type="checkbox"/> 40K	<input type="checkbox"/> Blank <input type="checkbox"/> Semi-Diffuse	<input type="checkbox"/> Clear <input type="checkbox"/> Black <input type="checkbox"/> White	<input type="checkbox"/> WT White Trim <input type="checkbox"/> TRG Tensioning gear kit <input type="checkbox"/> AM44 Antimicrobial coating on clear Alzak reflector only	<input type="checkbox"/> B24 Set of two (2) 24" bar hangers for 18" bar ceilings <input type="checkbox"/> B6 Set of two (2) bar hangers for ceiling just up to 24" centers <input type="checkbox"/> LDFlexer See page 3 for availability



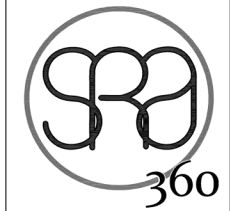
In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product. Web: www.prescolite.com • Tech Support: (888) 777-4832 LFR-LED-029

LIGHT FIXTURE SCHEDULE

MARK	DESCRIPTION	MFR.	CATALOG #	VOLT.	LAMPS		REMARKS
					#	TYPE	
A	8" APERTURE LED DOWN LIGHT	PRESCOLITE	LF8LEDG4-8LFLED-7G4-40K	120	-	-	-
B	4" APERTURE LED DOWN LIGHT	PRESCOLITE	LF4LEDG4-4LFLED-5G4-40K	120	-	-	-



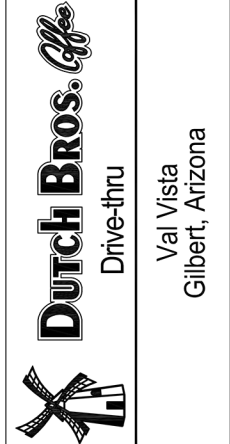
ELECTRICAL PHOTOMETRIC PLAN
SCALE: 1/4"=1'-0"



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architect:
consultant:
contact: plaza - restaurant consulting
catch brothers coffee
4388 e. pearce road
phoenix, az 85044
contact: bill cantlett
t: (480) 918-9736



project:
Drive-thru
Val Vista
Gilbert, Arizona

date: 10/31/16
issued for: PERMIT SUBMITTAL
revision no.: date:
job no.:

sheet title:
sheet no.:
E.3



Job No. 16239
David Watson, P.E.
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2001 W Alameda Drive, Suite 102 Tempe, AZ 85282
Electrical Consulting Engineering Group

**Dutch Bros.** *Coffee*

February 9, 2017

Town of Gilbert
90 E Civic Center Drive
Gilbert, AZ 85296RE: **Project Narrative** to accompany Design Review Resubmittal

Project Overview: Dutch Bros Coffee in contract for a site within the Via West owned development APN 304-54-094, approximately 300 yards south of Mercy Drive along Val Vista Rd (immediately north of the Car Wash). It is our goal to begin the planning and permitting process immediately and to be open before the summer.

Building and Finishes: Several comments were made by both Planning Staff and the Design Review Board members during their January 5th meeting building that they would like to see different elevations and a more welcoming patio at this project. As such we have made the following changes to the elevations:

The metal panels on the upper half of the building have been changed to stucco on the front third of the building and a synthetic gray weathered wood panel will be installed on the rear two thirds. The lower section of the building has been changed to a concrete composite panel in horizontal stripes in a medium gray color. A scored face charcoal colored block is being used for the support columns. The decorative steel trusses have been deleted along the drive through canopy and patio roof in order to lower those roofs and to create a cozier feel to the patio area. Additionally we have added a landscape planter along the long side of the patio and part of the two shorter sides of the patio. The rooftop units will be fully screened by the parapet walls.

The building we are proposing consists of a main coffee production area with public restrooms, a covered patio and a covered drive through lane canopy. Parapet walls in the back half of the building will fully conceal the rooftop units, there will be no exposed downspouts, and per the DRB comments we will be putting the electric meter in a cabinet to screen it from customer view.

Site Design: The DRB was concerned about congestion between customers leaving the drive through lane and those entering the site as well as visibility when exiting due to the position of the dumpster. In order to address these comments the dumpster has been relocated south near the drive through entrance so that visibility would not be impaired when exiting the property. Additionally a dedicated drive through lane exit has been created to eliminate any possible conflicts between patrons exiting the parking lot and those exiting the drive through lane. The screening of the drive through lane will be accomplished through a combination of a block screen wall and landscape plantings. Pedestrian access points have been added connecting the project to Val Vista and internal sidewalks, ramps and accessible pathways have been coordinated with the Developer's master site plan.

Operation, Hours and Products: Dutch Bros hours of operation are typically 5 am to 11 pm weekdays and 12 pm on weekends. Dutch Bros Coffee does not utilize a drive through intercom system, orders are taken by baristas on the sidewalks along the drive through lanes who text in the order with an iPod. This significantly increases the speed of service to an average of 45 seconds or less per vehicle. The products served are Espresso based beverages (Latte's, Cappuccino, Mocha's, etc.) as well as Tea and Fruit smoothies. There is no food production on site or interior dining room. The business model is predominantly drive through, but we have included a large patio in this design because of the popularity of the patio at our

Access and Circulation: The site is approximately .94 acres and includes a generous drive through lane and parking field. The developer will be constructing an access drive parallel to Val Vista that will start at the west end of the existing car wash and extend to Willis and is also proposing two new entrances along Val Vista drive which they will construct as well. Access to the property would be along the west side of the property at the new access road. Due to



Dutch Bros. *Coffee*

the extreme popularity that Dutch Bros has been experiencing over the past several years the parking lot includes a double funnel drive through lane similar to what "Chick-Fil-A" successfully utilizes throughout the Valley. This double funnel lane would be able to contain up to 25 cars in the drive through lanes so there would be no concern of our traffic overflowing into either roadway.

Summary: Dutch Bros Coffee has two successful locations in Gilbert, at Ethan Plaza and in the Heritage District, and we are excited about the opportunity to expand into the San Tan area of Gilbert as well. We are requesting a Pre-submittal conference at your earliest convenience. Please contact me at the number below should you have any questions or need additional information.

Sincerely,

Bill Cantieri, **PIAZZA RCC, LLC**
Development Managers for **Dutch Bros Coffee**
bill@piazza-az.com
480-818-9736