



# GILBERT REDEVELOPMENT COMMISSION

## AGENDA

### WEDNESDAY, 18 JANUARY 2017

**Board Members:**

Ryan Hamilton, Chair  
 Kate Kresse, Vice Chair

Marc Barlow  
 Niels Kreipke

Tyler Hudgins

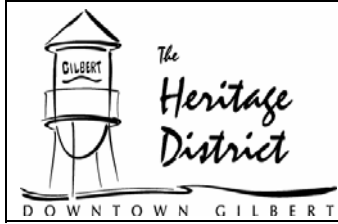
**Council Liaison:** Eddie Cook

**Staff Liaison:** Amanda Elliott

**Gilbert Municipal Center  
 Council Chambers  
 50 East Civic Center Drive  
 Gilbert Arizona**

**REGULAR MEETING  
 6:30 P.M.**

AGENDA ITEM	COMMISSION ACTION
<b>CALL TO ORDER</b> of the Regular meeting	
<b>ROLL CALL</b>	
<b>COMMUNICATIONS FROM CITIZENS</b> <i>At this time, members of the public may comment on matters not on the agenda. The Commission's response is limited to responding to criticism, asking staff to review a matter commented upon, or asking that a matter be put on a future agenda.</i>	
<b>ADMINISTRATIVE ITEMS</b>	
1. Community Meeting Minutes – Consider approval of minutes for the meeting of 19 Oct 2016	Discussion, Possible Action by MOTION
2. OHSO Design Application – Discussion on Signage – Bob Caravona	Discussion Only
3. Parking Garage II Presentation	Presentation Only
<b>COMMUNICATIONS</b>	
4. Report from CHAIR on current or future events	Report Only
5. Report from COUNCIL LIAISON on current or future events	Report Only
6. Report from COMMISSIONERS on current or future events	Report Only
7. Report from STAFF LIAISON on current or future events	Report Only
<b>ADJOURN</b>	Discussion, Possible Action by MOTION



# Redevelopment Commission

Agenda  
Item #  
**1**

**TOWN OF GILBERT REDEVELOPMENT COMMISSION**  
**MINUTES OF OCTOBER 19, 2016, 6:30 P.M.**  
**MUNICIPAL CENTER BUILDING, COUNCIL CHAMBERS**  
**50 E. CIVIC CENTER DRIVE, GILBERT, ARIZONA 85296**

**TOWN OF GILBERT REDEVELOPMENT COMMISSION  
MINUTES OF OCTOBER 19, 2016, 6:30 P.M.  
MUNICIPAL CENTER BUILDING, COUNCIL CHAMBERS  
50 E. CIVIC CENTER DRIVE, GILBERT, ARIZONA 85296**

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**COMMISSIONERS PRESENT:** Ryan Hamilton, Chair  
Kate Kresse, Vice Chair  
Marc Barlow, Commissioner  
Tyler Hudgins, Commissioner

**COMMISSIONERS ABSENT:** Niels Kreipke, Commissioner

**COUNCIL PRESENT:** Eddie Cook, Councilmember

**STAFF PRESENT:** Amanda Elliott, Heritage District Liaison  
Michael Hamblin, Town Attorney  
Lisa Maxwell, Town Clerk

**GUEST SPEAKERS:** Doralise Machado-Liddell, Gilbert Resident

**CALL TO ORDER:**

The meeting of the Redevelopment Commission was called to order by Chair Hamilton at 6:31 P.M.

**ROLL CALL**

Amanda Elliott called the roll and declared that a quorum was present.

**COMMUNICATION FROM CITIZENS**

Chair Hamilton opened the floor to the public for any comments or communications on items not on the agenda. The Commission's response is limited to responding to criticism, asking staff to review a matter commented upon, or asking that a matter be put on a future agenda. There were no communications from Citizens.

**ADMINISTRATIVE ITEMS**

- 1. Oath of Office—Tyler Hudgins.** Councilmember Eddie Cook administered the Oath of Office to Tyler Hudgins as a newly appointment member of the Town of Gilbert Redevelopment Commission.
- 2. Community Meeting Minutes – Consider Approval of the Minutes for the Meeting of September 21, 2016.** A **MOTION** was made by Kate Kresse, and seconded by Mark Barlow, to approve the meeting minutes of September 21, 2016. The Motion carried unanimously.

### 3. **Bylaws, Powers & Duties Presentation by Town of Gilbert Clerk's Office.**

Lisa Maxwell, Town Clerk, provided information on the Bylaws, Powers and Duties of the Redevelopment Commission. She also provided a list of resources which are available on the GilbertAz.gov website. The Council Subcommittee reviewed all of the Town's boards and commissions and made recommendations to Council at their retreat in September. Certain boards were restructured to function more effectively. Staff is now working on updating the bylaws, handbook and codes to establish uniformity for all of the Town's boards and commissions. The Redevelopment Commission essentially serves as the design review board for the Heritage District as required by state statute for any area designated as a redevelopment area.

Arizona State Statute Title 36, Chapter 12, Article 3 entitled Slum Clearance and Redevelopment, Sections 36-1471 through 36-1491 contain the laws which outline the powers of municipalities regarding areas designated as in need of redevelopment.

The Town has delegated certain powers to the Redevelopment Commission with respect to the property in the Heritage District Overlay District and other redevelopment areas designated by the Town Council.

Powers and Duties of the Redevelopment Commission include:

- All powers conferred upon municipalities by the provisions of A.R.S. tit. 36, ch. 12, art. 3, **except** the power to borrow money, issue bonds, acquire and dispose of real property, enter into contracts with the federal government or any public body, prepare a general plan for the development of the town or approve redevelopment plans;
- Recommend to Town Council a Redevelopment Plan and amendments thereto;
- Review and make recommendations to the Planning Commission on proposals to amend the Official Zoning Map or the provisions of the Zoning Code;
- Approve, approve with modifications and/or conditions, or deny applications for design review in the Heritage District;
- Hear and decide appeals from administrative design review decisions;
- Review and recommend approval to Town Council of design guidelines for the Heritage District Overlay District;
- Review and make recommendations to the Planning Commission of Special Use Permits;
- Review and comment to the Planning Commission on appeals of Administrative Use Permits;
- Review and make recommendations to the Planning Commission on subdivision plats;
- Review applications for zoning, General Plan Amendments, Subdivision, Variances, Design Review, and Use Permits within 1,000 feet of the exterior boundaries of the Heritage District;
- Conduct public hearings as required by the Zoning Code.

Town Clerk Lisa Maxwell addressed the Redevelopment Commission's (RDC) concerns on the following topics:

- Requests to Staff: If the Commission makes requests to Staff that are outside the powers and duties of the Commission's responsibilities, Staff can refuse such requests. Gilbert has a very lean staffing model. The RDC may direct Staff to work on items that fall within the Commission's powers and duties.
- Requests for Updates: The RDC may ask Staff for updates on items with regards to the Heritage District. Staff will provide updates as needed regarding posted agenda items.
- Meetings: RDC meetings are to be held when there are items on the agenda pertaining to the powers and duties. If no items are before the Commission, then a meeting is not required.
- Agendas and Agenda Packets: State law requires that agendas be posted on the website and outside of the building a minimum of 24 hours prior to a meeting. Agenda packets are not required to be posted for the public. Agenda packets are posted for Council meetings and Planning Commission meetings. Packets are provided to Planning Commission members and Council member at least a week prior to the meeting to allow them time to review as the packets are quite large. Other boards and commissions receive their packet, if any, at the time of the meeting.
- Requests made by the Public: If a member of the public makes a request to the RDC on an item that is not within the Commission's powers and duties, that person should be directed to the proper Staff member or department to assist them, or to the Town Council to voice their concerns.

#### REQUEST TO SPEAK BY MEMBER OF THE PUBLIC:

Doralise Machado-Liddell, Heritage District resident, voiced her concerns regarding the agenda packets. She quoted from the Town of Gilbert Land Development Code 5.109 Redevelopment Commission, Section C Proceedings: "The Redevelopment Commission shall adopt rules and regulations to govern its proceedings." She is aware that the packet is not part of the open meeting law. She asked that the packet be provided to the public on the website prior to the meeting so that the public will be aware of items to be discussed. She understands that the Town Council and Planning Commission do provide their packets online. The public has to be aware of what is going on in order to be able to make an intelligent presentation or have the ability to speak on matters of concern. She has attended meetings in the past where she was not aware of matters prior to the meeting. She is asking for transparency as what happens in this Commission impacts the residents and the community just as in the Planning Commission or Town Council.

In regards to the powers and duties, she believes the Commission should be renamed to the Slum Clearance and Redevelopment Commission. This Commission has a focus that should not be taken lightly and involves eminent domain, taking away property rights and the redevelopment of the Heritage District. She stated the Town and this Commission are establishing partnerships with the business community. She felt the Town and this Commission are working hard to change the

residential zoning requirements. She applauds the Commission, the Staff and Town Council for entertaining the discussion of that subject. The development of Town partnerships and outreach with the residents of the Heritage District is extremely important and should be a focus of the Commission so that the residents can have the same vision as the business owners. She recommended establishing a working group to focus on the residential areas and eliminating blight without taking away the property rights of homeowners. Prior to 2005, it was much easier to obtain property. In 2006, Proposition 207 changed things and it is now very difficult to claim eminent domain. The Town needs to work with the residents to eliminate the blight and the slum. There also needs to be focus on the Town-owned alleys, sidewalks and landscaping. Parking and how that impacts residents and businesses should be another focus. She feels that an often forgotten purpose of the Redevelopment Commission is slum clearance and eliminating blight, and in accomplishing that, redevelopment exists.

**BOARD RESPONSE:**

Commissioner Barlow thanked Ms. Machado-Liddell for coming and appreciated her comments and the energy and interest put into the Heritage District.

Chair Hamilton asked for clarification from the Town Attorney or Clerk on Ms. Machado-Liddell's concerns. Town Attorney Michael Hamblin explained that no action can be taken as there has been no criticism to respond to. If the Commission desires to have Staff look into certain items, this may be requested. Chair Hamilton asked for clarification on what items would need to be posted. Attorney Hamblin advised that agendas are posted to the website and posted to Council. The open meeting law only requires that the agenda be posted to advise the public of the subject matter to be discussed and the place and time of the meeting. Agenda packets are provided to the Town Council. Commissioner Kresse clarified that packets are provided for Council but not for the Redevelopment Commission. Attorney Hamblin believed that to be correct. Commissioner Barlow noted Ms. Machado-Liddell's point of the importance of being advised of the substance of agenda items before the meeting in order to consider how to communicate any concerns. The law requires that the agenda be posted, but there is nothing that prevents posting additional information. Attorney Hamblin stated there is no legal impediment to posting additional information.

Chair Hamilton thanked Ms. Machado-Liddell for her input as well as Staff and Attorney Hamblin for the clarifications.

**4. Saint Xavier University Discussion Presented by Town of Gilbert Legal Department.**

Town Attorney Michael Hamblin advised the Commission that Saint Xavier University out of Chicago, Illinois, began its lease and tenancy at the building on West Vaughn Avenue in August of 2015. The Town was informed earlier this year of Saint Xavier's intent to vacate the building by January 1st, 2017. Saint Xavier University has a high percentage of students that are the first generation to attend college, and as such is heavily dependent on state funding to assist in operating their Chicago campus. There has been a budget battle in the State of Illinois such that the University's funds were significantly cut and then delayed. This created financial stress so that they are no longer able to occupy the Gilbert building or continue to ramp up the college that the

development agreement required them to do. They provided notification of their intent to vacate the building on January 1st of 2017.

The Town has since worked diligently in attempts to locate and secure another tenant for that building. The Town has entered into discussions with approximately a dozen colleges, both in-state and out-of-state, some private and some public. In the next few weeks the Town will issue a Request for Information to be published nationwide with responses to be submitted by December 1st by any institution interested in operating a campus in Gilbert. As discussions are in the beginning phase, specific information regarding the potential interested parties is confidential at this time. The rent due on the building is still due effective January 1st and there has been no indication that it will not be paid. Saint Xavier is aware of our position and their contract, and there is no intended breach of the payment agreement. The Town is working diligently to secure another tenant.

Commissioner Barlow noted that he had requested public records from the Town with regard to the University and, speaking as a taxpayer, he noted the monthly lease payment which approaches \$200,000 a month. He had looked specifically for public records on a feasibility study the Town may have utilized before the school was constructed and found none. He also found that no appraisal had been done. He received an email from Dan Henderson, of the Town's economic development division, advising that the Town is not required to get an appraisal. Commissioner Barlow felt an appraisal would have been part of the due diligence when investing in the neighborhood of \$40 million into the school. In another document regarding applied economics he did not see any analysis on the number of students or tuition rate to service that debt. He understood the school was financed with a revenue bond. In his line of business, he deals with the evaluation of universities and colleges across the country. It is common knowledge that for many years schools have been going out of business. He asked whether the Town had a Plan B before going into this venture in case the school did not succeed so that the taxpayers would not end up picking up the tab. He noted that quite a few people have inquired about this matter.

Attorney Hamblin advised that there was an applied economics study on the feasibility of higher education and the need for it in the southeast valley. Regarding the payment of bonds, those payments are due starting in July of next year. The Town has not issued any payments as it is not due for another nine months. The Town still owns that building and there has been no transfer of cash. To his understanding, Plan B would be for the Town to secure another tenant for that facility and to have it be the asset that was intended in the Heritage District. Gilbert is a vibrant, rapidly growing community with a tremendous reputation in the state and region as is evident in the contacts and discussions we have had.

5. **Updates Requested by Commission.** There were no updates requested.

## COMMUNICATIONS

6. **Report from the CHAIR on current or future events.** There was no report.

7. **Report from COUNCIL LIAISON on current or future events.** Councilmember Eddie Cook reported that starting tomorrow night, October 20th, the water tower will be lit in purple in honor of Domestic Violence Awareness Month. Earlier in the month, the Governor lit the Capital in purple. The Town has secured new LED lighting that can be changed to any color to accommodate Holiday lighting and other occasions.

An Open House is being held tonight at the Southeast Regional Library to discuss the Lindsay Road/202 Santan Freeway Interchange project. He noted the area of Gilbert Road and Val Vista Road at the 202 Freeway is heavily congested.

8. **Report from COMMISSIONERS on current or future events.** There were no reports.
9. **Report from STAFF LIAISON on current or future events.** Amanda Elliott reported that next Wednesday, October 26, there will be a public outreach workshop and informational meeting on the second parking structure in the Heritage District to be held at Saint Xavier University at 6:00 P.M. If members of the Commission will be attending that workshop, please let Amanda know in order to comply with open meeting laws if a quorum will be present.

The Parks and Recreation Department will hold an Off the Street Art Festival in the Heritage District on October 29th and will also reveal the Arts and Culture Board open seating bench.

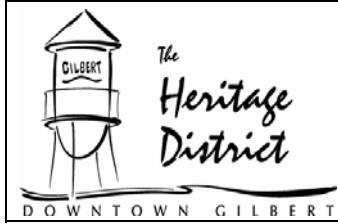
## ADJOURN

With no further business before the Commission, Chair Hamilton adjourned the meeting at 7:09 P.M.

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Ryan Hamilton, Chair





# Redevelopment Commission

Agenda  
Item #  
**2**

**TOWN OF GILBERT REDEVELOPMENT COMMISSION  
DR16-56 OHSO STUDY SESSION – DISCUSSION ONLY  
MUNICIPAL CENTER BUILDING, COUNCIL CHAMBERS  
50 E. CIVIC CENTER DRIVE, GILBERT, ARIZONA 85296**

 <p>The Heritage District DOWNTOWN GILBERT</p>	<p><b>Redevelopment Commission COMMUNICATION Study Session</b></p>	<p>Agenda Item # <b>2</b></p>
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**TO:** REDEVELOPMENT COMMISSIONERS

**FROM:** Bob Caravona, AICP, Senior Planner  
480-503-6 or bob.caravona@gilbertaz.gov

**THROUGH:** Amanda Elliott, Marketing, Communications & Heritage District Liaison

**DATE:** 18 January 2017

**SUBJECT:** DR16-56, OHSO

**RECOMMENDED MOTION**

Request for input only. No motion required.

**REQUEST**

DR16-56, OHSO: site plan, landscape, grading and drainage, elevations, floor plans, signage, lighting, colors and materials for approximately 0.77 acres, generally located at the northeast corner of Vaughn Avenue and Gilbert Road and zoned Heritage Village Center (HVC).

Applicant requests to proceed with construction documents (CDs) at-risk.

**APPLICANT OWNER**

Company: Sixty First Place Architects	Company: C&C Holdings LLC
Name: Robert L. Gutierrez	Name: William Cowly
Address: 7120 E. Indian School Rd., Suite L Phoenix, AZ 85251	Address: 2808 W. El Alba Way Chandler, AZ 85224
Phone: 480-947-6844	Phone: 480-689-7668
Email: bob@sixtyfirstplace.com	

**BACKGROUND/ DISCUSSION**

**Overview**

The 0.77 acre subject site is zoned Heritage Village Center (HVC) and is currently developed with an existing retail structure, which will be razed. A new 10,337 square foot commercial building is proposed of which 8,808 square feet of leasable space will be occupied by OHSO, a restaurant/brewery/distillery; and 1,300 square feet of leasable space occupied by Creamtherapy, an ice cream shop.

An Administrative Use Permit (AUP16-12, OHSO Eatery + Brewery) was approved on January 5, 2017 for 99 off-site parking spaces within 1,000' of 335 N. Gilbert Road. Four (4) ADA spaces plus one (1) Van ADA space are proposed on-site, which meet the ADA requirements.

***Surrounding Land Use & Zoning Designations:***

	<b><i>Existing Land Use Classification</i></b>	<b><i>Existing Zoning</i></b>	<b><i>Existing Use</i></b>
<i>North</i>	Village Center (VC)	Heritage Village Center (HVC)	Retail/Service
<i>South</i>	Village Center (VC)	Heritage Village Center (HVC)	Vaughn then Restaurant (under construction)
<i>East</i>	Village Center (VC)	Heritage Village Center (HVC)	Vacant
<i>West</i>	Village Center (VC)	Heritage Village Center (HVC)	Gilbert Road then Retail
<i>Site</i>	Village Center (VC)	Heritage Village Center (HVC)	Retail- vacant

***Project Data Table***

<b><i>Site Development Regulations</i></b>	<b><i>Required per LDC</i></b>	<b><i>Proposed</i></b>
<i>Maximum Building Height</i>	35'2 story 55'4 story	31'-3" / 2 story
<i>Minimum Setback</i>		
<i>Front to ROW</i>	0'-0"	0'-0"
<i>Side to ROW</i>	0'-0"	0'-0"
<i>Side to non-residential</i>	0'-0"	0'-0"
<i>Rear to non-residential</i>	0'-0"	24'-4"
<i>Build to line - front</i>	Ground floor minimum 50% shall be built within 10'	84%
<i>Build to line - side</i>	Built within 10'	0'-0"
<i>Storefronts and Access</i>	75% of front of building has windows/ openings; minimum 50' have	Yes. 77.1% / pedestrian access distance 24'-0"

	pedestrian access	
<i>Building Transparency</i>	Ground floor window height between 2' and 8' above grade. 25% of upper windows has view windows with non-reflective glass	Yes and upper view windows present.
<i>Driveway Restriction</i>	Access from non-arterial.	Yes. Access from local collector, Vaughn Road.
<i>Parking Setback</i>	25' from arterial street	133'-0"
<i>Parking</i>	8,008 sf +1,300 sf + 229 sf @ 1:100 sf  5 ADA parking spaces (on-site) <u>+99 spaces (off-site via AUP14-06)</u> 104 total parking spaces provided/ required  <i>No bike parking is provided at this time but is required.</i>	<b>Vehicular Parking:</b> 1 space per 100 square feet of gross floor area, plus 1 space per 400 sq. ft. of outdoor dining area: <b>= 104 spaces required.</b>  <b>Bicycle Parking:</b> 1 per each 10 required vehicle parking spaces within 50' of the primary building entrance: <b>10 spaces required</b>

**Discussion**

The applicant has requested Construction Drawings (cds) At-risk, which enables the developer to submit construction drawings for building permit review in advance of the Public Hearing. In doing so, the developer gains valuable time savings during the scheduling and public notice time period (Public Hearing tentatively scheduled for February 15, 2017).

Staff would only support cds at-risk if the applicant is able to address all 2<sup>nd</sup> review comments prior to cd submittal. Staff's 2<sup>nd</sup> review comments support approval with a minor correction for grading and drainage plans to occur at cd submittal. Unless there are further comments or concerns from the Redevelopment Commission about the site plan, landscape, grading and drainage, elevations, floor plans, lighting, or colors and materials, staff seeks the Redevelopment Commission's support of the applicant request to submit cds at-risk.

**Site**

The existing building will be razed and a new 10,337 square foot commercial building is proposed. Compliant with the Table 2.403: Site Development Regulations – Heritage Village Center, all development standards are met in terms of setbacks, storefronts and access, building transparency, driveway restrictions, parking setbacks and landscaping.

The applicant responded to staff's pre-application sign location concern. Originally, a ground sign was located at the sidewalk corner of Gilbert Road and Vaughn Avenue, which would have interfered with pedestrian access at the sidewalk corner and partially block the view of the main pedestrian entrance. In addition, an existing tree at the corner has trunk damage and interferes with utilities and obscures the entrance. In response, the applicant proposed a projecting roof/structure mounted sign to avoid interference at the pedestrian level. To replace the removal of the tree, the applicant proposes a new tree consistent with the Gilbert Road streetscape and located at the property line to the north.

In respect to the rear parking and trash enclosure access, the applicant was responsive to staff's comment and located all required ADA parking in the rear yard. In addition, the applicant properly located the trash enclosure on-site. In the future when the parking garage is constructed, the applicant and Town staff anticipates OSHO's ADA spaces being relocated within the future, adjacent parking structure. The relocation of the ADA spaces will enable the expansion of the rear yard turf area (synthetic), which is an iconic amenity associated with OHSO facilities. In addition, it is anticipated the proposed garage will include shared trash facilities for adjacent commercial properties. Nonetheless, current parking requirements are met through approval the Administrative Use Permit (AUP16-12, OHSO Eatery + Brewery) and the site has its own trash bin and enclosure.

The developer discussed the potential for designating loading areas for social car share and bike racks for privately owned bikes and bike share along the Vaughn Avenue right-of-way. Staff supports this concept. However at the time, the Town of Gilbert does not have engineering standards and regulatory tools to permit this parking/loading area. It is important to note, the Town of Gilbert is considering bike facilities within the proposed parking garage adjacent to the site.

Lastly, the sidewalk along Vaughn Avenue will be replaced with new concrete.

### ***Landscape***

New ground cover and landscape material is proposed for the existing planters located in the brick lined sidewalks. The Landscape Plan Plant schedule includes 1 new tree, 18 accent plants, 29 ground cover plants (2 species),  $\frac{3}{4}$ " decomposed granite in all planting areas, and synthetic turf.

### ***Grading and Drainage***

The proposed grading and drainage plan generally meets the requirements of the Town of Gilbert's Engineering Division.

### ***Elevations, Floor Plan, Colors and Materials***

The applicant submitted a strong application embracing the Heritage Village Center design traditions. Quoting the applicant's narrative, "The massing of Gilbert Road elevation has been designed to add to the vibrancy of the neighborhood frontage, recalling a time when each shop along Gilbert Road had its own identity. Each tenant has been given a unique presence along Gilbert Road. The smaller tenant though having a narrower frontage is given

increased distinction by making its face taller with a more forward presence The Restaurant/ Brewery with its wider frontage is cut back at a 45 degree angle adding to its presence, addressing the corner while providing a gathering space out of the hustle of the pedestrian way for patrons entering and leaving the restaurant portion of the facility.” The elevation along Vaughn contributes to the pedestrian vibrancy through operable 10’-8” planter lined windows that create openness and promotion of pedestrian activity.

Very briefly, staff supports the architectural design and the colors and materials, which comply with Heritage Village Center Design Guidelines “to establish human scale and provide visual interest...and convey a sense of scale similar to that seen in historic materials.” The Architect accomplishes this through the use of a parapet roof line breached with three repeating shed roofs with clerestory windows; well-proportioned, repeating window pattern with emphasis on a rectangular shape; clean-lined, color complimentary building trim and window mullion; and an appropriate mix of materials -- integrally colored, smooth face block, corrugated metal, and standing seam roof.

The applicant responded to staff’s comments regarding design guidelines requirements to avoid brushed aluminum storefront frames and prohibited tinted windows. The windows are clear and the window frames are orange. The orange color is permissible by the design guidelines as follows: a) one or two accent colors may be introduced to highlight façade details and trim; b) color provides specific design appeal; and c) corporate colors or designs should only be used as minor accents.

***Signage***

Per LDC Section 4.408.B1, the proposed signs require an administrative approval. The site has double street frontage that enables maximum sign area on two building elevations and reduced area on other elevations (LDC Section 4.408.C1). The proposed painted wall sign (220 square feet), south elevation parapet sign (107 square feet) and west elevation roof sign (102 square feet) comply with calculated allotment. As proposed without an approved Heritage Sign Plan, the Creamistry 36 square sign exceeds the 32 square foot maximum area by 12.5%. However, the applicant intends to submit the Heritage Sign Plan for Administrative review, which may allow for increased sign size per LDC Section 4.403 J.

The OHSO roof sign is approximately 102 square feet and 18’ feet tall with top elevation of 33’-8”, which exceeds the roof by 5’-1” or 27%. Per 4.408.C7d, the Redevelopment Commission may approve heights greater than 25 percent through a Heritage Sign Plan or Design Review when it is determined that the sign is incorporated into the building’s architecture. Staff supports the 2% overage of the 25% maximum allotment as the proposed sign reflects the buildings architecture of re-enforcing the rectangular patterns, illuminated letters, a sign frame using the material and colors of the building trim. Staff does not have any outstanding issues with the proposed signage.

<b>STAFF RECOMMENDATION</b>
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Request for input only. No motion required.

Respectfully submitted,

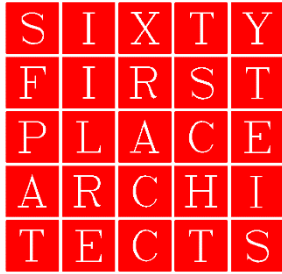
Bob Caravona, AICP  
Senior Planner

Attachments:

1. Parcel Map
2. Design Narrative
3. Site Plan
4. Landscape Plan
5. Grading and Drainage
6. Elevations/ 3-D Renderings
7. Material Board
8. Floor Plan
9. Photometric







November 27, 2016

Town of Gilbert  
Development Center / Planning Department

Re: **Project Narrative**  
335 N. Gilbert Rd.  
Gilbert, Az 85234

The owner intends on redeveloping the existing lot which is located in the Heritage Village Center at 335 N. Gilbert road. The proposed project will be a multi-tenant building with a maximum height of 31'-3". Currently the planned uses for this this building will include an Ice Cream Shop @ 1,300 sf. and a Restaurant/Brewery @ 8,800 sf. The Heritage Village Center located in downtown Gilbert offers a unique experience where an array of diverse restaurants, shops, and bars are available. The new development will add to the rich mix of choices and the pedestrian orientated district will benefit from the walk up and bicycle friendly building.

### **Site Planning and Circulation**

In order to encourage an interesting and active street front the building will be set on the property lines along both Gilbert Road and Vaughn Avenue. New ground cover landscaping and a new tree planted using a steel grate will be added along the sidewalk at the Gilbert frontage. The Vaughn Avenue frontage will also incorporate built in planters, removing the old driveways and walk then adding a new walk with a band of pavers in alternating strips between the new planting beds, softening the street edge. There are a 104 total parking spaces required, 5 of which must be ADA accessible. The 5 accessible spaces will provided on site at the rear of the building while the rest of the parking spaces will be available as street parking along with various other public parking lot options. There is currently an Administrative Use Permit under review. The utilities and trash enclosure are positioned at the rear of the building and are completely screened from view. An outdoor "green space" will be provided at the rear of the building providing an open space amenity for the restaurant use. This area will be covered with artificial turf and be populated with potted trees.

### **Building Design**

The lot has a narrow frontage along Gilbert Road and a wide frontage along Vaughn Avenue. The building shell will feature an entrance to both tenant spaces directly from

Gilbert Rd. The massing of the Gilbert Road elevation has been designed to add to the vibrancy of the neighborhood frontage. Recalling a time when each shop along Gilbert road had its own identity.

Each tenant has been given a unique presence along Gilbert Road. The smaller tenant though having a narrower frontage is given increased distinction by making its face taller with a more forward presence. The Restaurant/ Brewery with its wider frontage is cut back at a 45 degree angle adding to its presence, addressing the corner while providing a gathering space out of the hustle of the pedestrian way for patrons entering and leaving the restaurant portion of the facility. The concrete flooring for this area will be stained concrete with a sandblasted imagery (yet to be designed). This area is covered by a roof on which a building mounted neon lit sign will be attached providing further distinction to the entrance.

The north elevation with its almost 200' of Vaughn frontage has been divided into three volumetric portions.

The western most portion (which will house a bar and dining room) features a storefront with three 10'-8", operable windows which will provide an openness to directly communicate with the street. Long window box planters will be placed at each opening providing a soft buffer between the raised seating on the interior and the public walkway. Above, three pitched standing seam roofs will interrupt the sky. A clerestory window will be placed on the vertical face of each roof flooding the interior with natural light. These wedges are clad with a galvanized finish corrugated steel in reference to Gilbert's agrarian roots,

The middle portion of the building will feature the brewery. This elevation features a tall parapeted volume which provides a visual anchor to the zig zag roofs to the west. This volume is designated to house the brewery portion of the facility. A mezzanine will support the actual brew house tanks and workings. The mezzanine will surround the area below leaving a large atrium space in the middle meant to house large potted plants and trees bringing an outdoor feel to this space. This space is also open to the north with the 10' high operable windows and high vision panel windows and to the north and south with clerestory windows. The brewery which will be visible from the street below by large vision panel windows. The ground floor in this volume will contain a dining area with games and a tasting bar. There will be two more full height operable windows which will open to the street adding to the intended openness of this big volume.

The third section of the building brings the building back down in height creating a volumetric symmetry. This portion of building will be used for a new concept restaurant having its own kitchen while having a direct interior connection to the atrium. The building façade takes on a more traditional mid storefront with recessed entry doors flanked by glass storefront system painted in a vibrant orange color to provide a break to the building mass. Like the rest of the building this volume is clad in 4x8x16 integral color masonry which lends itself to the mid-century feel and horizontality of the building design. A

sculpted stucco cornice caps all of the masonry in reference to the storefront heritage of a bygone era. The east side of this space will feature an antiqued version of the tenant logo featuring a bicycle which is the major theme of the interior design.

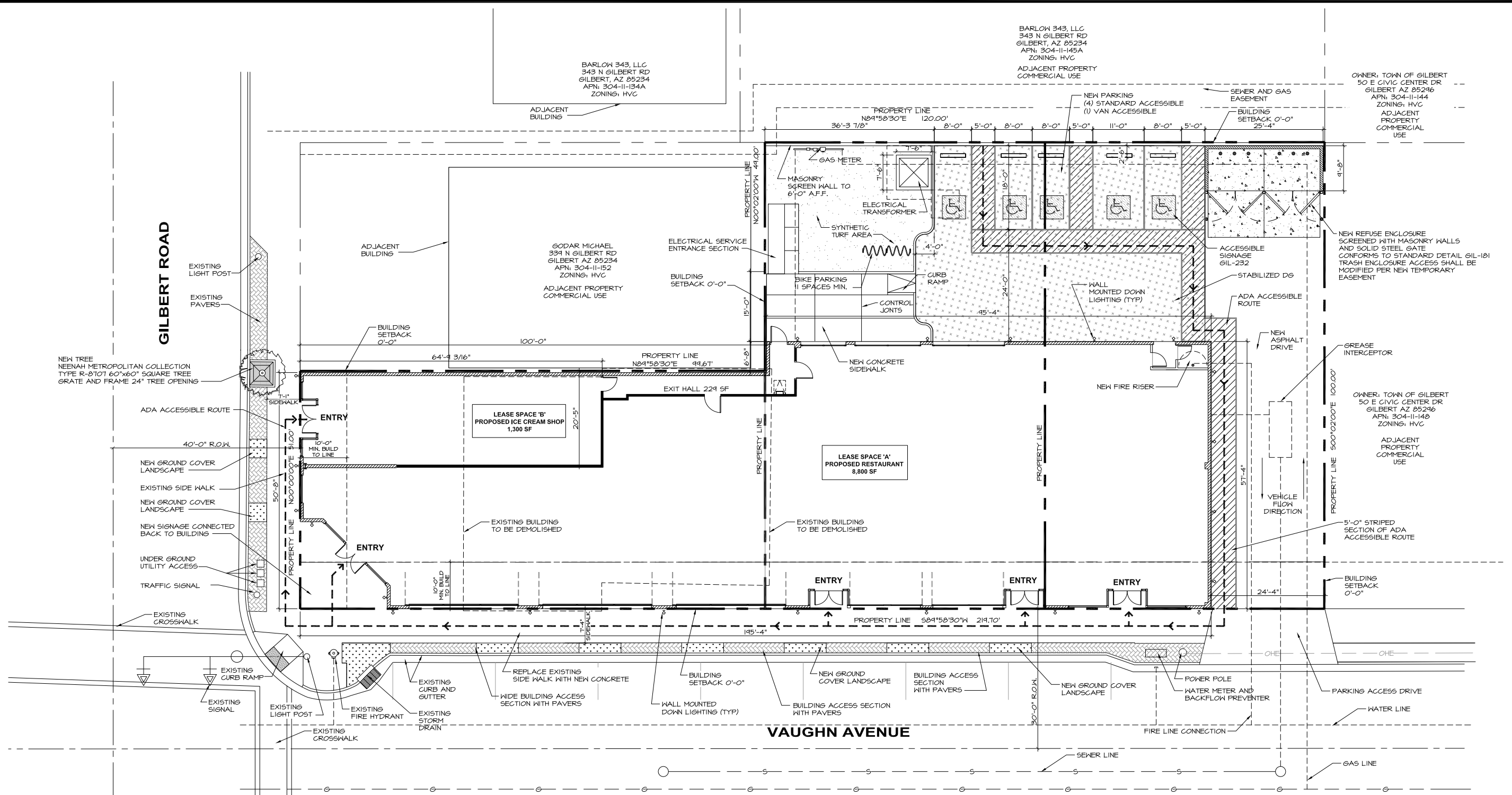
The street frontages of the building will be tied together with a cantilevered shade canopy which projects over the side walk. The canopy structure will be made of steel and painted. It will have perforated inset panels providing a dappled shade effect.

The varied massing and materials of the building is meant to add to the vibrancy of the district. The openness of the south elevation will add to the energy of the street in response to the new development to the south bringing pedestrian traffic to the east.

Respectfully Submitted  
Sixty First Place Architects

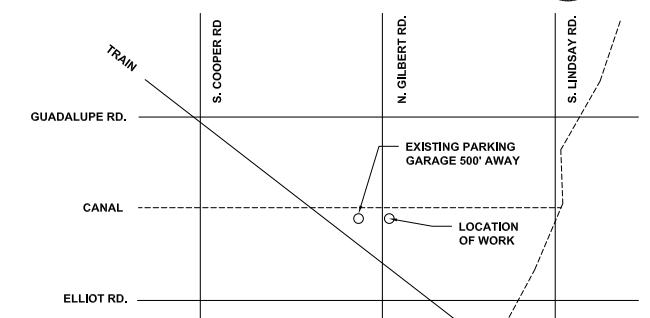
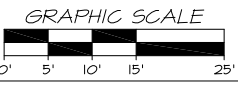
A handwritten signature in blue ink that reads "Robert L. Gutierrez". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

Robert L. Gutierrez  
Principal



# SITE PLAN

SCALE: 1"=10'



# VICINITY PLAN

SCALE: NTS

BUILDING AND SITE DATA			
<b>BUILDING REQUIRED:</b>			
1 SPACE PER 100 SQ. FT.:			
LEASE SPACE A	8,808 SF		
LEASE SPACE B	1,300 SF		
EXIT HALL	229 SF		
<b>TOTAL 10,337SF = 104 PARKING SPACES REQUIRED</b>			
<b>ACCESSIBLE PARKING:</b>			
REQUIRED 101-150 = 5 SPACES			
5 ACCESSIBLE SPACES PARKING SPACES PROVIDED ON SITE			
<b>BIKE PARKING:</b>			
REQUIRED 11 SPACES			
PROVIDED 11 SPACES			
*** ADMINISTRATIVE USE PARKING PERMIT HAS BEEN SUBMITTED AND IS PENDING APPROVAL AUP16-012			
<b>ZONING: HVC HERITAGE VILLAGE CENTER</b>			
APN:	LOT SIZE	LOT NUMBER	
304-11-153,	5,084 SF	17	
304-11-151,	6,600 SF	16	
304-11-149	6,600 SF	15	
<b>SITE AREA:</b>			
GROSS ACRES: 33,701 SF. = .77 ACRES (INCLUDES ROW)			
NET ACRES: 18,284SF = .42 ACRES			
<b>LEASE SPACE A 8,808 SF</b>			
<b>LEASE SPACE B 1,300 SF</b>			
<b>EXIT HALL 229 SF</b>			
<b>TOTAL AREA 10,337SF</b>			
LOT COVERAGE (10,282 / 18,284): 56.23%			
<b>LANDSCAPE AREA: 1,019 SF = .02 ACRES</b>			
LANDSCAPE COVERAGE: 1,019 / 33,701 = 3%			
<b>SET BACKS:</b>			
FRONT	0'		
SIDE	0'		
REAR	0'		

STANDARD COMMERCIAL AND INDUSTRIAL SITE PLAN NOTES	
1. All utility lines less than 69 KV on or contiguous to the site shall be installed or relocated under ground.	L-shaped, U-shaped or a straight wall parallel to the cabinet, depending on the location of the cabinet;
2. All trash enclosures shall include fully opaque screening gates, finished and painted to match the enclosure. Screening gates shall not open into vehicular drive aisles. Trash enclosures are not required in industrial districts if located inside an enclosed yard which is screened by a perimeter wall at least 6 feet in height.	a. Enclosed in pilasters, columns or other architectural features of the canopy or building, or b. Routed underground.
3. All outdoor storage areas for storage of materials and equipment shall be fully screened from view by a 8' solid masonry wall. Industrial storage screen walls shall be finished where they are exposed to public view from streets or adjacent non-industrial uses.	5. The location of all electrical utility equipment shall be identified on the construction plans.
4. S.E.S. panels and any other above ground utility cabinet shall be fully screened from view from streets or from areas accessible to customers and the general public. Screening may be accomplished by any one of the following methods:	6. Roof-mounted mechanical equipment shall be fully screened by either one of the following methods:
a. Fully recessing the cabinet into the building and enclosing it by a solid door or doors separate from the cabinet;	a. The parapet wall of the building shall equal or exceed the height of the mechanical units, or
b. Screening with a decorative masonry wall of the same height as the panel. The screen wall may be	b. By locating the mechanical equipment behind the roof planes in the case of mansard, hip or other than flat roof.
	7. Roof mounted mechanical equipment enclosures or equipment screen walls shall not project above the roof parapet. To the extent permitted by law, satellite dishes shall be fully screened by a parapet wall.
	8. Ground mounted mechanical equipment shall be fully screened from view (from streets or surrounding commercial uses) by a combination of decorative walls and an evergreen vegetative hedge equal to or exceeding the height
	9. All freestanding light poles shall: a. Be located within landscaped areas or planter islands. b. Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30' from adjacent grade. c. Be located to avoid conflict with trees. DR Non-Residential/Multi-Family Page 20 of 20 Updated 10/2015
	10. Pneumatic tubes, whether metal or plastic, shall be either: a. Enclosed in pilasters, columns or other architectural features of the canopy or building, or b. Routed underground.
	11. All backflow prevention devices larger than 2" shall be screened with landscape located within a 6' radius of the device. All backflow preventers 2" or smaller shall be placed in a locked wire mesh cage painted to match the primary building color.
	12. All freestanding light poles shall: a. Be located within landscaped areas or planter islands. b. Have concrete bases painted to match the primary building color or finished to match parking screen walls. Concrete bases for light poles shall not exceed a height of 30' from adjacent grade. c. Be located to avoid conflict with trees. DR Non-Residential/Multi-Family Page 20 of 20 Updated 10/2015
	13. Site lighting shall comply with the light and glare criteria set forth in Section 4.103 of the LDC, including a maximum freestanding light fixture height of 25'.
	14. Landscaped areas adjacent to public right-of-way shall be mounded and naturally contoured. No more than 50% of the required
	(right-of-way and landscaping tracts) landscaping fronting adjacent streets may be used for retention. Retention area side slopes shall be varied, and no slope shall exceed a 4:1 maximum.
	15. Commercial building downspouts shall be internalized. Industrial buildings may use exposed downspouts if articulated with the architecture of the building and built with a durable material such as steel.
	16. Commercial development vehicular access points and pedestrian access ways shall include special paving treatment such as integral colored stamped concrete, Boamanite, or similar alternative. Location and material shall be reviewed and approved by the Planning Department prior to the issuance of a building permit.
	17. Customer, employee and visitor parking shall be screened from street view by low masonry walls. The parking screen walls shall be finished on both sides using the same materials and colors, and a design to complement that of the main building.
	18. All exterior metal shall be finished or painted to match the approved project colors.
	19. Existing on-site plant material damaged during construction shall be replaced with comparable species and size.

**SIXTY FIRST PLACE ARCHITECTS, LTD.**  
 7120 EAST INDIAN SCHOOL, SUITE L  
 SCOTTSDALE, ARIZONA 85251  
 PHONE (480) 947-6844 FAX (480) 947-9518

**OHSO Eatery + Brewery**  
 385 North Gilbert Road  
 GILBERT, ARIZONA 85234  
 SITE PLAN - EXHIBIT A



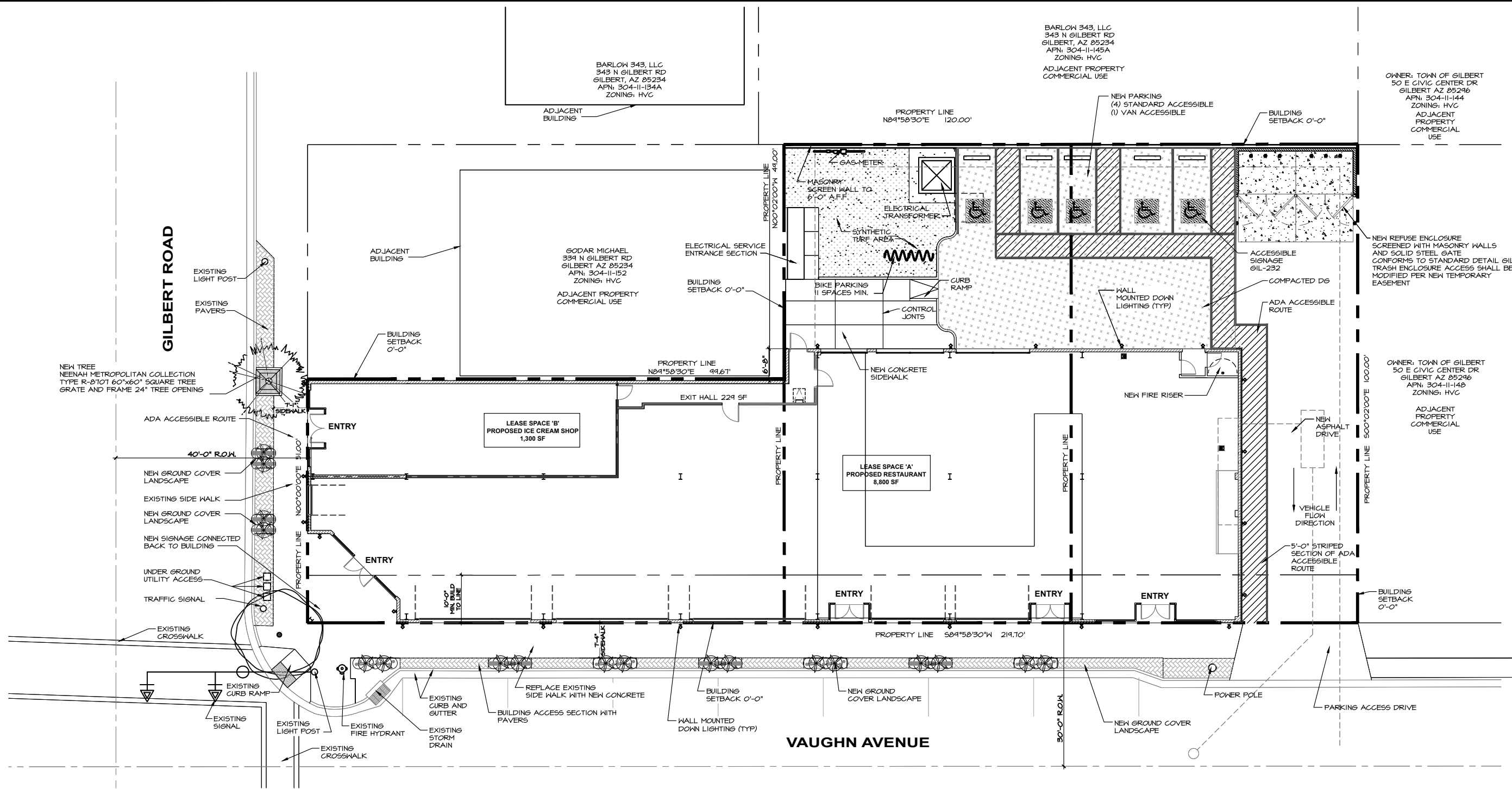
REVISIONS	DATE

**SIXTY FIRST PLACE ARCHITECTS**

JOB NUMBER  
16030

DATE  
12/16/16

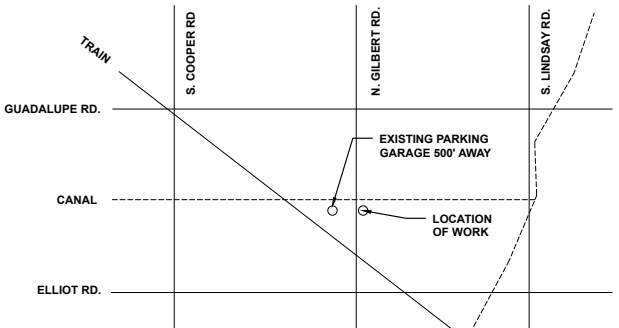
SHEET NO.  
SP1.0



**1 PLANTING PLAN**  
SCALE: 1"=10'  
GRAPHIC SCALE  
0' 5' 10' 15' 25'

**PLANT SCHEDULE**

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
<b>TREES</b>					
(Symbol)	Existing Tree	To Be Removed		1	Unable to salvage due to trunk damage and proximity to utilities.
(Symbol)	<i>Pistacia 'Red Push'</i>	'Red Push' Pistache	24" Box 1.5' Cal, 9H x 4W	1	Standard Trunk Dense Canopy
<b>ACCENTS</b>					
(Symbol)	<i>Hesperaloe parviflora</i>	'Breaklights' Red Yucca	5-Gal	10	As Per Plan
<b>GROUND COVERS</b>					
(Symbol)	<i>Lantana montevidensis</i>	Purple Lantana	1-Gal	17	As Per Plan
(Symbol)	<i>Eremophila maculata</i>	'Outback Sunrise' Emu	1-Gal	12	As Per Plan
<b>MISCELLANEOUS</b>					
(Symbol)	Decomposed Granite - Color: 3/4" Minus 'Express Gold' Size: 2" depth in all planting areas (typ)				
(Symbol)	Synthetic Turf - EZ-Turf Olive Lush or Equal +/-120 sq.ft				



**2 VICINITY MAP**  
SCALE: NTS

**SIXTY FIRST PLACE ARCHITECTS, LTD.**  
7120 EAST INDIAN SCHOOL, SUITE L  
SCOTTSDALE, ARIZONA 85251  
PHONE (480) 947-6844 FAX (480) 947-9518

OHSO Eatery + Brewery  
335 North Gilbert Road  
GILBERT, ARIZONA  
PLANTING PLAN



REVISIONS	DATE	CITY COMMENTS
1	12/19/16	

**SIXTY FIRST PLACE ARCHITECTS**

JOB NUMBER  
**16030**  
DATE  
12/19/16  
SHEET NO.  
**L1.0**

COLLABORATIVE V  
DESIGN STUDIO INC.  
7116 EAST 1ST AVENUE, SUITE 103  
SCOTTSDALE, ARIZONA 85251  
OFFICE: 480-347-0590  
FAX: 480-656-6012



# OHSO EATERY AND BREWERY

335 N. GILBERT ROAD  
GILBERT, ARIZONA

## PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN

LOCATED IN THE NORTHEAST QUARTER OF SECTION 7,  
TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN,  
MARICOPA COUNTY, ARIZONA.

### LEGAL DESCRIPTION

#### PARCEL 1:

THE SOUTH 41 FEET OF LOT 17, HEARNE ADDITION, ACCORDING TO BOOK 38 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE WEST 7 FEET THEREOF.

#### PARCEL 2:

THAT PORTION OF SECOND STREET ABANDONED BY THE TOWN COUNCIL OF THE TOWN OF GILBERT UNDER RESOLUTION #59 RECORDED IN DOCKET 534, PAGE 255 AND DEEDED TO R.D. HEARNE BY QUIT CLAIM DEED RECORDED IN DOCKET 257, PAGE 297, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF LOT 17, HEARNE ADDITION, ACCORDING TO BOOK 38 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA, RUNNING THENCE EAST ALONG THE SOUTH LINE OF LOT 17, A DISTANCE OF 106.70 FEET TO THE SOUTHEAST CORNER OF LOT 17;

THENCE ALONG A PROLONGATION SOUTHERLY OF THE EAST LINE OF LOT 17, A DISTANCE OF 10 FEET;

THENCE WEST PARALLEL WITH THE SOUTH LINE OF LOT 17 TO A POINT WHICH IS 10 FEET SOUTH OF THE PROLONGATION SOUTHERLY OF THE WEST LINE OF SAID LOT 17;

THENCE NORTH ALONG THE PROLONGATION SOUTHERLY OF THE WEST LINE OF SAID LOT 17 TO THE POINT OF BEGINNING;

EXCEPT THE WEST 7 FEET THEREOF.

#### PARCEL 3:

THE SOUTH 90 FEET OF LOTS 15 AND 16, HEARNE ADDITION, ACCORDING TO BOOK 38 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA.

#### PARCEL 4:

A STRIP OF LAND ON THE SOUTH OF LOTS 15 AND 16, HEARNE ADDITION, ACCORDING TO BOOK 38 OF MAPS, PAGE 28, RECORDS OF MARICOPA COUNTY, ARIZONA;

BEGINNING AT THE SOUTHWEST CORNER OF LOT 16 OF SAID HEARNE ADDITION;

THENCE EAST ALONG THE SOUTH LINE OF LOTS 15 AND 16, A DISTANCE OF 120 FEET TO THE SOUTHEAST CORNER OF LOT 15;

THENCE ALONG A PROLONGATION SOUTHERLY OF THE EAST LINE OF LOT 15, A DISTANCE OF 10 FEET;

THENCE WEST PARALLEL WITH THE SOUTH LINE OF LOTS 15 AND 16 TO A POINT WHICH IS 10 FEET SOUTH OF THE PROLONGATION SOUTHERLY OF THE WEST LINE OF SAID LOT 16;

THENCE NORTH ALONG THE PROLONGATION SOUTHERLY OF THE WEST LINE OF LOT 16 TO THE POINT OF BEGINNING.

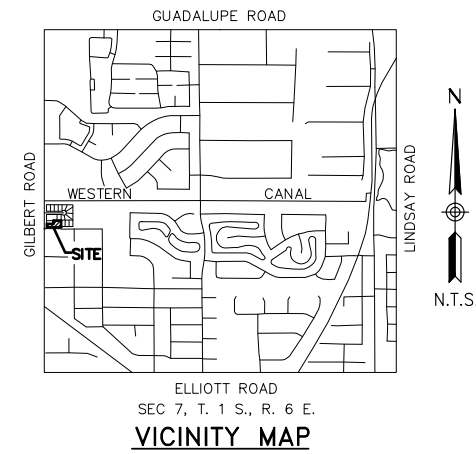
### DRAINAGE NOTE

THE SITE IS IDENTIFIED AS BEING WITHIN THE HERITAGE DISTRICT DRAINAGE AREA. RUNOFF FROM THE SITE IS ROUTED TO THE VAUGHN STREET RETENTION BASIN VIA THE TOWN STORM DRAIN SYSTEM. THE SITE IS NOT REQUIRED TO RETAIN ANY RUNOFF.

### FLOOD ZONE

THIS PROPERTY IS IN ZONE "X" PER FLOOD INSURANCE RATE MAP (FIRM) NO. 04013C2731M, DATED NOVEMBER 4, 2015.

ZONE X IS DEFINED AS:  
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD".



VICINITY MAP

**ARCHITECT**  
SIXTY FIRST PLACE ARCHITECTS  
7120 E. INDIAN SCHOOL ROAD, SUITE L  
SCOTTSDALE, AZ 85251  
480-947-6844  
480-947-9518 (FAX)

**OWNER/DEVELOPER**  
BECKHAM GUMBIN VENTURES, LLC  
10611 N HAYDEN ROAD, SUITE D-105  
SCOTTSDALE, ARIZONA 85260

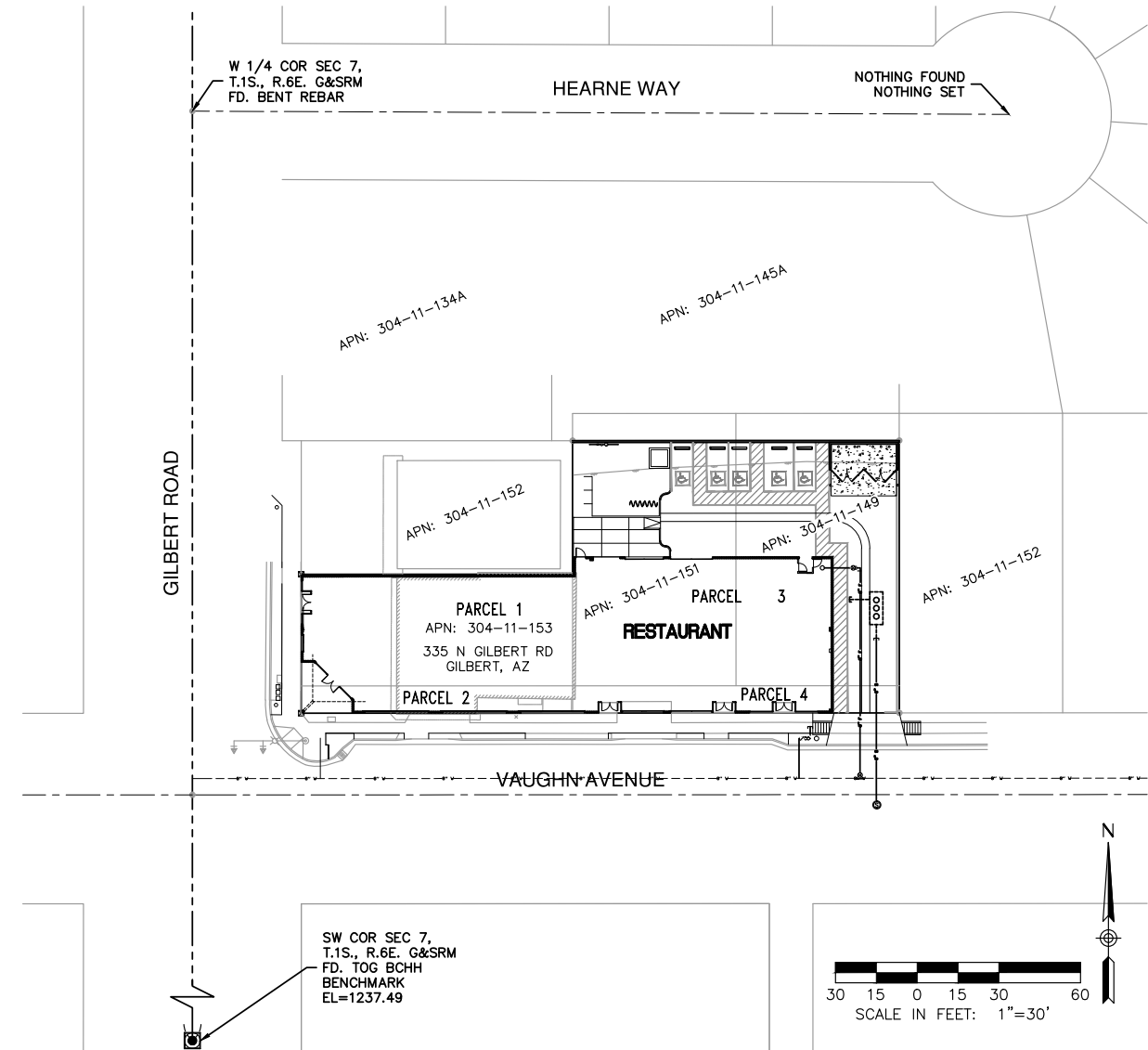
**ENGINEER**  
OPTIMUS CIVIL DESIGN GROUP  
4650 EAST COTTON CENTER BLVD.,  
SUITE 200  
PHOENIX, ARIZONA 85034  
PHONE: (602) 286-9300  
CONTACT: JEFF BEHRANA

**BENCHMARK**  
FD BCHH AT THE INTERSECTION OF GILBERT ROAD AND ELLIOT ROAD.,  
SOUTHWEST CORNER OF SECTION 7,  
TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN  
ELEVATION: 1237.49 (NAVD '88)

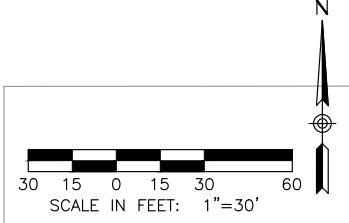
**BASIS OF BEARINGS**  
THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN AS SHOWN ON THE HEARNE ADDITION PLAT RECORDED IN BOOK 38, PAGE 28, M.C.R. SAID LINE BEARS: N. 00°00'00" E.

**INDEX OF PLAN SHEETS**  
1 (C-1) COVER SHEET  
2 (C-2) PRELIMINARY GRADING & DRAINAGE AND UTILITY PLAN

**SITE AREA**  
GROSS AREA: 33,701 SF = 0.77 AC  
NET AREA: 18,284 SF = 0.42 AC



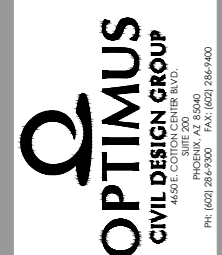
KEY MAP



### LEGEND

<ul style="list-style-type: none"> <li>● FOUND C.O.P. BRASS CAP IN HAND HOLE</li> <li>● FOUND C.O.P. BRASS CAP FLUSH UNLESS NOTED OTHERWISE</li> <li>● FOUND MONUMENT AS NOTED</li> <li>○ SET 1/2" REBAR</li> </ul>	<ul style="list-style-type: none"> <li>----- EASEMENT LINE</li> <li>----- PROPERTY LINE</li> <li>----- BOUNDARY LINE</li> <li>■ EXISTING CATCH BASIN</li> <li>⊕ EXISTING STORM DRAIN MANHOLE</li> <li>⊕ EXISTING SIGN</li> <li>⊕ EXISTING SANITARY SEWER MANHOLE</li> <li>□ EXISTING TRANSFORMER</li> </ul>	<ul style="list-style-type: none"> <li>⊕ EXISTING FIRE HYDRANT</li> <li>— EXISTING BACKFLOW PREVENTER</li> <li>⊕ EXISTING WATER METER</li> <li>⊕ EXISTING WATER VALVE</li> <li>⊕ EXISTING COMMUNICATION MANHOLE</li> <li>⊕ EXISTING UTILITY POLE</li> <li>⊕ EXISTING PULL/JUNCTION BOX</li> <li>⊕ EXISTING ELECTRIC METER</li> <li>→ EXISTING DOWN GUY WIRE</li> <li>⊕ EXISTING LIGHT POLE</li> <li>— EXISTING STORM DRAIN</li> <li>— EXISTING SEWER MAIN</li> <li>— EXISTING FIBER OPTIC</li> <li>— EXISTING WATER MAIN</li> </ul>	<ul style="list-style-type: none"> <li>— EXISTING FENCE</li> <li>⊕ EXISTING SPOT ELEVATION</li> <li>—1425— EXISTING CONTOUR &amp; ELEVATION</li> <li>— PROPOSED RETAINING WALL</li> <li>— PROPOSED STORM DRAIN</li> <li>— PROPOSED CATCH BASIN</li> <li>— GRADE BREAK</li> </ul>	<ul style="list-style-type: none"> <li>G GUTTER ELEVATION</li> <li>P PAVEMENT FINISH GRADE ELEVATION</li> <li>GR GRATE ELEVATION</li> <li>CO CURB OPENING</li> </ul>
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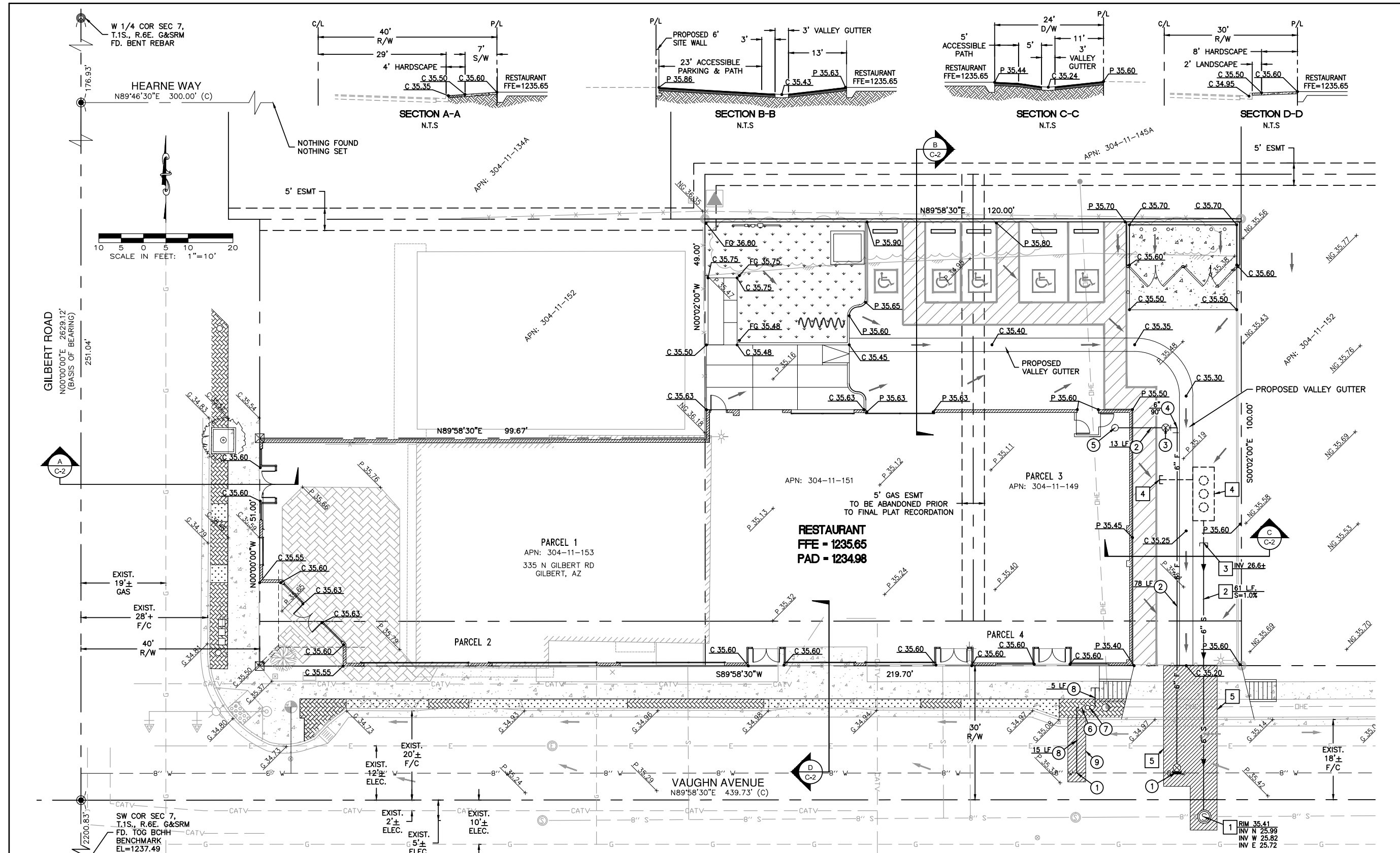
**OHSO EATERY AND BREWERY**  
**COVER SHEET**  
 335 N. GILBERT ROAD  
 GILBERT, ARIZONA.



DESIGNED: EPA  
DRAWN: DEB  
CHECKED: JDB  
DATE: 12/16  
JOB NO.: 161256

DRAWING NO  
**C-1**  
1 of 2

USE OF THE INFORMATION CONTAINED IN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY OPTIMUS CIVIL DESIGN GROUP. OPTIMUS CIVIL DESIGN GROUP SHALL HAVE NO LIABILITY TO ANY USER OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.



**WATER/FIRE LINE CONSTRUCTION NOTES**

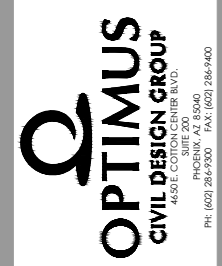
- 1 FIELD LOCATE AND CONNECT TO EXISTING 8" WATER MAIN WITH 8" X 6" STAINLESS STEEL (TYP) TAPPING SLEEVE, VALVE, BOX AND COVER PER M.A.G. STD. DET. 340 WITH MECHANICAL JOINT RESTRAINTS PER TOWN OF GILBERT STANDARDS AND M.A.G. STD. DTL. 303. CONTRACTOR TO LOCATE EXISTING MAIN PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 2 INSTALL 6" PVC C-900, DR-18, CLASS 235 FIRE LINE, BEDDING PER T.O.G. STD. DTL. GIL-302.
- 3 INSTALL 6" VALVE, BOX AND COVER PER M.A.G. STANDARD DETAIL 391-1 TYPE "C". INSTALL MECHANICAL JOINT RESTRAINTS PER TOWN OF GILBERT STANDARDS AND M.A.G. STD. DTL. 303. INSTALL D.I.P. WITHIN 5' OF BUILDING.
- 4 INSTALL BEND. INSTALL MECHANICAL JOINT RESTRAINTS PER TOWN OF GILBERT STANDARDS AND M.A.G. STD. DTL. 303. ANGLE AND SIZE AS NOTED
- 5 SEE FIRE SPRINKLER PLANS FOR CONTINUATION OF THE FIRE LINE INTO THE BUILDING. CONTRACTOR TO VERIFY EXACT SIZE AND LOCATION OF THE BUILDING FIRE LINE WITH THE FIRE SPRINKLER PLANS PRIOR TO ANY CONSTRUCTION. INSTALL FLANGE 6 INCHES ABOVE FINISHED FLOOR.

- 6 INSTALL 2" DOMESTIC WATER SERVICE PER T.O.G. STD. DTL. GIL-310. 2" WATER METER TO BE SET BY TOWN OF GILBERT FORCES AFTER PAYMENT OF PREVAILING FEES.
- 7 INSTALL 2" REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE PER T.O.G. STD. DTL. GIL-350. ALL WET DOMESTIC BRASS PLUMBING FIXTURES NOT LIMITED TO BACKFLOW PREVENTION ASSEMBLIES SHALL CONTAIN NO GREATER THAN 0.25% TOTAL LEAD CONTENT. USE TYPE "K" COPPER BETWEEN METER AND BACKFLOW DEVICE. BACKFLOW DEVICE TO BE ENCLOSED IN A METAL CAGE. SEE ARCHITECT'S PLANS FOR DETAILS.
- 8 INSTALL 2" TYPE "K" COPPER WATER LINE PER T.O.G. STD. DTL.
- 9 SAWCUT TO A CLEAN EDGE, REMOVE EXISTING ASPHALT PAVEMENT AND VALLEY GUTTER. REPLACE IN LIKE KIND, PER T.O.G. STD. DTL. GIL-240 AND M.A.G. STD. DTL. 240 TO FACILITATE INSTALLATION OF WATER LINE.

**PRIVATE SEWER CONSTRUCTION NOTES**

- 1 INSTALL NEW MANHOLE OVER EXISTING SEWER MAIN. CONTRACTOR TO LOCATE AND VERIFY SIZE AND LOCATION OF EXISTING SEWER LINE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 2 INSTALL 6" DIAMETER PVC SDR-35 SEWER LINE. BEDDING PER T.O.G. STD. DTL. GIL-401.
- 3 INSTALL SEWER CAP 5' FROM GREASE INTERCEPTOR OR AS SHOWN. CONTRACTOR TO COORDINATE POINT OF CONNECTION WITH PLUMBING DRAWINGS PRIOR TO CONSTRUCTION.
- 4 SEE PLUMBING PLANS FOR GREASE TRAP DETAILS.
- 5 SAWCUT TO A CLEAN EDGE, REMOVE EXISTING ASPHALT PAVEMENT AND VALLEY GUTTER. REPLACE IN LIKE KIND, PER T.O.G. STD. DTL. GIL-240 AND M.A.G. STD. DTL. 240 TO FACILITATE INSTALLATION OF SEWER AND FIRE LINE.

**OHOSO EATERY AND BREWERY**  
**PRELIMINARY GRADING & DRAINAGE**  
**AND UTILITY PLAN**  
 335 N. GILBERT ROAD  
 GILBERT, ARIZONA.



DESIGNED:	EPA
DRAWN:	DEB
CHECKED:	JDB
DATE:	12/16
JOB NO.:	161256

DRAWING NO	C-2	
2	OF	2

USE OF THIS INFORMATION CONTAINED IN THIS INSTRUMENT FOR OTHER THAN THE SPECIFIC PURPOSE FOR WHICH IT WAS INTENDED AND FOR OTHER THAN THE CLIENT FOR WHOM IT WAS PREPARED IS FORBIDDEN UNLESS EXPRESSLY PERMITTED IN WRITING IN ADVANCE BY OPTIMUS CIVIL DESIGN GROUP. OPTIMUS CIVIL DESIGN GROUP SHALL HAVE NO LIABILITY TO ANY USER OF THIS INFORMATION WITHOUT THEIR WRITTEN CONSENT.

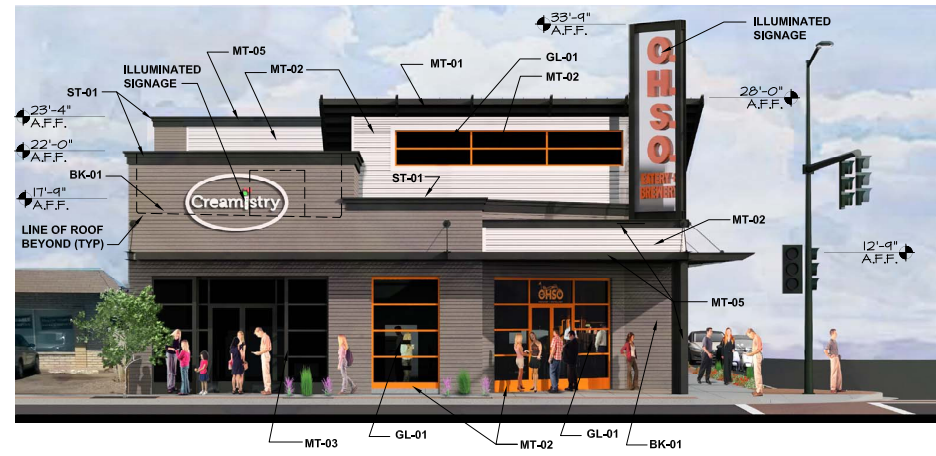
NO.	REVISION	DATE



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



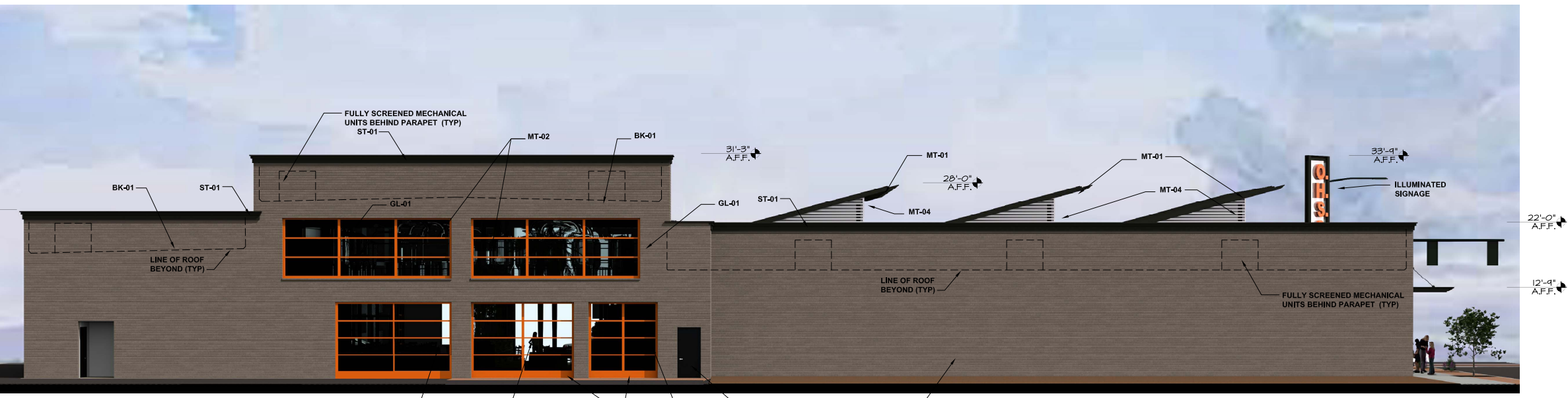
**2 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**MATERIAL LEGEND**

<p><b>MT-01</b> STANDING SEAM METAL ROOF MFG: ATAS, FIELD-LOK PANEL COLOR: MEDIUM BRONZE LOCATION: SHED ROOF</p>	<p><b>MT-02</b> ALUMINUM STOREFRONT MFG: ARCADIA COLOR: MATCH BEHR SG-200 GLOWING FIRELIGHT AND METAL TRIM LOCATION: OHSO STOREFRONT</p>	<p><b>MT-03</b> ALUMINUM STOREFRONT MFG: ARCADIA COLOR: DARK BRONZE ANODIZED LOCATION: CREAMISTRY STOREFRONT</p>
<p><b>MT-04</b> CORRUGATED METAL PANELS MFG: ATAS, FIELD-LOK PANEL COLOR: 97 - 55% AL-ZN ACRYLIC COATED CALVALUME LOCATION: WINDOW BASES, SHED WALLS</p>	<p><b>MT-05</b> PAINTED STEEL COLOR: MATCH DUNN EDWARDS DET630 RENWICK BROWN LOCATION: STEEL</p>	<p><b>GL-01</b> ALUMINUM STOREFRONT GLASS 1" INSULATED CLEAR GLASS TEMPERED WHERE REQUIRED</p>
<p><b>BK-01</b> BUILDING BLOCK MFG: SUPERLITE BLOCK 4"x8"x16" COLOR: INTEGRALLY COLORED BONE (SMOOTH FACE) VERTICAL JOINTS FILLED LOCATION: EXTERIOR WALLS</p>	<p><b>ST-01</b> STUCCO COLOR: MATCH DUNN EDWARDS DET630 RENWICK BROWN LOCATION: STEEL</p>	



**4 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATIONS



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JOB NUMBER	16030
DATE	12/16/16
SHEET NO.	A-2





**VIEW FROM THE SOUTH WEST**



**VIEW FROM THE SOUTH EAST**



**VIEW FROM THE WEST**



**VIEW FROM THE SOUTH**

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335 North Gilbert Road  
GILBERT, ARIZONA

**RENDERING COMPOSITE**

DATE REVISIONS

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FIRST  
PLACE  
ARCHI  
TECTS**

JOB NUMBER  
16030

DATE  
12/16/16

SHEET NO.  
**PRES 1**



**MT-01**

STANDING SEAM METAL ROOF  
 MFG: ATAS, FIELD-LOK PANEL  
 COLOR: MEDIUM BRONZE  
 LOCATION: SHED ROOF



**MT-02**

ALUMINUM STOREFRONT  
 MFG: ARCADIA  
 COLOR: MATCH BEHR SG-200  
 GLOWING FIRELIGHT  
 LOCATION: OHSO STOREFRONT  
 AND METAL TRIM



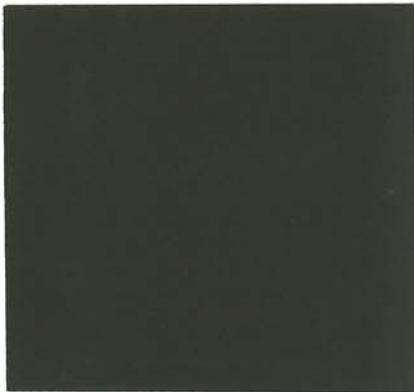
**MT-03**

ALUMINUM STOREFRONT  
 MFG: ARCADIA  
 COLOR: DARK BRONZE ANODIZED  
 LOCATION: CREAMISTRY  
 STOREFRONT



**MT-04**

CORRUGATED METAL PANELS  
 MFG: ATAS, FIELD-LOK PANEL  
 COLOR: 97 - 55% AL-ZN  
 ACRYLIC COATED GALVALUME  
 LOCATION: WINDOW BASES,  
 SHED WALLS



**MT-05**

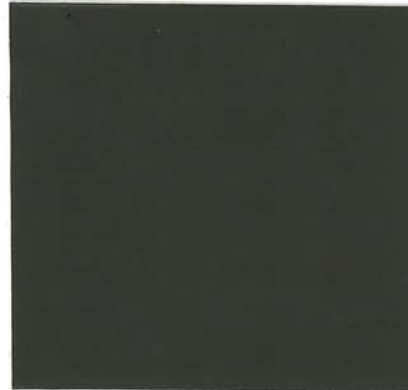
PAINTED STEEL  
 COLOR: MATCH DUNN EDWARDS  
 DET630 RENWICK  
 BROWN  
 LOCATION: STEEL

SIXTY FIRST PLACE  
 ARCHITECTS



**BK-01**

BUILDING BLOCK  
 MFG: SUPERLITE BLOCK 4"x8"x16"  
 COLOR: INTEGRALLY COLORED  
 BONE (SMOOTH FACE)  
 vertical grout joints filled  
 LOCATION: EXTERIOR WALLS



**ST-01**

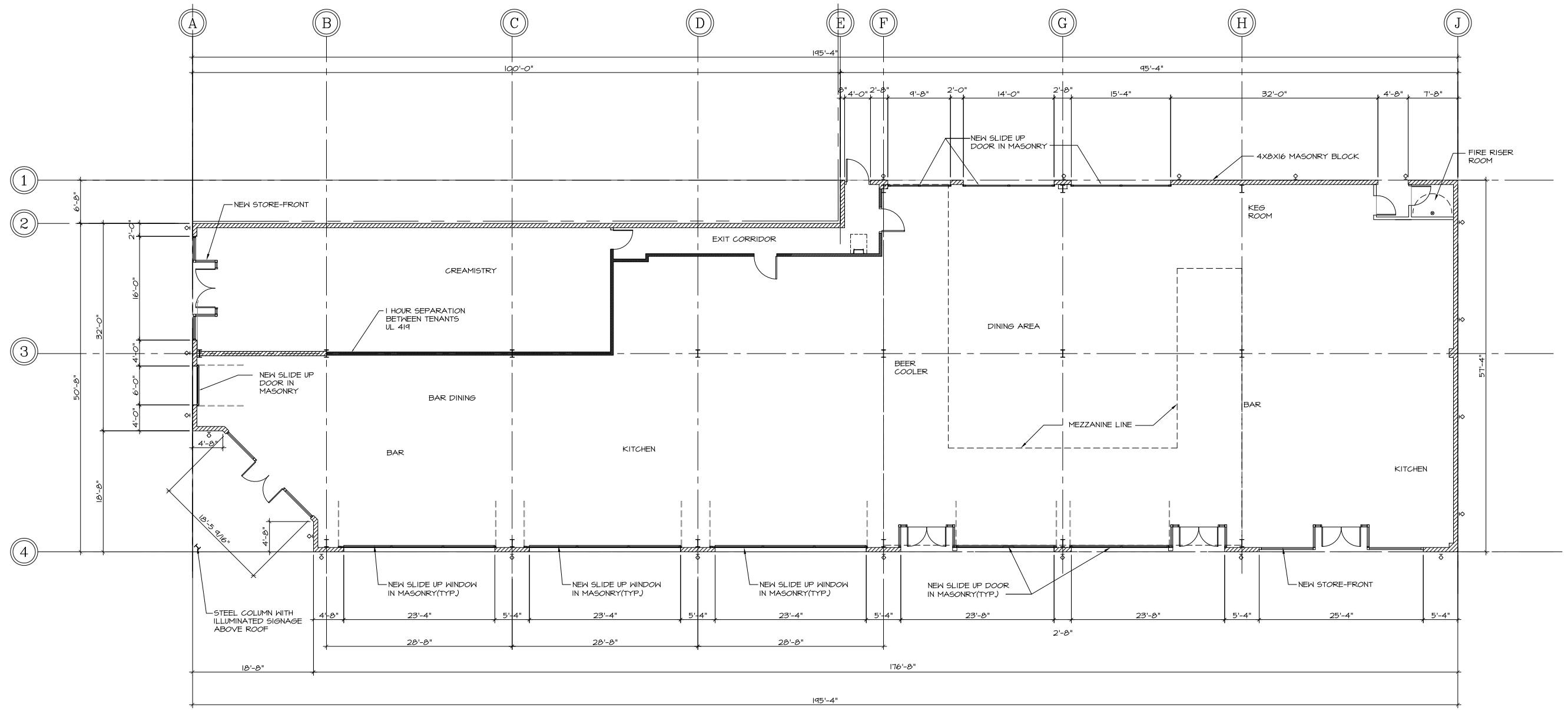
STUCCO  
 COLOR: MATCH DUNN EDWARDS  
 DET630 RENWICK  
 BROWN  
 LOCATION: STEEL



**GL-01**

GLASS  
 COLOR: CLEAR SOLAR BAN 60  
 1" INSULATED GLASS

LOCATION: STOREFRONT  
 TEMPERED WHERE REQUIRED BY  
 CODE



**1 FLOOR PLAN**  
 SCALE: 1/8"=1'-0"

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 FLOOR PLAN MASONRY



REVISIONS	DATE



JOB NUMBER  
**16030**  
 DATE  
**12/16/16**  
 SHEET NO.  
**A1.0**





**FEATURES & SPECIFICATIONS**

**INTENDED USE** — Typical applications include corridors, lobbies, conference rooms and private offices.  
**CONSTRUCTION** — Galvanized steel mounting/plaster frame, galvanized steel junction box with bottom-hinged access covers and spring latches. Reflectors are retained by tension springs. Vertically adjustable mounting brackets with commercial bar hangers provide 3/32" total adjustment. Two combination 1/2", 3/4" and four 1/2" knockouts for straight-through conduit runs. Capacity: 8 ft in, 4 out, No. 12 AWG conductors, rated for 90°C.  
**Accessories** 12"-24" joint spacing.  
**Positive cooling thermal management** for 25°C standard; high ambient (40°C) option available. Light engine and drivers are accessible from above or below ceiling.  
**Max ceiling thickness** 1-1/2".  
**OPTICS** — LEDs are bonded to a 3-step SDCB; 90 CRI minimum.  
**LED light source** concealed with diffusing optical lens.  
**General illumination lighting** with 1.5 S/MH and 55° cutoff to source and source image.  
**Self-flanged anodized reflectors** in specular, semi-specular, or matte diffuse finishes. Also available in white and black painted reflectors.  
**ELECTRICAL** — Multi-volt (120-277V, 5A/60Hz) eledLED 0-10V dimming drivers mounted to junction box, 10% or 1% minimum dimming level available.  
**0-10V dimming fixture** requires two (2) additional low-voltage wires to be pulled.  
**70% lumen maintenance** at 50,000 hours.  
**LISTINGS** — Certified to US and Canadian safety standards. Dump location (wet location, covered ceiling optional).  
**WARRANTY** — 5-year limited warranty. Complete warranty terms located at [www.aeilbrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.aeilbrands.com/CustomerResources/Terms_and_conditions.aspx)  
**Note:** Actual performance may differ as a result of end-user environment and application.  
 All values are design or typical values, measured under laboratory conditions at 25 °C.  
 Specifications subject to change without notice.



**LDN6**  
6' OPEN and WALLWASH LED  
Non-IC  
New Construction Downlight

A+ Capable options indicated by this color background.

**ORDERING INFORMATION** Lead times will vary depending on options selected. Consult with your sales representative. **Example:** LDN6 35/15 LOGAR LSS MVOLT E210

Series	Color temperature	Lumens <sup>1</sup>	Aperture/Trim Color	Finish	Voltage
LDN6 6' round	27K 2700K	65 500 lumens	106 Downlight	LS5 Semi-specular	480VLI Multi-volt
	30K 3000K	10 1000 lumens	106 Wallwash	WR <sup>2</sup> White	120 120V
	35K 3500K	15 1500 lumens	BR <sup>3</sup> Black	LS Specular	277 277V
	40K 4000K	20 2000 lumens			347 347V

Driver	Options
E210 eledLED 10% 0-10V	SP <sup>4</sup> Single four
E21 eledLED 1% 0-10V	TWP <sup>4</sup> White painted flange
	TBR1 <sup>1</sup> Black painted flange
	ELR Batterypack (remote)
	EL Batterypack
	NPS30E2 <sup>5</sup> eLight <sup>®</sup> dimming pack controls 0-10V eledLED drivers.
	NPS30E2ZF <sup>5</sup> eLight <sup>®</sup> dimming pack controls 0-10V eledLED drivers. CR controls fixture on emergency circuit.
	HAD High ambient option
	CP Chicago Plenum
	WL Wet location
	REL <sup>6</sup> ready-luminaire connectors enable a simple and consistent factory installed option across all AEL luminaire brands. Refer to RIL for complete nomenclature. Available only in RRLA, RRLB, RRLAE, and RRLC125.

**Accessories:** Order as separate catalog number.

EAC 5538 325	Compact interchangeable emergency AC power system
EAC 5538 125	Compact interchangeable emergency AC power system
GR668 IZ	Oversized trim ring with 8" outside diameter <sup>1</sup>
SC46	Sloped ceiling adapter. Refer to TECH.SCA for more options.

- Notes**
- <sup>1</sup> Overall height varies based on lumen package; refer to dimensional chart on page 3.
  - <sup>2</sup> Not available with finishes.
  - <sup>3</sup> Not available with emergency options.
  - <sup>4</sup> 120V only.
  - <sup>5</sup> Available with clear (CR) reflector only.
  - <sup>6</sup> Must specify voltage 120V or 277V.

DOWNLIGHTING LDN6

**FIXTURE 'A'/'AE' INFO**

SCALE: NONE

NOTE: FULL CUT OFF, DOWN ORIENTED LIGHTING FIXTURE

**Wall washers with asymmetrical light distribution**

**Housing:** One piece die-cast aluminum for direct attachment to BEGA 19.538 small opening wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.  
**Enclosure:** Tempered clear glass, 1/4" thick, retained by one piece die-cast aluminum frame, secured by four (4) captive socket head, stainless steel, screws threaded into stainless steel inserts. Internal full semi-specular optical system with a reflector made of pure anodized aluminum. Enclosure is fully gasketed for weather tight operation in any mounting orientation using a molded silicone rubber "U-channel" gasket.  
**Mounting:** Mounts directly to a custom BEGA 538 recessed wiring box. Fixture can be mounted in upward or downward direction. Meets full cutoff requirements when mounted in the downward orientation. This box can be shipped ahead of the luminaire.  
**Electrical:** 25.3 W LED luminaire, 31.2 total system watts, -30°C start temperature. Integral 120V or 277V electronic LED driver, 0-10V dimming. The LED module and driver are mounted on a removable inner assembly for easy replacement. Standard LED color temperature is 3000K with an 80 CRI. Available in 4000K (80 CRI); add suffix K4 to order.  
**Note:** Due to the dynamic nature of LED technology, LED luminaire data in this catalog is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).  
**Finish:** All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. These luminaires are available in four standard BEGA colors: Black (BLK), White (WHT), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.  
**CSA certified** to U.S. and Canadian standards. Protection class: IP65.  
**Weight:** 4.6 lbs.

**Luminaire Lumens:** 1174  
 Tested in accordance with LM-79-08

**Asymmetrical light distribution**

Lamp	A	B	C	Wiring box <sup>1</sup>
22433 <sup>2</sup>	25.3W LED	6 1/2"	6 1/2"	19.538

**BEGA-US** 1000 BEGA Way, Carpinteria, CA 93013 (805)684-0533 FAX (805)566-9474 [www.bega-us.com](http://www.bega-us.com)  
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Type: BEGA Product:  
Project:  
Voltage:  
Color:  
Options:  
Modified:



**Wall washers with asymmetrical light distribution**

**Housing:** One piece die-cast aluminum supplied with universal mounting bracket for direct attachment to 3 1/2" or 4" octagonal wiring box. A round "rotation" plate allows the housing to be precisely leveled (or rotated) after installation. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.  
**Enclosure:** Tempered clear glass, 1/4" thick, retained by one piece die-cast aluminum frame, secured by four (4) captive socket head, stainless steel, screws threaded into stainless steel inserts. Internal full semi-specular optical system with a reflector made of pure anodized aluminum. Enclosure is fully gasketed for weather tight operation in any mounting orientation using a molded silicone rubber "U-channel" gasket.  
**Mounting:** Mounts directly to a standard 4" wiring box (by others) using the mounting kit supplied.  
**Electrical:** 52 W LED luminaire, 55.2 total system watts, -30°C start temperature. Integral 120V or 277V electronic LED driver, 0-10V dimming. The LED module and driver are mounted on a removable inner assembly for easy replacement. Standard LED color temperature is 3000K with an 80 CRI. Available in 4000K (80 CRI); add suffix K4 to order.  
**Note:** Due to the dynamic nature of LED technology, LED luminaire data in this catalog is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).  
**Finish:** All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. These luminaires are available in four standard BEGA colors: Black (BLK), White (WHT), Bronze (BRZ), Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.  
**CSA certified** to U.S. and Canadian standards. Protection class: IP65.  
**Weight:** 11.5 lbs.

**Luminaire Lumens:** 2962  
 Tested in accordance with LM-79-08

**Asymmetrical light distribution**

Lamp	A	B	C	Wiring box <sup>1</sup>
22434	50.6W LED	10 1/4"	6 1/2"	9 1/4"

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Type: BEGA Product:  
Project:  
Voltage:  
Color:  
Options:  
Modified:



**FIXTURE 'W1' INFO**

SCALE: NONE

NOTE: FULL CUT OFF, DOWN ORIENTED LIGHTING FIXTURE

**FIXTURE 'W2' INFO**

SCALE: NONE

NOTE: FULL CUT OFF, DOWN ORIENTED LIGHTING FIXTURE

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EXTERIOR FIXTURE CUT SHEETS



REVISIONS	DATE

**SIXTY FIRST PLACE ARCHITECTS**

JOB NUMBER  
**16030**

DATE  
**10/19/16**

SHEET NO.  
**E1.2**

AEI #16083

**ASSOCIATED ENGINEERING INCORPORATED**

11410 North Cave Creek Rd  
 Phoenix, Arizona 85020

TEL: (602) 274-8988  
 FAX: (602) 274-9188



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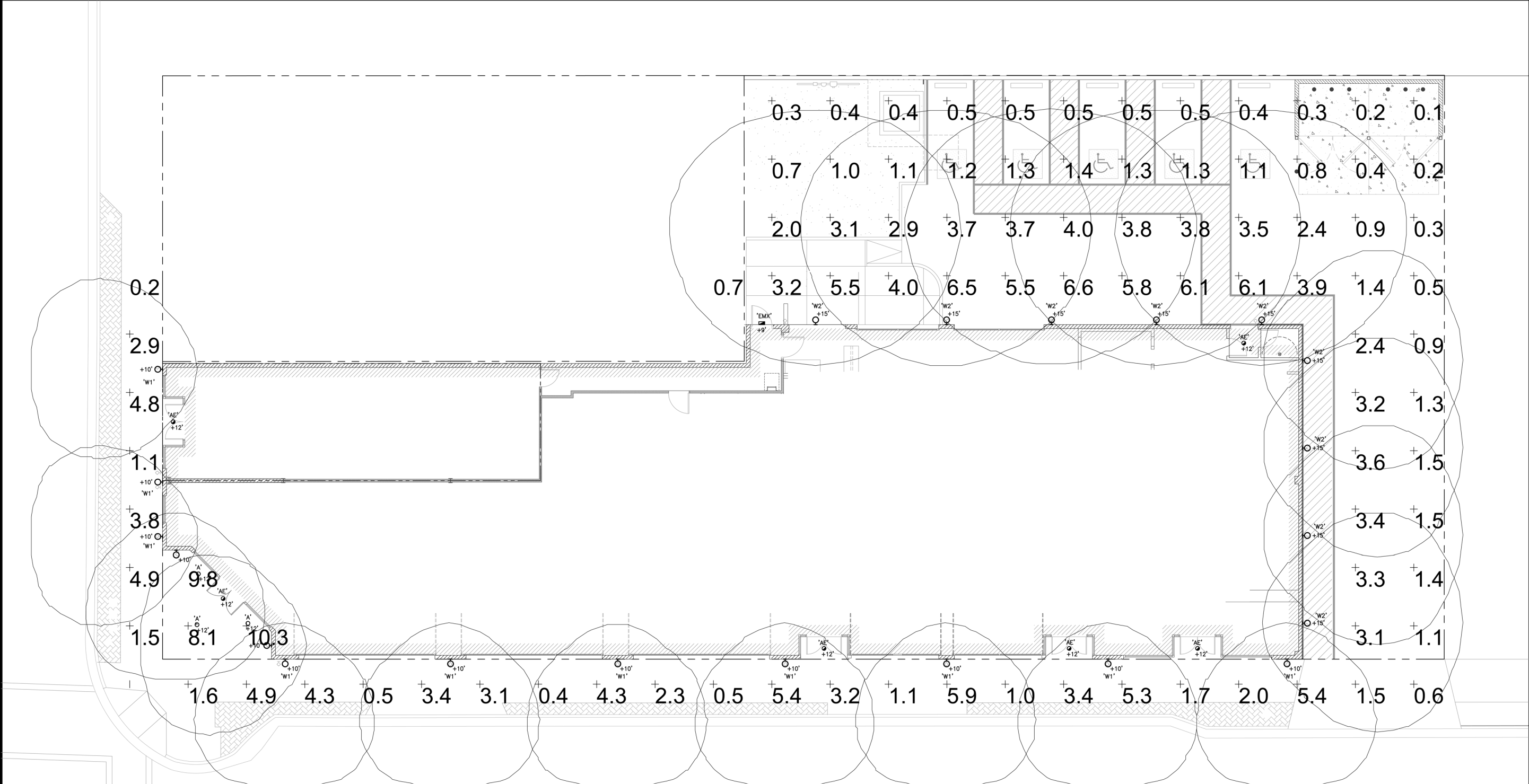
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**SIXTY  
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TECTS**

JOB NUMBER  
**16030**

DATE  
**10/19/16**

SHEET NO.  
**E2.0**



**SITE PHOTOMETRIC PLAN**

SCALE: 1/8"=1'-0"



Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Filename	Lumens per Lamp	LLF	Wattage
⊘	A	3	Lithonia Lighting	LDN6 4005 LOGAR LD 120	6IN LDN 4000K 500LM 80CRI CLEAR MATTE DIFFUSE REFLECTOR	LED	LDN6_40_05_LOGAR_LD.ies	577.0374	0.91	7.57
⊘	AE	6	Lithonia Lighting	LDN6 4005 LOGAR LD 120 EL	6IN LDN 4000K 500LM 80CRI CLEAR MATTE DIFFUSE REFLECTOR WIEM BATTERY PACK	LED	LDN6_40_05_LOGAR_LD.ies	577.0374	0.91	7.57
□	W1	15	BEGA-US	22 433 (FINISH) 19 538	6-15/16"L X 6-9/16"W X 6-9/16"H LED WALL WASH FIXTURE 24 3000K LEADS WITH DIFFUSED ALUMINUM REFLECTOR CLEAR GLASS LENS	LED	22433.ies	1172.921	0.91	31.2
□	W2	5	BEGA-US	22 434 (FINISH) 19 538	9-1/4"L X 10-1/4"W X 6-1/2"H LED WALL WASH FIXTURE TWO LED MODULES EACH MODULE HAS 24 3000K LEADS 48 LEADS TOTAL DIFFUSED ALUMINUM REFLECTOR WITH CLEAR GLASS LENS	LED	22434.ies	2978.814	0.91	55.42

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE @ GRADE	+	2.6 fc	10.3 fc	0.1 fc	103.0:1	26.0:1

AEI #16083

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INCORPORATED**

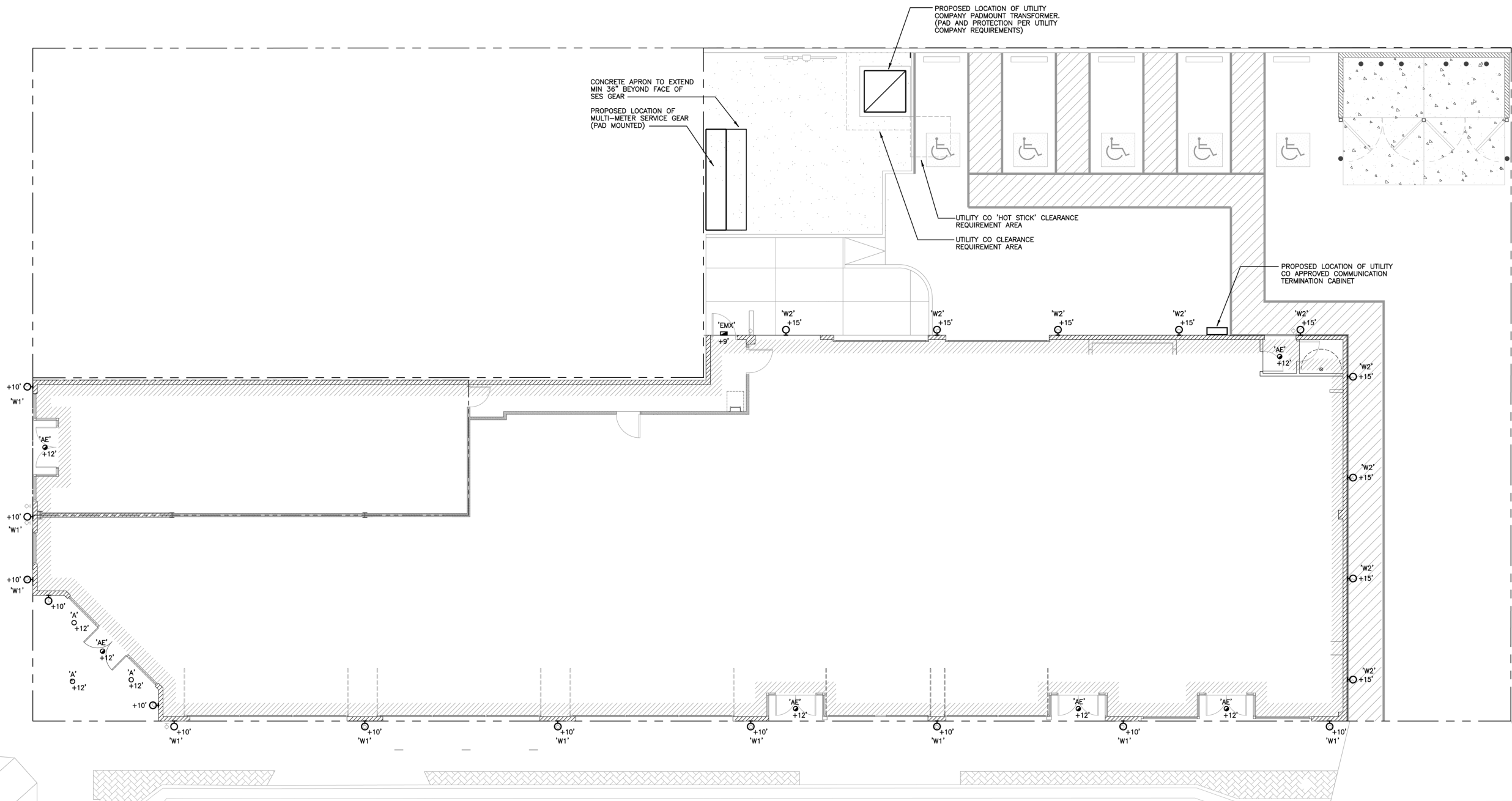
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Phoenix, Arizona 85020

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FAX: (602) 274-9188



REVISIONS	DATE	DESCRIPTION

<b>SIXTY FIRST PLACE ARCHITECTS</b>	JOB NUMBER <b>16030</b>
	DATE <b>10/19/16</b>
	SHEET NO. <b>E2.1</b>



**SITE ELECTRICAL PLAN**  
 SCALE: 1/8"=1'-0" NORTH

- SITE PLAN GENERAL NOTES:**
- COORDINATE SERVICE ENTRANCE SECTION, TRANSFORMER, PRIMARY SERVICE, SECONDARY SERVICE, AND SWITCHING CABINET OR POWER POLE LOCATIONS WITH SERVING UTILITY COMPANY AND COMPLY AS REQUIRED.
  - CONTRACTOR TO BE RESPONSIBLE FOR COORDINATING AND PROVIDING REQUIRED WORK FOR SUPPLYING ELECTRICAL POWER AND TELEPHONE UTILITIES TO THE BUILDING.
  - CONTRACTOR TO PROVIDE ALL TRENCHING, BACKFILL, CONDUIT, PAD, ETC. PER THE SERVING UTILITY COMPANY SHOP DRAWINGS AND SPECIFICATIONS.
  - IT SHALL BE THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO PROVIDE (1) COMPLETE SET OF DOCUMENTS TO TELEPHONE AND UTILITY COMPANY SERVICE REPRESENTATIVE WITHIN (2) WEEKS OF AWARDED OF CONTRACT.
  - MINIMUM CIRCUITRY THIS SHEET TO BE #10, 3/4" CONDUIT.

AEI #16083

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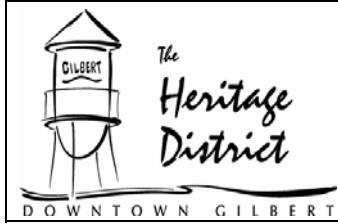


# Redevelopment Commission

Agenda  
Item #  
**3**

**TOWN OF GILBERT REDEVELOPMENT COMMISSION**  
**HERITAGE DISTRICT PARKING GARAGE II**  
**MUNICIPAL CENTER BUILDING, COUNCIL CHAMBERS**  
**50 E. CIVIC CENTER DRIVE, GILBERT, ARIZONA 85296**





**Redevelopment  
Commission  
COMMUNICATION**

**Agenda  
Item #  
3**

**TO:** REDEVELOPMENT COMMISSION MEMBERS

**FROM:** Amanda Elliott, Economic Development Administrator  
Redevelopment Commission Staff Liaison

**DATE:** 18 January 2017

**SUBJECT:** Heritage District Parking Garage II

**RECOMMENDED MOTION**

This item is for presentation only. No discussion. No Motion.

**BACKGROUND/ DISCUSSION**

A presentation will be made by the selected Parking Garage Masterplan Consultants BWS Walker to inform the Redevelopment Commission and public regarding the current status of the upcoming parking garage and the decisions that have been made to date.

**STAFF RECOMMENDATION**

A motion is not requested for this agenda item.

Respectfully submitted,

Amanda Elliott  
Economic Development Administrator